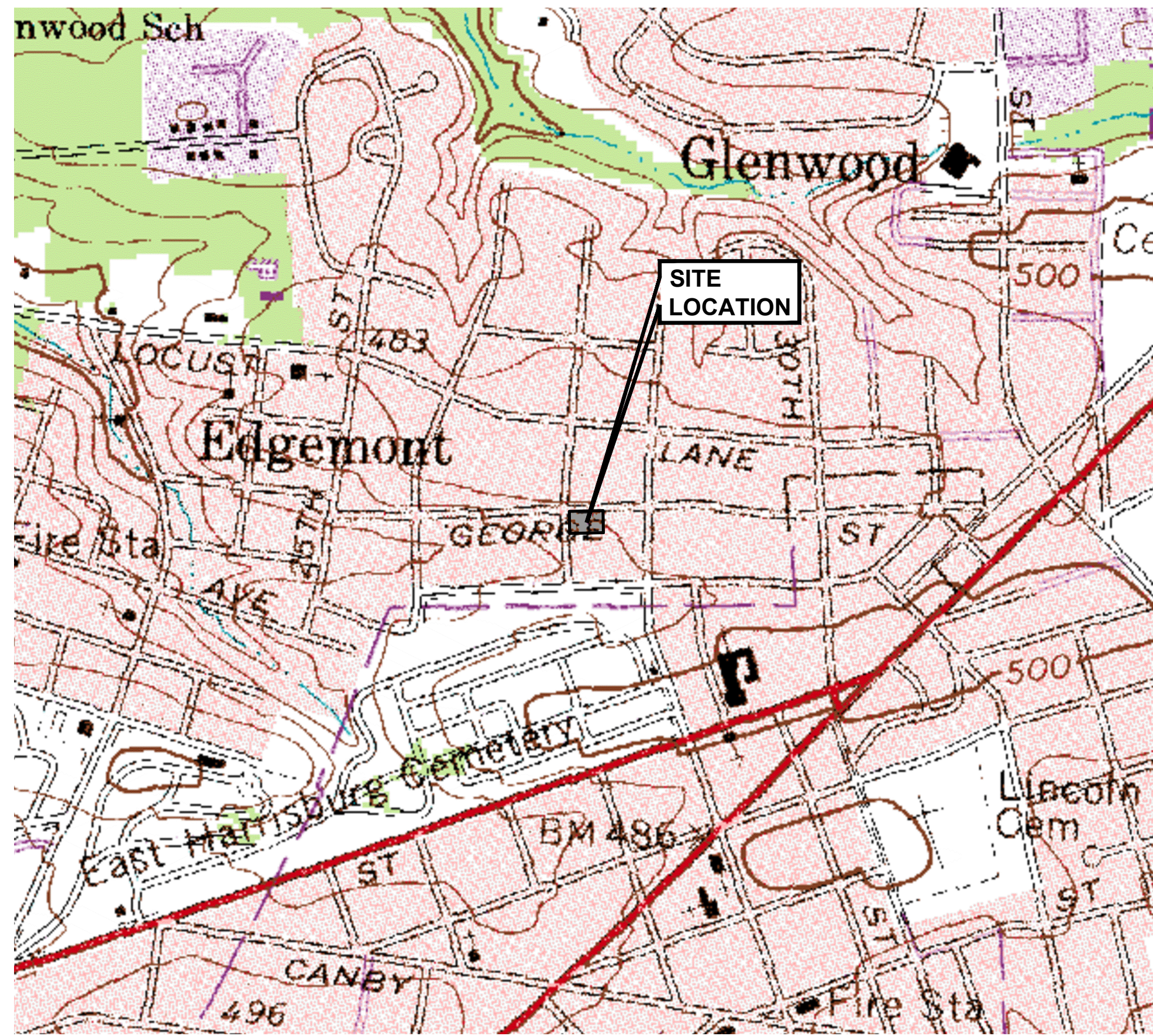


# PRELIMINARY/FINAL LOT CONSOLIDATION PLAN

## FOR 2703 GEORGE STREET

### SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA



LOCATION MAP

SCALE: 1"=500 FEET

#### TOWNSHIP PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP

PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### TOWNSHIP ENGINEER

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

TOWNSHIP ENGINEER \_\_\_\_\_

#### TOWNSHIP BOARD OF COMMISSIONERS

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS,  
AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

PRESIDENT \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### DAUPHIN COUNTY PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE DAUPHIN COUNTY PLANNING COMMISSION

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

CHAIRMAN \_\_\_\_\_

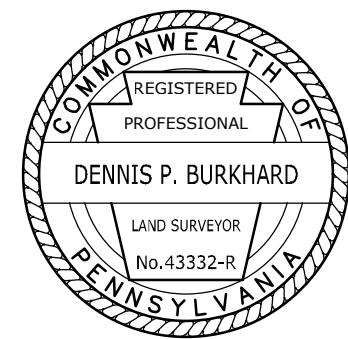
SECRETARY \_\_\_\_\_

#### CERTIFICATION OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

\_\_\_\_\_, 20\_\_

SURVEYOR'S SIGNATURE AND SEAL



#### CERTIFICATION OF ACCURACY (PLAN)

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.

\_\_\_\_\_, 20\_\_

(ENGINEER'S SIGNATURE AND SEAL)



#### CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DAUPHIN

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BEFORE THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_ OF THE DEPARTMENT OF GENERAL SERVICES OF THE COMMONWEALTH OF PENNSYLVANIA, WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND CONFIRMS THAT THE COMMONWEALTH OF PENNSYLVANIA, ACTING BY AND THROUGH THE DEPARTMENT OF GENERAL SERVICES, IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE THIS PLAN ON BEHALF OF THE DEPARTMENT OF GENERAL SERVICES, THAT THIS PLAN IS THE ACT AND DEED OF THE DEPARTMENT OF GENERAL SERVICES, AND THAT THE DEPARTMENT OF GENERAL SERVICES DESIRES THIS PLAN TO BE RECORDED.

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

#### OWNER / APPLICANT

FRED WOFFORD  
P O BOX 5418  
HARRISBURG, PA 17110  
TELEPHONE: 717.421.6975  
CONTACT: FRED WOFFORD

#### PLAN PREPARER

KUROVSKI AND WILSON, LLC  
2201 NORTH FRONT STREET, SUITE 200  
HARRISBURG, PA 17110  
TELEPHONE: 717.635.2835  
FAX: 717.635.2836  
PROJECT MANAGER: DENNIS P. BURKHARD, P.L.S.

#### GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO COMBINE LOT 1A, LOT 1B, AND LOT 2 INTO ONE COMMON PARCEL.
- AT THE TIME OF THIS SURVEY, NO STRUCTURES OR IMPERVIOUS SURFACE EXIST ON LOT 2.
- NO RECORDED EASEMENTS ARE PRESENT FOR THE SUBJECT PARCEL(S).
- NO DEVELOPMENT IS TO TAKE PLACE AS A RESULT OF THIS PLAN. IN THE EVENT OF ANY POSSIBLE FUTURE DEVELOPMENT ON THESE LOTS, SUFFICIENT PLANS AND DATA MUST FIRST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PROPER LOCAL, COUNTY AND STATE AGENCIES.
- ALL FUTURE DEVELOPMENT TAKING PLACE ON THE CONSOLIDATED LOT SHOWN SHALL BE COMPLIANT WITH THE STANDARDS OF THE R-2 MEDIUM DENSITY RESIDENTIAL DISTRICT.
- NO DEDICATION OF RIGHTS-OF-WAY ARE PLANNED FOR THIS LOT CONSOLIDATION.

#### SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	LOT CONSOLIDATION PLAN

\* NOTE: ALL SHEETS OF THE PLAN SET SHALL BE RECORDED

#### ZONING DATA

R-2, MEDIUM-DENSITY RESIDENTIAL DISTRICT

PERMITTED USE: SINGLE-FAMILY DETACHED DWELLING UNIT

ACCESSORY USES: PRIVATE GARAGES, PLAYHOUSES, GARDEN HOUSES OR GREEN HOUSES NOT USED FOR COMMERCIAL PURPOSES;  
PRIVATE SWIMMING POOLS, IN ACCORDANCE WITH § 27-2042

	REQUIRED	EXISTING LOT 1	LOT 2	PROPOSED
MIN. LOT AREA (SQ. FT.)	10,000	10,125	4,500*	14,625
MIN. LOT WIDTH	75 FT.	67.5 FT.*	30 FT.*	67.5 FT.
MAX. IMPERV. COV.	40%	8.45%	N/A	5.85%
BLDG. SETBACKS				
FRONT YARD	30 FT.	13.9 FT.*	N/A	13.9 FT.*
SIDE YARD	8 FT.	N/A	N/A	N/A
REAR YARD	30 FT.	17.9 FT.*	N/A	47.9 FT.
MAX. BLDG. HEIGHT	30 FT.	<30 FT.	N/A	<30 FT.

BUFFER YARDS FOR NONRESIDENTIAL STRUCTURES: BUFFER YARDS SHALL BE REQUIRED FOR ANY NONRESIDENTIAL STRUCTURE WHEN ABUTTING A RESIDENTIAL USE OF DISTRICT IN ACCORDANCE WITH § 27-2106, SUBSECTION 5.

\* INDICATES A NON-CONFORMITY (UNDER CURRENT ZONING REGULATIONS)



DESIGNING ENVIRONMENTS  
2201 North Front Street, Suite 200  
Harrisburg, PA 17110  
P: 717.635.2835  
www.kandwengineers.com

BOUNDARY SURVEY/LOT CONSOLIDATION PLAN

2703 GEORGE STREET  
FOR  
FRED WOFFORD

SUSQUEHANNA TOWNSHIP

PROFESSIONAL SEAL

SCALE: \_\_\_\_\_ AS SHOWN

DATE: JUNE 30, 2022

K&W PROJECT: 2340.001

DRAWN BY: JTM

CAD DRAWING: 2340001-02\_vr\_SUR.dwg

NO.	DATE	DESCRIPTION
1	JULY 27, 2022	REVISED PER TOWNSHIP/COUNTY REVIEW COMMENTS
2		
3		
4		
5		
6		
7		

PLAN TYPE:

COVER SHEET

SHEET:

NO.	DATE	DESCRIPTION
1	JULY 27, 2022	REVISED PER TOWNSHIP/COUNTY COMMENTS
2		
3		
4		
5		
6		
7		

PLAN TYPE:  
**EXISTING CONDITIONS PLAN**

SHEET:  
**2 OF 3**

**SITE DATA**

**LOTS 1A & 1B:**  
OWNER: FRED WOFFORD  
SITE ADDRESS: 2703 GEORGE ST.  
HARRISBURG, PA 17109  
PARCEL ID: 62-029-132-000-0000  
DEED REFERENCE: INST. 20150032291

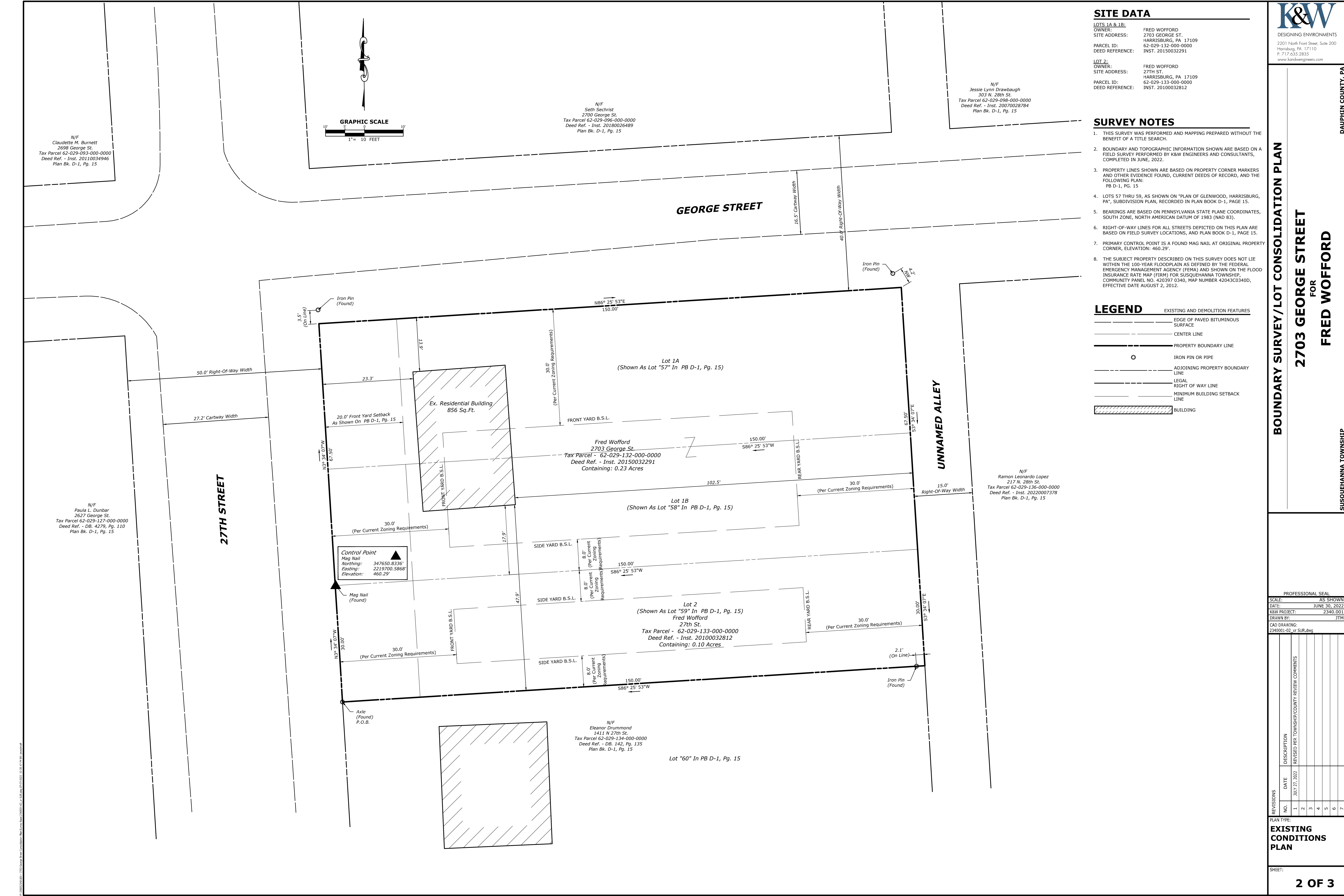
**LOT 2:**  
OWNER: FRED WOFFORD  
SITE ADDRESS: 27TH ST.  
HARRISBURG, PA 17109  
PARCEL ID: 62-029-133-000-0000  
DEED REFERENCE: INST. 20100032812

**SURVEY NOTES**

- THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY K&W ENGINEERS AND CONSULTANTS, COMPLETED IN JUNE, 2022.
- PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND, CURRENT DEEDS OF RECORD, AND THE FOLLOWING PLAN:  
PB D-1, Pg. 15
- LOTS 57 THRU 59, AS SHOWN ON "PLAN OF GLENWOOD, HARRISBURG, PA", SUBDIVISION PLAN, RECORDED IN PLAN BOOK D-1, PAGE 15.
- BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- RIGHT-OF-WAY LINES FOR ALL STREETS DEPICTED ON THIS PLAN ARE BASED ON FIELD SURVEY LOCATIONS, AND PLAN BOOK D-1, PAGE 15.
- PRIMARY CONTROL POINT IS A FOUND MAG NAIL AT ORIGINAL PROPERTY CORNER, ELEVATION: 460.29'.
- THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR SUSQUEHANNA TOWNSHIP, COMMUNITY PANEL NO. 420397 0340, MAP NUMBER 42043C0340D, EFFECTIVE DATE AUGUST 2, 2012.

**LEGEND**

- EXISTING AND DEMOLITION FEATURES
- EDGE OF PAVED BITUMINOUS SURFACE
  - CENTER LINE
  - PROPERTY BOUNDARY LINE
  - IRON PIN OR PIPE
  - ADJOINING PROPERTY BOUNDARY LINE
  - LEGAL RIGHT OF WAY LINE
  - MINIMUM BUILDING SETBACK LINE
  - BUILDING



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DESIGNING ENVIRONMENTS  
2201 North Front Street, Suite 200  
Harrisburg, PA 17110  
P: 717.635.2835  
www.kandwengineers.com

DAUPHIN COUNTY, PA

**BOUNDARY SURVEY/LOT CONSOLIDATION PLAN**  
**2703 GEORGE STREET**  
**FOR**  
**FRED WOFFORD**

SUSQUEHANNA TOWNSHIP

PROFESSIONAL SEAL  
SCALE: AS SHOWN  
DATE: JUNE 30, 2022  
K&W PROJECT: 2340.001  
DRAWN BY: JTM  
CAD DRAWING:  
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NO.	DATE	DESCRIPTION
1	JULY 27, 2022	REVISED PER TOWNSHIP/COUNTY REVIEW COMMENTS
2		
3		
4		
5		
6		
7		

PLAN TYPE:  
**LOT CONSOLIDATION PLAN**

SHEET:  
**3 OF 3**

**SITE DATA**

**LOTS 1A & 1B:**  
OWNER: FRED WOFFORD  
SITE ADDRESS: 2703 GEORGE ST.  
HARRISBURG, PA 17109  
PARCEL ID: 62-029-132-000-0000  
DEED REFERENCE: INST. 20150032291

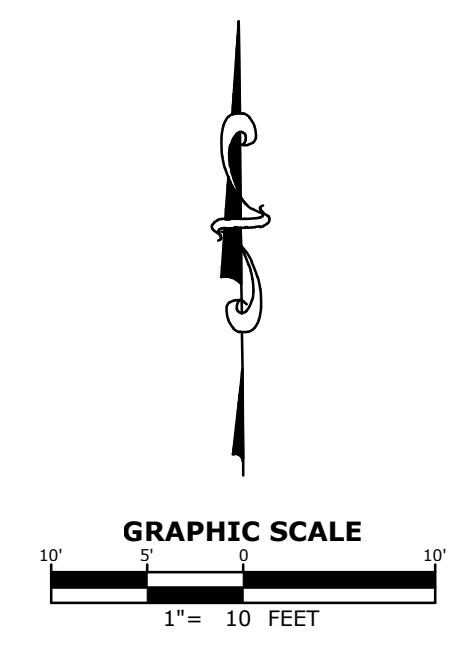
**LOT 2:**  
OWNER: FRED WOFFORD  
SITE ADDRESS: 27TH ST.  
HARRISBURG, PA 17109  
PARCEL ID: 62-029-133-000-0000  
DEED REFERENCE: INST. 20100032812

**SURVEY NOTES**

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  - LEGAL RIGHT OF WAY LINE
  - MINIMUM BUILDING SETBACK LINE
  - BUILDING



N/F  
Seth Sechrist  
2700 George St.  
Tax Parcel 62-029-096-000-0000  
Deed Ref. - Inst. 20180026489  
Plan Bk. D-1, Pg. 15

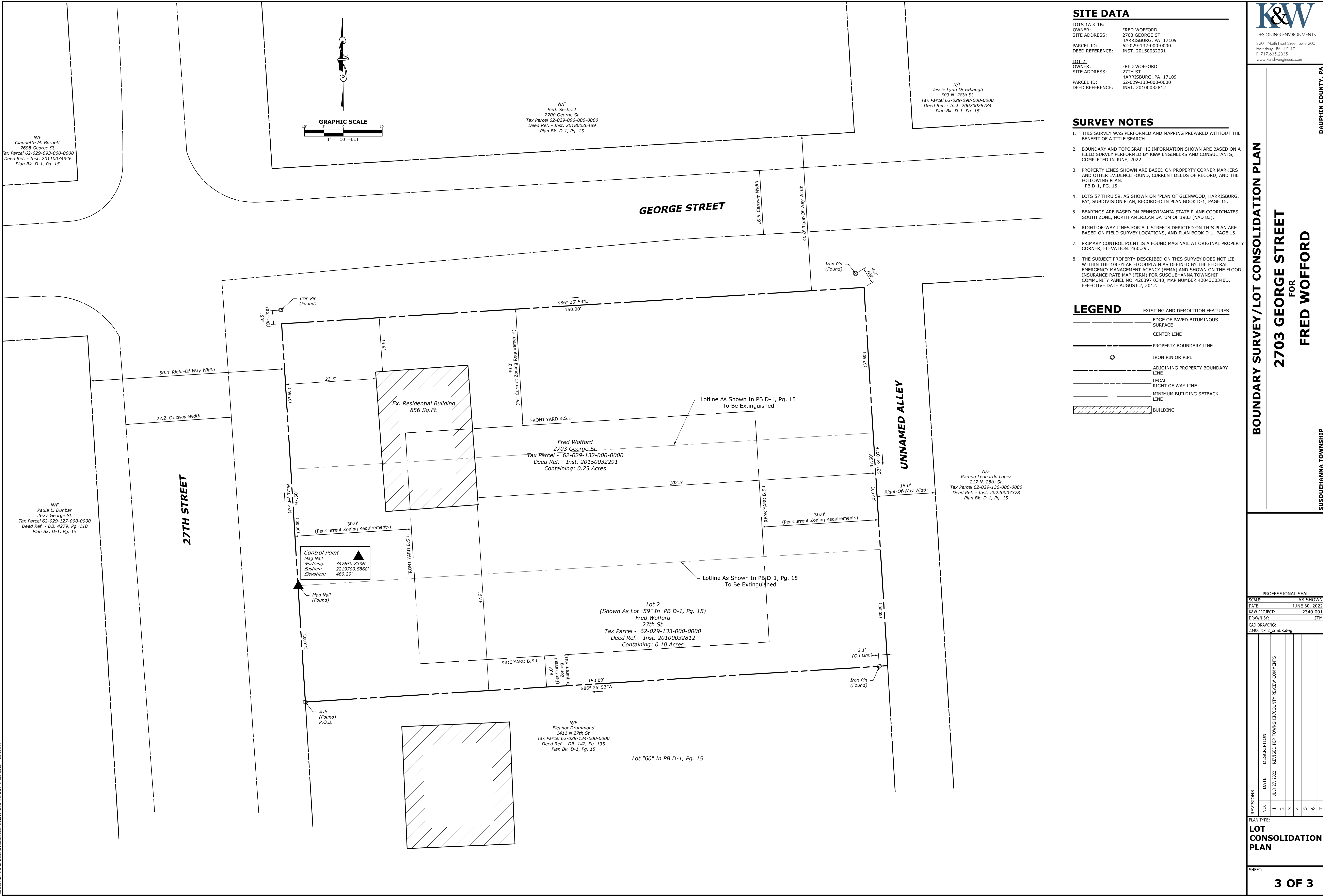
N/F  
Jessie Lynn Drawbaugh  
303 N. 28th St.  
Tax Parcel 62-029-098-000-0000  
Deed Ref. - Inst. 20070028784  
Plan Bk. D-1, Pg. 15

N/F  
Claudette M. Burnett  
2698 George St.  
Tax Parcel 62-029-093-000-0000  
Deed Ref. - Inst. 20110034946  
Plan Bk. D-1, Pg. 15

N/F  
Paula L. Dunbar  
2627 George St.  
Tax Parcel 62-029-127-000-0000  
Deed Ref. - DB. 4279, Pg. 110  
Plan Bk. D-1, Pg. 15

N/F  
Eleanor Drummond  
1411 N. 27th St.  
Tax Parcel 62-029-134-000-0000  
Deed Ref. - DB. 142, Pg. 135  
Plan Bk. D-1, Pg. 15

N/F  
Ramon Leonardo Lopez  
217 N. 28th St.  
Tax Parcel 62-029-136-000-0000  
Deed Ref. - Inst. 2022007378  
Plan Bk. D-1, Pg. 15



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