



PENNSYLVANIA ACT 38(1991)/187(1996) REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

- VEOLIA WATER PENNSYLVANIA INC
- VERIZON PENNSYLVANIA LLC
- PPL ELECTRIC UTILITIES CORPORATION
- UGI UTILITIES INC
- SUSQUEHANNA TOWNSHIP AUTHORITY/SUSQUEHANNA TOWNSHIP

# PRELIMINARY / FINAL MINOR SUBDIVISION PLAN

## FOR

### 4015 REICHERT ROAD

### SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY

January 6, 2023

REVISED:

February 10, 2023



#### MUNICIPAL APPROVALS

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

TOWNSHIP ENGINEER \_\_\_\_\_

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_

#### COMMONWEALTH OF PENNSYLVANIA

COUNTY OF DAUPHIN  
ON THIS, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED OWNER (S) \_\_\_\_\_

OWNER (S) \_\_\_\_\_ WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN:

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

#### STATEMENT OF DEDICATION

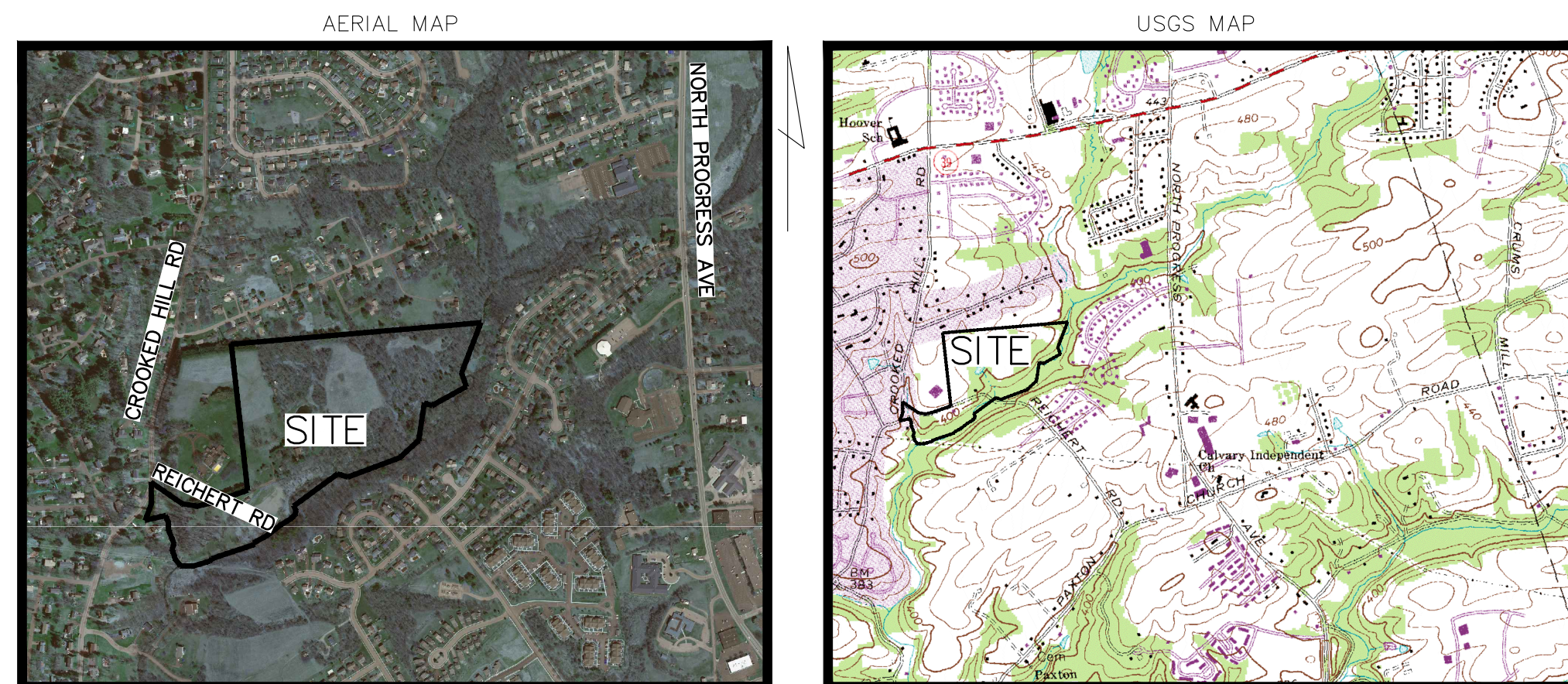
IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAT AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

OWNER (S) \_\_\_\_\_

OWNER (S) \_\_\_\_\_

#### CERTIFICATE OF COUNTY RECORDER OF DEEDS

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR DAUPHIN COUNTY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_ PLAN BOOK \_\_\_\_\_ VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_



#### LOCATION MAP

SCALE 1"=1,000'  
36002210PAS\_PEMA\_2018 AERIAL & 37002210PAS\_PEMA\_2018 AERIAL

#### LOCATION MAP

SCALE 1"=2,000'  
HARRISBURG EAST USGS QUAD

#### SHEET INDEX

- COVER SHEET
- C1.0 EXISTING CONDITIONS PLAN
- C2.0 SUBDIVISION PLAN

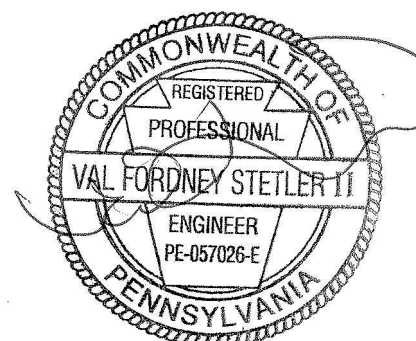
#### WETLANDS STATEMENT

A WETLAND SURVEY WAS PERFORMED BY AQUA-NICHE. ALL WETLANDS AND STREAMS HAVE BEEN IDENTIFIED IN THE FIELD AND FLAGGED. THE DATA WAS SUBSEQUENTLY COLLECTED BY THE SURVEYOR AND IS SHOWN ON THE PLANS HEREIN.

#### GENERAL PLAN / REPORT DATA

I HEREBY CERTIFY THAT THIS PLAN TO BE CORRECT AS SHOWN.

REGISTRATION NO. 057026-E



#### PROPERTY INFORMATION

NF Greenview LLC  
Tax Parcel 62-019-029  
Deed Book 260 Page 9053  
Instrument #20190018851

LLC Address:  
PO Box 60461  
Harrisburg, PA 17106

#### PROPERTY AREA TABLE

	EXISTING GROSS	1,645,367 SF	37,772 AC.
REICHERT ROAD RIGHT-OF-WAY	44,469 SF		1.021 AC.
EXISTING NET (NORTH OF R/W)	1,259,559 SF		28,915 AC.
EXISTING NET (SOUTH OF R/W)	341,339 SF		7.836 AC.
TOTAL EXISTING NET	1,600,898 SF		34,529 AC.
PROPOSED LOT 1	96,838 SF		2.223 AC.
PROPOSED LOT 2	1,504,060 SF		34,529 AC.

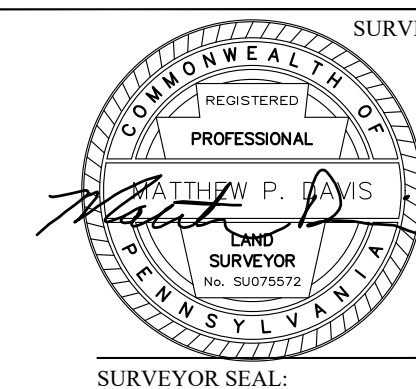
#### SURVEY NOTES

1. THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
2. BOUNDARY INFORMATION SHOWN IS BASED ON A FIELD SURVEY PERFORMED BY TERRAVIZ GEOSPATIAL INC., COMPLETED IN MAY, 2022.
3. PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND, CURRENT DEEDS AND RECORDED PLANS.
4. BEARINGS ARE BASED ON NAD83 STATE PLANE COORDINATES, PA SOUTH ZONE.
5. CROOKED HILL RIGHT OF WAY AND THE WESTERN PORTION OF REICHERT RD RIGHT OF WAY IS SHOWN BASED ON CONSTRUCTION PLANS FOR CROOKED HILL ROAD PHASE I, PREPARED BY HRG DATED 4-5-1991.
6. REICHERT ROAD RIGHT OF WAY IS 33' BASED ON TOWNSHIP CORRESPONDENCE, AND SHOWN BASED ON EXISTING MONUMENTATION AND HISTORICAL AERIAL PHOTOS FROM PENN STATE UNIVERSITY PENN PILOT LIBRARY.

#### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

DATE: \_\_\_\_\_ SURVEYOR SIGNATURE: \_\_\_\_\_



#### PROPERTY ADDRESS

4015 Reichert Road  
Harrisburg, PA 17110

#### OWNER / DEVELOPER:

Greenview LLC  
Mr. Jim Halkias, President  
PO Box 60461  
Harrisburg, PA 17106  
Phone: (717) 623-6101

#### PLAN PURPOSE

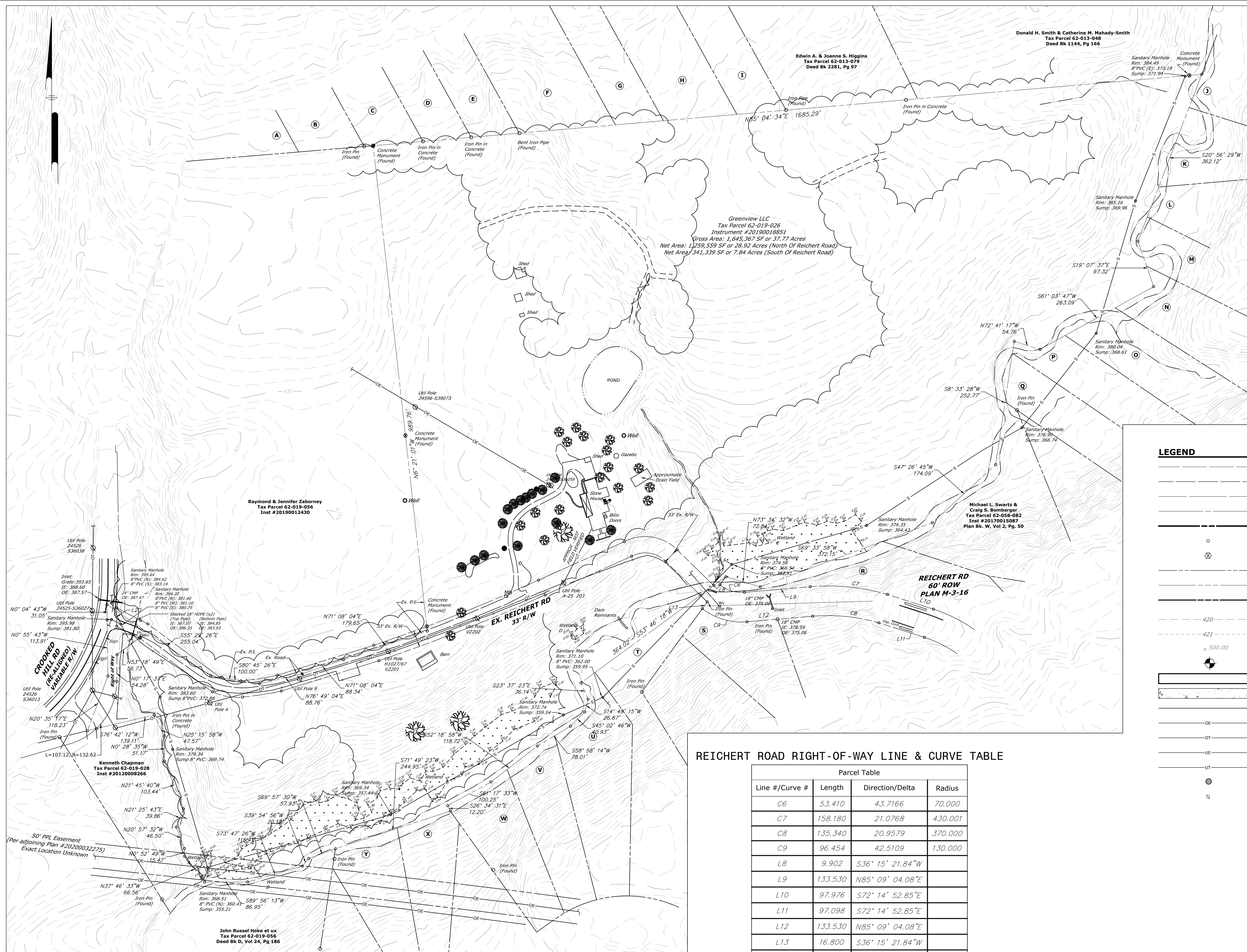
A NEW LOT (LOT 2) WILL BE CREATED TO CONTAIN THE EXISTING RESIDENCE. THE NEW LOT HAS FRONTAGE ON THE EXISTING REICHERT ROAD TOWNSHIP RIGHT-OF-WAY. ADDITIONAL RIGHT-OF-WAY IS ALSO DEFINED ON THE NEWLY CREATED LOT 2 TO ACCOMMODATE POSSIBLE FUTURE DEVELOPMENT (STREETS) AND WILL BE DESCRIBED IN THE DEED IN FAVOR OF GREENVIEW LLC OR FUTURE OWNERS OF THE RESIDUAL LOT 1. THIS PLAN IS FOR SUBDIVISION ONLY. NO DEVELOPMENT IS PROPOSED.

#### SITE DATA

CATEGORY	REQUIREMENT	PROPOSED
ZONING DISTRICT	R-2 MEDIUM DENSITY RESIDENTIAL	
HEIGHT REGULATIONS	< 30 FEET	< 30 FEET
MAXIMUM DENSITY	4 UNITS / AC.	0.05 UNITS / AC.
MIN. LOT AREA	10,000 SF	
	LOT 1	1,504,060 SF (34,529 AC.)
	LOT 2	96,838 SF (2.223 AC.)
MAX. IMPERVIOUS COVER	40%	
	LOT 1	0.8% (13,110 SF / 1,600,898 SF)
	LOT 2	7.7% (7,420 SF / 96,838 SF)
WIDTH REGULATIONS	75 FEET	
	LOT 1	1,311 FEET
	LOT 2	443 FEET
WATER		EXISTING PRIVATE WELL
SEWER		EXISTING ONLOT
YARD REGULATIONS		
	FRONT	30 FEET
	SIDE	8 FEET
	REAR	30 FEET

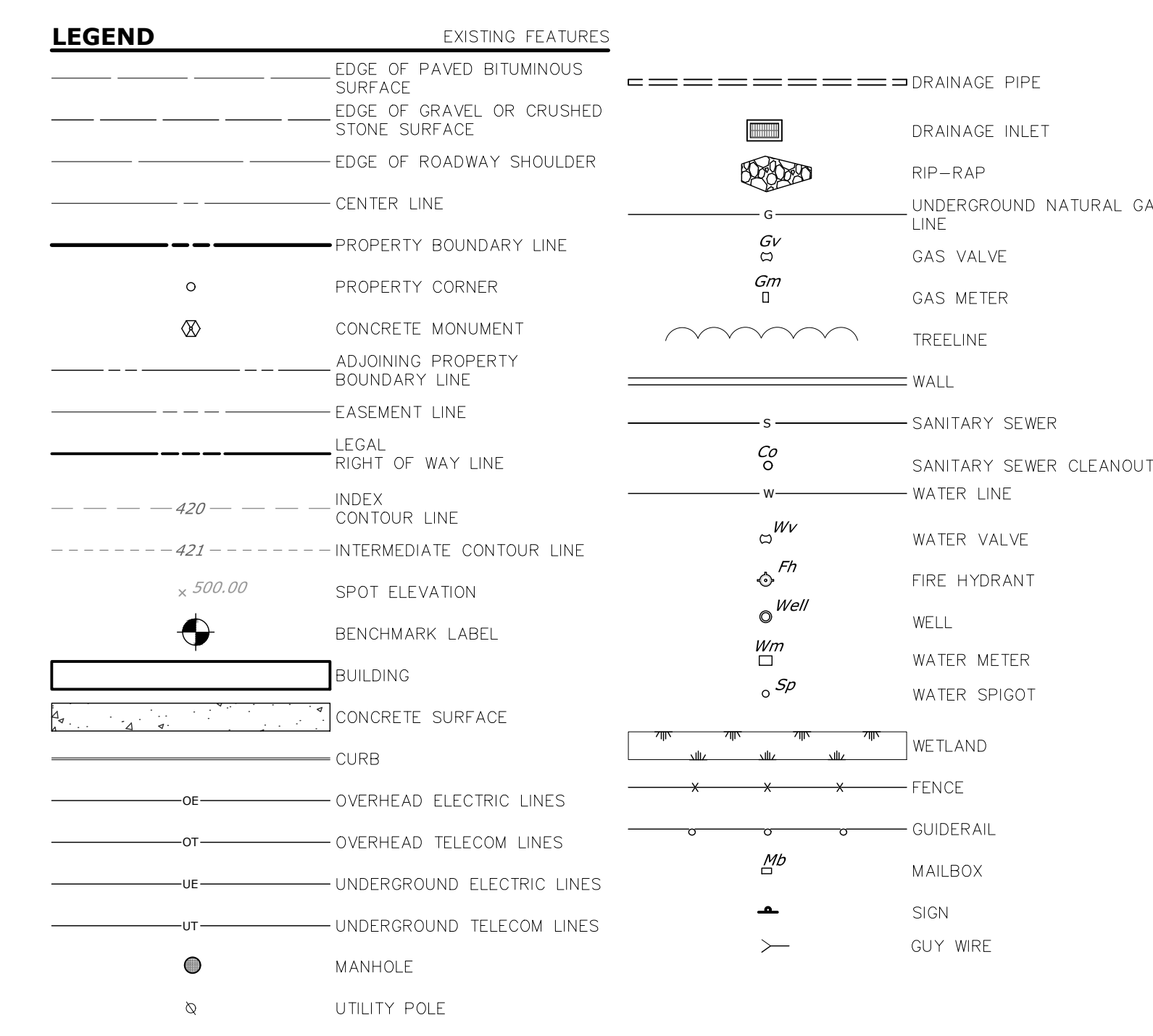
1. THE EXISTING GROSS ACREAGE IS 37.772 AC (1,645,367 SF) WHICH INCLUDES THE REICHERT ROAD PUBLIC TOWNSHIP ROAD RIGHT-OF-WAY WHICH BISECTS THE PROPERTY INTO NORTHERN AND SOUTHERN SECTIONS.
2. THE REICHERT ROAD RIGHT-OF-WAY ACREAGE IS 1.021 ACRES (44,469 SF).
3. NET REMAINING EXISTING ACREAGE IS 28.915 ACRES (1,259,559 SF) NORTH OF THE RIGHT-OF-WAY AND 7.836 ACRES (341,339 SF) SOUTH OF THE RIGHT-OF-WAY FOR A TOTAL OF 36.751 ACRES (1,600,898 SF).
4. THE PROPOSED SUBDIVISION WILL RESULT IN A NEWLY CREATED LOT 1 WITH AN AREA OF 2.223 ACRES (96,838 SF) AND A RESIDUAL LOT 1 WITH AN AREA OF 34.529 ACRES (1,504,060 SF).





**PROPERTY ADJOINERS**

- |  |   |
|--|---|
| <b>A</b> George E. & Erika R. Sunday<br>Tax Parcel 62-013-037<br>Deed Bk W Vol 61 Pg 86<br>Plan Bk. W, Pg. 129       | <b>M</b> Timothy M. & Bonnie S. Finnerty<br>Tax Parcel 62-058-074<br>Deed Bk 4269, Pg 56<br>Plan Bk W, Vol 2, Pg 50               |
| <b>B</b> George E. & Erika R. Sunday<br>Tax Parcel 62-013-038<br>Deed Bk W Vol 61 Pg 86<br>Plan Bk. W, Pg. 129       | <b>N</b> Charles J. & Margaret Freedman<br>Tax Parcel 62-058-075<br>Deed Bk 2729, Pg 253<br>Plan Bk W, Vol 2, Pg 50               |
| <b>C</b> Megan I. Evans-Klemick<br>Tax Parcel 62-013-040<br>Instrument #20150017053<br>Plan Bk. W, Pg. 129           | <b>O</b> Christine R. Brooks<br>Tax Parcel 62-058-076<br>Instrument #20160032535<br>Plan Bk W, Vol 2, Pg 50                       |
| <b>D</b> Kathleen A. Busillo<br>Tax Parcel 62-013-111<br>Instrument #20150026412<br>Plan Bk. W, Pg. 129              | <b>P</b> Michael & Margaret B. Rogalski<br>Tax Parcel 62-058-077<br>Deed Bk 553, Pg 489<br>Plan Bk W, Vol 2, Pg 50                |
| <b>E</b> Herbert Moore<br>Tax Parcel 62-013-107<br>Instrument #20120021617<br>Plan Bk. W, Pg. 129                    | <b>Q</b> Elsie H. Williams<br>Tax Parcel 62-058-078<br>Instrument #20140017365<br>Plan Bk W, Vol 2, Pg 50                         |
| <b>F</b> Ronald L. & Gloria A. Gutshall<br>Tax Parcel 62-013-042<br>Deed Bk A, Vol 52, Pg 226<br>Plan Bk. W, Pg. 129 | <b>R</b> Mark E. & Tammy L. Barbour<br>Tax Parcel 62-058-087<br>Deed Bk 3178, Pg 441<br>Plan Bk W, Vol 2, Pg 50                   |
| <b>G</b> Gilbert E. & Janet B. Hamilton<br>Tax Parcel 62-013-044<br>Deed Bk 2, Vol 64, Pg 66<br>Plan Bk. W, Pg. 129  | <b>S</b> Mary Pat Evans<br>Tax Parcel 62-061-008<br>Deed Bk 3812, Pg 576<br>Plan Bk M, Vol 3, Pg 16                               |
| <b>H</b> Daniel R. Shuman<br>Tax Parcel 62-013-045<br>Instrument #20080017382  | <b>T</b> Gregory & Jennifer Mills<br>Tax Parcel 62-082-003<br>Instrument #2015002955<br>Plan Bk Z, Vol 6, Pg 62                   |
| <b>I</b> William E. & Nancy Toner<br>Tax Parcel 62-013-046<br>Deed Bk 5705, Pg 500                                   | <b>U</b> Alex A. DiSanto, Jr<br>Tax Parcel 62-082-004<br>Instrument #20090040473<br>Plan Bk Z, Vol 6, Pg 62                       |
| <b>J</b> Joel S. & Marilyn R. Klein<br>Tax Parcel 62-058-019<br>Deed Bk Q, Vol 64, Pg 999<br>Plan Bk T, Vol 2, Pg 7  | <b>V</b> Yogesh Acharya & Hari M. Sutar<br>Tax Parcel 62-082-005<br>Instrument #20190031226<br>Plan Bk Z, Vol 6, Pg 62            |
| <b>K</b> Herbert K. & Jeanette M. Logan<br>Tax Parcel 62-058-020<br>Deed Bk 2222, Pg 10                              | <b>W</b> Andrew T. Bradley Sr. & Annice B. Bradley<br>Tax Parcel 62-082-006<br>Instrument #20110020768<br>Plan Bk Z, Vol 2, Pg 62 |
| <b>L</b> Corey W. & Kristen L. Farmer<br>Tax Parcel 62-058-021<br>Instrument #20210010597<br>Plan Bk T, Vol 2, Pg 7  | <b>X</b> Charter Homes At Laurel Hill Inc.<br>Tax Parcel 62-019-295<br>Plan Bk Z, Vol 6, Pg 62                                    |
|  | <b>Y</b> Charter Homes At Laurel Hill Inc.<br>Tax Parcel 62-019-294<br>Plan Bk Z, Vol 6, Pg 62                                    |



**REICHERT ROAD RIGHT-OF-WAY LINE & CURVE TABLE**

Line #/Curve #	Length	Direction/Delta	Radius
C6	53.410	43.7166	70.000
C7	158.180	21.0768	430.001
C8	135.340	20.9579	370.000
C9	96.454	42.5109	130.000
L8	9.902	S36° 15' 21.84"W	
L9	133.530	N85° 09' 04.08"E	
L10	97.976	S72° 14' 52.85"E	
L11	97.098	S72° 14' 52.85"E	
L12	133.530	N85° 09' 04.08"E	
L13	16.800	S36° 15' 21.84"W	
L20	37.436	N0° 22' 45.78"W	

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CHECKED BY: VFS  
DATE: 01/06/2023  
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JOB NUMBER  
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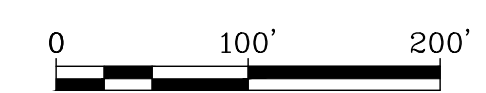
DATE	REVISIONS	REV'D LOT, ADD SAN LINE & MINOR NOTES
2/6/23		

4015 Reichert Road Subdivision Plan  
EXISTING FEATURES PLAN  
Susquehanna Township  
Dauphin County

SEAL

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Harrisburg, PA 17102  
Phone: 717.341.5235  
www.stetlersagan.com

DRAWING  
**C1.0**







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**LEGEND**

EXISTING FEATURES	
	EDGE OF PAVED BITUMINOUS SURFACE
	EDGE OF GRAVEL OR CRUSHED STONE SURFACE
	EDGE OF ROADWAY SHOULDER
	CENTER LINE
	PROPERTY BOUNDARY LINE
	PROPERTY CORNER
	CONCRETE MONUMENT
	ADJOINING PROPERTY BOUNDARY LINE
	EASEMENT LINE
	LEGAL RIGHT OF WAY LINE
	INDEX CONTOUR LINE
	INTERMEDIATE CONTOUR LINE
	SPOT ELEVATION
	BENCHMARK LABEL
	BUILDING
	CONCRETE SURFACE
	CURB
	OVERHEAD ELECTRIC LINES
	OVERHEAD TELECOM LINES
	UNDERGROUND ELECTRIC LINES
	UNDERGROUND TELECOM LINES
	MANHOLE
	UTILITY POLE
	DRAINAGE PIPE
	DRAINAGE INLET
	RIP-RAP
	UNDERGROUND NATURAL GAS LINE
	GAS VALVE
	GAS METER
	TREELINE
	WALL
	SANITARY SEWER
	SANITARY SEWER CLEANOUT
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	WELL
	WATER METER
	WATER SPIGOT
	WETLAND
	FENCE
	GUIDERAIL
	MAILBOX
	SIGN
	GUY WIRE

**LEGEND PROPOSED FEATURES**

- SETBACK LINE
- PROPERTY LINE
- PROPOSED EASEMENT
- IRON PIN (TO BE SET)
- CONCRETE MONUMENT (TO BE SET)

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 CHECKED BY: VFS  
 DATE: 01/06/2023  
 SCALE: 1"=100'  
 JOB NUMBER  
 2020-008

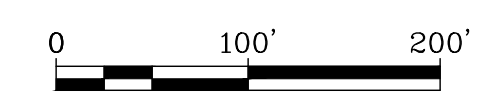
DATE	REV'D	LOT	ADD. SAN. LINE & MINOR NOTES
2/6/23			

4015 Reichert Road Subdivision Plan  
 SUBDIVISION PLAN  
 Dauphin County  
 Susquehanna Township

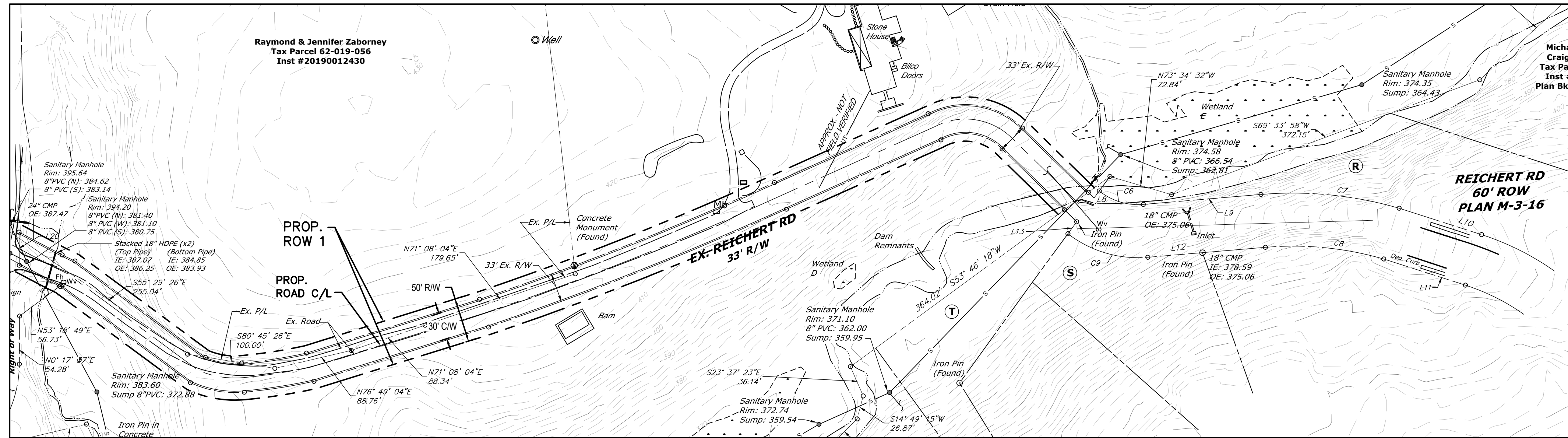
SEAL

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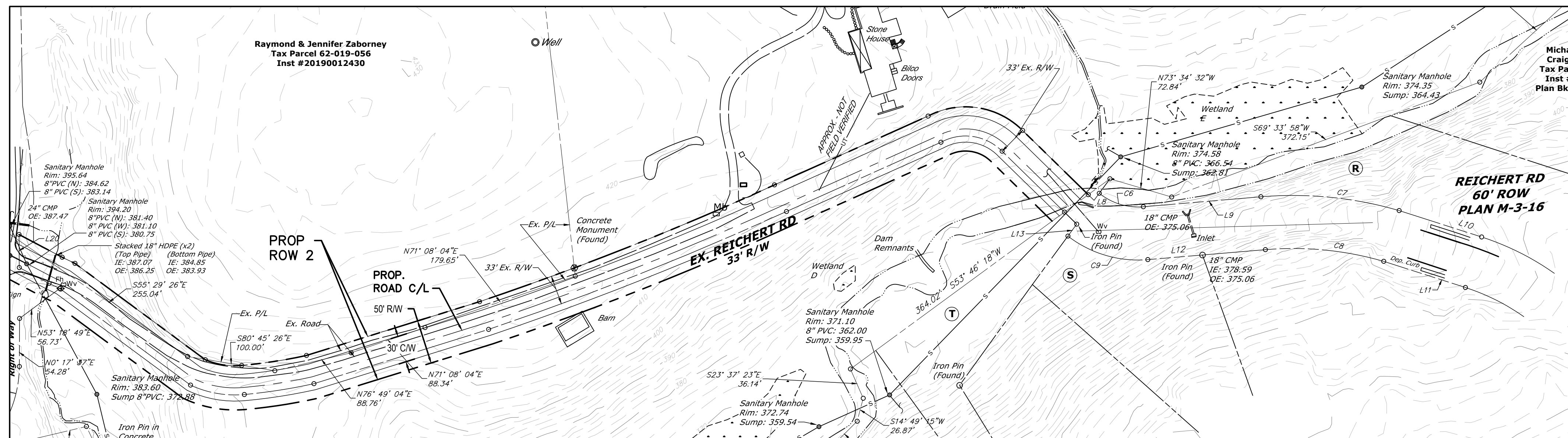
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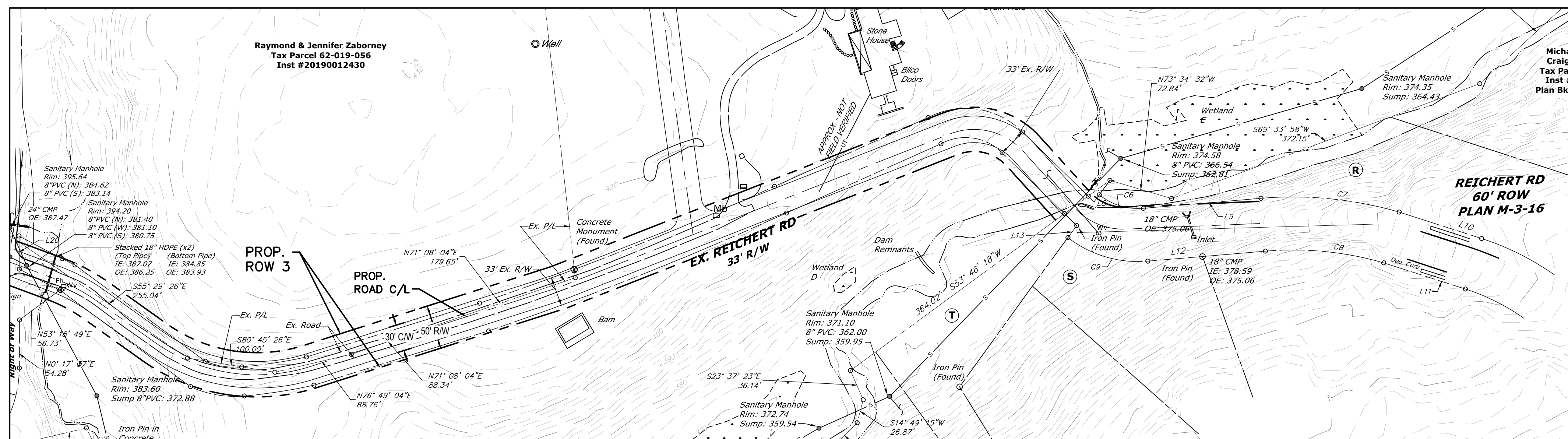




RIGHT-OF-WAY 1 (ROW1) EXHIBIT



RIGHT-OF-WAY 2 (ROW2) EXHIBIT



RIGHT-OF-WAY 3 (ROW3) EXHIBIT

**NOTES:**

1. THE RIGHT-OF-WAY (ROW) EXHIBITS SHOWN HERE PROVIDE THREE OPTIONS FOR DEVELOPING A PROPOSED 50' ROW REQUIRED FOR A MINOR RESIDENTIAL STREET.
2. THE REICHERT ROAD ROW IS 60' ON THE SOUTH SIDE OF THE CREEK.
3. THE EXISTING ROW AS PROVIDED BY THE SURVEYOR IS JOINED BY CURVES THAT ARE NOT TANGENT TO THE STRAIGHT LINE SEGMENTS IN ALL LOCATIONS. ACCORDINGLY, ANY OFFSETS OF THESE LINES FOR THE PURPOSE OF DEVELOPING A NEW ROW WILL ALSO NOT BE TANGENT.
4. THE EXISTING PROPERTY LINE GEOMETRY DOES NOT PARALLEL THE 33' ROW.

**PROPOSED 50' RIGHT-OF-WAY DEVELOPMENT**

1. ROW1 IS DEVELOPED BY OFFSETTING EACH OF THE EXISTING 33' ROW LINES BY 8.5' RESULTING IN A 50' ROW.
2. ROW2 IS DEVELOPED BY MAINTAINING THE EXISTING 33' ROW LINE ON THE ZABORNEY PROPERTY AND OFFSETTING THE LINE A FULL 50' SO NO ADDITIONAL ROW IS TAKEN FROM THE ADJOINER.
3. ROW3 IS DEVELOPED BY ASSUMING A CENTERLINE IN THE HISTORIC LIMITS OF REICHERT ROAD AND OFFSETTING THE LINE 25' FEET ON EACH SIDE TO PRODUCE A 50' ROW.

DRAWN BY: VFS  
 CHECKED BY: VFS  
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DATE	REVISIONS
2/6/23	REV'D LOT, ADD SAN LINE & MINOR NOTES

4015 Reichert Road Subdivision Plan  
 RIGHT-OF-WAY OPTIONS PLAN  
 Susquehanna Township  
 Dauphin County

SEAL

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DRAWING

**ROW  
EXH**

