

GENERAL NOTES:

- THIS PLAN IS IN SUBSTANTIAL COMPLIANCE WITH THE SUSQUEHANNA TOWNSHIP ZONING, SUBDIVISION AND LAND DEVELOPMENT, AND STORMWATER MANAGEMENT ORDINANCES PURSUANT TO SECTION 507 OF THE PENNSYLVANIA MUNICIPALITIES PLANNING CODE (THE "MPC"). ANY DESIGN MODIFICATIONS MUST BE APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS PRIOR TO FINAL PLAN APPROVAL PURSUANT TO SECTION 508(4) OF THE MPC.
- PURSUANT TO 27-1912 OF THE SUSQUEHANNA TOWNSHIP ZONING ORDINANCE, THE BOARD OF COMMISSIONERS HEREBY MAKES THE FOLLOWING FINDINGS:
 - THIS PLAN IS CONSISTENT WITH THE "KEY DESIGN ELEMENTS" OF EXHIBIT A, THE "PRECEDENTS" OF EXHIBIT B, AND THE "REGULATING PLAN" OF EXHIBIT C OF PART 19 OF THE SUSQUEHANNA TOWNSHIP ZONING ORDINANCE.
 - THE MANUAL OF WRITTEN AND GRAPHIC DESIGN GUIDELINES ACCOMPANYING THIS PLAN IS CONSISTENT WITH THE DESIGN GUIDELINES IN 22-507 OF THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
 - DATE OF FINAL REVIEW BY BOARD OF COMMISSIONERS: _____, 2023
- THE PROPOSED STREET AND SPEED LIMIT SIGNAGE SHALL BE CONSISTENT WITH THE SPECIFICATIONS OF SUSQUEHANNA TOWNSHIP.
- ALL FIRE HYDRANTS SHALL HAVE SHUT OFF VALVES.
- THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM OF 48 HOURS NOTICE AND TO COORDINATE WITH THE TOWNSHIP/TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
- THE DEVELOPER SHALL PROVIDE TWO (2) SETS OF RECORD DRAWINGS OF ALL STORMWATER MANAGEMENT FACILITIES TO SUSQUEHANNA TOWNSHIP PRIOR TO OCCUPANCY OR THE RELEASE OF FINANCIAL SECURITY.
- THE DEVELOPER SHALL PROVIDE TWO (2) SETS OF RECORD DRAWINGS TO THE SUSQUEHANNA TOWNSHIP AUTHORITY. THESE RECORD DRAWINGS SHALL BE PROVIDED AFTER THE STRUCTURES ARE CONSTRUCTED AND SHALL SHOW THE CONNECTION TO THE SEWER MAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE ANY NON-STANDARD HEADWALLS OR ENDWALLS STRUCTURALLY DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE COMMONWEALTH OF PENNSYLVANIA. THE STRUCTURAL DESIGN CALCULATIONS SHALL BE SUBMITTED TO AND REVIEWED BY THE TOWNSHIP AND THEIR ENGINEER.
- INSTALLATION OF STORM DRAINAGE PIPING THROUGH THE CORNER OF PRE-CAST INLETS (OR "KNOCKOUT CORNERS") IS PROHIBITED. ALL PIPE CONNECTIONS AT INLETS SHALL OCCUR AT THE SIDES OF THE INLET.
- ALL STORMWATER INLET FRAMES, CONCRETE TOPS, AND GRADE ADJUSTMENT RINGS SHALL BE SET IN A FULL BED OF MORTAR.
- ALL STORMWATER CONVEYANCE PIPING SHALL HAVE WATERTIGHT JOINTS.
- ROADWAY AND/OR CURB UNDERDRAIN(S) SHALL BE INSPECTED BY THE MUNICIPAL ENGINEER OR HIS DESIGNATED AGENT AFTER COMPLETION OF ALL WORK, JUST PRIOR TO THE BASE COURSE APPLICATION.
- THE TOWNSHIP STAFF HAS PERMISSION TO ACCESS THE DRAINAGE EASEMENTS FROM THE NEAREST PUBLIC RIGHT-OF-WAY.
- SIDEWALKS SHALL BE INSPECTED BY THE MUNICIPAL ENGINEER OR HIS DESIGNATED AGENT AFTER THE FORMS HAVE BEEN PLACED, JUST PRIOR TO THE POURING OF CONCRETE AND AFTER THE COMPLETION OF ALL WORK.
- ALL STREET ADDRESS NUMBERS SHALL BE DISPLAYED IN ACCORDANCE WITH ORDINANCE SECTION 22-1112 REQUIREMENTS.
- EASEMENTS AND RESERVATIONS OF COMMON AREAS INCLUDING ACCESS DRIVES, PARKING AREAS, AND COMMON OPEN SPACES WILL BE PROVIDED IN CONDOMINIUM DOCUMENTS AT THE TIME OF FINAL DEVELOPMENT.
- AS DEFINED BY FEMA FLOODPLAIN PANEL 42043C0330D, THERE IS NO FEMA DELINEATED FLOODPLAIN LOCATED WITHIN THE SUBJECT SITE.
- IN A LETTER DATED SEPTEMBER 7, 2017, THE TOWNSHIP ACKNOWLEDGES RECEIPT AND APPROVAL OF THE CONCEPT/SKETCH PLAN MEETING THE REQUIREMENTS AS NOTED IN THE TND-1 ZONING ORDINANCE.
- STORMWATER OPERATIONS AND MAINTENANCE (O&M) AGREEMENT IS PART OF THE STORMWATER MANAGEMENT SITE PLAN. OPERATIONS AND MAINTENANCE AGREEMENTS SHALL BE RECORDED WITH THE FINAL LAND DEVELOPMENT STORMWATER MANAGEMENT PLAN.
- ALL STREET LIGHTS AND OUTDOOR LIGHTING SHALL UTILIZE LIGHT EMITTING DIODE (LED) TECHNOLOGY.
- WHERE APPLICABLE, ALL CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 AND 72 STANDARDS, SUSQUEHANNA TOWNSHIP ORDINANCES, AND SUSQUEHANNA TOWNSHIP AUTHORITY MANUAL FOR SEWER EXTENSION CONSTRUCTION.
- BMPs ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE PA STORMWATER BMP MANUAL. BMPs SHALL BE SEQUENCED RELATIVE TO PROJECT PHASING PLAN AND PER FINAL PLAN APPROVALS.
- DO NOT SCALE DRAWINGS.

CAUTION NOTICE TO CONTRACTOR:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. ALL BURIED UTILITIES ARE NOT NECESSARY SHOWN. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY IN ACCORDANCE WITH PA ACT 38 OF 1991 BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL CONFIRM ALL FINAL CONNECTION POINTS TO EXISTING UTILITIES WITH THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.

- PROPOSED CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE.
- ALL MAPPING AND LOCATION OF EXISTING UTILITIES WERE OBTAINED FROM THE UTILITY COMPANIES LISTED UNDER "UTILITY CONTACTS". ALL DATA CONCERNING THESE EXISTING CONDITIONS WAS ACQUIRED BY THE H.F. LENZ COMPANY FOR USE IN DESIGNING THIS PROJECT. ITS ACCURACY OR COMPLETENESS IS NOT GUARANTEED BY THE H.F. LENZ COMPANY AND IN NO EVENT IS IT TO BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS. CONTRACTORS MUST ASSUME ALL RISKS PERTAINING TO EXISTING SITE CONDITIONS.
- THE CONTRACTOR SHALL EXERCISE CAUTION AND EMPLOY CAREFUL EXCAVATION METHODS DURING INSTALLATION OF THE FACILITIES TO AVOID DAMAGE TO OR CONFLICT WITH EXISTING UTILITIES. THE CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS AS DIRECTED AND/OR REQUIRED BY THE ENGINEER TO ASCERTAIN THE HORIZONTAL AND VERTICAL ALIGNMENT OF EXISTING UTILITIES PRIOR TO CONSTRUCTION IN AFFECTED AREAS AND MAKE THE APPROPRIATE ADJUSTMENTS IN THE FIELD IF CONFLICTS OCCUR. NO SEPARATE PAYMENT SHALL BE MADE FOR THE HEREIN DESCRIBED PROVISIONS AND SHALL BE INCLUDED IN THE COST OF THOSE ITEMS FOR WHICH PAYMENT SHALL BE MADE IN THE BID SCHEDULE.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN USE OF ALL UTILITIES WITHIN THE IMMEDIATE WORK AREA DURING CONSTRUCTION WHEN WORK IS IN PROGRESS AT ALL TIMES.
- CONTRACTOR IS RESPONSIBLE TO STABILIZE AND MAINTAIN ALL UTILITY POLES WITHIN THE IMMEDIATE WORK AREA THAT MAY BE AFFECTED BY THE CONSTRUCTION OPERATIONS.
- PROVIDE, ERECT AND MAINTAIN BARRICADES, LIGHTING AND GUIDE RAILS AS REQUIRED BY APPLICABLE REGULATORY AGENCIES TO PROTECT THE PUBLIC AND WORKMAN.
- ALL DISTURBED AREAS EXCEEDING THE LIMITS OF WORK SHALL BE RESTORED TO EXISTING CONDITIONS AT THE FULL EXPENSE OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL CONCRETE WORK SHALL COMPLY WITH THE SPECIFICATIONS AND THE AMERICAN CONCRETE INSTITUTE'S "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318-89 OR THE LATEST REVISION THERE TO.
- ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT THE END OF 28 DAYS.
- ALL REINFORCEMENT STEEL TO BE GRADE 60 DEFORMED BARS.
- MINIMUM SPLICE FOR REINFORCEMENT STEEL IS 30 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A-185 SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NECESSARY TO ESTABLISH LINES, LOCATION, GRADES, DIMENSIONS AND ELEVATIONS OF THE WORK FROM EXISTING FACILITIES.
- THE CONTRACTOR SHALL EXCAVATE TO THE LINES AND GRADES AS SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION OF EVERY DESCRIPTION AND OF WHATEVER SUBSTANCES ENCOUNTERED TO THE DEPTHS INDICATED. ALL EXCAVATED MATERIAL NOT REQUIRED OR UNSUITABLE FOR FILL SHALL BE REMOVED AND WASTED OFF SITE.
- UNLESS OTHERWISE INDICATED ON THESE DRAWINGS, REMOVE TREES, SHRUBS, GRASS AND OTHER VEGETATION INTERFERING WITH INSTALLATION OF NEW CONSTRUCTION. REMOVAL INCLUDES DIGGING OUT STUMPS AND ROOTS.
- DURING EXCAVATION EXTREME CARE SHOULD BE TAKEN BY THE CONTRACTOR TO AVOID UNNECESSARY CUTTING OF ROOTS. WHEN ROOTS ARE CUT THEY SHOULD BE PROPERLY DRESSED SO AS NOT TO KILL THE TREE.
- ALL TRENCH EXCAVATION SIDE WALLS GREATER THAN 5 FEET IN DEPTH SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED BY MEANS OF THE SUFFICIENT STRENGTH TO PROTECT THE WORKMAN WITHIN THEM IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS ESTABLISHED FOR CONSTRUCTION BY THE DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND BY LOCAL ORDINANCES. LATERAL TRAVEL DISTANCES TO AN EXIT LADDER OR STEPS SHALL NOT BE GREATER THAN 25 FEET IN TRENCHES 4 FEET OR DEEPER.
- ALL TRAFFIC LINE PAINTING TO BE PADOT TYPE 1, IN ACCORDANCE WITH THE LATEST EDITION OF THE PADOT 408, SECTION 962.
- ALL TRAFFIC SIGNS TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE PADOT 408, SECTION 1103.
- THE DESIGN REVIEW COMMITTEE MUST REVIEW THE CONSTRUCTION DRAWINGS FOR COMPLIANCE WITH THE DESIGN GUIDELINES PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- CONTRACTOR SHALL NOTIFY SUSQUEHANNA TOWNSHIP AND THEIR ONSITE REPRESENTATIVE A MINIMUM OF 24 HOURS PRIOR TO THE PLACEMENT OF ENGINEERED FILL OVER PREVIOUSLY INSTALLED PIPE TRENCHES.
- ALL ELECTRICAL, TELEPHONE AND CABLE LINES MUST BE PLACED UNDERGROUND.

CONFORMITY WITH DESIGN GUIDELINES:

- PROPOSED WALKING TRAILS SHALL BE IN ACCORDANCE WITH THE DESIGN GUIDELINES
- ALL PLANTERS SHALL BE IN ACCORDANCE WITH SECTION 507 - SITE ELEMENTS OF THE DESIGN GUIDELINES
- HARDSCAPE SHALL BE IN ACCORDANCE WITH SECTION 503- PEDESTRIAN GATHERING AREAS, PEDESTRIAN MEWS & CENTRAL GREEN OF THE DESIGN GUIDELINES
- PARKING SHALL BE SCREENED AND BUFFERED FROM ADJACENT STREETS USE STREET WALL #2 AS PER SECTIONS 505 AND 507 OF THE DESIGN GUIDELINES
- ALL LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 506- SITE LIGHTING OF THE DESIGN GUIDELINES
- STREETS AND SIDEWALKS SHALL BE IN ACCORDANCE WITH SECTION 502 - STREETScape OF THE DESIGN GUIDELINES
- PROPOSED BENCHES SHALL BE IN ACCORDANCE WITH SECTION 507- SITE ELEMENTS OF THE DESIGN GUIDELINES
- ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH SECTION 502 AND 508 OF THE DESIGN GUIDELINES

NOTE:

- ANY FUTURE LAND DEVELOPMENT, LAND DISTURBANCE ACTIVITY, AND/OR BUILDING OR OCCUPANCY PERMIT APPLICATION WILL REQUIRE AN APPROVED STORMWATER MANAGEMENT PLAN AND VERIFY THAT IT COMPLIES WITH THE APPROVED STORMWATER MANAGEMENT DESIGN PRIOR TO COMMENCEMENT OR APPROVAL
- CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE TOWNSHIP AND REVIEWED BY THE DESIGN REVIEW COMMITTEE PRIOR TO ISSUING OF ANY BUILDING PERMITS.

LEGEND

EXISTING	
—100—	CONTOUR LINE
—W—	WATERLINE
—G—	GAS LINE
—SS—	SANITARY SEWER
—ST—	STORM SEWER
—STE—	STEAM LINE
----EU----	UNDERGROUND ELEC TELE CABLE
----TU----	UNDERGROUND TELEPHONE
----CTW----	UNDERGROUND CABLE
—E—	OVERHEAD ELECTRIC
—T—	OVERHEAD TELEPHONE
—CTV—	OVERHEAD CABLE
—OHW—	OVERHEAD WIRES
—C—	CONDUIT
--FO/COM--	FIBER OPTICS / COMMUNICATIONS
●FH	FIRE HYDRANT
PP○	POWER POLE
▲	SIGN (EXISTING)
PROPOSED	
—100—	CONTOUR LINE
—W—	WATERLINE
—G—	GAS LINE
—SS—	SANITARY SEWER
—ST—	STORM SEWER
—RL—	DOWNSPOUT COLLECTOR PIPE
—STE—	STEAM LINE
----EU----	UNDERGROUND ELEC TELE CABLE
----TU----	UNDERGROUND TELEPHONE
----CTW----	UNDERGROUND CABLE
--FO/COM--	FIBER OPTICS/COMMUNICATIONS
—E—	OVERHEAD ELECTRIC
—T—	OVERHEAD TELEPHONE
—CTV—	OVERHEAD CABLE
—C—	CONDUIT
●FH	FIRE HYDRANT
PP●	POWER POLE
SL▲	STREET LIGHT
▲	SIGN
-X-X-X-	FENCE
⊙	NUMBER OF PARKING SPACES

SYMBOL AND ABBREVIATION SCHEDULE

AC	ACRE	EMH	ELECTRIC MANHOLE	PE	POLYETHYLENE
AC	AIR CONDITIONER	EM	ELECTRIC METER	PUB	PUBLICATION
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAYS AND TRANSPORTATION OFFICIALS	EL/ELEV	ELEVATION	PSI	POUNDS PER SQUARE INCH
		EQ	EQUAL	PP	POWER POLE
ACI	AMERICAN CONCRETE TRANSPORTATION OFFICIALS	EXP	EXPANSION	PVC	POLYVINYL CHLORIDE
		EX	EXISTING	ℙ	PROPERTY LINE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	FFE	FINISH FLOOR ELEVATION	R	RADIUS
		FH	FIRE HYDRANT	REINF	REINFORCEMENT
⊙	AT	GM	GAS METER	RCP	REINFORCED CONCRETE PIPE
ℙ	BASELINE	GV	GAS VALVE	R/W	RIGHT-OF-WAY
BC	BOTTOM OF CURB	HP	HIGH POINT	SCH	SCHEDULE
BW	BOTTOM OF WALL	HORIZ	HORIZONTAL	SEC	SECTION
BY/4"	BROKEN YELLOW PAVEMENT LINE/WIDTH	INC	INCORPORATED	SEG	SEGMENT
BLDG	BUILDING	INV	INVERT	SLCPP	SMOOTH LINED CORRUGATED PLASTIC PIPE
		LP	LIGHT POLE	STA	STATION
ℙ	CENTERLINE	MH	MANHOLE	SR	STATE ROUTE
CC C/C	CENTER TO CENTER	MAX	MAXIMUM	ST	STREET
CLR	CLEAR	MIN	MINIMUM	SRL	SKID RESISTANCE LEVEL
CONC	CONCRETE	MPH	MILES PER HOUR	S	SOUTH
CONSTR	CONSTRUCTION	N	NORTH	SF	SQUARE FEET
CMP	CORRUGATED METAL PIPE	NPDES	NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM	SY	SQUARE YARD
CPP	CORRUGATED POLYETHYLENE PIPE	No/#	NUMBER	TC	TOP OF CURB
DIA	DIAMETER	PM	PARKING METER	TW	TOP OF WALL
DI	DUCTILE IRON	OC	ON CENTER	XF	TRANSFORMER
DS	DOWN SPOUT	PADOT	PENNSYLVANIA DEPARTMENT OF TRANSPORTATION	Typ	TYPICAL
EOB	EDGE OF BERM			WM	WATER METER
EOP	EDGE OF PAVEMENT	PERF	PERFORATED	WV	WATER VALVE
ELEC	ELECTRIC			WWF	WELDED WIRE FABRIC
				W/4"	WHITE PAVEMENT LINE/WIDTH

LIST OF PUBLIC UTILITIES AND CONTACTS

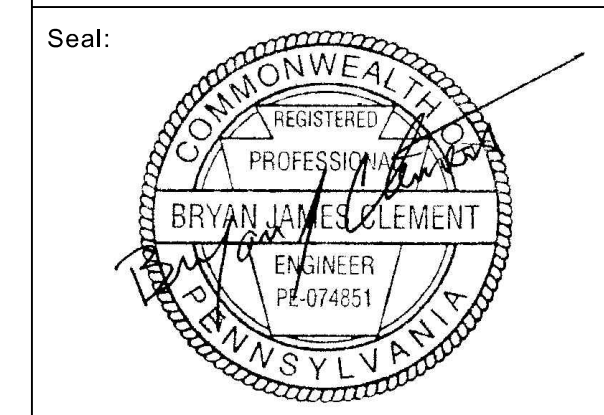
CTSI LLC 100 CTE DR DALLAS, TX 18612 (888) 278-8783	COMCAST CABLE COMMUNICATIONS INC 4601 SMITH ST HARRISBURG, PA 17109 (800) 266-2278
VEOLIA WATER 6310 ALLENTOWN BLVD HARRISBURG, PA 17112 (717) 564-3664	UGI UTILITIES INC 1500 PAXTON ST HARRISBURG, PA 17104 (800) 609-4844
VERIZON PENNSYLVANIA INC 11 FLOOR STRAWBERRY SQUARE HARRISBURG, PA 17101 (800) 821-0088	SUSQUEHANNA TWP AUTH/SUSQUEHANNA TWP 1900 LINGLESTOWN RD HARRISBURG, PA 17103301 (717) 545-0116
PA COMMONWEALTH OF OFFICE OF ADMIN GOVERNORS OFFICE OF ADMIN 207 FINANCE BUILDING HARRISBURG, PA 17120 (717) 787-9945	ZAYO BANDWIDTH FORMERLY PPL TELECOM LLC 7010 SNOWDRIFT ROAD ALLENTOWN, PA 18106 (866) 364-6033
PPL ELECTRIC UTILITIES CORPORATION 1801 BROOKWOOD ST HARRISBURG, PA 171042222 (800) 342-5775	

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE - STOP CALL



Headquarters:
 1407 Scalp Avenue
 Johnstown, PA 15904
 814-269-9300
 www.hflenz.com



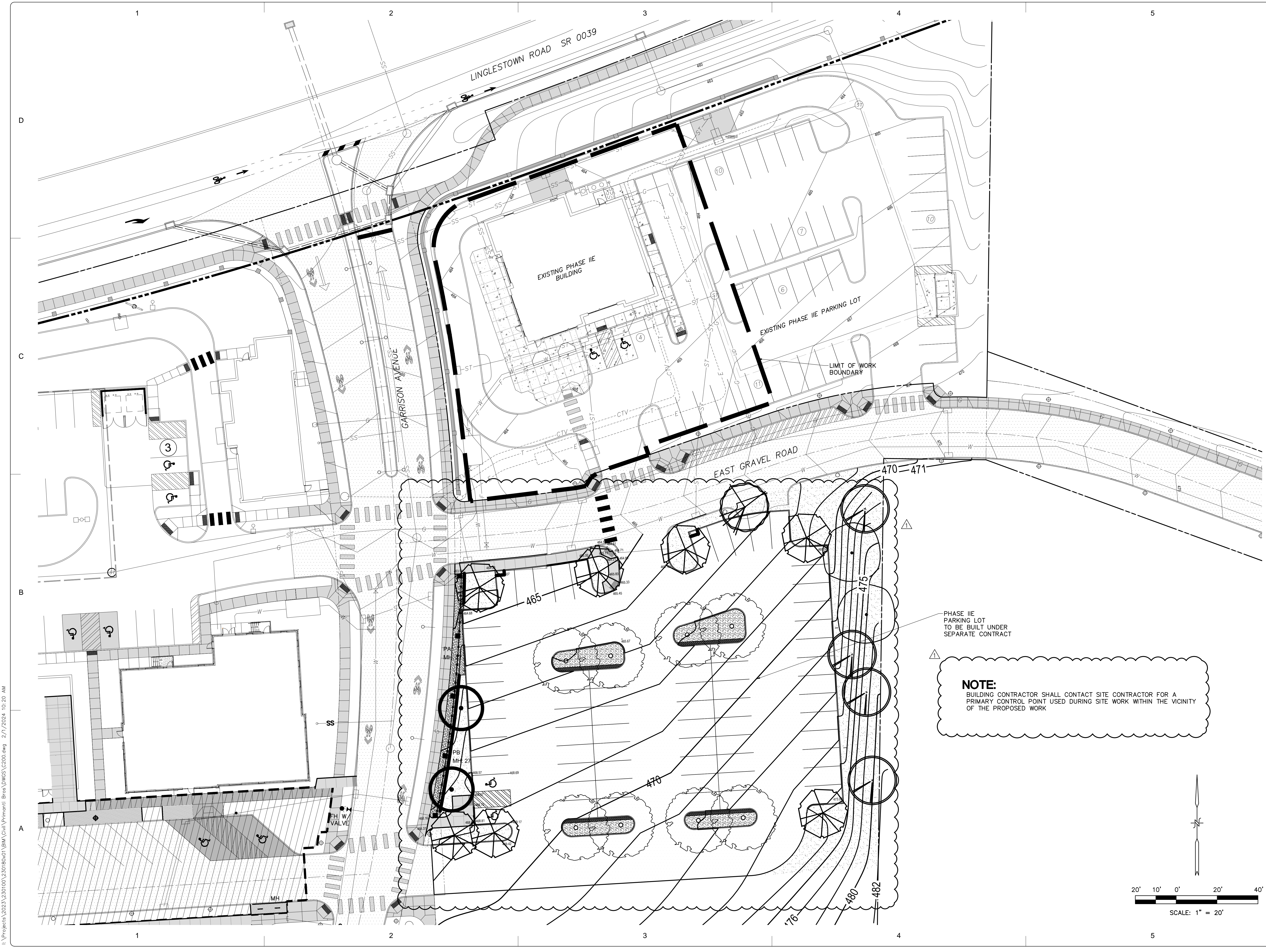
Project Identification:
SUSQUEHANNA UNION GREEN PHASE IIE BUILDING ADDITION SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA

No.:	Date:	Description:

Sheet Title:
GENERAL INFORMATION SHEET

Project No.:	2023-0180.01
Cadd File:	C100.dwg
Drawn By:	REA
Checked By:	LBG
Date:	12/04/2023
Copyright:	© 2023 H.F. LENZ COMPANY

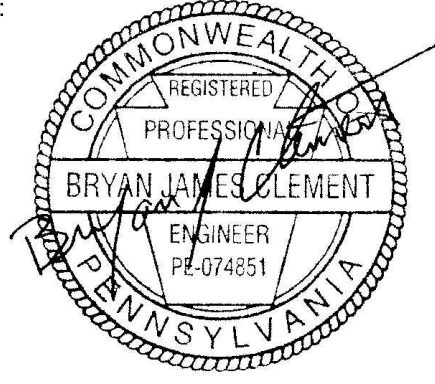
Drawing Number
C100
 Sheet 0 of 00



Consultants:



Seal:



Seal:

Project Identification:

**SUSQUEHANNA UNION
GREEN
PHASE IIE
BUILDING ADDITION
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PA**

No.: Date: Description:

2-1-24	AS PER TWP COMMENTS
--------	---------------------

Sheet Title:
**EXISTING CONDITIONS
PLAN**

Project No.: 2023-0180.01

Cadd File: C200.dwg

Drawn By: REA

Checked By: LBG

Date: 12/04/2023

Copyright: © 2023 H.F. LENZ COMPANY

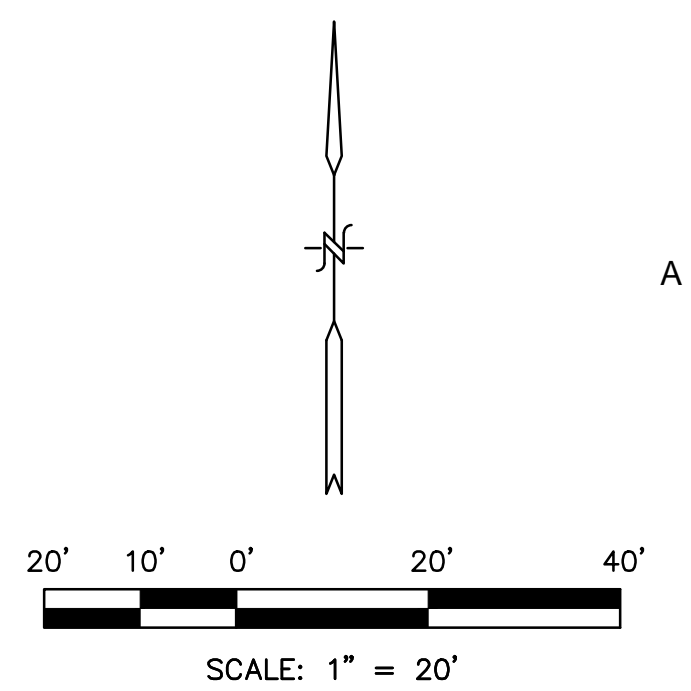
Drawing Number

C200

Sheet 0 of 00

PHASE IIE
PARKING LOT
TO BE BUILT UNDER
SEPARATE CONTRACT

NOTE:
BUILDING CONTRACTOR SHALL CONTACT SITE CONTRACTOR FOR A
PRIMARY CONTROL POINT USED DURING SITE WORK WITHIN THE VICINITY
OF THE PROPOSED WORK



I:\Projects\2023\20230100\230180.dwg | B:\A\Civil\Primant | Brea\DWGS\C200.dwg 2/17/2024 10:20 AM

Phasing Plan

Progress & Linglestown: TND

Phase	Disturbance (Ac.)	% of Total Development	Required
Phase I	21.72	37%	Minimum 25%
Phase II	13.24	21%	N/A
Phase III	6.25	11%	N/A
Phase IV	6.8	12%	N/A
Phase V	10.98	19%	N/A



Landscape Architecture
 95 South Tenth Street
 Pittsburgh, Pennsylvania 15203
 www.lbalandscapearchitecture.com
 412.488.8822



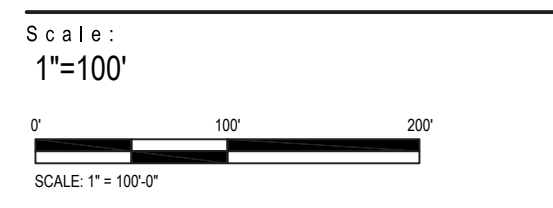
H.F. LENZ COMPANY
 1407 Scalp Avenue
 Johnstown, PA 15904
 Phone: 814-259-9300
 FAX: 814-259-9301

Susquehanna Union Green - Phase IIE Building Addition
 Susquehanna Township,
 Dauphin County, PA



Project Number:
 23015:1
 Drawn by:
 DM
 Checked by:
 FB/DM
 Date:
 January 19, 2024

Revisions:



Sheet Name:
 Phasing Plan

Submission:
 Final Land Development Plan

Sheet Number:
L100

Copyright 2024 by LBA Landscape Architecture. All rights reserved. No part of these drawings may be copied or reproduced in whole or part without the express written consent of owner.

Regulating Plan



Progress & Linglestown: TND

Legend

- Building - For Approval
- Building - Future Development
- Building - Approved
- Building - Constructed
- Future Site Work
- Parking Lot Light
- Street Light 1
- Street Light 2
- Street Light 3
- Parking
- Stairs
- Site Wall
- Street Wall
- Sidewalk
- Shared Lane Markings
- Crosswalk
- Contour - Major
- Contour - Minor
- Park Structure
- Canopy/Shade Tree
- Understory/Ornamental Tree
- Lawn
- Understory Planting
- Stormwater Management Area
- Floodplain
- Wetland
- Site Furnishings

Mixed-Use Compliance Table

Use	Acreage	% of Site	Required/ Permitted
Commercial Use	(+/-) 21.04	36%	50% Max.
Residential Use	(+/-) 36.24	62%	40% Min.
Total Tract	(+/-) 58.07	100%	
Green Space	(+/-) 17.22	30%	25% Min.
Residential Single Family Detached	(+/-) 13.70 GROSS	24%	5% Min.
Residential Multi-Family	(+/-) 22.54 GROSS	39%	5% Min./40% Max.

Multi-Family Residential Unit Count

Phase	Unit Count
Phase III	120
Phase IV	179

GENERAL NOTES:

- All property lines are build-to lines with the exception of R-1 (single family detached residences). Consult Design Guidelines for build-to lines for R-1.
- Consult Design Guidelines, Section 500 for sidewalk details, scoring patterns, crosswalk dimensions, and trail details.
- Consult Design Guidelines, Section 500 for street wall dimensions and details.
- Consult Design Guidelines, Section 500 for site lighting specifications and details.
- Consult Design Guidelines, Section 500 for site trees, stormwater screening, buffer yards, and landscaping design.
- Dimensions of all thoroughfares are provided on the Layout Plans C4.00A, C4.00B and C4.01-4.04. Consult the Design Guidelines, Section 500 for all thoroughfare pavement materials and design details.
- Single family housing unit footprints are shown for representation only.



Landscapes Architecture
 95 South Tenth Street
 Pittsburgh, Pennsylvania 15203
 www.lbalandscapearchitecture.com
 412.488.8822



Susquehanna Union Green - Phase IIE Building Addition
 Susquehanna Township,
 Dauphin County, PA



Project Number:
23015:1
 Drawn by:
DM
 Checked by:
FB/DM
 Date:
January 19, 2024

Revisions:

Scale:
1"=100'

Sheet Name:
Regulating Plan

Submission:
Final Land Development Plan

Sheet Number:
L101

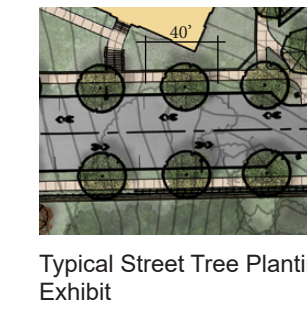
Copyright 2024 by LBA Landscape Architecture. All rights reserved. No part of these drawings may be copied or reproduced in whole or part without the express written consent of owner.

Streetscape Plan

Progress & Linglestown: TND

Legend

 Building - For Approval	 Parking	 Park Structure
 Building - Future Development	 Stairs	 Canopy/Shade Tree
 Building - Approved	 Site Wall	 Understory/Ornamental Tree
 Building - Constructed	 Street Wall	 Lawn
 Future Site Work	 Sidewalk	 Understory Planting
 Parking Lot Light	 Shared Lane Markings	 Floodplain
 Street Light 1	 Crosswalk	 Wetland
 Street Light 2	 Contour - Major	 Site Furnishings
 Street Light 3	 Contour - Minor	



GENERAL NOTES:

1. All property lines are build-to lines with the exception of R-1 (single family detached residences). Consult Design Guidelines for build-to lines for R-1.
2. Consult Design Guidelines, Section 500 for sidewalk details, scoring patterns, crosswalk dimensions, and trail details.
3. Consult Design Guidelines, Section 500 for street wall dimensions and details.
4. Consult Design Guidelines, Section 500 for site lighting specifications and details.
5. Consult Design Guidelines, Section 500 for street trees, stormwater screening, buffer yards, and landscaping design.
6. Dimensions of all thoroughfares are provided on the Layout Plans C4.00A, C4.00B and C4.01-4.04. Consult the Design Guidelines, Section 500 for all thoroughfare pavement materials and design details.
7. Single family housing unit footprints are shown for representation only.



Landscape Architecture

95 South Tenth Street
Pittsburgh, Pennsylvania 15203
www.lbalandscapearchitecture.com
412.488.8822



Susquehanna Union Green - Phase IIE Building Addition
Susquehanna Township, Dauphin County, PA



Project Number:
23015:1
Drawn by:
DM
Checked by:
FB/DM
Date:
January 19, 2024

Revisions:

Scale:
1"=100'
0 100 200
SCALE: 1" = 100'

Sheet Name:
Streetscape Plan

Submission:
Final Land Development Plan

Sheet Number:
L102

Copyright 2024 by LBA Landscape Architecture. All rights reserved. No part of these drawings may be copied or reproduced in whole or part without the express written consent of owner.

Public Realm Plan



Progress & Linglestown: TND

Legend

- Building - For Approval
- Building - Future Development
- Building - Approved
- Building - Constructed
- Future Site Work
- Parking Lot Light
- Street Light 1
- Street Light 2
- Street Light 3
- Parking
- Stairs
- Site Wall
- Street Wall
- Sidewalk
- Shared Lane Markings
- Crosswalk
- Contour - Major
- Contour - Minor
- Park Structure
- Canopy/Shade Tree
- Understory/Ornamental Tree
- Lawn
- Understory Planting
- Floodplain
- Wetland
- Site Furnishings

Gross Tract Area Requirements

	Provided	Acreage	Required/Permitted
Green Space	30%	17.22	25% min.
Greens	7%	4.26	3% min.

- GENERAL NOTES:
- All property lines are build-to lines with the exception of R-1 (single family detached residences). Consult Design Guidelines for build-to lines for R-1.
 - Consult Design Guidelines, Section 500 for sidewalk details, scoring patterns, crosswalk dimensions, and trail details.
 - Consult Design Guidelines, Section 500 for street wall dimensions and details.
 - Consult Design Guidelines, Section 500 for site lighting specifications and details.
 - Consult Design Guidelines, Section 500 for street trees, stormwater screening, buffer yards, and landscaping design.
 - Dimensions of all thoroughfares are provided on the Layout Plans C4.00A, C4.00B and C4.01-4.04. Consult the Design Guidelines, Section 500 for all thoroughfare pavement materials and design details.
 - Single family housing unit footprints are shown for representation only.



Landscape Architecture
 95 South Tenth Street
 Pittsburgh, Pennsylvania 15203
 www.lbalandscapearchitecture.com
 412.488.8822



Susquehanna Union Green - Phase IIE Building Addition
 Susquehanna Township,
 Dauphin County, PA



Project Number:
 23015:1
 Drawn by:
 DM
 Checked by:
 FB/DM
 Date:
 January 19, 2024

Revisions:

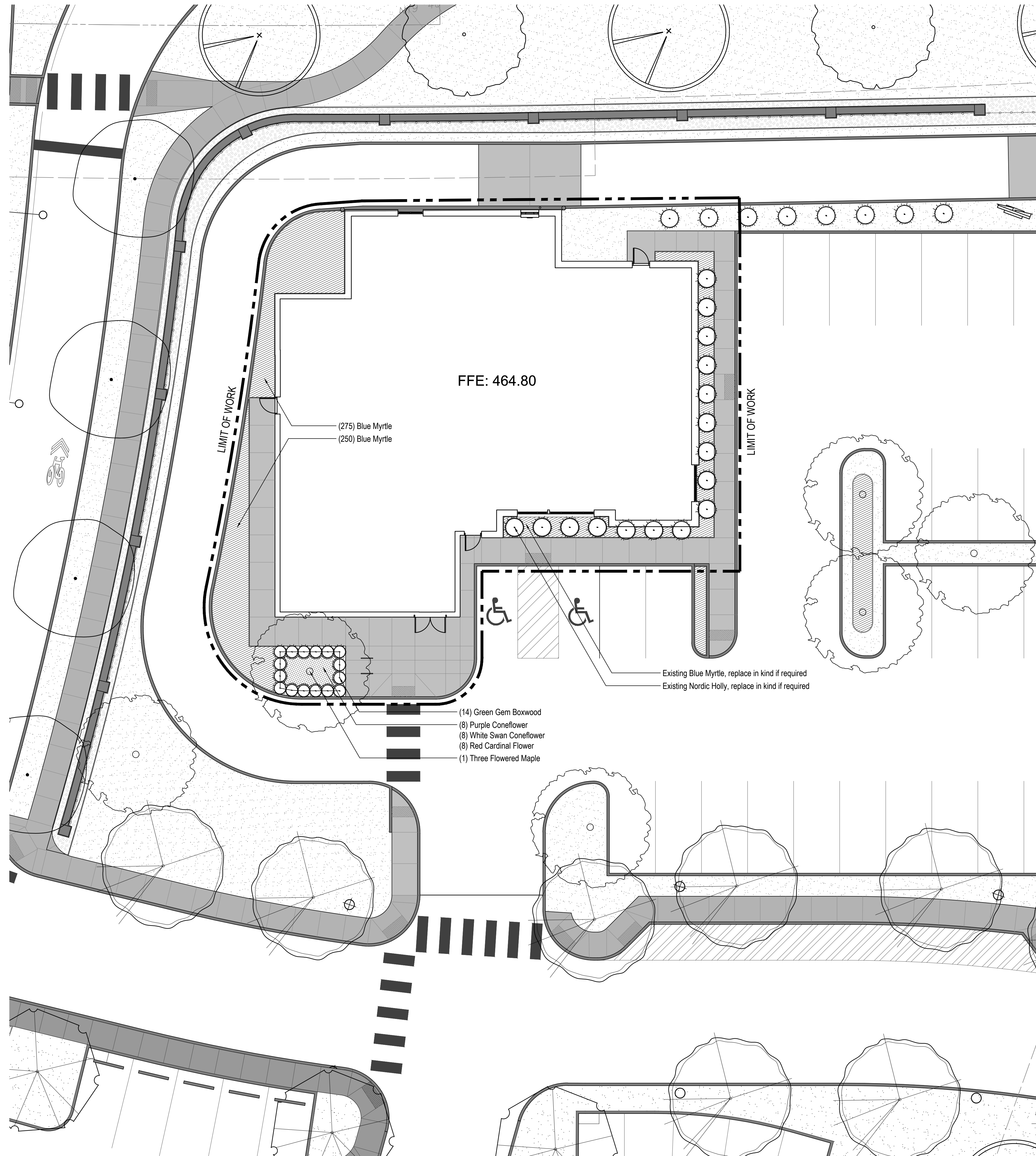
Scale:
 1"=100'

Sheet Name:
 Public Realm Plan

Submission:
 Final Land Development Plan

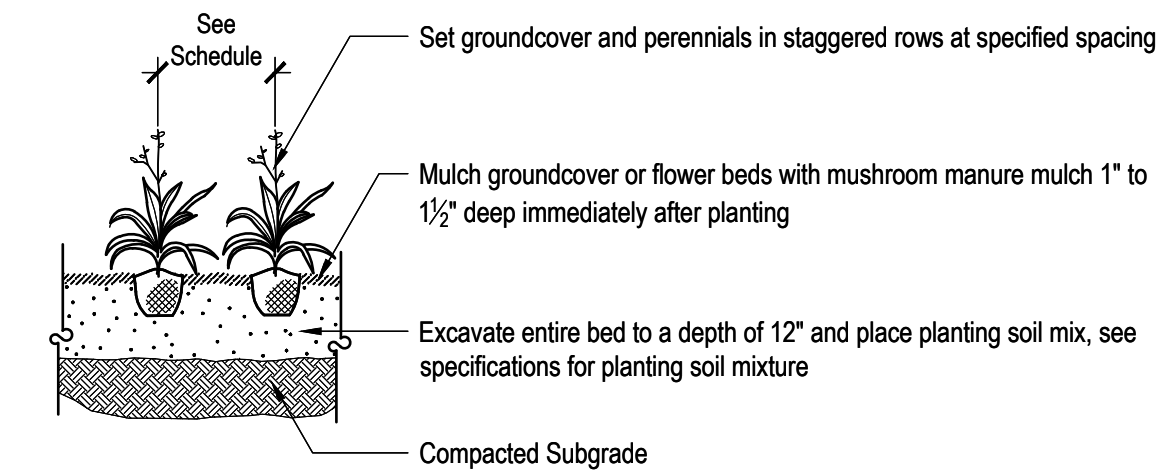
Sheet Number:
L103

Copyright 2024 by LBA Landscape Architecture. All rights reserved. No part of these drawings may be copied or reproduced in whole or part without the express written consent of owner.



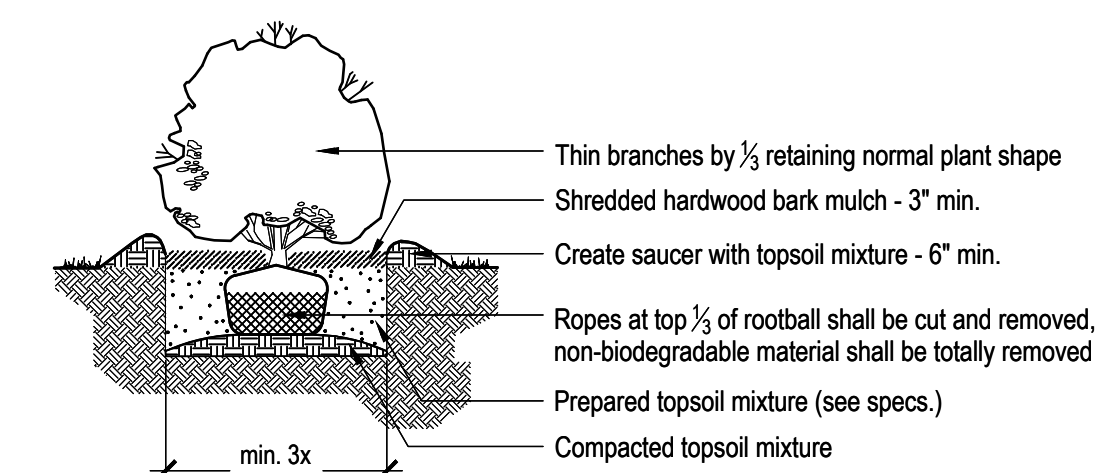
PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE
SHADE TREES			
1	Acer triflorum	Three Flowered Maple	2-1/2" - 3" Cal. B&B
SHRUBS			
14	Buxus x 'Green Gem'	Green Gem Boxwood	12" - 15" #3 Cont.
GRASSES AND GROUNDCOVER			
525	Vinca minor	Blue Myrtle	6" #1 Cont. (12" o.c.)
PERENNIALS			
8	Echinacea purpurea 'Magnus'	Purple Coneflower	Clump #2 Cont. (18" o.c.)
8	Echinacea purpurea 'White Swan'	White Swan Coneflower	Clump #2 Cont. (18" o.c.)
8	Lobelia cardinalis	Red Cardinal Flower	Clump #2 Cont. (18" o.c.)



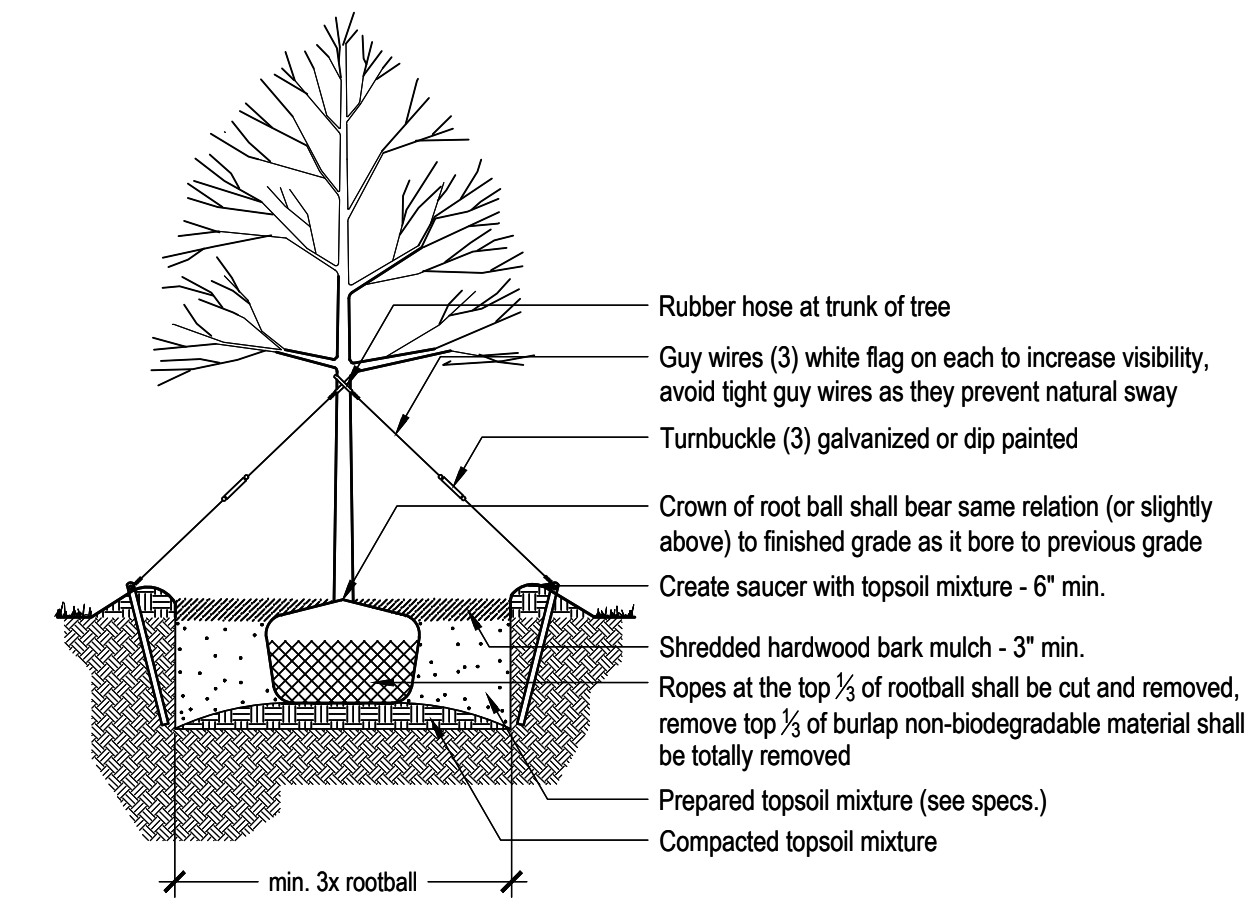
Note:
 1. All container grown groundcover and perennial plants shall be healthy, vigorous, well rooted and established in the container in which they are growing. A container grown groundcover and perennial plant shall have a well-established root system reaching the sides of the container to maintain a firm rootball. Container shall be rigid enough to hold ball shape and protect root mass during shipping and sized according to ANSI Z60.1-1996 for kind, type and size of plant required.

1 Perennial & Groundcover Planting Detail
 Scale: NTS



Note:
 1. Balled and burlapped plants dug with firm, natural balls of earth in which they are grown, with ball size not less than the diameter and depth recommended by ANSI Z60.1-1996 for type and size of tree or shrub required; wrapped, tied, rigidly supported, and drum-laced as recommended by ANSI Z60.1-1996.
 2. All container grown plants shall be healthy, vigorous, well rooted, and established in the container in which they are growing. A container grown plant shall have a well-established root system reaching the sides of the container to maintain a firm root ball. Container shall be rigid enough to hold ball shape and protect root mass during shipping and be sized according to ANSI Z60.1-1996 for kind, type, and size of plant required.

2 Shrub Planting Detail
 Scale: NTS



Note:
 1. Plants dug with firm, natural balls of earth in which they are grown, with ball size not less than the diameter and depth recommended by ANSI Z60.1-1996 for type and size of tree or shrub required; wrapped, tied, rigidly supported, and drum-laced as recommended by ANSI Z60.1-1996.

3 Tree Planting Detail
 Scale: NTS



Landscape Architecture

95 South Tenth Street
 Pittsburgh, Pennsylvania 15203
 www.lba-la.com
 412.488.8822



1107 Scalp Avenue
 Johnstown, PA 15901
 Phone: 814-269-9300
 FAX: 814-269-9301

**Susquehanna Union
 Green - Phase IIE
 Building Addition**
 Susquehanna Township,
 Dauphin County, PA

Project Number:
 23015:1
 Drawn by:
 DM
 Checked by:
 FB/DM
 Date:
 January 19, 2024

Revisions:



Sheet Name:

Submission:
 Final Land Development Plan

Sheet Number:

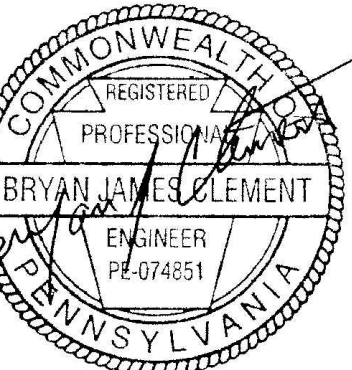
L600

Copyright 2024 by LBA Landscape Architecture. All rights reserved. No part of these drawings may be copied or reproduced in whole or part without the express written consent of owner.

Consultants:



Seal:



Seal:

Project Identification:

**SUSQUEHANNA UNION
GREEN
PHASE IIE
BUILDING ADDITION
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PA**

No.: Date: Description:

2-1-24 AS PER TWP COMMENTS

Sheet Title:
**DEMOLITION
PLAN**

Project No.: 2023-0180.01

Cadd File: C300.dwg

Drawn By: REA

Checked By: LBG

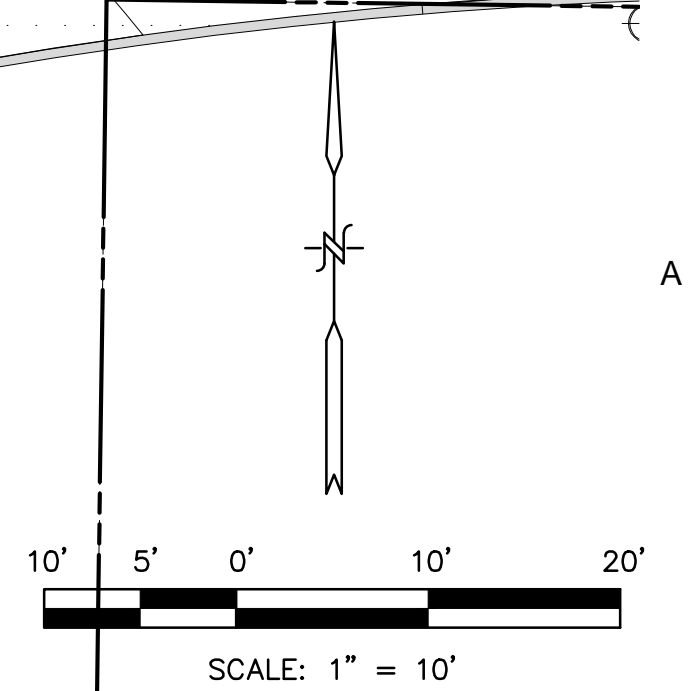
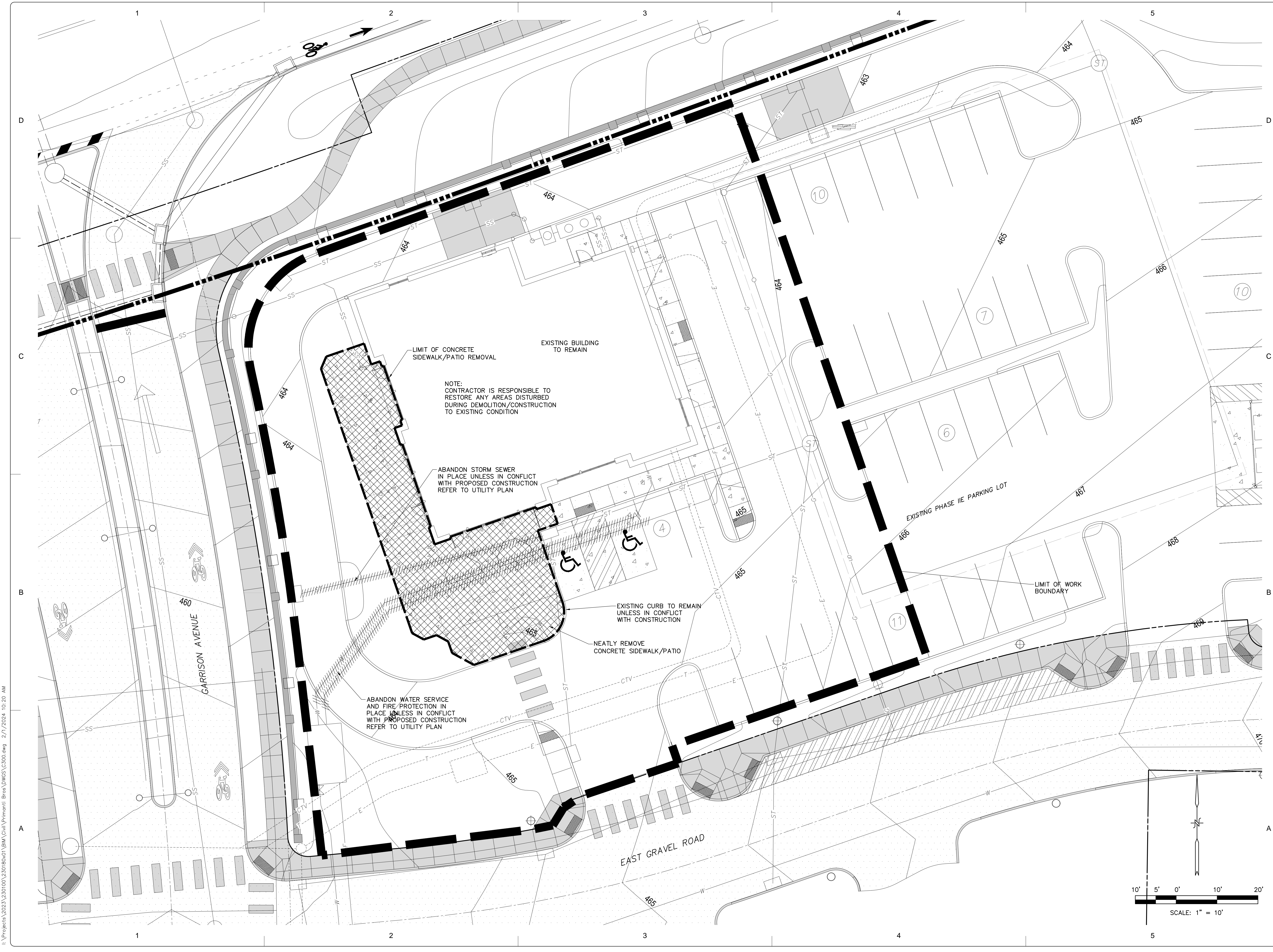
Date: 12/04/2023

Copyright: © 2023 H.F. LENZ COMPANY

Drawing Number

C300

Sheet 0 of 00

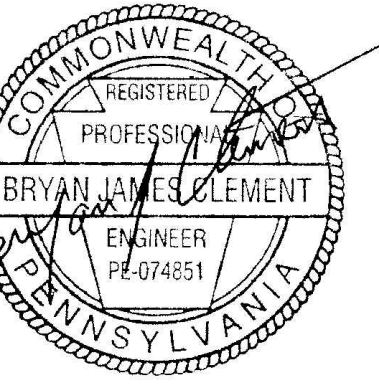


I:\Projects\2023\20230100\C300\180x01_BMA\Civil\Primantl_Bra\DWG\C300.dwg 2/1/2024 10:20 AM

Consultants:



Seal:



Seal:

Project Identification:

**SUSQUEHANNA UNION
GREEN
PHASE IIE
BUILDING ADDITION
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PA**

No.: Date: Description:

2-1-24 AS PER TWP COMMENTS

Sheet Title:
SITE PLAN

Project No.: 2023-0180.01

Cadd File: C400.dwg

Drawn By: REA

Checked By: LBG

Date: 12/04/2023

Copyright: © 2023 H.F. LENZ COMPANY

Drawing Number

C400

Sheet 0 of 00

NOTE:
ALL ROOF MOUNTED EQUIPMENT SHALL
BE SCREENED FROM VIEW

EXISTING BUILDING
TO REMAIN

BUILDING ADDITION
AREA=1,267.1 SF
REFER TO ARCHITECTURAL
PLANS

EXISTING PHASE IIE PARKING LOT

LIMIT OF WORK
BOUNDARY

EAST GRAVEL ROAD

CARRISON AVENUE

DOOR

MATCH TO
EXISTING

DOOR

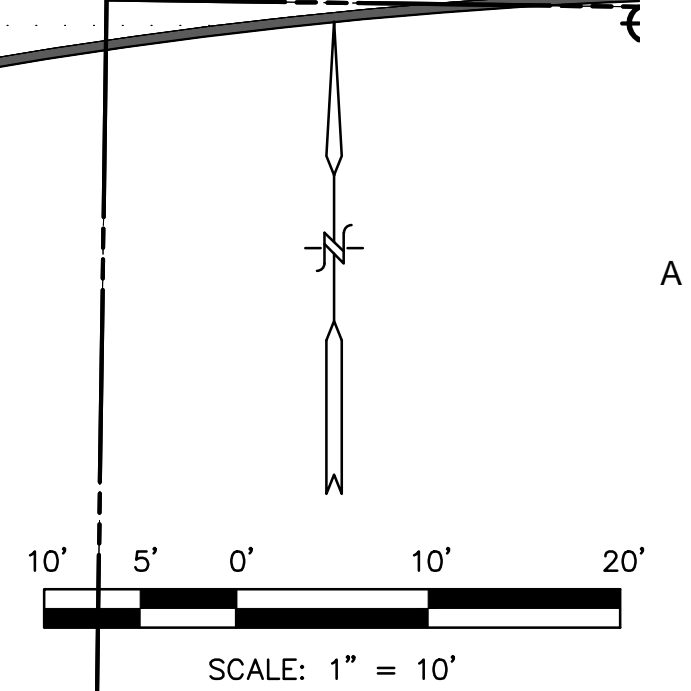
REBUILD ACCESSIBLE
RAMP

BIKE RACKS

PROPOSED
CONCRETE SIDEWALK

LANDSCAPE
AREA

LIMIT OF
PROPOSED
SIDEWALK

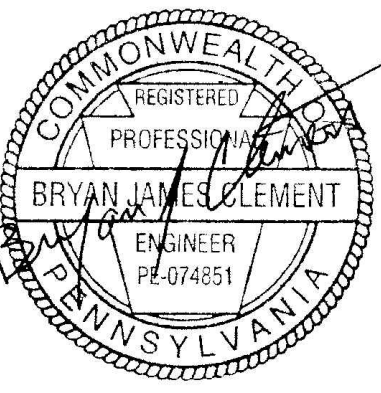


I:\Projects\2023\20230100\230180.dwg\BMA\Civil\Primant\Bma\DWGS\C400.dwg 2/1/2024 10:19 AM

Consultants:



Seal:



Seal:

Project Identification:

**SUSQUEHANNA UNION
GREEN
PHASE IIE
BUILDING ADDITION
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PA**

No.: Date: Description:

2-1-24	AS PER TWP COMMENTS
--------	---------------------

Sheet Title:
UTILITY PLAN

Project No.: 2023-0180.01

Cadd File: C500.dwg

Drawn By: REA

Checked By: LBG

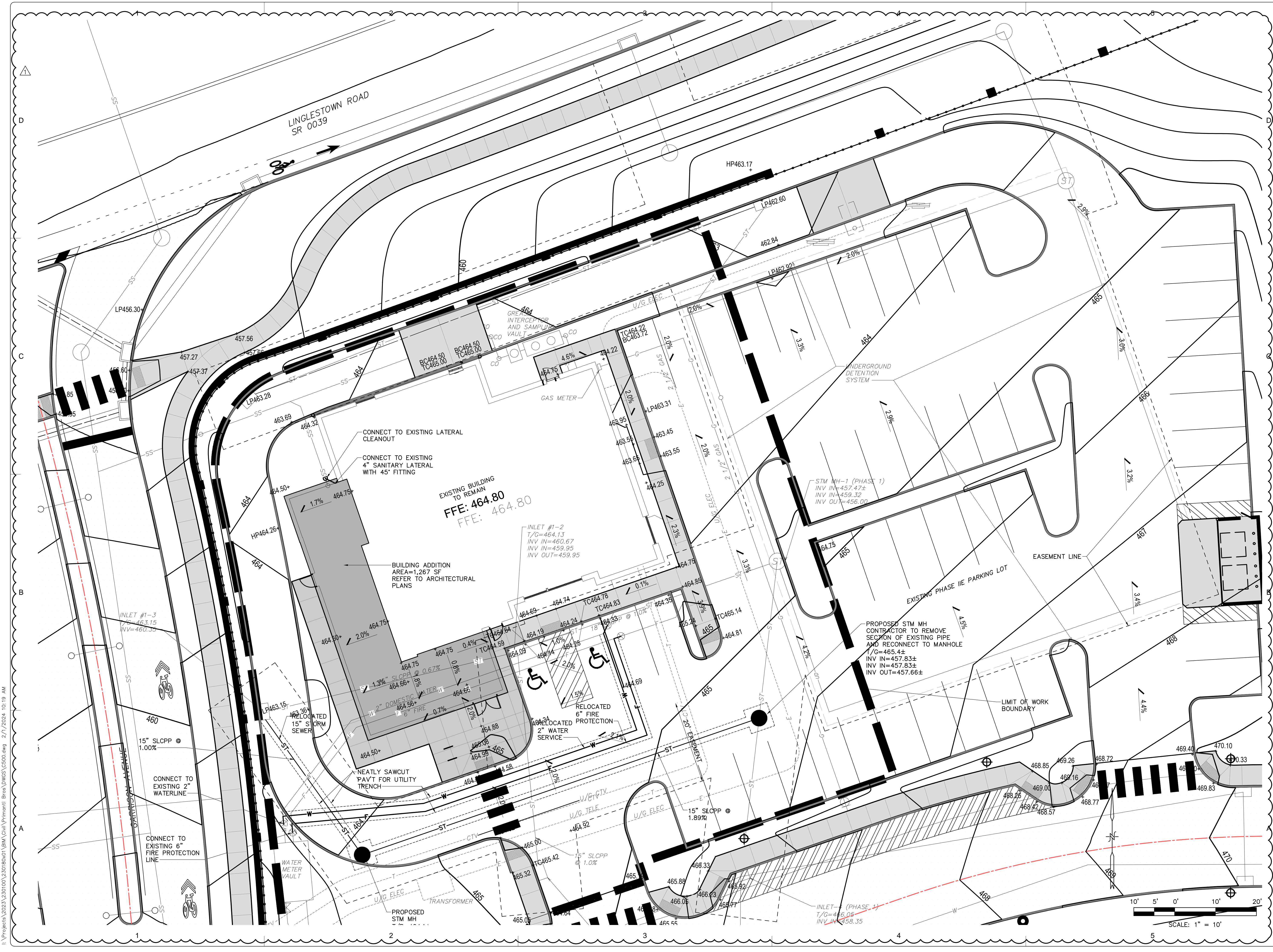
Date: 12/04/2023

Copyright: © 2023 H.F. LENZ COMPANY

Drawing Number

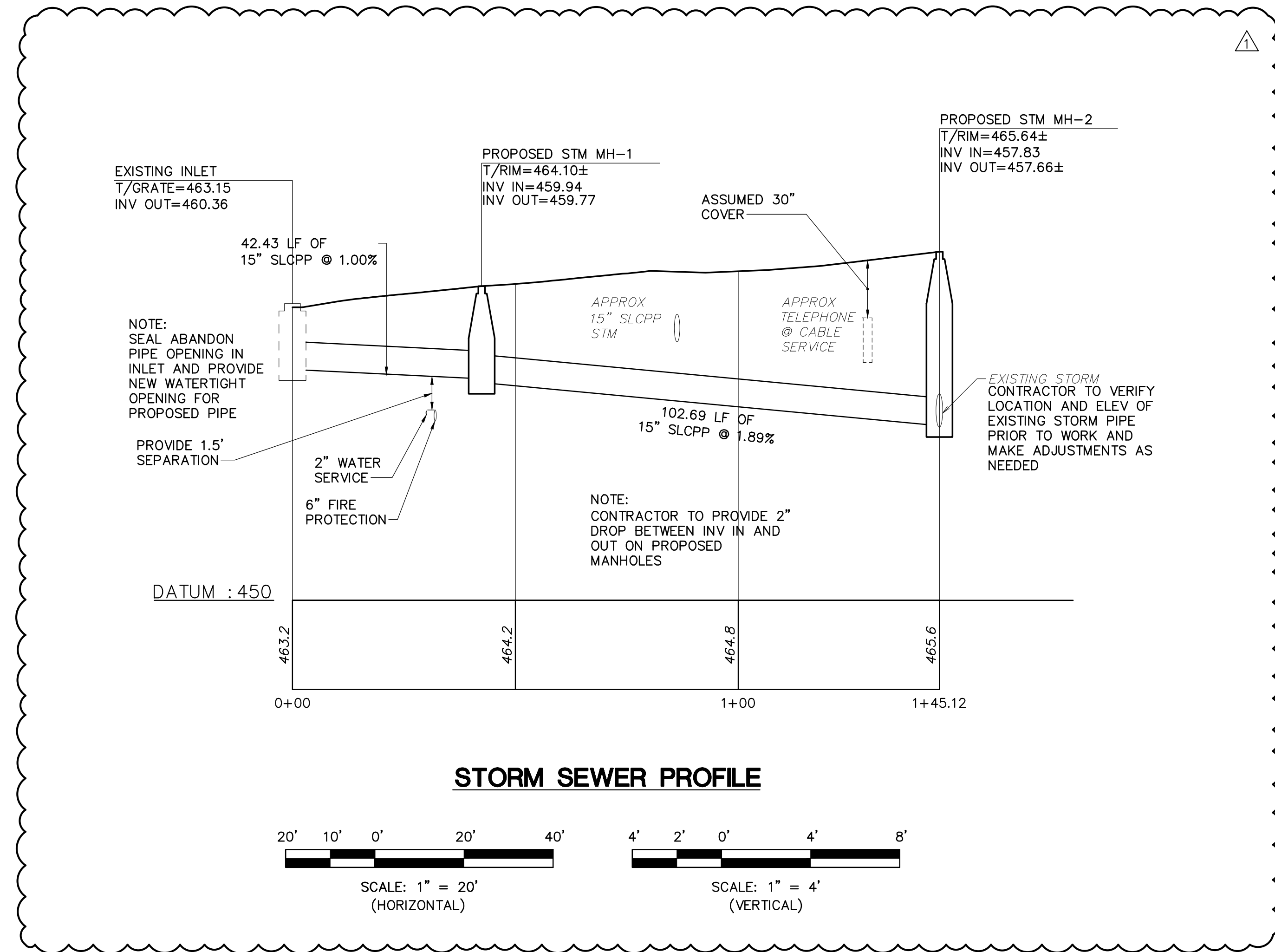
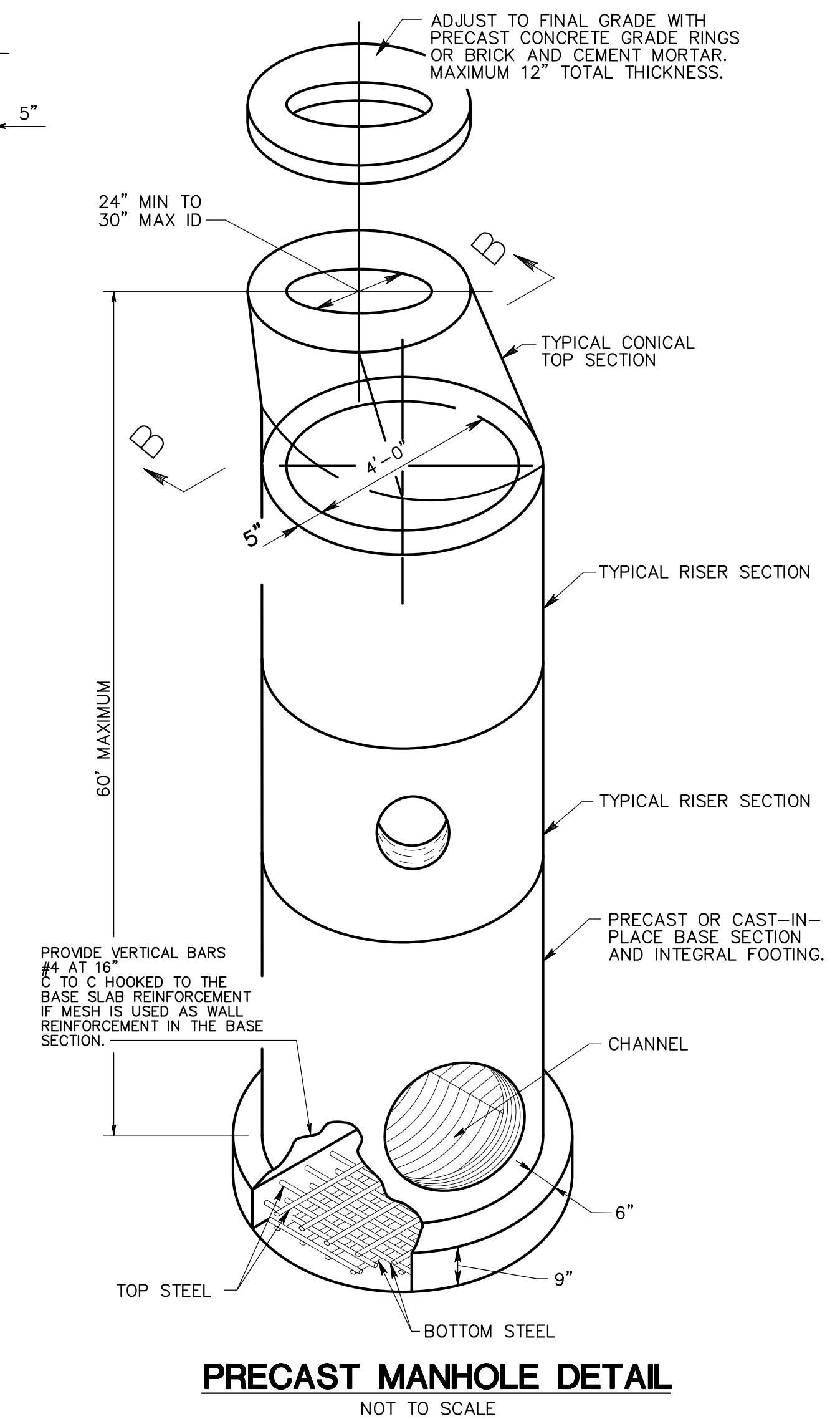
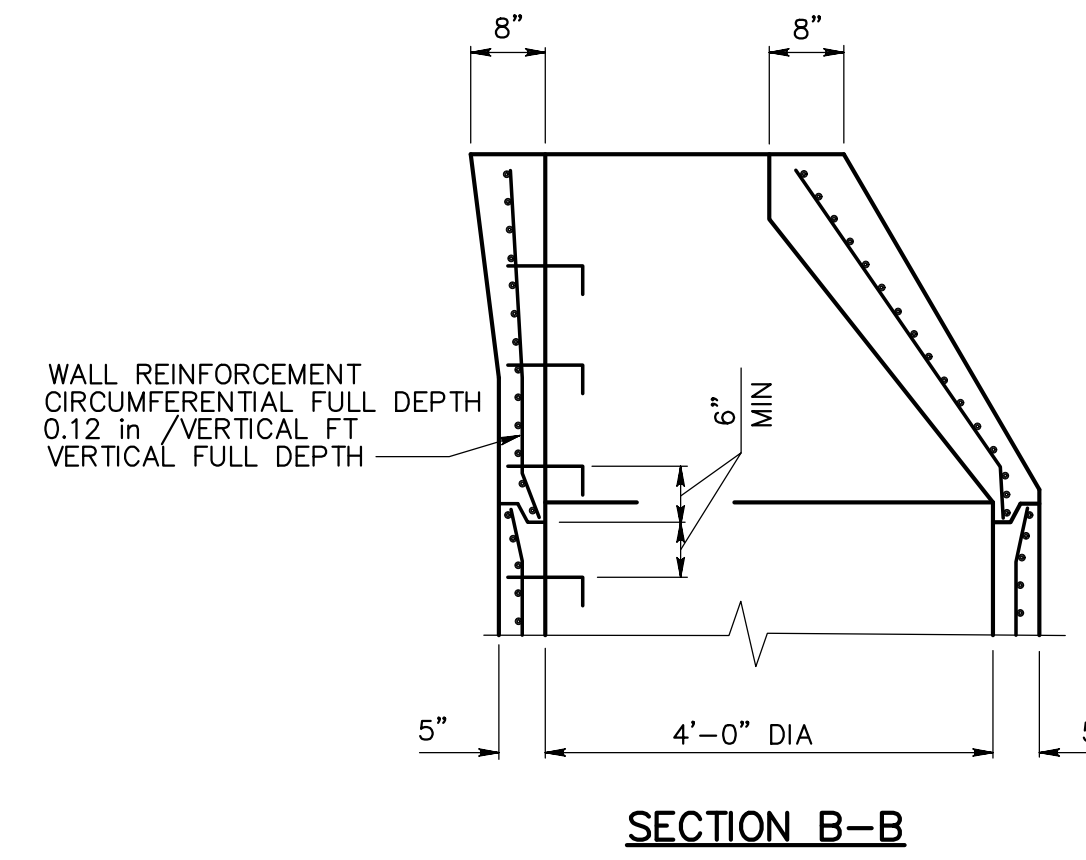
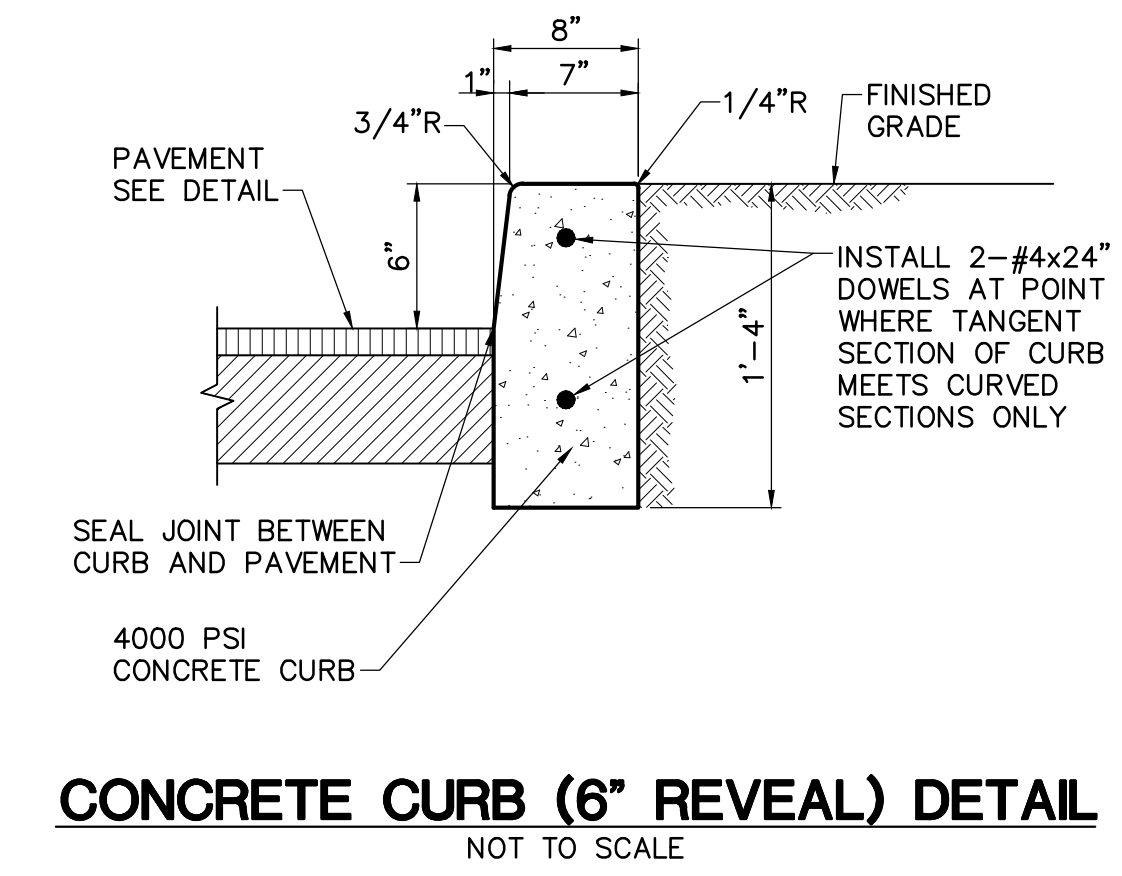
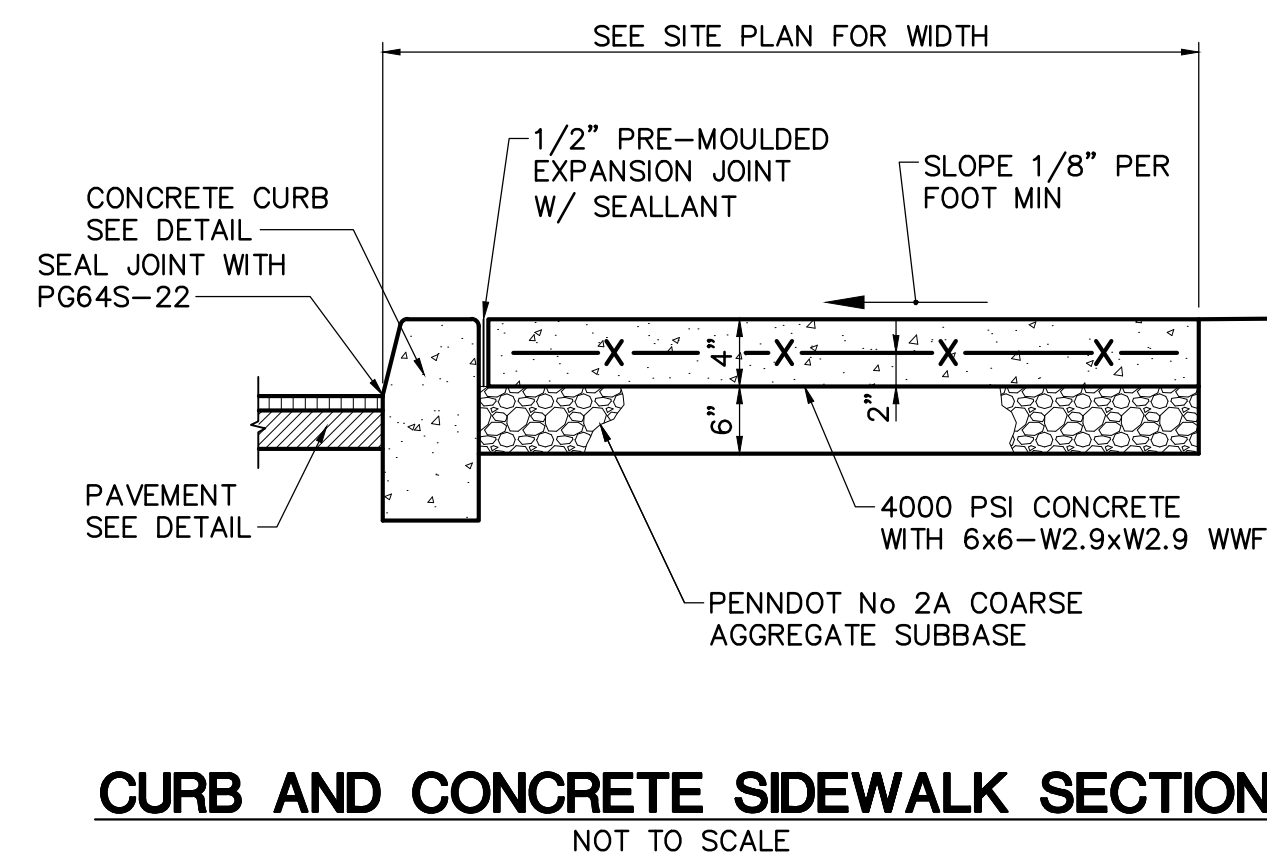
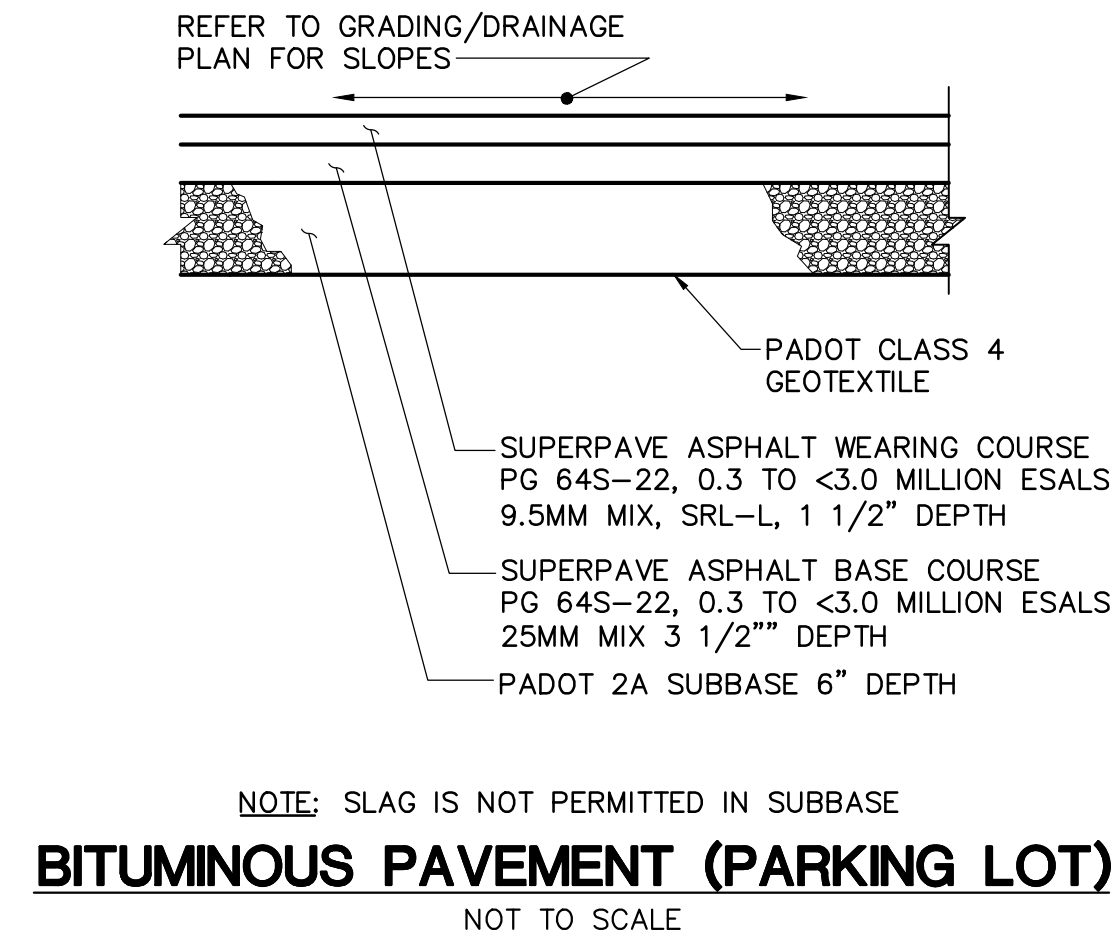
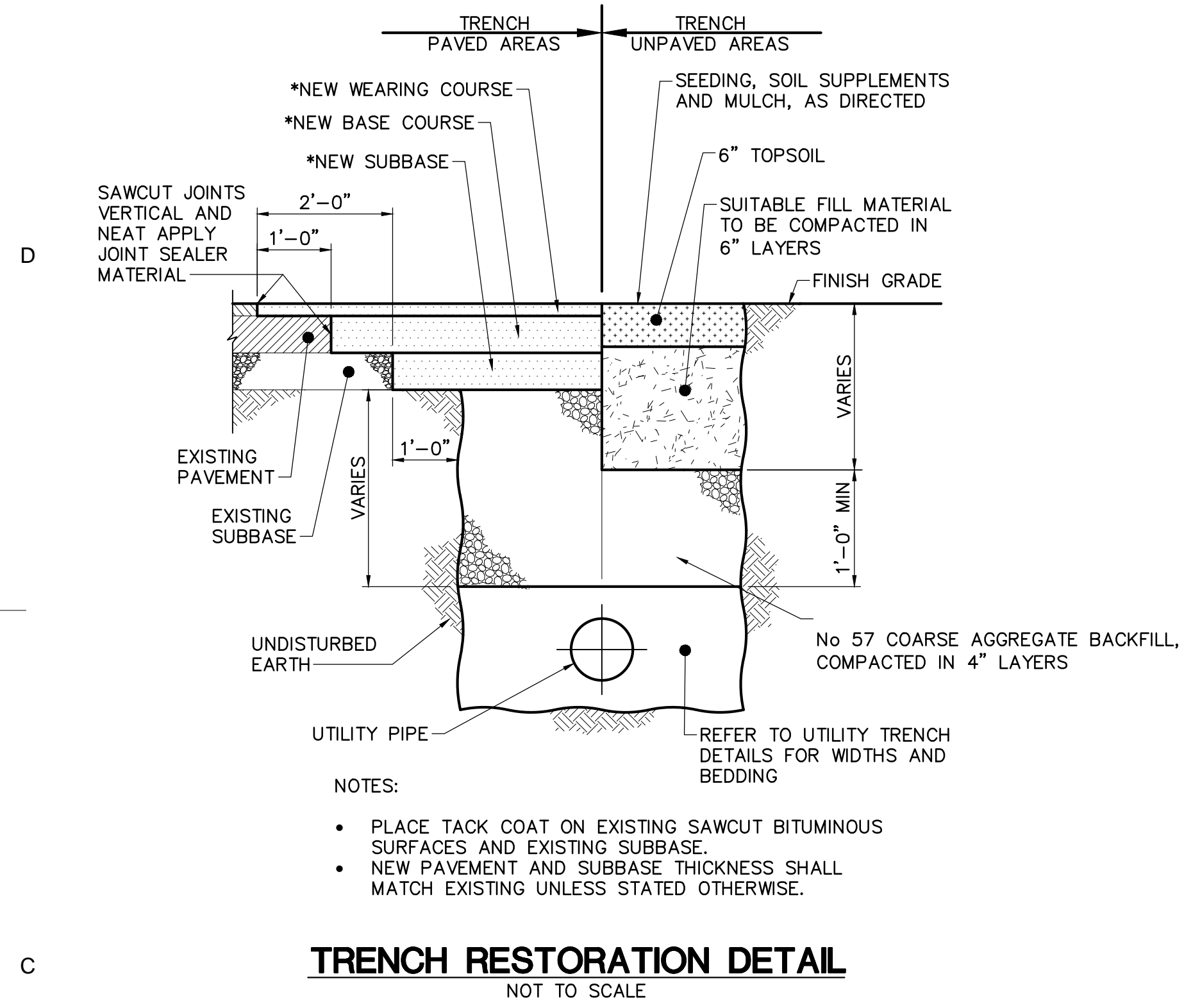
C500

Sheet 0 of 00



I:\Projects\2023\20230180\01\BMA\Civil\Primant\Bma\DWG\C500.dwg 2/1/2024 10:19 AM

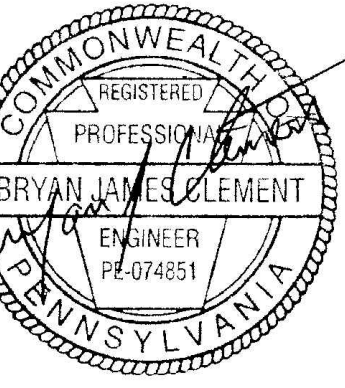
GENERAL NOTES:1



Consultants:



Seal:



Seal:

Project Identification:

SUSQUEHANNA UNION GREEN PHASE IIE BUILDING ADDITION SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA

No.:	Date:	Description:
1	2-1-24	AS PER TWP COMMENTS

Sheet Title: **SITE DETAILS**

Project No.: 2023-0180.01

Cadd File: C600.dwg

Drawn By: REA

Checked By: LBG

Date: 12/04/2023

Copyright: © 2023 H.F. LENZ COMPANY

Drawing Number

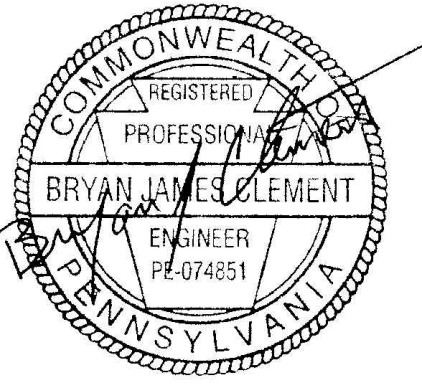
C600

Sheet 0 of 00

Consultants:



Seal:



Seal:

Project Identification:

**SUSQUEHANNA UNION
GREEN
PHASE IIE
BUILDING ADDITION
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PA**

No.: Date: Description:

No.:	Date:	Description:

Sheet Title:
SITE DETAILS

Project No.: 2023-0180.01

Cadd File: C600.dwg

Drawn By: REA

Checked By: LBG

Date: 12/04/2023

Copyright: © 2023 H.F. LENZ COMPANY

Drawing Number

C601

Sheet 0 of 00

WATER LINE INSTALLATION

WATER LINE INSTALLATION (BEDDING AND BACKFILL) TO BE IN ACCORDANCE WITH SUEZ WATER PENNSYLVANIA, INC GUIDELINES. ALL LAYING, JOINING, AND TESTING SHALL BE PERFORMED IN THE PRESENCE OF THE WATER COMPANY AND SHALL BE SUBJECT TO ITS APPROVAL BEFORE ACCEPTANCE. WATERLINE MUST BE INSPECTED AND APPROVED BY THE WATER COMPANY PRIOR TO BACKFILLING. THE CONTRACTOR MUST NOTIFY THE WATER COMPANY THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION SO THEY CAN SCHEDULE AN INSPECTOR TO OVERSEE CONSTRUCTION. ALL COSTS ASSOCIATED WITH THE REQUIRED INSPECTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL WATER LINES MUST SUCCESSFULLY PASS A PRESSURE TEST AND BACTERIA TEST IN THE PRESENCE OF THE WATER COMPANY'S INSPECTOR PRIOR TO THE LINES BEING PLACED INTO SERVICE.

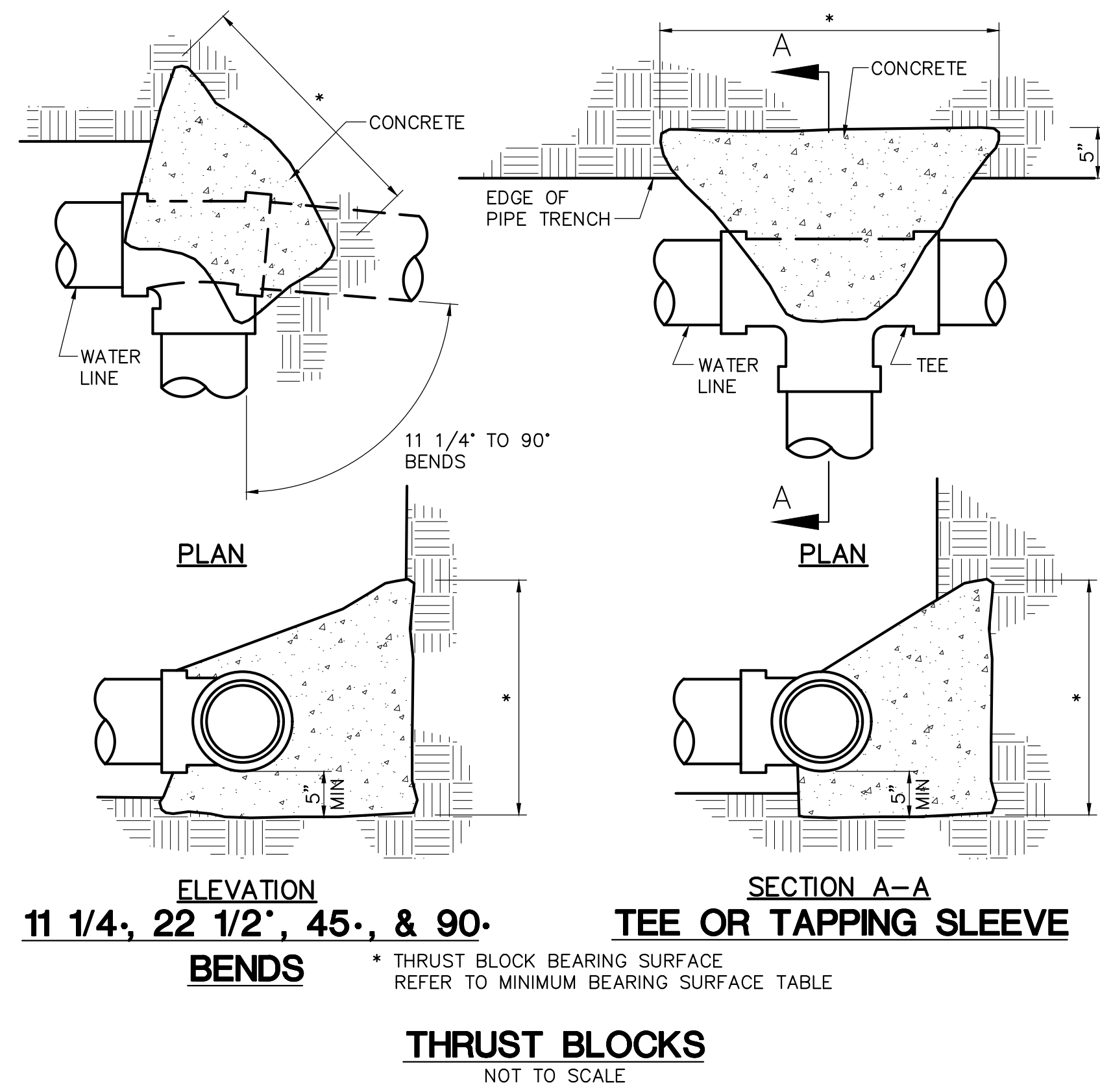
EXISTING WATER MAINS ARE SHOWN FOR GENERAL INFORMATION ONLY, BASED ON LIMITED DATA. NO GUARANTEE IS MADE CONCERNING HORIZONTAL OR VERTICAL ALIGNMENT, PIPE SIZE, OR PIPE TYPE. CONTRACTOR SHALL PERFORM EXPLORATORY EXCAVATIONS AT ALL POINTS OF CONNECTION.

CONTRACTOR SHALL DETERMINE PIPE SIZES, TYPES AND HORIZONTAL AND VERTICAL ALIGNMENT PRIOR TO ORDERING ANY COUPLINGS, FITTINGS, ETC. CONTRACTOR SHALL COORDINATE ANY REQUIRED WATER SHUTDOWNS AND TAP TO EXISTING SYSTEM WITH THE WATER COMPANY.

MAINTAIN A MINIMUM DEPTH OF 5'-0" FROM INVERT OF NEW WATER LINE TO FINISHED GRADE.

CONTRACTOR TO SUBMIT SHOP DRAWINGS OF THE MATERIALS TO BE USED FOR THE WATER SYSTEM TO WATER COMPANY AND SUSQUEHANNA TOWNSHIP OR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

MEGA LUG RETAINER GLAND SETS MUST BE USED ON ALL FITTINGS.



THRUST BLOCK BEARING AREA
THRUST BLOCKING AT 100 PSI WORKING PRESSURE

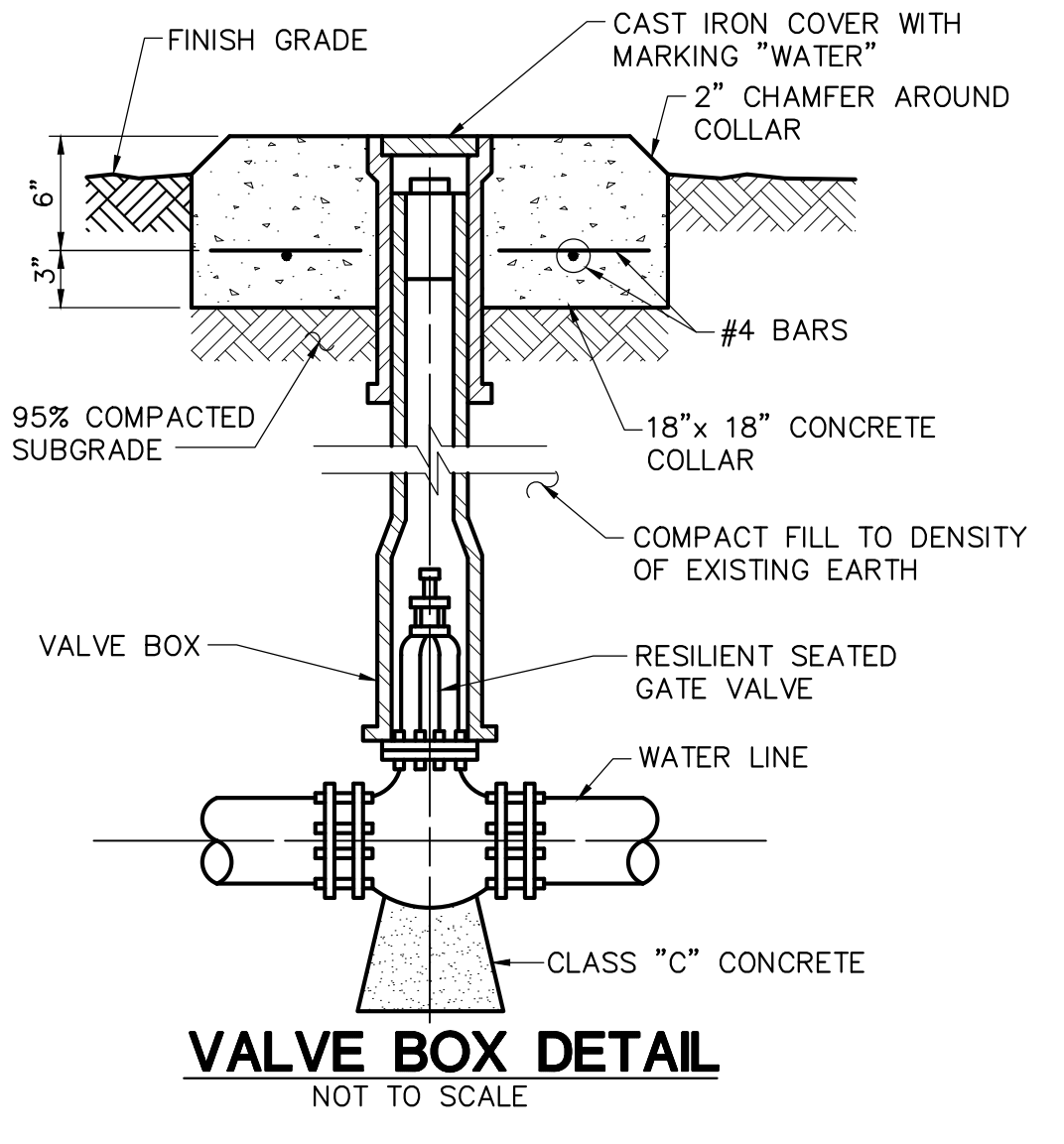
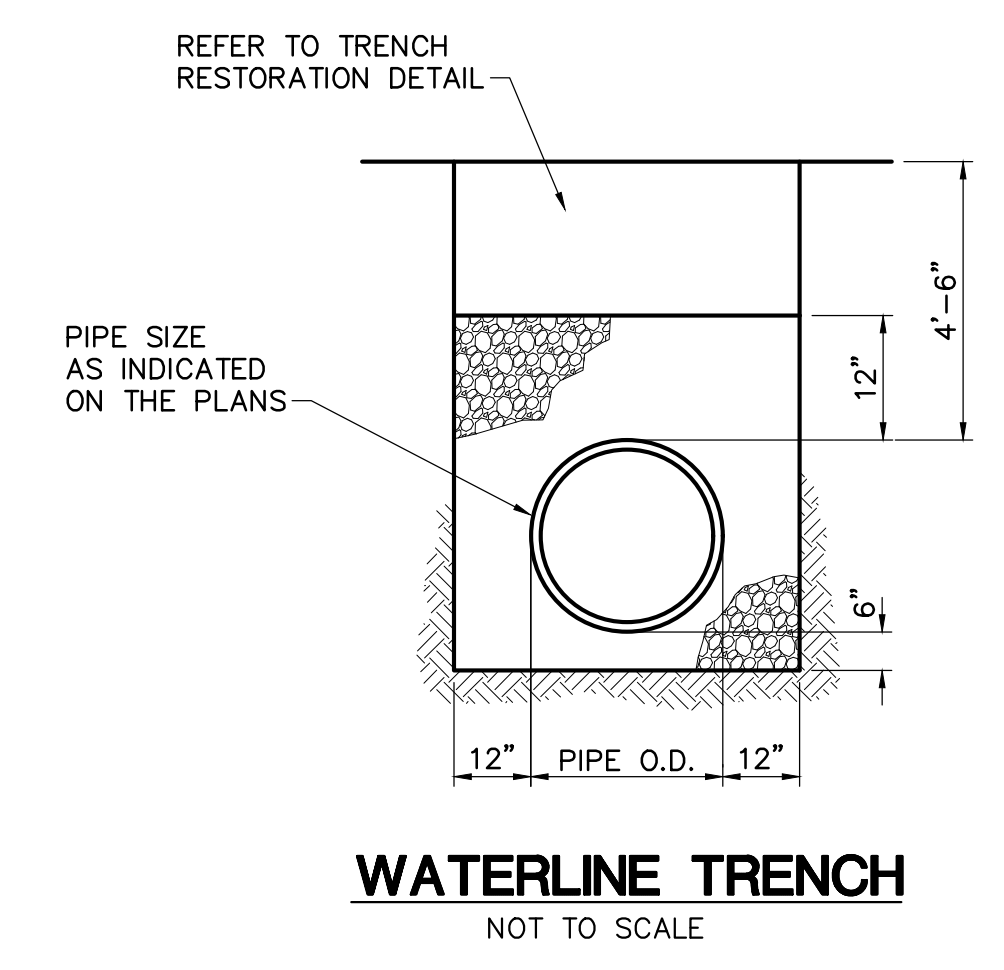
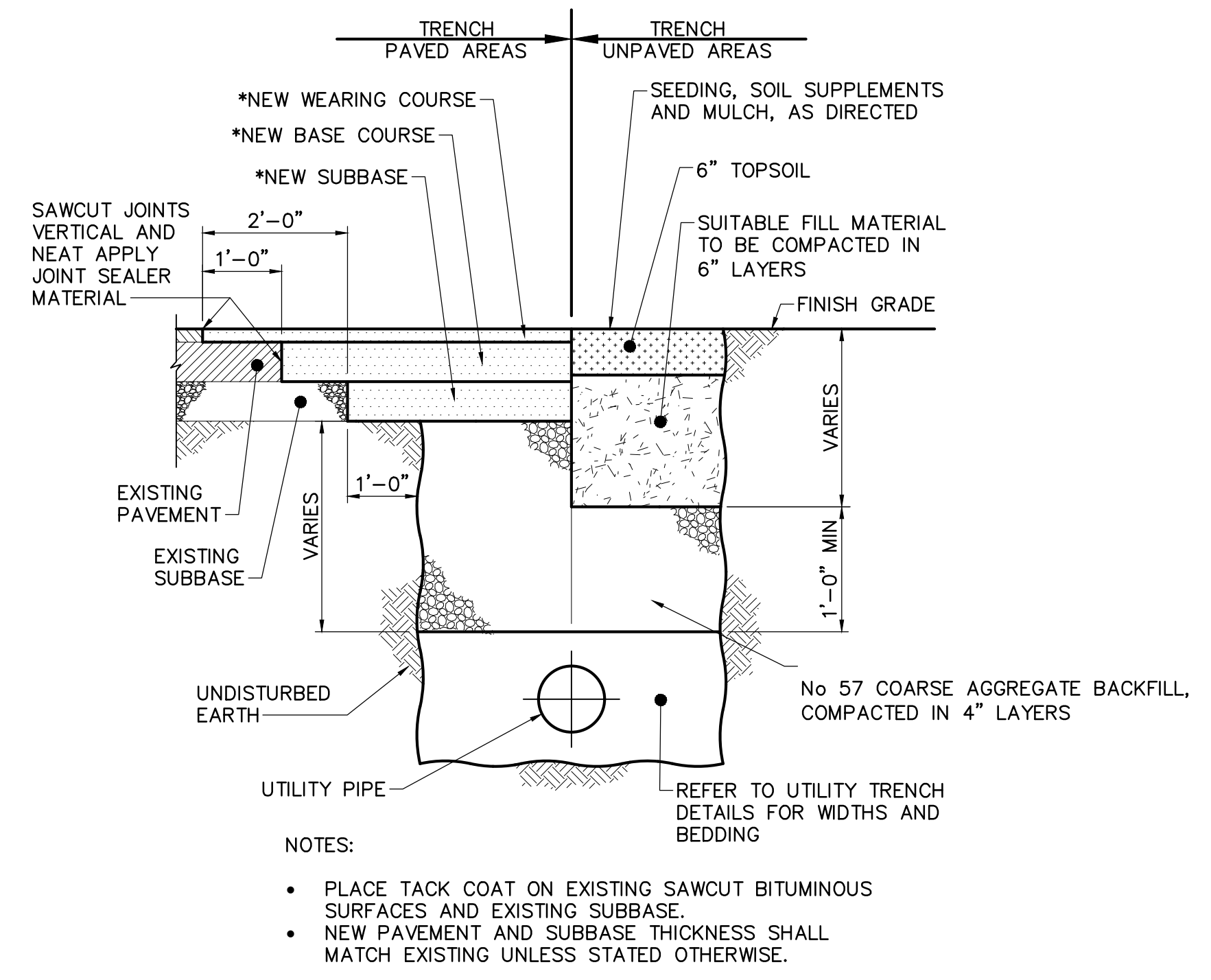
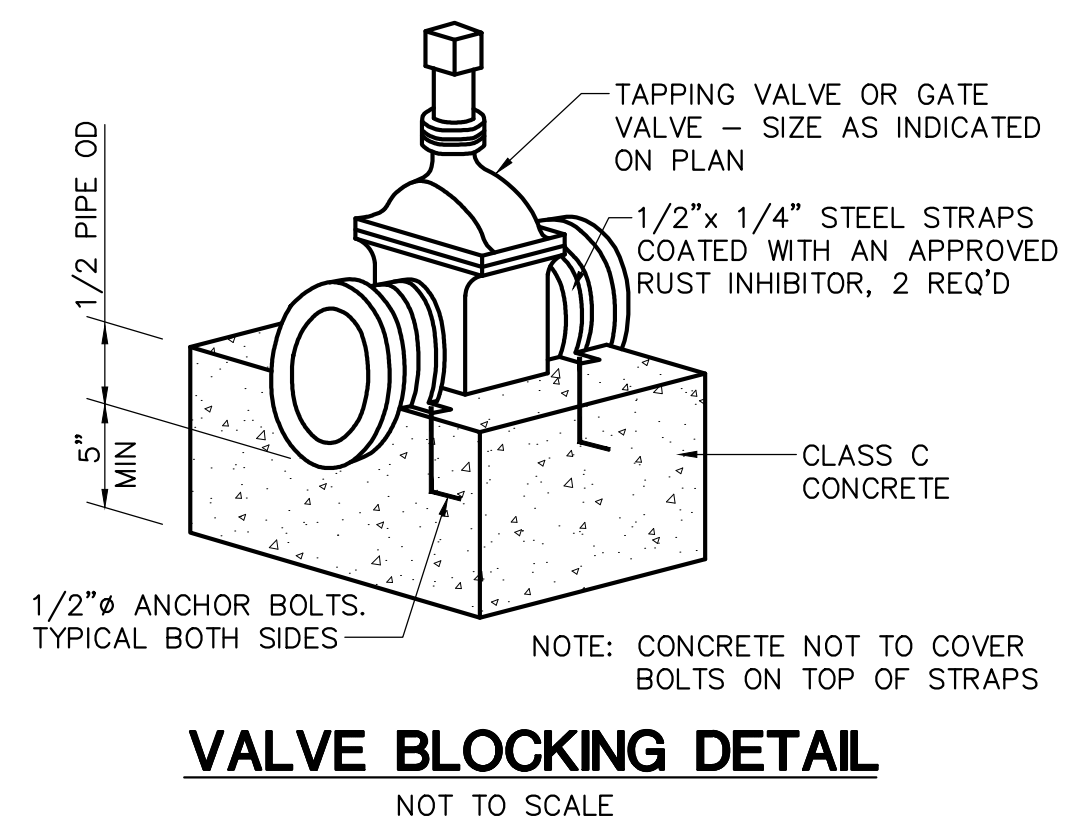
PIPE SIZE INCHES	MIN. BEARING SURFACE REQUIRED - S.F.				
	11 1/4' BEND	22 1/2' BEND	45° BEND	90° BEND	TEES & PLUGS
4	1.0	1.0	1.0	1.0	1.0
6	1.0	1.0	1.5	2.5	2.0
8	1.0	1.5	2.5	4.0	3.0
10	1.0	2.0	3.5	6.5	5.0
12	1.5	2.5	5.0	9.0	7.0

THRUST BLOCKING AT 150 PSI WORKING PRESSURE

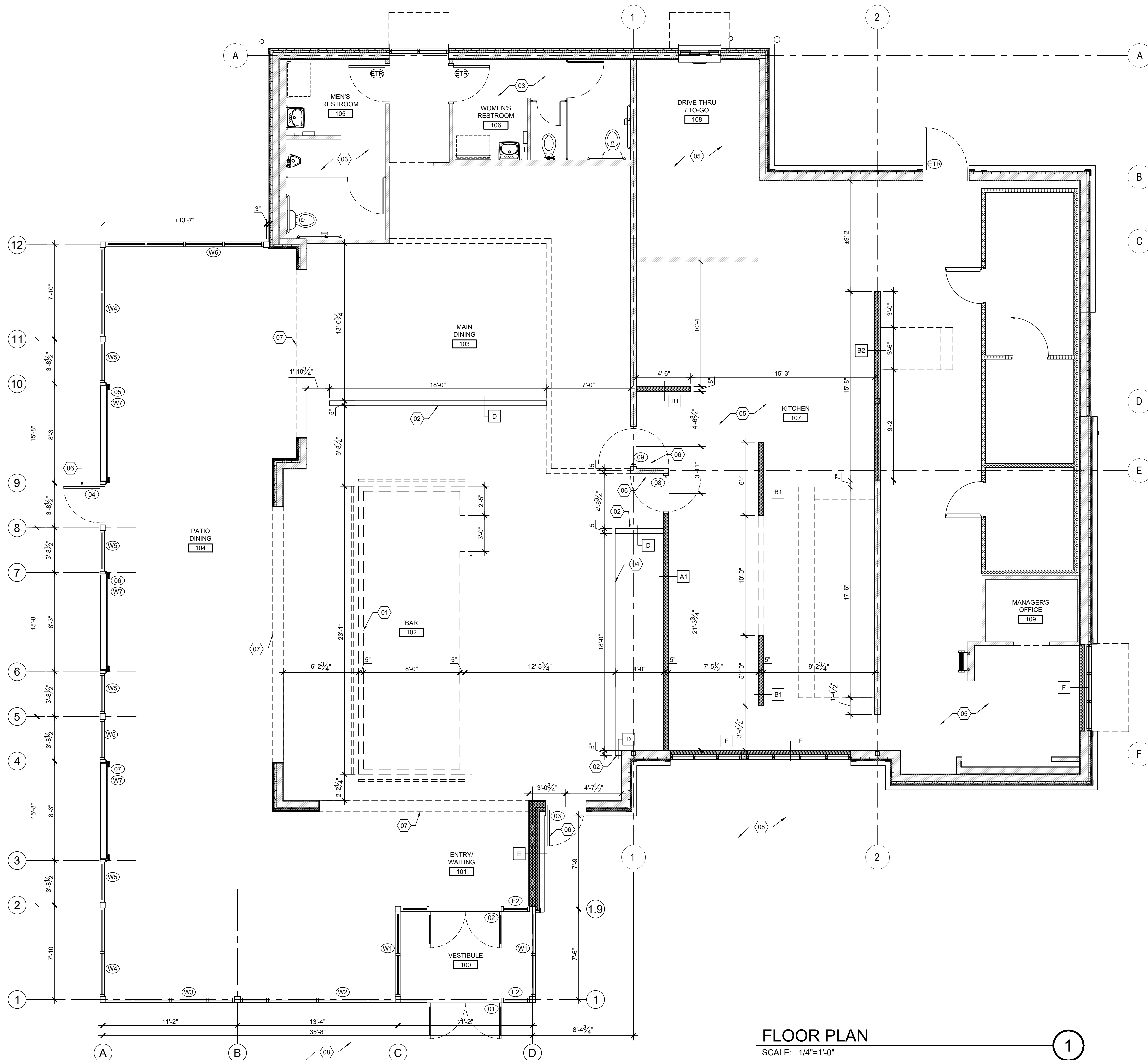
PIPE SIZE INCHES	MIN. BEARING SURFACE REQUIRED - S.F.				
	11 1/4' BEND	22 1/2' BEND	45° BEND	90° BEND	TEES & PLUGS
4	1.5	1.5	1.5	1.5	1.5
6	1.5	1.5	2.0	4.0	3.0
8	1.5	2.0	4.0	7.0	5.0
10	1.5	3.0	5.5	10.5	7.5
12	2.0	4.0	8.0	14.5	10.5

THRUST BLOCKING AT 200 PSI WORKING PRESSURE

PIPE SIZE INCHES	MIN. BEARING SURFACE REQUIRED - S.F.				
	11 1/4' BEND	22 1/2' BEND	45° BEND	90° BEND	TEES & PLUGS
4	2.0	2.0	2.0	2.0	2.0
6	2.0	2.0	3.0	5.5	4.0
8	2.0	2.5	5.0	9.0	6.5
10	2.0	4.0	7.5	14.0	10.0
12	3.0	5.5	10.5	19.5	14.0



I:\Projects\2023\20230100\230180.dwg (B:\DWG\DWG\Civil\Primant\Brea\DWG\C600.dwg 2/17/2024 8:28 AM



FLOOR PLAN

SCALE: 1/4"=1'-0"

1

- GENERAL NOTES**
- INTERIOR DIMENSIONS ARE FROM FACE OF GYP. BD. TO FACE OF GYP. BD. UNLESS NOTED OTHERWISE. (U.N.O.)
 - WORK SHALL FULLY COMPLY WITH GOVERNING CODES, ORDINANCES, RESTRICTIONS, AND NATIONAL ELECTRIC CODE. TAKE NECESSARY SAFETY MEASURES AND COMPLY WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS FOR PUBLIC PROTECTION (BARRICADES, SIGNS, DUST BARRIERS, ETC.)
 - A CERTIFICATE OF OCCUPANCY SHALL BE REQUIRED PRIOR TO OCCUPANCY OF THE BUILDING.
 - EXISTING FIRE EXTINGUISHER TYPES, SIZES, AND LOCATIONS ARE TO BE VERIFIED WITH THE LOCAL FIRE AUTHORITY. TYPE K FIRE EXTINGUISHERS PROVIDED NEAR THE KITCHEN EQUIPMENT AND IN THE PATH OF TRAVEL. REFERENCE COVER SHEET FOR ADDITIONAL NOTES.
 - FIELD MEASURE LOCATIONS IN WHICH NEW CONSTRUCTION MEETS EXISTING CONDITIONS TO ENSURE FINISHES ARE FLUSH WITH ADJACENT TO REMAIN.
- PARTITION NOTES**
- USE 20 GAUGE GALVANIZED STEEL STUDS FOR DOOR JAMBS AND HEADS.
 - USE WATER RESISTANT GYPSUM WALLBOARD NEAR ALL PLUMBING FIXTURES AND ALL SOURCES OF WATER.
 - FOLLOW "UL" INSTALLATION INSTRUCTIONS FOR RATED ASSEMBLIES.
 - FOLLOW "USG" CONSTRUCTION HANDBOOK FOR CONSTRUCTION STANDARDS OF STUD AND GYPSUM WALLBOARD ASSEMBLIES.
 - USE DEFLECTION TRACK (DEEP LEG TRACK) FOR DECK CONNECTION OF PARTITIONS INDICATED AS FULL HEIGHT TO ALLOW FOR STANDARD L360 FLOOR DEFLECTION. ATTACH GWB AT TOP OF PARTITION TO ALLOW FOR DEFLECTION.
 - BRACING OF METAL STUDS THAT IS NOT INDICATED ON THE DRAWINGS SHALL BE SUPPLIED BY THE CONTRACTOR.
 - THE DESIGN AND INSTALLATION OF COLD-FORMED STEEL STUDS FOR NONSTRUCTURAL WALLS SHALL BE IN ACCORDANCE WITH AISI-WSD.

- WALL TYPE LEGEND**
- EXISTING FULL-HEIGHT WALL TO REMAIN
 - NEW FULL HEIGHT WALL
 - NEW PART-HEIGHT WALL

- KEY NOTES**
- DESIGN TEAM TO INSTALL NEW POS/ SERVICE COUNTERS, AND NEW BAR.
 - G.C. TO INSTALL PART HEIGHT WALL, AND CLAD WITH NEW FINISHES.
 - REFERENCE ENLARGED RESTROOM PLAN, SHEET I-203.
 - 6" HIGH BOOTH PLATFORM. PREP TOP SURFACE FOR FLOOR FINISH.
 - INSTALL STAINLESS STEEL CORNER OR CAP GUARD THROUGHOUT KITCHEN. SET ABOVE BASE. APPLY WITH CONSTRUCTION ADHESIVE AND SCREWS.
 - NEW DOOR. SEE DOOR SCHEDULE AND ELEVATIONS FOR DETAILS.
 - NEW CASER OPENING. REFERENCE INTERIOR ELEVATIONS.
 - WORK TO EXISTING SIDEWALKS AND LANDSCAPING AREAS TO BE DETERMINED AT OWNER/ CONTRACTOR SITE MEETING. SITE WORK TO BE COMPLETED BY LANDLORD.

INTERIOR WALL TYPE SCHEDULE

MARK	DESCRIPTION (U.N.O.)
A	NEW FULL HEIGHT WALL, 3-5/8" MTL. STUDS, 16" o.c. w/ (1) LAYER 5/8" TYPE 'X' GWB EACH SIDE. NOTE: TO UNDERSIDE OF DECK ABOVE.
A1	NEW FULL HEIGHT WALL, 3-5/8" MTL. STUDS, 16" o.c. w/ (1) LAYER 5/8" TYPE 'X' GWB EACH SIDE (PROVIDE SOUND ATTENUATION BATT) NOTE: TO UNDERSIDE OF DECK.
B1	NEW FULL HEIGHT WALL, 3-5/8" MTL. STUDS, 16" o.c. w/ (1) LAYER 5/8" TYPE 'X' GWB EACH SIDE. NOTE: TO 6" ABOVE CEILING, BRACE TO STRUCT.
B2	NEW FULL HEIGHT INTERIOR STUD WALL AT HOODS, 6" MTL. STUDS, 16" o.c. w/ (1) LAYER 5/8" DUROCK EACH SIDE. NOTE: TO 6" ABOVE CEILING, BRACE TO STRUCT.
B3	NEW FULL HEIGHT WALL, 6" MTL. STUDS, 16" o.c. NOTE: TO UNDERSIDE OF DECK ABOVE.
C	NEW FULL HEIGHT WALL, 6" MTL. STUDS, 16" o.c. NOTE: TO UNDERSIDE OF DECK ABOVE.
D	NEW PART HEIGHT WALL, 2x4 WOOD STUDS, 16" o.c. REFERENCE INTERIOR ELEVATIONS FOR HEIGHT.
E	NEW FULL HEIGHT EXTERIOR WALL, 6" MTL. STUDS, 16" o.c. w/ (1) LAYER 5/8" TYPE 'X' GWB INTERIOR. MATCH EXIST. EXTERIOR WALL CONSTRUCTION & MATERIALS.
F	NEW STOREFRONT WINDOW INFILL WALL, 3-5/8" MTL. STUDS, 16" o.c. w/ (1) LAYER 5/8" TYPE 'X' GWB EACH SIDE.

L/P Architecture
 2138 N Cleveland Massillon Rd
 Akron, Ohio 44333
 330.659.3161
 www.lpsandpartners.com

PRIMANTI BROS. RESTAURANT BAR

*** PRELIMINARY SET *
 NOT FOR REGULATORY
 APPROVAL, PERMITTING,
 OR CONSTRUCTION.
 DRAWINGS ARE TO CONVEY
 DESIGN INTENT ONLY.**

ISSUED REVISIONS:

NO.	DATE	DESCRIPTION

