

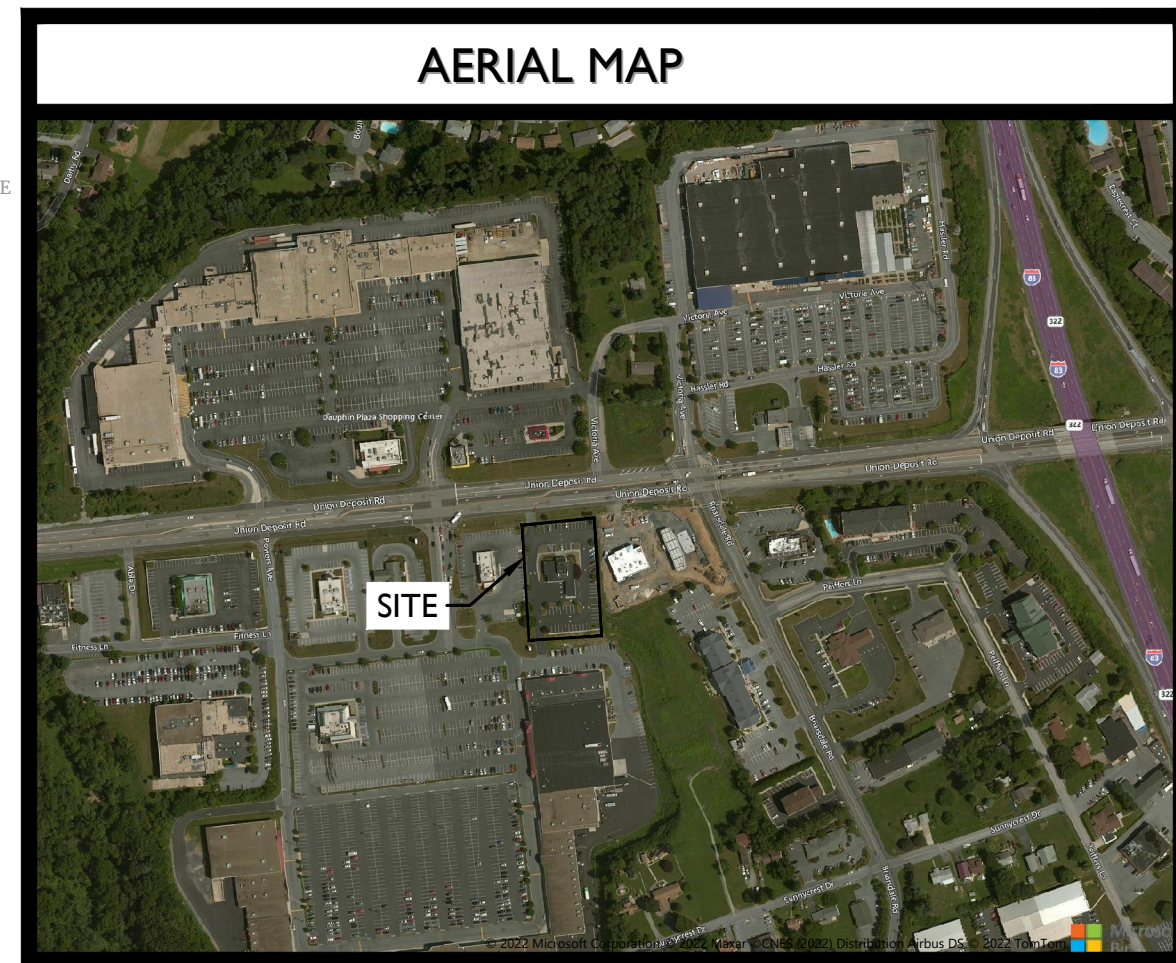
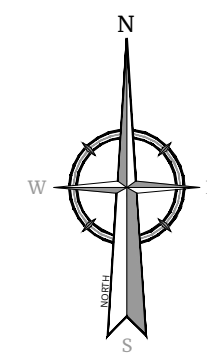
INDEX OF SHEETS

- C 0 TITLE SHEET
- C 1.1 SURVEY PLAN
- C 1.2 SURVEY PLAN
- C 1A DEMOLITION PLAN
- C 2 SITE PLAN
- C 3 GRADING AND DRAINAGE PLAN
- C 4 CONSTRUCTION DETAIL SHEET
- C 5 CONSTRUCTION DETAIL SHEET
- C 6 CONSTRUCTION DETAIL SHEET
- C 7 CONSTRUCTION DETAIL SHEET
- C 8 CONSTRUCTION DETAIL SHEET
- C 9 CONSTRUCTION DETAIL SHEET
- C 9A CONSTRUCTION DETAIL SHEET
- C 10 REFUSE ENCLOSURE DETAIL
- C 11 SOIL EROSION PLAN
- C 12 SOIL EROSION NOTES AND DETAILS
- C 13 SOIL EROSION NOTES AND DETAILS
- C 14 PCSM PLAN AND NOTES
- C 15 PCSM NOTES AND DETAILS
- C 16 STORM UTILITY PROFILE
- C 17 STORM UTILITY PROFILE
- C 18 SANITARY UTILITY PROFILE
- C 19 STORM FACILITY EASEMENT PLAN
- L 1 LANDSCAPE PLAN
- L 2 LANDSCAPE NOTES AND DETAILS
- ES 1 LIGHTING PLAN
- PS 1 UTILITY SITE PLAN

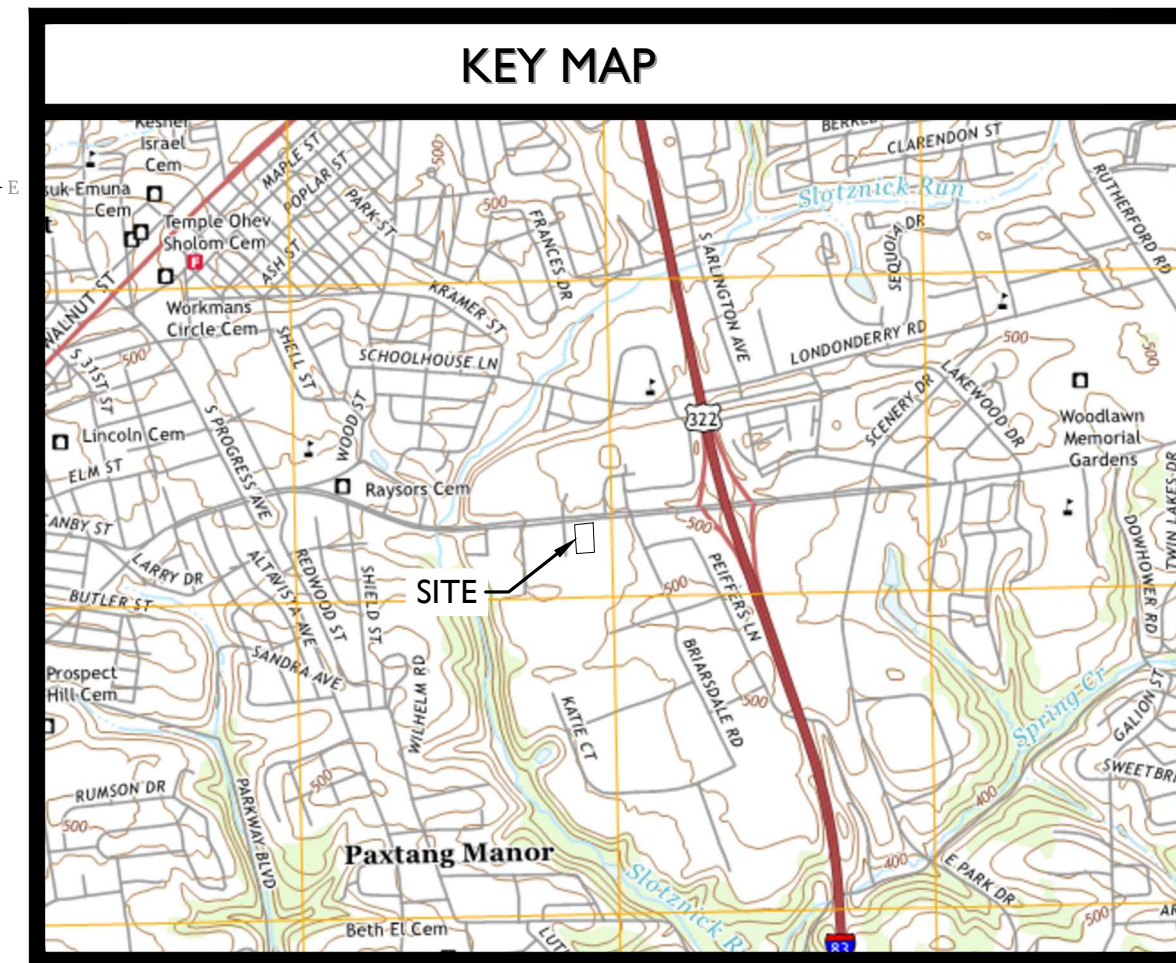
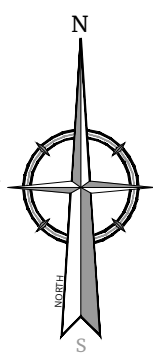
USE AND PRELIMINARY & FINAL MAJOR SITE PLAN FOR



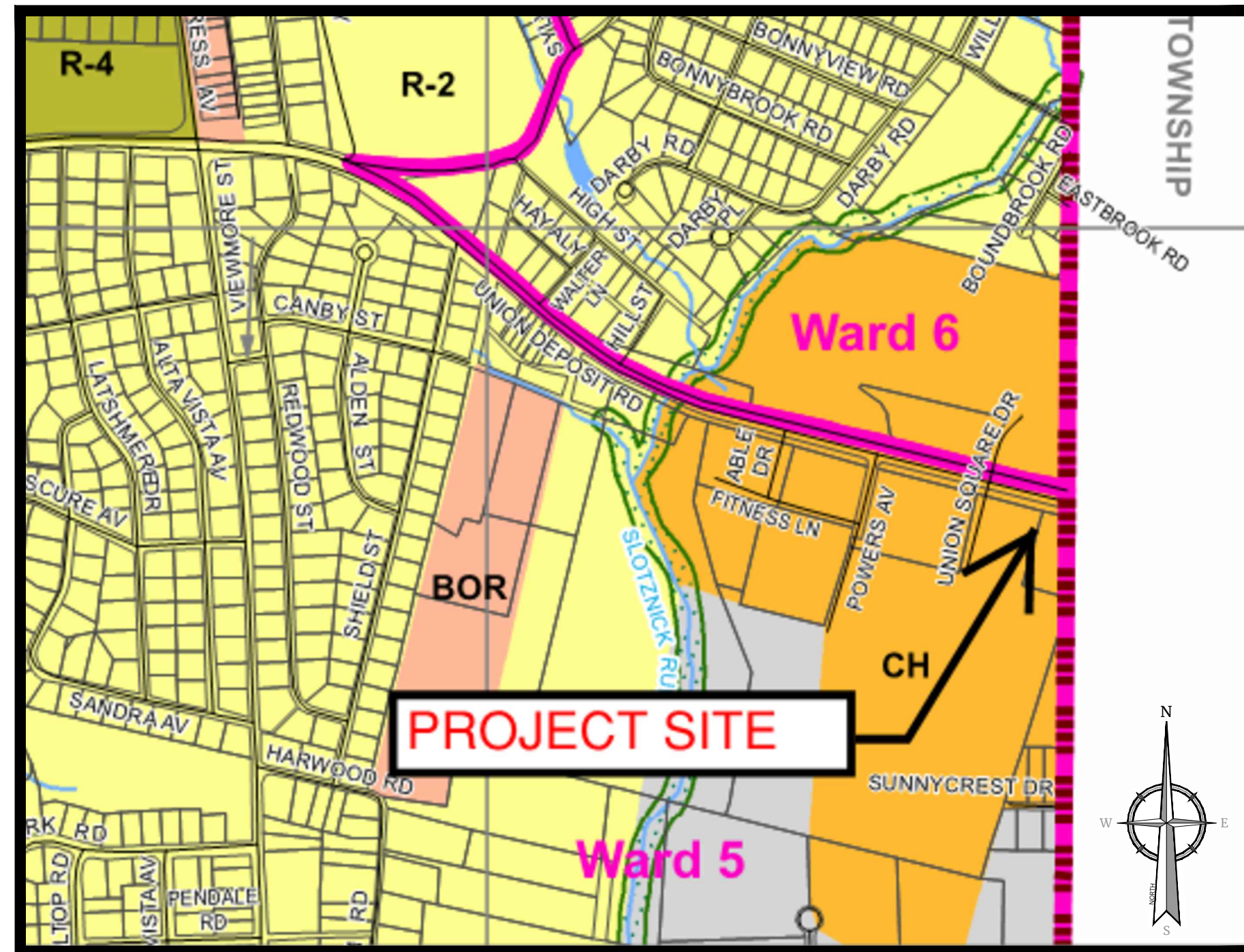
PARCEL # 62-040-048-000-0000
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA



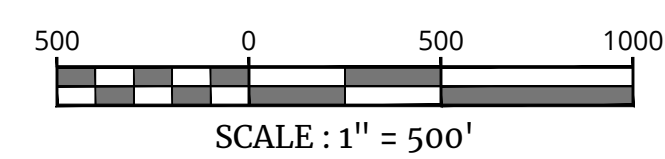
SCALE: 1"=500' (APPROXIMATE)



SCALE: 1"=2,000' (APPROXIMATE)



KEY & ZONING MAP



SCALE: 1" = 500'

GENERAL INFORMATION

- THE SUBJECT PROPERTY IS KNOWN AS 62-040-048-000-0000 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF SUSQUEHANNA, DAUPHIN COUNTY, PENNSYLVANIA.
- THE PROPERTY IS LOCATED IN THE C-H - COMMERCIAL HIGHWAY ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 57,695 SF, 1.32 ACRES.

OWNER: HRONIS & HRONIS BLVD, PROP
3951 UNION DEPOSIT ROAD,
HARRISBURG, PA 17109

APPLICANT: CHICK-FIL-A
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
404-765-8000

ENGINEER: JUSTIN T. THORNTON, P.E.
COLLIERS ENGINEERING & DESIGN
1501 REEDSDALE STREET, SUITE 302
PITTSBURGH, PA 15223
412-752-7589
justin.thornton@colliersengineering.com

ZONE DATA: C-H, COMMERCIAL HIGHWAY DISTRICT

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	57,695 SF	57,695 SF
MINIMUM LOT WIDTH	N/A	190.3 FT	190.3 FT
MINIMUM LOT DEPTH	N/A	300 FT	300 FT
PRINCIPAL BUILDING			
MINIMUM FRONT YARD	35 FT	97.1 FT	80.3 FT
MINIMUM REAR YARD	15 FT	146.4 FT	174.2 FT
MINIMUM SIDE YARD	10 FT	49.9 FT	31.5 FT
MAXIMUM BUILDING HEIGHT	60 FT	<60 FT	30 FT
ACCESSORY BUILDING			
MINIMUM FRONT YARD	35 FT	156.0 FT	52.3 FT
MINIMUM SIDE YARD	15 FT	65.8 FT	4.7 FT (V)
MINIMUM REAR YARD	10 FT	101.6 FT	66.0 FT
MAXIMUM BUILDING HEIGHT	15 FT	<15 FT	9.7 FT
PARKING			
USE 1 SPACE/4 SEATS + 1 SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT	62 SEATS / 4 + 20 EMPLOYEES	-	54 (V)
LOADING: 1 SPACE/25,000 SF	1	-	0

(E) = PRE-EXISTING NON-CONFORMING CONDITION
(V) = VARIANCE REQUIRED

- THE FOLLOWING VARIANCES WERE APPROVED THE ZONING HEARING BOARD ON 02/04/22:
 - 27-1203.4 MAXIMUM IMPERVIOUS LOT COVERAGE OF 80%
 - 27-1203.5 MINIMUM VEGETATIVE COVER OF 20%
 - 27-2305.6.B ALL PARKING SPACES AND ACCESS DRIVES SHALL NOT BE LOCATED WITHIN YARD LINE
 - 27-2040.5 THE DRIVE-THROUGH FACILITY, INCLUDING SERVICE WINDOWS AND INTERCOM, AND THE DRIVEWAY SHALL BE LOCATED ALONG THE SIDE, OR REAR FACES OF THE BUILDING SERVED THEREBY.
- BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTAIRPS LAND TITLE SURVEY", SHEET 1 OF 1, DATED AUGUST 26, 2021, PREPARED BY ROBERT W. TELSCHOW, JR., P.L.S. LIC. NO. SU075641 OF PA. OF COLLIERS ENGINEERING & DESIGN.

- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTAIRPS LAND TITLE SURVEY", SHEET 1 OF 1, DATED AUGUST 26, 2021, PREPARED BY ROBERT W. TELSCHOW, JR., P.L.S. LIC. NO. SU075641 OF PA. OF COLLIERS ENGINEERING & DESIGN.
- THE HORIZONTAL DATUM IS RELATIVE TO THE PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- GEOTECHNICAL INFORMATION AND SOIL TEST PIT LOCATIONS SHOWN HEREON ARE AS PRESENTED IN A REPORT ENTITLED "CHICK-FIL-A RESTAURANT #2603 - PROPOSED SITE IMPROVEMENTS", DATED: APRIL 30, 2021, PREPARED BY COLLIERS ENGINEERING & DESIGN.
- THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL PA ONE CALL TO REQUEST A UTILITY MARKOUT.

SITE NOTES

- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- CURB RAMP ARE TO BE CONSTRUCTED FLUSH WITH THE FINISHED PAVEMENT SURFACE. ACCESSIBLE CURB RAMP SHALL BE INSTALLED WITHIN THE PUBLIC RIGHT OF WAY ARE TO HAVE DETECTABLE WARNING SURFACES COMPLIANT WITH FEDERAL ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT OF WAY.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.

- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. PENNSYLVANIA DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS PUBLICATION 408", 2020, AS SUPPLEMENTED.
 - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
 - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
 - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.

UTILITY NOTES

- EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
- UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITY.
- STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLUX SUPERSEAL OR EQUIVALENT, ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- THERE IS EXISTING WATER SERVICE ON SITE.
- THERE IS EXISTING SANITARY SERVICE ON SITE.
- ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATER TIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS), WITH WATER TIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501 OR EQUIVALENT AT DIP/VC JOINTS.
- GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.
- TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

WETLAND NOTES:

- THERE ARE NO WETLANDS WITHIN THE PROPOSED DEVELOPMENT AREA.

FLOOD HAZARD NOTES:

BY GRAPHICAL PRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON FLOOD INSURANCE MAPS, COMMUNITY PANEL NO. 42043039D WHICH HAS AN EFFECTIVE DATE OF AUGUST 2, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE.

ADA INSTRUCTIONS TO CONTRACTOR:

- CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1/4" (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CLUB RAMP: SLOPES SHALL NOT EXCEED 1:12 (8.3%).
- PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.
- WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
- DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).

RECORD PLAN NOTES

- NOTHING SHALL BE PLANTED OR PLACED WITHIN THE EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT.

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS _____ DAY OF _____ OF 20____.

PRESIDENT _____
SECRETARY _____

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____ OF 20____.

CHAIRMAN _____
SECRETARY _____

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS _____ DAY OF _____ 20____.
TOWNSHIP ENGINEER _____

THIS PLAN RECOMMENDED FOR APPROVAL BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ OF 20____.

CHAIRMAN _____
SECRETARY _____

RECORD INFORMATION
RECORDED IN THE DAUPHIN COUNTY COURTHOUSE
RECORDED THIS _____ DAY OF _____, 20____.
INSTRUMENT NO. _____

STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT

THE STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT IS ENTERED INTO BY (THE "GRANTOR") IN CONSIDERATION OF THE APPROVAL OF THE SITE PLAN BY THE SUSQUEHANNA TOWNSHIP, PENNSYLVANIA FOR DEVELOPMENT OF CHICK-FIL-A. GRANTOR IS OBLIGATED BY THE MUNICIPAL CODE OF THE SUSQUEHANNA TOWNSHIP TO CONTROL STORMWATER RUNOFF FOR THE PROPOSED DEVELOPMENT AS A PART OF THE SITE PLAN APPROVAL PROCESS. IN CONSIDERATION FOR THE TOWNSHIP'S APPROVAL OF THE GRANTOR'S SITE PLAN, GRANTOR HAS ENTERED INTO THIS STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT (THIS "AGREEMENT") TO CONTROL AND ADDRESS STORMWATER RUNOFF FOR THE SITE.

_____(THE "GRANTOR") ACKNOWLEDGES THE STORMWATER MANAGEMENT FACILITIES OPERATION AND MAINTENANCE (OM) AGREEMENT IS PART OF THE STORMWATER MANAGEMENT PLAN.

_____(HEREINAFTER REFERRED TO AS THE BENEFITED PROPERTY") THE FOLLOWING PROVISIONS ARE COVENANTS RUNNING WITH THE LAND TO THE BENEFIT OF THE TOWNSHIP, BINDING ON GRANTOR AND GRANTOR'S SUCCESSORS AND ASSIGNS IN INTEREST TO THE BENEFITED PROPERTY, AND SHALL ONLY BE AMENDED OR RELEASED WITH THE WRITTEN PERMISSION OF THE TOWNSHIP.

OWNER _____ DATE _____

STORMWATER MANAGEMENT CERTIFICATE

I, _____, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

ENGINEER _____ DATE _____

ENVIRONMENTAL CERTIFICATE

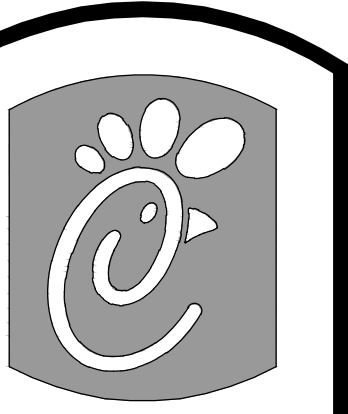
I, _____, HEREBY CERTIFY THAT THERE ARE NOT WETLANDS ON THE SUBJECT PROPERTY, THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS, AND PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

ENGINEER _____ DATE _____

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____
ON THIS _____ DAY OF _____, 20____, BEFORE ME _____
THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGE THAT _____
EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

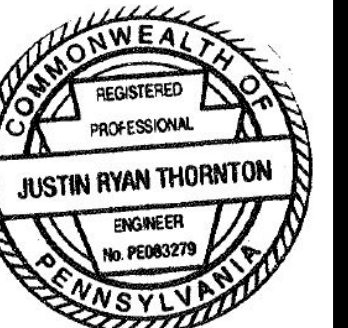
(NOTARY SEAL)



5200 Buffington Road
Atlanta, Georgia
30349-2998
Telephone 404-765-8000

REVISED PER TYP COMMENTS	DATE	DESCRIPTION
1	07/29/22	
2	07/29/22	

Seal



Justin Ryan Thornton
REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE005879
COLLIERS ENGINEERING & DESIGN, INC.

Colliers Engineering & Design
www.colliersengineering.com
Doing Business as MASER
PITTSBURGH
1501 REEDSDALE STREET
SUITE 302
PITTSBURGH, PA 15223
PHONE: 412.676.1590

STORE 5029

PARCEL #/APN:
62-040-048-000-0000
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY
PENNSYLVANIA

PRELIMINARY & FINAL
MAJOR SITE PLAN

TITLE SHEET

DWG EDITION 2.0

- Preliminary
- 80% Submittal
- For Construction

File No.: 21001871A

Store : 5029

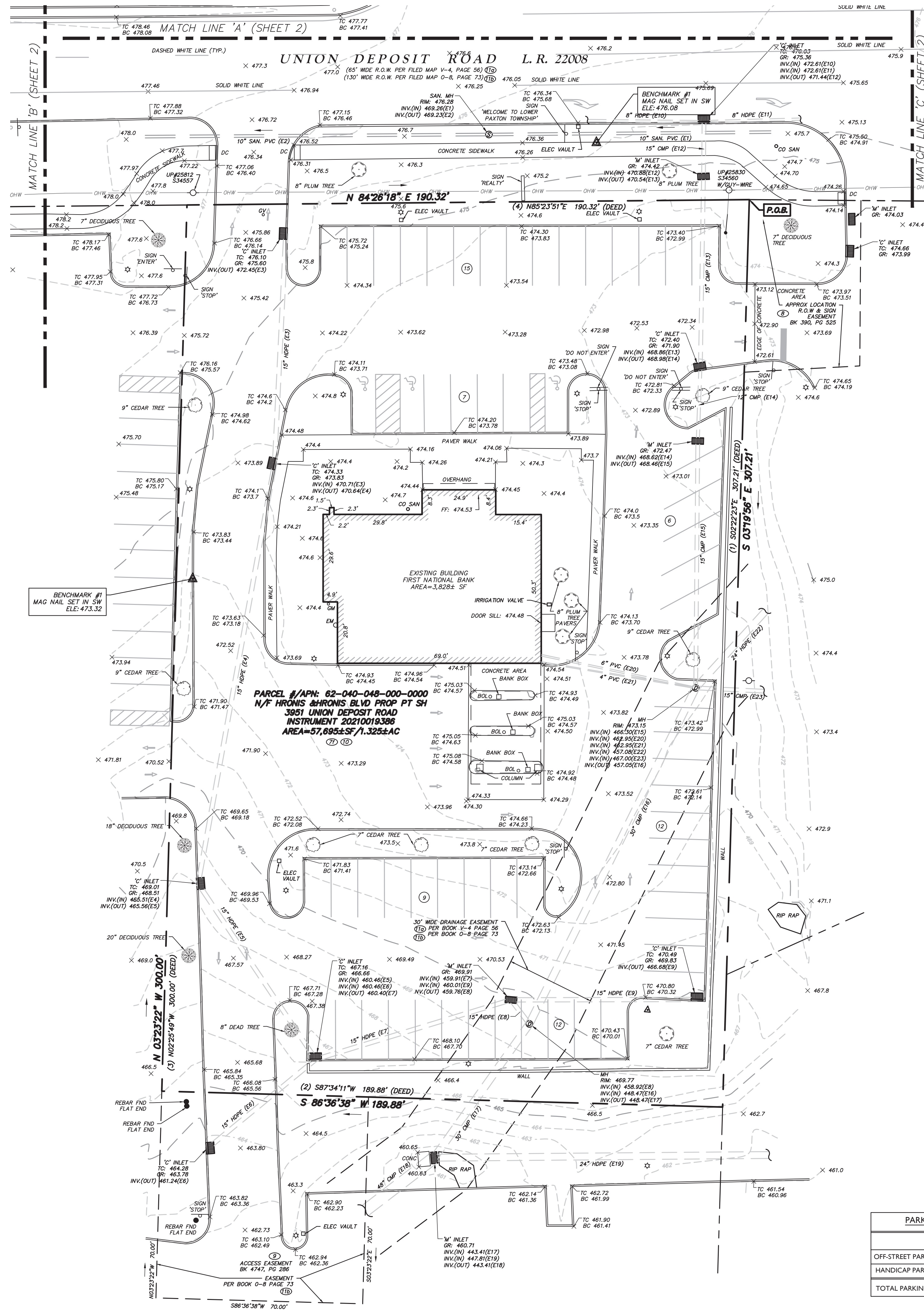
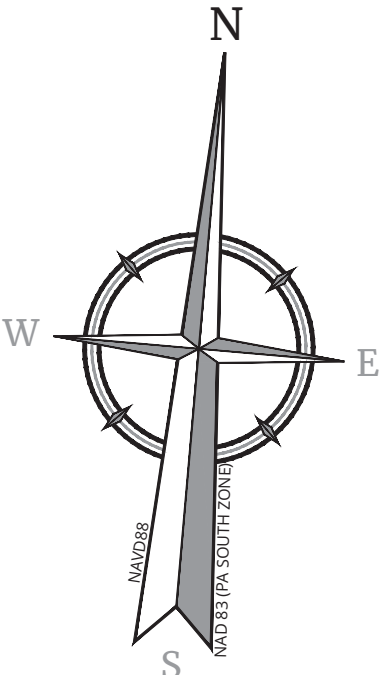
Date : 05/04/22

Drawn By: VFP

Checked By: JRT

Sheet

C 0



PARKING SPACES TABLE	
	EXISTING
OFF-STREET PARKING SPACES:	59
HANDICAP PARKING SPACES:	3
TOTAL PARKING SPACES:	62

TITLE REPORT NOTES

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, ADJOINING AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM RELEVANT NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER RT211952, BEARING AN EFFECTIVE DATE OF JUNE 26, 2021.

DEED OF RECORD INSTRUMENT NO. 20210019386

THE FOLLOWING NOTES CORRESPOND TO THE ITEMS CONTAINED IN SCHEDULE B-2 OF THE ABOVE REFERENCED TITLE COMMITMENT:

NOTE: SURVEY ITEMS 1-4 ARE NOT SURVEY RELATED.

- THE FOLLOWING RIGHTS OF WAY GRANTED TO:
 - SUSQUEHANNA TOWNSHIP AUTHORITY BY INSTRUMENT FROM ESTATE OF GEORGE ROSS HULL DATED NOVEMBER 3, 1994 AND RECORDED IN MISCELLANEOUS BOOK P.4, PAGE 344. (DOES NOT AFFECT THE SUBJECT PROPERTY)
 - SUSQUEHANNA TOWNSHIP AUTHORITY BY INSTRUMENT FROM GEORGE ROSS HULL ET AL. DATED NOVEMBER 3, 1994 AND RECORDED IN MISCELLANEOUS BOOK P.4, PAGE 12. (DOES NOT AFFECT THE SUBJECT PROPERTY)
 - THE AMERICAN TELEGRAPH AND TELEPHONE COMPANY OF PENNSYLVANIA BY INSTRUMENT FROM GEORGE ROSS HULL, JR. ET AL. DATED APRIL 6, 1972 AND RECORDED IN MISCELLANEOUS BOOK K-14, PAGE 49. (MAY AFFECT THE SUBJECT PROPERTY, UNABLE TO DETERMINE LOCATION BASED UPON INFORMATION PROVIDED)
 - THE AMERICAN TELEGRAPH AND TELEPHONE COMPANY OF PENNSYLVANIA BY INSTRUMENT FROM GEORGE ROSS HULL, JR. ET AL. DATED APRIL 6, 1972 AND RECORDED IN MISCELLANEOUS BOOK K-14, PAGE 1. (MAY AFFECT THE SUBJECT PROPERTY, UNABLE TO DETERMINE LOCATION BASED UPON INFORMATION PROVIDED)
- SUSQUEHANNA TOWNSHIP AUTHORITY BY INSTRUMENT FROM GEORGE ROSS HULL, JR. ET AL. DATED MAY 31, 1972 AND RECORDED IN MISCELLANEOUS BOOK L-14, PAGE 353. (DOES NOT AFFECT THE SUBJECT PROPERTY)
- PENNSYLVANIA POWER & LIGHT COMPANY BY INSTRUMENT FROM THE UNIVERSAL COMPANIES, INC. DATED JUNE 24, 1984 AND RECORDED IN RECORD BOOK 115, PAGE 342. (AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE)
- TERMS AND CONDITIONS OF AGREEMENT CONCERNING THE GRANT OF A NON-EXCLUSIVE RIGHT OF WAY FOR VEHICULAR INGRESS, EGRESS AND REGRESS AND THE GRANT OF RECREATIONAL EASEMENTS FOR THE PARKING OF VEHICLES AND SIGN LOCATION EASEMENT ETC. FROM RADON INC. TO THE UNIVERSAL COMPANIES, INC. ET AL. DATED MAY 16, 1984 AND RECORDED IN RECORD BOOK 390, PAGE 525. AS AFFECTED BY AMENDMENT TO AGREEMENT CONCERNING THE GRANT OF NON-EXCLUSIVE RIGHT OF WAY FOR VEHICULAR INGRESS, EGRESS AND REGRESS AND THE GRANT OF RECREATIONAL EASEMENTS FOR THE PARKING OF VEHICLES AND SIGN LOCATION EASEMENT ETC. BETWEEN MATGORZATA GEORGES HETCOX, CONCORDE BANK AND SERVICES PARTNERSHIP, INC. AND ADAM, INC. DATED SEPTEMBER 19, 2002 AND RECORDED IN RECORD BOOK 474, PAGE 275. (AFFECTS THE SUBJECT PROPERTY, SHOWN HEREON)
- TERMS AND CONDITIONS OF DEED OF EASEMENT FROM UNION SQUARE SHOPPING CENTER, L.P. TO CONCORDE BANK AND SERVICES PARTNERSHIP, L.P., DATED JANUARY 28, 2003 AND RECORDED IN RECORD BOOK 474, PAGE 286. (AFFECTS THE SUBJECT PROPERTY, SHOWN HEREON)
- PARKING AND EASEMENT AGREEMENT FROM UNION SQUARE SHOPPING CENTER, L.P. TO HRONIS AND HRONIS BOUTIQUE PARTNERSHIP PARTNERSHIP, L.P. DATED JUNE 24, 2021 AND RECORDED AT INSTRUMENT NO. 202100044. (AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE)
- ALL MATTERS SET FORTH IN THE FOLLOWING PLANS:
 - FINAL SUBDIVISION PLAN OF A 1.521 ACRE TRACT RECORDED IN PLAN BOOK V-4, PAGE 54. (AFFECTS THE SUBJECT PROPERTY, SHOWN HEREON)
 - PRELIMINARY FINAL LAND DEVELOPMENT PLAN FOR CONCORDE BANK RECORDED IN PLAN BOOK O-8, PAGE 73. (AFFECTS SUBJECT PROPERTY, SHOWN HEREON)

PURSUANT TO SECTION 610(b) OF THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANPS LAND TITLE SURVEYS (2021) COLLIER ENGINEERING & DESIGN HAS PLOTTED ANY RIGHTS OF WAY, EASEMENTS AND SERVITUDES BUILDING THE SURVEYED PROPERTY AS SHOWN IN THE TITLE INSURANCE COMMITMENT PROVIDED BY THE CLIENT OR OBTAINED BY THE SURVEYOR AND STATED IF EACH IS "SHOWN" OR "NOT SHOWN" ON THE SURVEY. THIS CLIENT HAS REQUESTED THAT THE SURVEYOR STATE, AS AN OPINION, THE RIGHTS OF WAY, EASEMENTS AND SERVITUDES "AFFECT" OR "DO NOT AFFECT" THE SUBJECT PROPERTY. THESE OPINIONS ARE NOT TO BE CONSIDERED TO BE MADE WITH ANY LEGAL EXPERTISE AND SHOULD BE REVIEWED BY CLIENT'S LEGAL REPRESENTATIVE TO VERIFY VALIDITY PRIOR TO RELYING ON THOSE STATEMENTS.

VESTING DEED

BEGINNING AT A POINT ON THE SOUTHERN SIDE OF DAUPHIN COUNTY INDUSTRIAL DEVELOPMENT AUTHORITY, THENCE SOUTH 2 DEGREES 31 MINUTES 52 SECONDS EAST, A DISTANCE OF 207.31 FEET TO A POINT; THENCE SOUTH BY DEGREES 18 MINUTES 11 SECONDS WEST, A DISTANCE OF 189.88 FEET TO A POINT; THENCE NORTH 2 DEGREES 25 MINUTES 49 SECONDS WEST, A DISTANCE OF 300.00 FEET TO A POINT ON THE SOUTHERN SIDE OF UNION DEPOSIT ROAD; THENCE NORTH 18 DEGREES 23 MINUTES 51 SECONDS EAST, A DISTANCE OF 193.32 FEET TO A POINT, THE PLACE OF BEGINNING.

THE HAZARD IN THE BEARINGS BETWEEN THE VESTING DESCRIPTION AND THOSE SHOWN ON THIS SURVEY ARE DUE TO THE USE OF DIFFERENT BEARING SYSTEMS. THEY DO NOT FACT REPRESENT THE SAME PROPERTY.

ZONING

INFORMATION TAKEN FROM "DEVELOPMENT INVESTIGATION REPORT, HARRISBURG, PA. BY COLLIER ENGINEERING & DESIGN, DATED JUNE 29, 2021.

ZONE: CH (COMMERCIAL HIGHWAY DISTRICT) BUILDING SETBACKS

FRONT: BUILDING

LEFT SIDE: 10'

RIGHT SIDE: 10'

REAR: 15'

*SIDE YARD: 10 FEET EACH SIDE OF A PRINCIPAL BUILDING, PROVIDED THAT WHEN A WRITTEN AGREEMENT IS PROVIDED BY ADJOINING PROPERTY OWNERS NO SIDE YARD SHALL BE REQUIRED WHEN TWO OR MORE COMMERCIAL PROPERTIES ADJUT SIDE TO SIDE.

MAXIMUM BUILDING HEIGHT: 50 FEET

MAXIMUM BUILDING FLOOR AREA RATIO: THERE ARE NO REQUIREMENTS STATED IN THE ORDINANCE.

NOTE: ZONING INFORMATION ABOVE SHOULD BE VERIFIED WITH THE TOWNSHIP AND OTHER SERVICES BEFORE BEING USED.

THE SURVEYOR WHO PREPARED THIS PLAN IS NOT QUALIFIED TO ANALYZE THE ZONING INFORMATION SHOWN. THE ZONING INFORMATION SHOWN ON THIS PLAN SHOULD BE VERIFIED BY A QUALIFIED ENGINEER BEFORE BEING RELIED UPON.

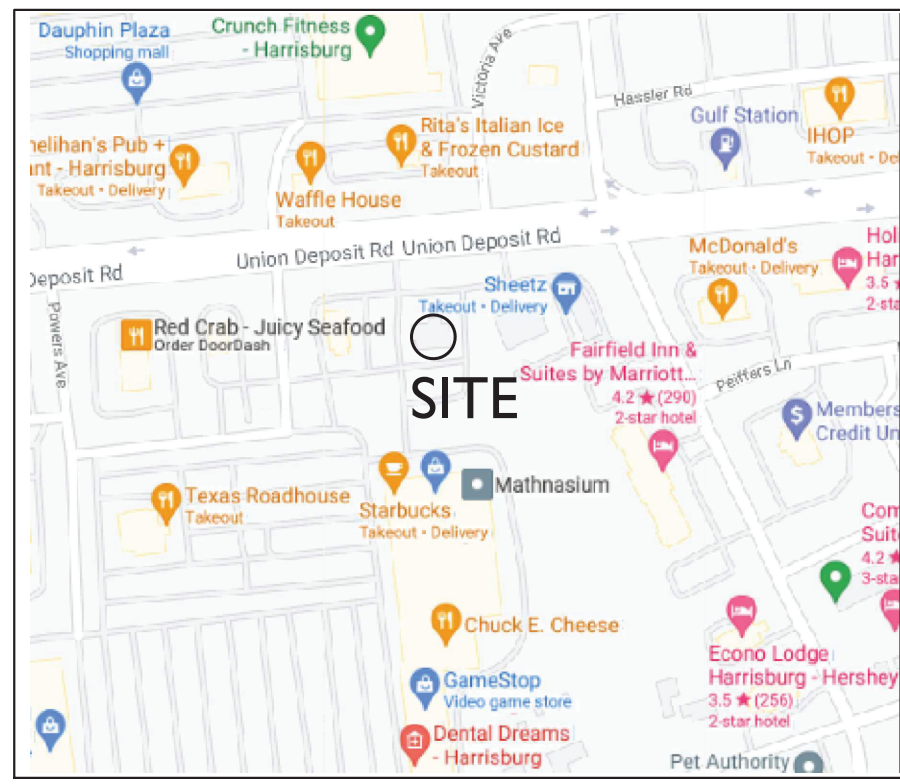
LEGEND



ABBREVIATIONS

D.C. = DEPRESSED CURB
 BC = BOTTOM OF CURB
 TC = TOP OF CURB
 B.C. = BOLLARD
 GRT = GRATE
 MB = MAILBOX
 FF = FINISH FLOOR
 UV = UNKNOWN VALVE
 MH = MEAN HIGH WATERLINE
 MLW = MEAN LOW WATERLINE
 M.W. = MANHOLE
 DEP = DEPRESSED
 CL = CENTERLINE
 PL = PARKING METER
 MHW = MEAN HIGH WATERLINE
 MLW = MEAN LOW WATERLINE
 BW = TOP OF WALL
 BTW = BOTTOM WALL

KEY MAP



SURVEYOR'S NOTES

- PROPERTY KNOWN AS PARCEL #/APN: 62-040-048-000-0000 IN SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA.
- MAP REFLECTS CONDITIONS AS OF 08-20-2021.
- THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES. ALL UTILITIES MAY PROVIDED BY UTILITIES COMPANIES REFERENCED HEREON. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. THE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES FIELD VERIFIED BY THE PROPER UTILITY COMPANIES BEFORE ANY CONSTRUCTION BEGINS.
- PERTINENT DOCUMENTS OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY ARE NOTED HEREON. OTHER DOCUMENTS OF RECORD MAY EXIST THAT WOULD AFFECT THIS PARCEL.
- HORIZONTAL DATUM = NORTH AMERICAN DATUM OF 1983 (NAD83); PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)
- VERTICAL DATUM = NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE VERTICAL AND HORIZONTAL DATUM WERE ESTABLISHED AT THE PROJECT SITE BY USING GPS SURVEY METHODS.
- BY GRAPHIC PLOTTING ONLY THIS PROPERTY LIES WITHIN FLOOD ZONE X OR AS SHOWN ON FLOOD INSURANCE RATE MAP. GRAPHIC PLOTTING ONLY HAS AN EFFECTIVE DATE OF AUGUST 7, 2021.
- THE EXISTENCE OR NONEXISTENCE OF WETLANDS, TIDELANDS OR OPEN WATERS MAY BE REGULATED BY THE STATE OF PENNSYLVANIA AND/OR THE GOVERNMENT OF THE UNITED STATES IS NOT A PART OF THIS SURVEY.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESS OR IMPLIED.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THIS PLAN IS MADE TO PROVIDE INFORMATION TO THE TITLE INSURER SO THAT IT MAY INURE TITLE TO THE LANDS SHOWN HEREON AND FOR THE MORTGAGE HOLDER NAMED. THIS DECLARATION IS GIVEN SOLELY TO THE NAMED PARTIES FOR THE TRANSACTIONS ONLY AND IS NOT TRANSFERABLE EXCEPT AS PROVIDED HEREIN.
- THE OFFSETS SHOWN ON THIS PLAN SHALL NOT BE USED AS THE BASIS FOR THE CONSTRUCTION OF FENCES OR ANY OTHER PERMANENT STRUCTURES.
- CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN AN ORIGINAL INK SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. (TABLE ITEM 16)
- PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. (TABLE ITEM 17)
- NO EVIDENCE OF THE SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WAS OBSERVED. (TABLE A ITEM 18)
- ALL PLOTTABLE MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR ARE SHOWN ON THE SURVEY.
- PROPERTY CORNERS TO BE SET AT COMPLETION OF SITE CONSTRUCTION.
- DO NOT USE DISTANCES TO BUILDINGS TO ESTABLISH PROPERTY LINES.

SITE ADDRESS: 3951 UNION DEPOSIT ROAD HARRISBURG, PA

- ### CONTACTS
- | | |
|---|--|
| FIRE DEPARTMENT
Agency: Susquehanna Township - Office of the Fire Marshal
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: George C. Drees, Fire Marshal
Phone: (717) 909-9255
Email: gdrees@susquehannatwp.com | PLUMBING DEPARTMENT
Agency: Susquehanna Township Building Codes
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: Joseph Vajda, Building Codes Officer
Phone: (717) 909-9228
Email: jvajda@susquehannatwp.com |
| HEALTH DEPARTMENT
Agency: Susquehanna Township Health Department
Address: 1240 North Mountain Road Harrisburg, PA 17110
Contact: Anthony Russo
Phone: (717) 909-9228
Email: trued@susquehannatwp.com | TRAFFIC ENGINEERING
Agency: HEG Engineering Services
Address: 1240 North Mountain Road Harrisburg, PA 17110
Contact: Joel Kosciak, P.E., CCET
Phone: (717) 541-2622
Fax: (717) 541-9004 |

- | | |
|---|---|
| EROSION CONTROL
Agency: Dauphin County Erosion Control District
Address: 1401 Penns Mountain Road Dauphin, PA 17018
Phone: (717) 921-8100 | BUILDING DEPARTMENT
Agency: Community Development Department
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: Joseph Vajda, Building Codes Officer
Phone: (717) 909-9228
Email: jvajda@susquehannatwp.com |
|---|---|

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|---|--|
| PLANNING BOARD
Agency: Planning & Zoning Department
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: Michael Rivara, Zoning/Planning Administrator
Phone: (717) 909-9225
Email: mrvivara@susquehannatwp.com | ZONING DEPARTMENT
Agency: Planning & Zoning Department
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: Michael Rivara, Zoning/Planning Administrator
Phone: (717) 909-9225
Email: mrvivara@susquehannatwp.com |
|---|--|

- | | |
|--|---|
| SERVICE UTILITIES
Agency: UGI Utilities
Address: P.O. Box 13009 Harrisburg, PA 17110
Contact: Heather Goshen, New Services Department
Phone: (800) 342-5775
Email: hmgoshen@ug.com | SITE UTILITIES
Agency: Susquehanna Township Authority
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: Nathan Baggenier, Director of Public Works
Phone: (717) 233-7443
Email: nrbaggenier@susquehannatwp.com |
|--|---|

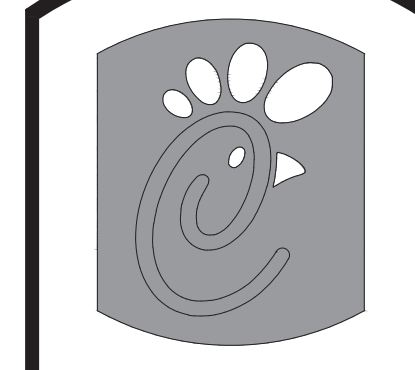
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|--|---|
| GAS
Agency: UGI Utilities
Address: P.O. Box 13009 Harrisburg, PA 17110
Contact: Heather Goshen, New Services Department
Phone: (800) 342-5775
Email: hmgoshen@ug.com | SANITARY SEWER
Agency: Susquehanna Township Authority
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: Madison Smith
Phone: (717) 909-9260
Email: msmith@susquehannatwp.com |
|--|---|

- | | |
|---|---|
| ELECTRIC
Agency: PPL Electric Utilities
Address: 827 Susquehanna Road Allentown, PA 18104
Contact: Heather Goshen, New Services Department
Phone: (800) 342-5775
Email: hmgoshen@ug.com | STORM DRAINAGE
Agency: Susquehanna Township
Address: 1900 Linglestown Road Harrisburg, PA 17110
Contact: Madison Smith
Phone: (717) 909-9260
Email: msmith@susquehannatwp.com |
|---|---|

- | | |
|---|---|
| TELEPHONE/CABLE
Agency: Verizon
Contact: Jim Costello
Phone: (570) 803-6400
Email: jcostello@verizon.com | WATER
Agency: Capital Region Water
Address: 100 Pine Drive Harrisburg, PA 17103
Phone: (888) 510-0006 |
|---|---|

MAP REFERENCE

PLAN TITLED "FINAL SUBDIVISION PLAN OF A 1.521 ACRE TRACT FOR UNIVERSAL COMPANIES, INC., 2801 EAST BELTLINE AVENUE NORTHEAST GRAND RAPIDS, MI. #9505 TELEPHONE: 616 344-4161. SUSQUEHANNA TOWNSHIP, DAUPHIN CO., PA. PREPARED BY: MICHAEL BELL & ASSOCIATES INCL. CONSULTING ENGINEERS, DATED MARCH 29, 1989. REVISED MAY 3, 1989.

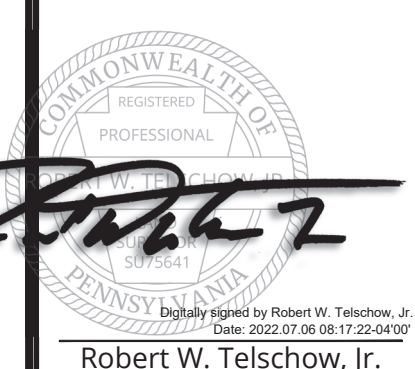


5200 Buffington Road
 Atlanta, Georgia
 30349-2998
 Telephone 404-765-8000

REV	DATE	DESCRIPTION
1	7/31/2022	REVISED PER CD REVIEW COMMENTS
2	8/19/2022	ADDED UNION DEPOSIT ROAD

Seal
 TO: CHICK-FIL-A, INC. A GEORGIA CORPORATION, PROULRY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6B, 7(a), 7(b), 8, 9, 11(b), 12, 13, 14, 15, 16, 17, 18, 19, 20, 20B AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 08-20-21.



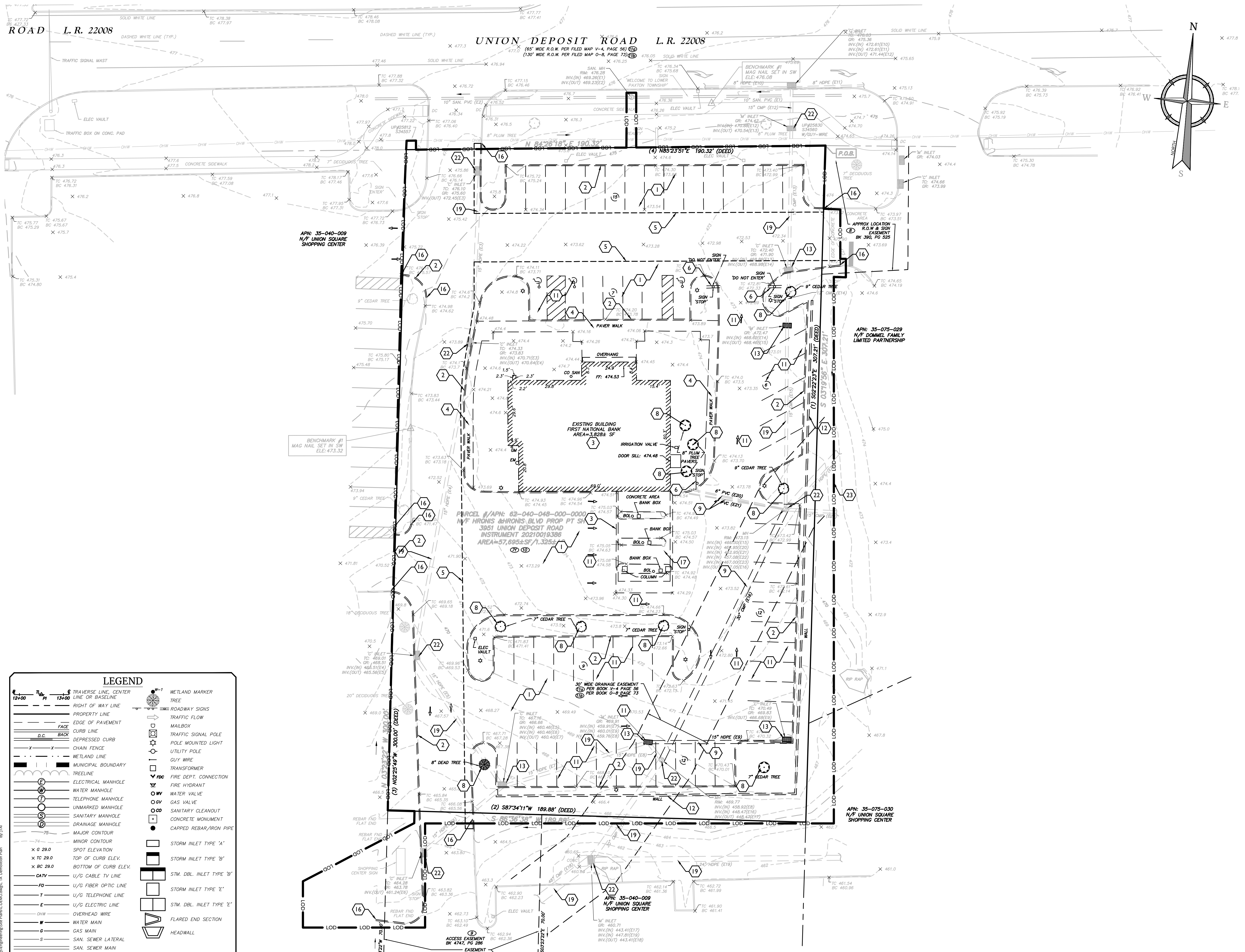
Robert W. Telschow, Jr.
 FERMONT AREA REGISTERED PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER: 5075041
 COLLIER ENGINEERING & DESIGN, INC.

Colliers Engineering & Design
 www.colliersengineering.com
 Doing Business as MASER

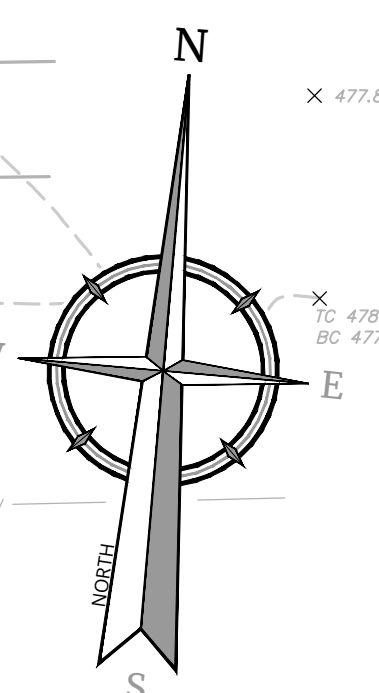
STORE #05029
 PARCEL #/APN: 62-040-048-000-0000
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY
 PENNSYLVANIA
 ALTA/NSPS
 LAND TITLE SURVEY

DWG EDITION
 Preliminary
 80% Submittal
 For Construction

File No.: 21001871A
 Store #: 05029
 Date: 08/26/21
 Drawn By: BIS
 Checked By: JIP
 Sheet



- ### DEMOLITION LEGEND
- 1 REMOVE EXISTING PAVEMENT AS NECESSARY
 - 2 REMOVE EXISTING CURB AS NECESSARY
 - 3 REMOVE EXISTING STRUCTURE
 - 4 REMOVE EXISTING SIDEWALK
 - 5 LIMIT OF PAVEMENT REMOVAL
 - 6 REMOVE EXISTING SIGNS
 - 7 REMOVE EXISTING GAS SERVICE
 - 8 REMOVE EXISTING TREE
 - 9 REMOVE EXISTING STORM PIPE
 - 10 REMOVE EXISTING SANITARY PIPE
 - 11 REMOVE EXISTING STRIPING (TYP)
 - 12 REMOVE EXISTING RETAINING WALL
 - 13 REMOVE EXISTING STORM STRUCTURE
 - 14 REMOVE EXISTING TELEPHONE/ELECTRIC SERVICE
 - 15 REMOVE EXISTING WATER SERVICE
 - 16 LIMIT OF CURB REMOVAL
 - 17 REMOVE EXISTING CONCRETE PAD
 - 18 LIMIT OF SANITARY SEWER PIPE REMOVAL
 - 19 EXISTING STORMWATER PIPE TO REMAIN
 - 20 EXISTING WATER MAIN TO REMAIN
 - 21 EXISTING SANITARY SEWER MAIN TO REMAIN
 - 22 EXISTING STORMWATER STRUCTURE TO REMAIN
 - 23 PROPOSED LIMIT OF DISTURBANCE

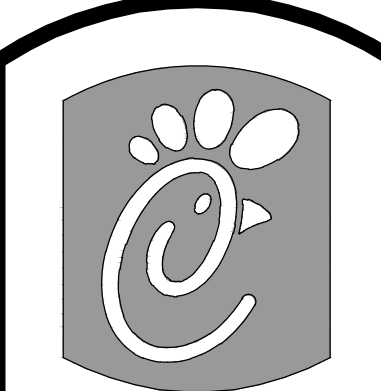


LEGEND

12+00	13+00	WETLAND MARKER TREE
TRAVERSE LINE, CENTER LINE OR BASELINE	ROADWAY SIGNS	
RIGHT OF WAY LINE	TRAFFIC FLOW	
PROPERTY LINE	MAILBOX	
FACE	TRAFFIC SIGNAL POLE	
DEPRESSED CURB	POLE MOUNTED LIGHT	
D.C. BACK	UTILITY POLE	
CHAIN FENCE	GUY WIRE	
WETLAND LINE	TRANSFORMER	
MUNICIPAL BOUNDARY	FIRE DEPT. CONNECTION	
TREELINE	FIRE HYDRANT	
ELECTRICAL MANHOLE	WATER VALVE	
EDGE OF PAVEMENT	GAS VALVE	
DEPRESSED CURB	SANITARY CLEANOUT	
FACE	CONCRETE MONUMENT	
D.C. BACK	CAPPED REBAR/IRON PIPE	
CHAIN FENCE	STORM INLET TYPE 'A'	
WETLAND LINE	STORM INLET TYPE 'B'	
MUNICIPAL BOUNDARY	STM. DBL. INLET TYPE 'B'	
TREELINE	STORM INLET TYPE 'E'	
ELECTRICAL MANHOLE	STM. DBL. INLET TYPE 'E'	
EDGE OF PAVEMENT	FLARED END SECTION	
DEPRESSED CURB	HEADWALL	
D.C. BACK		

ABBREVIATIONS

D.C. = DEPRESSED CURB	FF = FINISH FLOOR	MHWL = MEAN HIGH WATERLINE
BC = BOTTOM OF CURB	UV = UNKNOWN VALVE	MLWL = MEAN LOW WATERLINE
TC = TOP OF CURB	MH = MANHOLE	WATERLINE
BC = BOLLARD	DR = DEPRESSED	WATERLINE
GR = GRATE	CL = CENTERLINE	TW = TOP OF WALL
MB = MAILBOX	PM = PARKING METER	BW = BOTTOM WALL



5200 Buffington Road
Atlanta, Georgia
30349-2998
Telephone 404-765-8000

REV	DATE	DESCRIPTION
1	07/20/22	REVISED PER TYP COMMENTS
2	07/20/22	REVISED PER TYP COMMENTS

Seal



Justin Ryan Thornton
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE008279
COLLIERS ENGINEERING & DESIGN, INC.

Colliers Engineering & Design
www.colliersengineering.com
Doing Business as MASER
PITTSBURGH, PENNSYLVANIA
1501 Pennsylvania Avenue, Suite 302
Pittsburgh, PA 15233
Phone: 412.618.5390

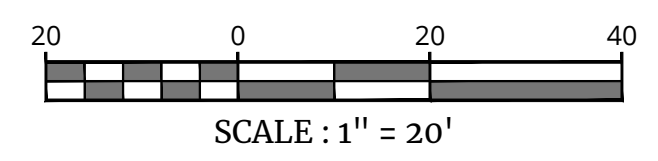
STORE 5029
PARCEL #/APN: 62-040-048-000-0000
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY PENNSYLVANIA
PRELIMINARY & FINAL MAJOR SITE PLAN

DEMOLITION PLAN
DWG EDITION 2.0
 Preliminary
 80% Submittal
 For Construction

File No.: 21001871A
Store: 5029
Date: 05/04/22
Drawn By: VFP
Checked By: JRT

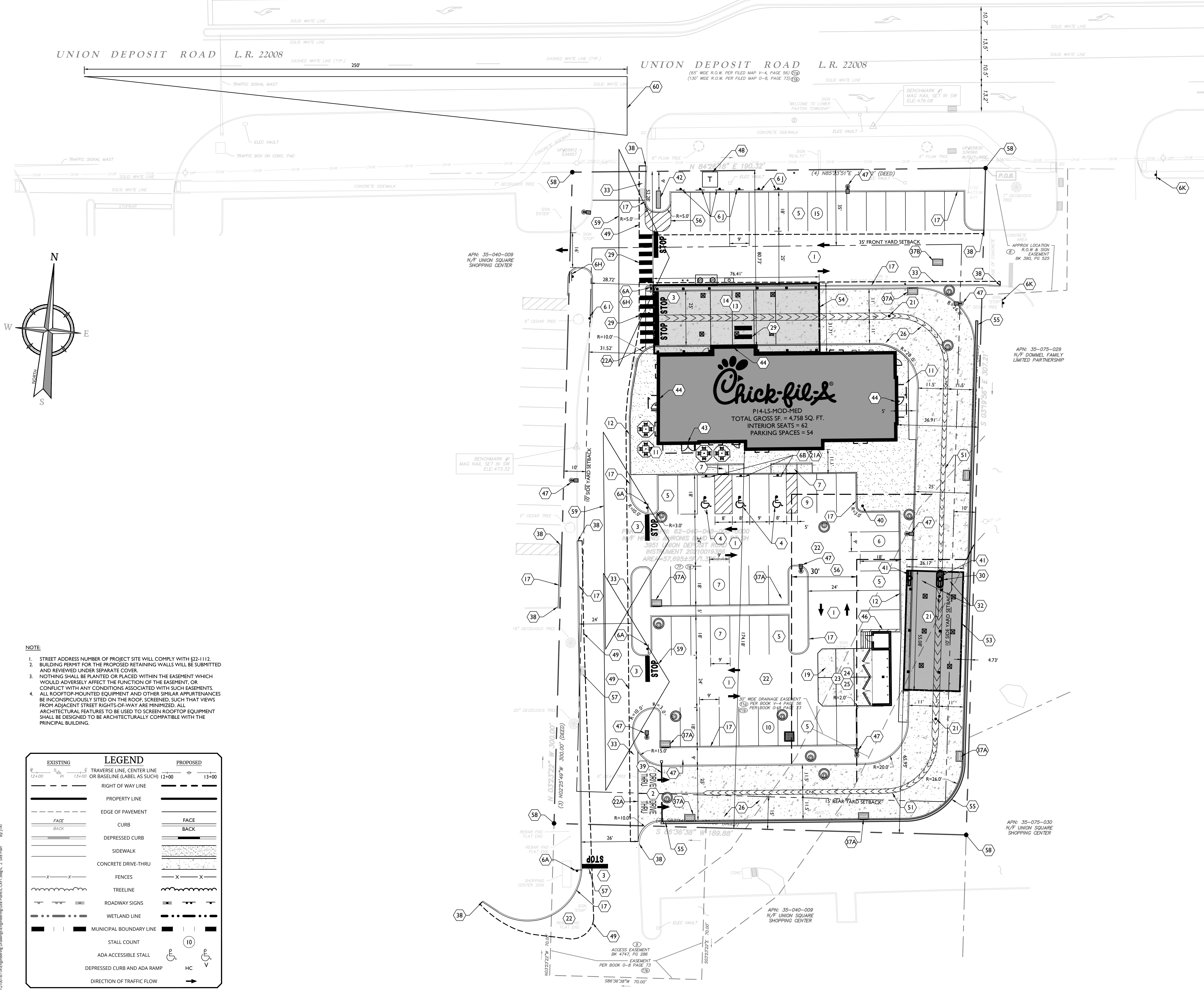
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C 1A



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2021/10/01/17/1/Engineering/Drawings/Engineering/Plan/CDM/AMC/CA_Demolition_Plan_By:JTM

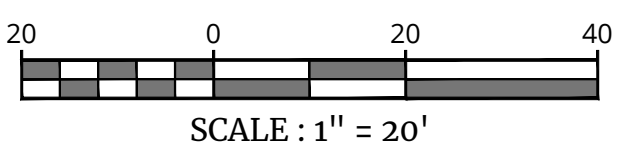


NOTE

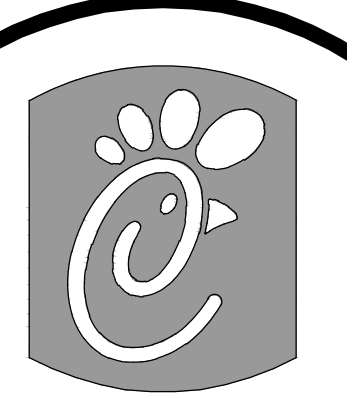
1. STREET ADDRESS NUMBER OF PROJECT SITE WILL COMPLY WITH 923.111.2.
2. BUILDING PERMIT FOR THE PROPOSED RETAINING WALLS WILL BE SUBMITTED AND REVIEWED UNDER SEPARATE COVER.
3. NOTHING SHALL BE PLANTED OR PLACED WITHIN THE EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENTS.
4. ALL ROOFTOP-MOUNTED EQUIPMENT AND OTHER SIMILAR APPURTENANCES BE INCONSPICUOUSLY SITED ON THE ROOF, SCREENED, SUCH THAT VIEWS FROM ADJACENT STREET RIGHTS-OF-WAY ARE MINIMIZED. ALL ARCHITECTURAL FEATURES TO BE USED TO SCREEN ROOFTOP EQUIPMENT SHALL BE DESIGNED TO BE ARCHITECTURALLY COMPATIBLE WITH THE PRINCIPAL BUILDING.

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	FACE OF CURB	
	BACK OF CURB	
	DEPRESSED CURB	
	SIDEWALK	
	CONCRETE DRIVE-THRU	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	
	DIRECTION OF TRAFFIC FLOW	

SITE PLAN LEGEND	
	DIRECTIONAL ARROW (TYP.)
	DRIVE-THRU GRAPHICS
	DRIVE-THRU MULTI-LANE MERGE STRIPING
	STOP LINE GRAPHICS
	PAINTED HANDICAP PARKING SYMBOL (TYP.)
	STANDARD PARKING STALL (TYP.)
	DIRECTIONAL SIGNAGE
ALL SIGNS TO CONFORM TO MUTCD LATEST VERSION	
	STOP SIGN
	HANDICAP W/PENALTY (TYP.)
	NO TRUCKS EXCEPT FOR DELIVERIES SIGN
	RIGHT TURN ONLY SIGN
	ONE WAY SIGN
	CATERING & CARRY OUT SIGN
	PEDESTRIAN CROSSING SIGN
	DO NOT ENTER SIGN
	NO U-TURN SIGN
	LOADING ZONE, NO PARKING AFTER STORE HOUR SIGN
	DO NOT BLOCK INTERSECTION SIGN
	CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
	HANDICAP RAMP w/FLARED SIDES
	RETURNED CURB HANDICAP RAMP
	TRUNCATED DOMES
	TYPICAL SIDEWALK DETAIL - PICTURE FRAME PATTERN
	TYPICAL SIDEWALK WITH CURB
	DRIVE THRU PLAN VIEW
	DRIVE THRU ISOMETRIC VIEW
	PLASTIC WHEEL STOP (TYP.)
	LANDSCAPE/IRRIGATION PROTECTOR
	18" CONCRETE CURB
	ROLLOVER/MOUNTABLE CURB
	TRASH ENCLOSURE FOUNDATION PLAN
	ALT. TRASH ENCLOSURE FOUNDATION PLAN
	ALT. TRASH ENCLOSURE DRAINAGE PLAN
	BOLLARD
	BOLLARD W/ SIGN
	TYPICAL ASPHALT PAVEMENT SECTION
	PAVEMENT EDGE AT CONCRETE
	CONTRACTION JOINTS
	CONSTRUCTION JOINTS
	SECTION THRU CONCRETE PAVEMENT AT DUMPSTER
	CONCRETE PAVEMENT SECTION AT DRIVE-THRU
	HANDRAIL
	HANDRAIL AND RAMP
	CROSS WALK DETAIL
	DRIVE THRU ORDER POINT ISLAND CURB
	MULTI ORDER POINT MOUNTABLE CURB
	MENU BOARD LOOP DETECTION SYSTEM
	PAVEMENT REPAIR STRIP
	CURB CUT (FLUSH CURB)
	GREASE INTERCEPTOR
	EXTERIOR CLEANOUT (TYP.)
	INLET DETAILS
	TYPE "C"
	TYPE "M"
	MEET EXISTING CURB
	CLEARANCE BAR
	FLAG POLE
	DRIVE-THRU MENU BOARD
	MAIN ID SIGN (96.00 SF)
	WALL SIGN (46.00 SF)
	WALL SIGN (88.75 SF)
	CURB TRANSITION FROM FLUSH TO FULL HEIGHT
	4" WIDE WHITE STRIPE
	LIGHT POLE (SEE LIGHTING PLAN FOR DETAILS)
	EXISTING LIGHT POLE
	TRANSFORMER & PAD
	SAW CUT LIMIT (TYP.)
	DOGHOUSE SANITARY MANHOLE
	DRIVE-THRU STRIPING
	EMPLOYEE PARKING
	FACE TO FACE ORDER CANOPY
	MEAL DELIVERY CANOPY
	RETAINING WALL
	30 FT WIDE STORM EASEMENT
	CONVERT C INLET TO M INLET
	PROPERTY CORNER TO BE SET WITH PROPERTY MARKER WITH DIMENSION OF 3/4" X 3/4" SQUARE OR 3/4" IN DIAMETER. THE MARKER SHALL BE 30 INCHES IN LENGTH AND MADE OF IRON PIPE OR IRON/STEEL BARS.
	50 FT SIGHT TRIANGLE
	UNION DEPOSIT ROAD SIGHT TRIANGLE



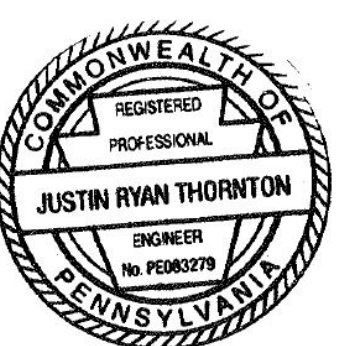
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 1-800-272-1000



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998
 Telephone 404-765-8000

REV	DATE	DESCRIPTION
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Seal



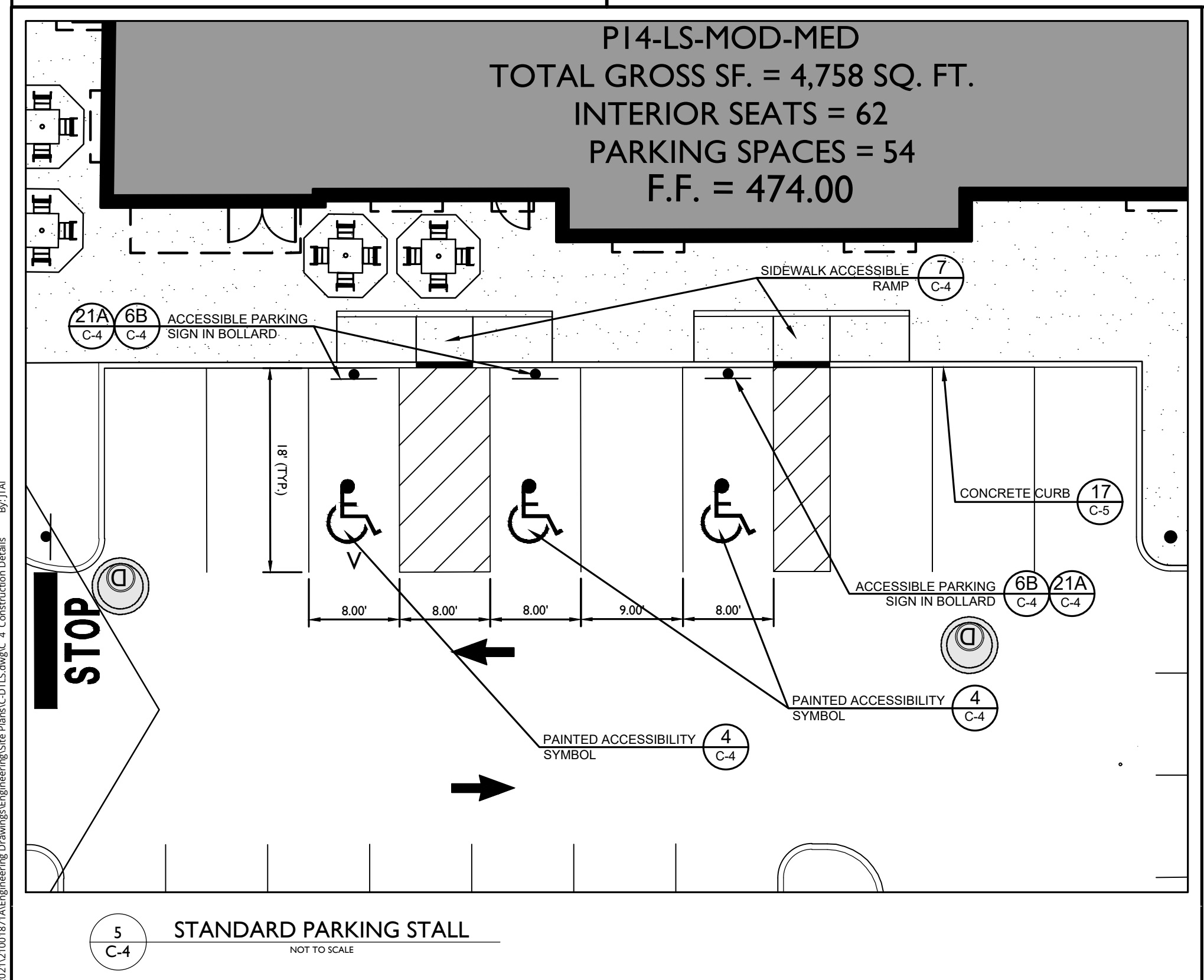
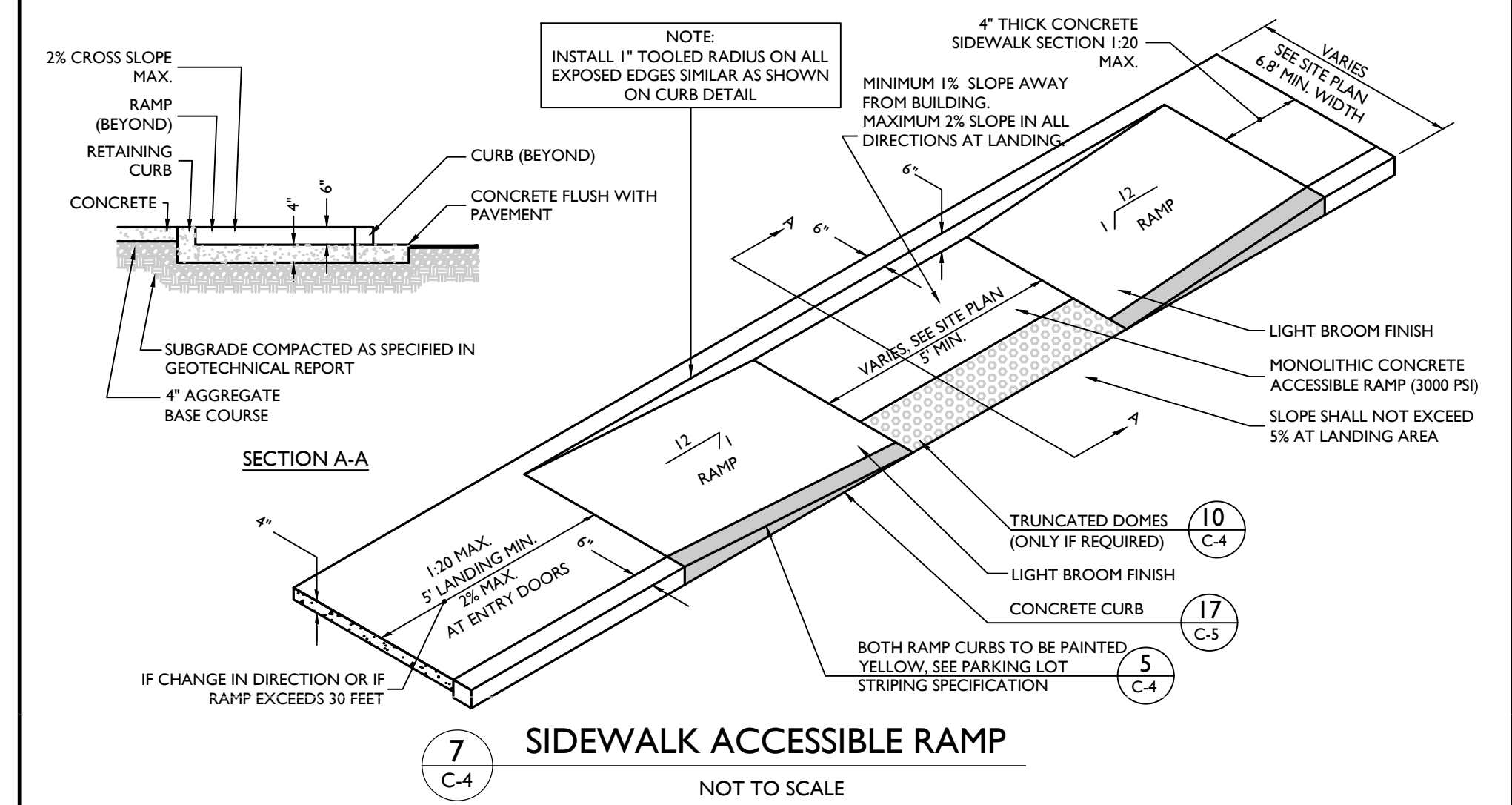
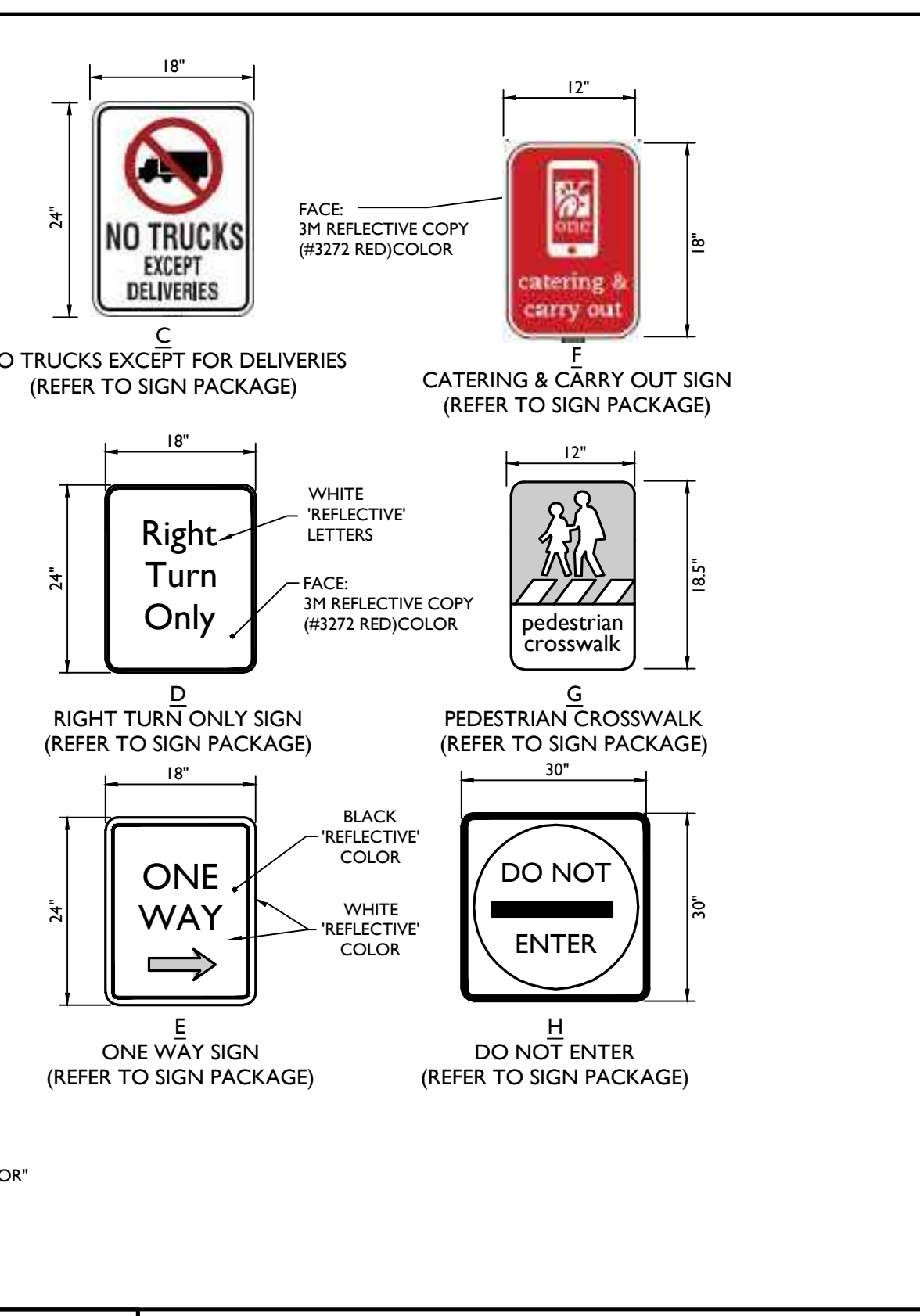
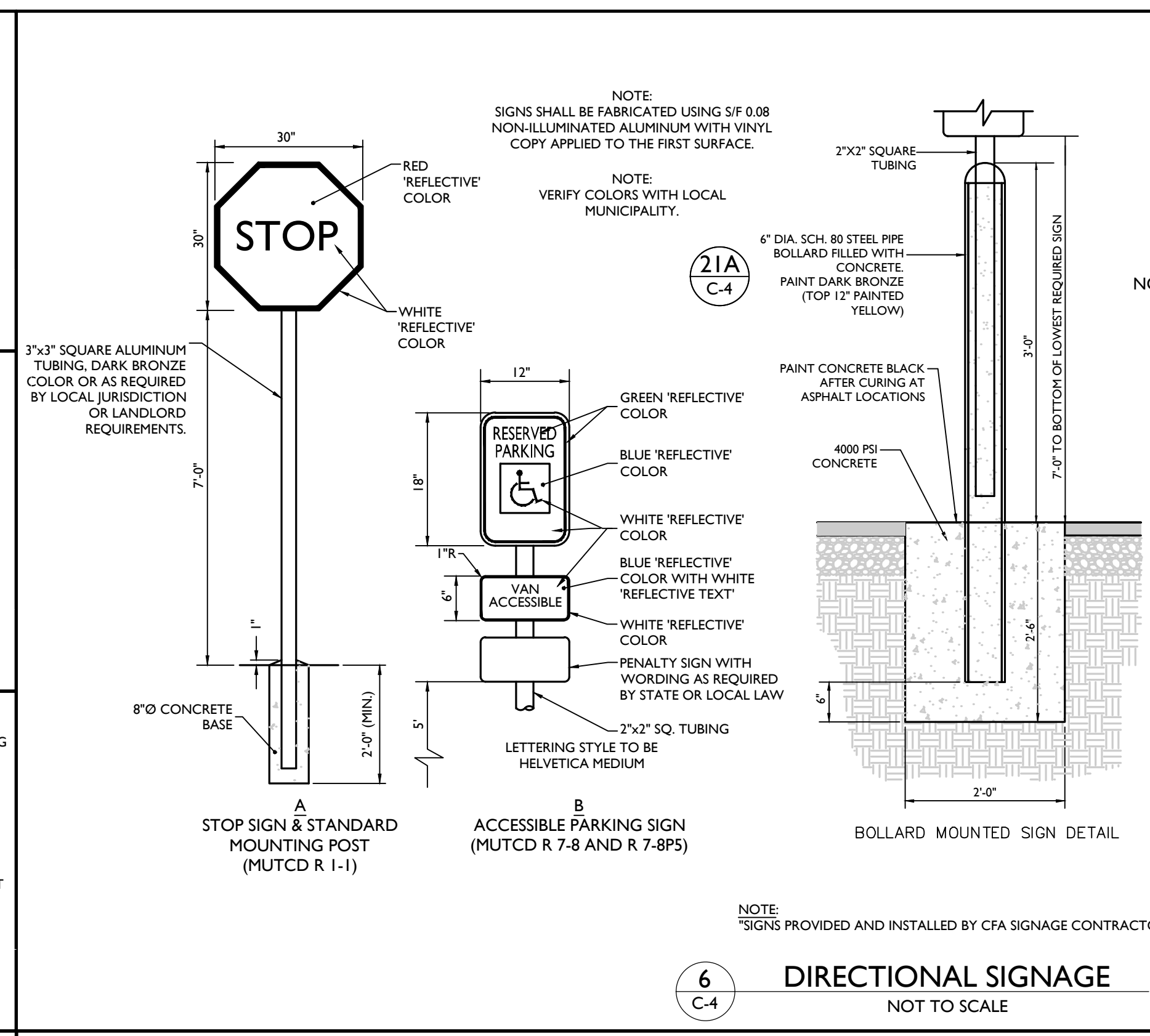
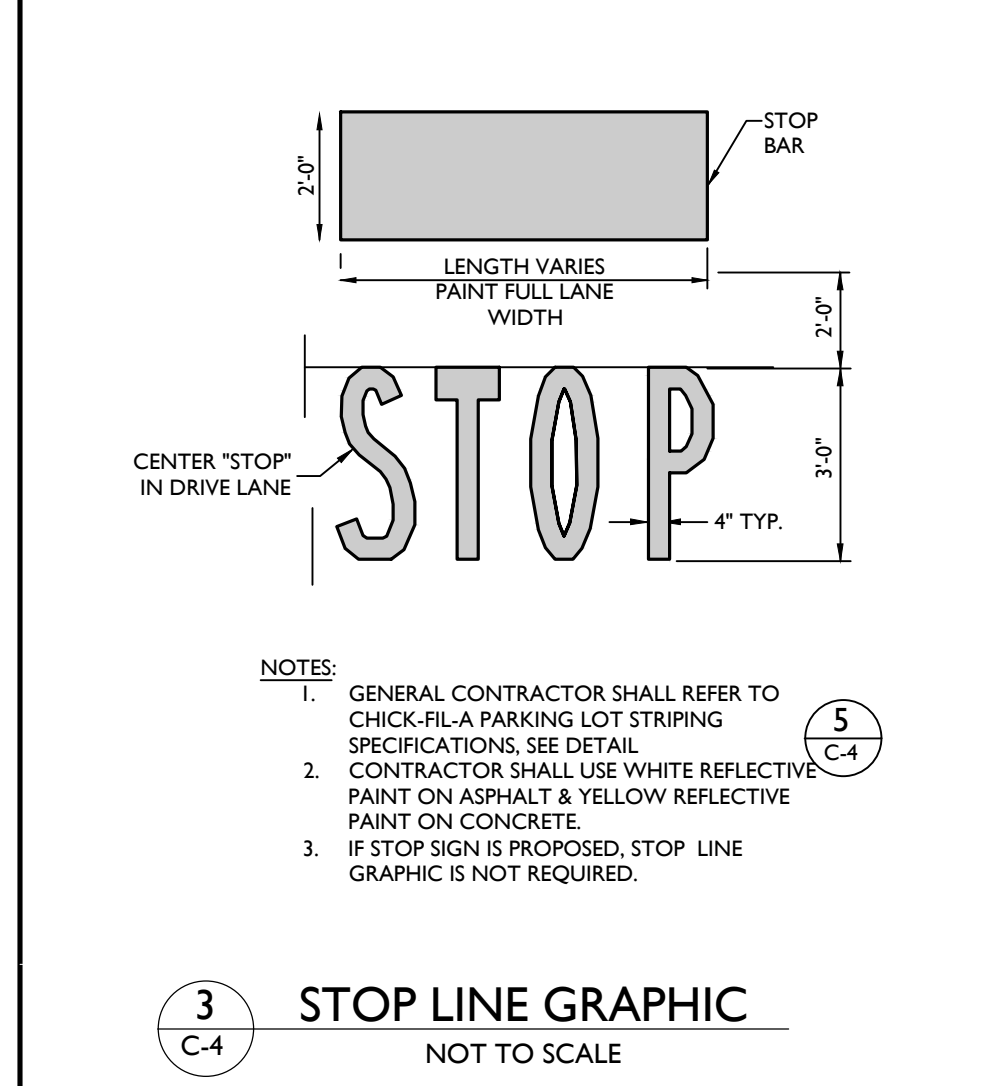
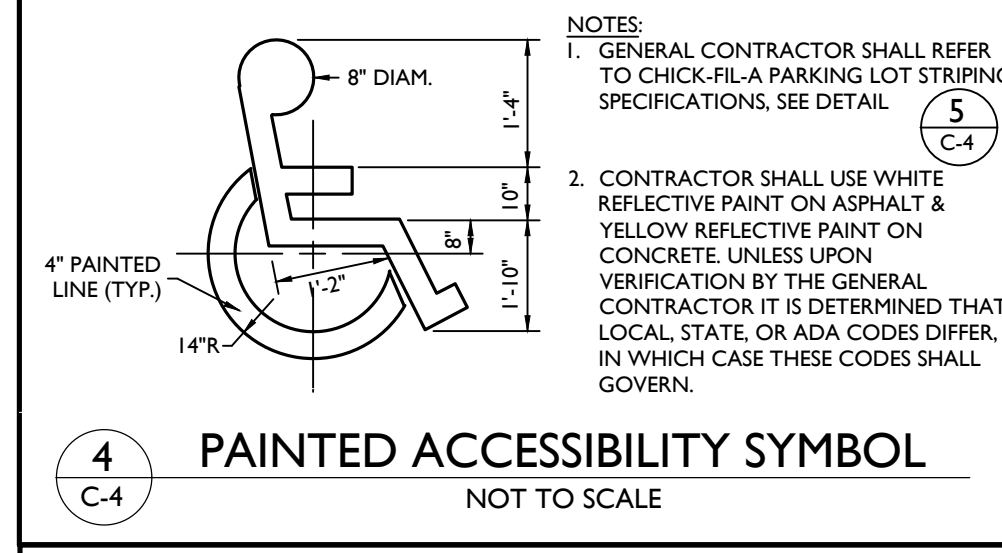
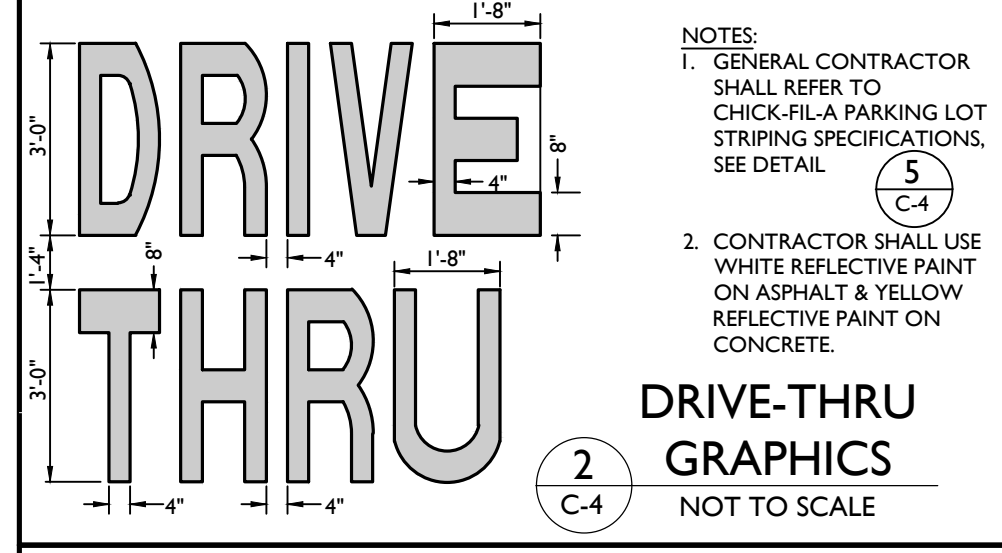
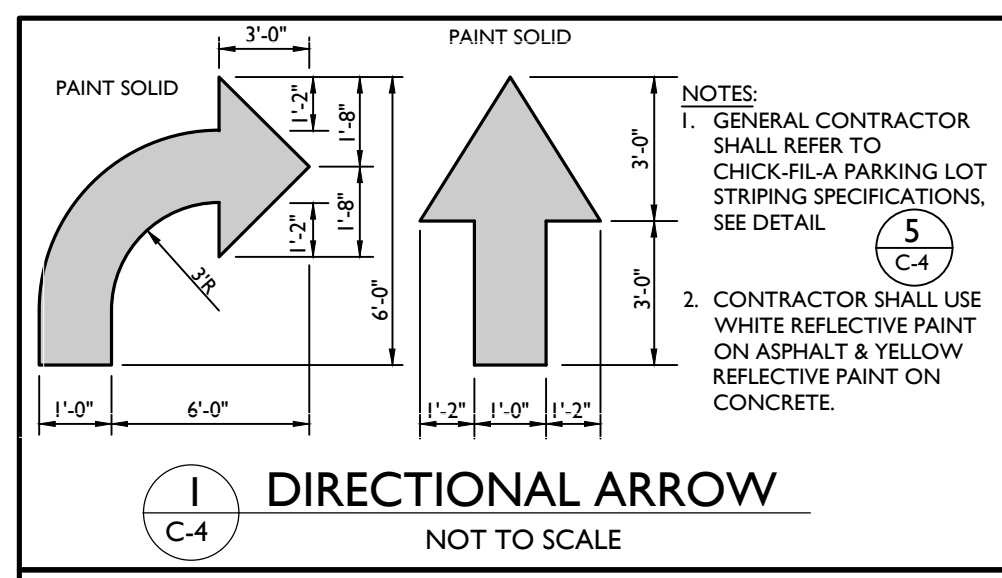
Justin Thornton
 Justin Ryan Thornton
 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
 LICENSE NUMBER: PE0003279
 COLLIER ENGINEERING & DESIGN, INC.

Colliers Engineering & Design
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 PITTSBURGH, PENNSYLVANIA
 1501 Riverside Street
 Suite 302
 Pittsburgh, PA 15233
 Phone: 412.618.5390

STORE 5029
 PARCEL #/APN:
 62-040-048-000-0000
 SUSQUEHANNA
 TOWNSHIP
 DAUPHIN COUNTY
 PENNSYLVANIA
 PRELIMINARY & FINAL
 MAJOR SITE PLAN

SITE PLAN
 DWG EDITION 2.0
 Preliminary
 80% Submittal
 For Construction
 File No.: 21001871A
 Store : 5029
 Date : 05/04/22
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C 2



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Justin Ryan Thornton
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PRELIMINARY & FINAL
MAJOR SITE PLAN
CONSTRUCTION
DETAILS

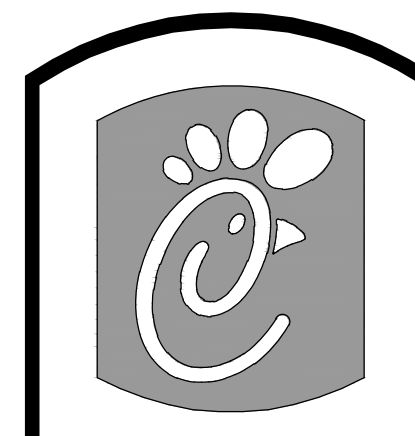
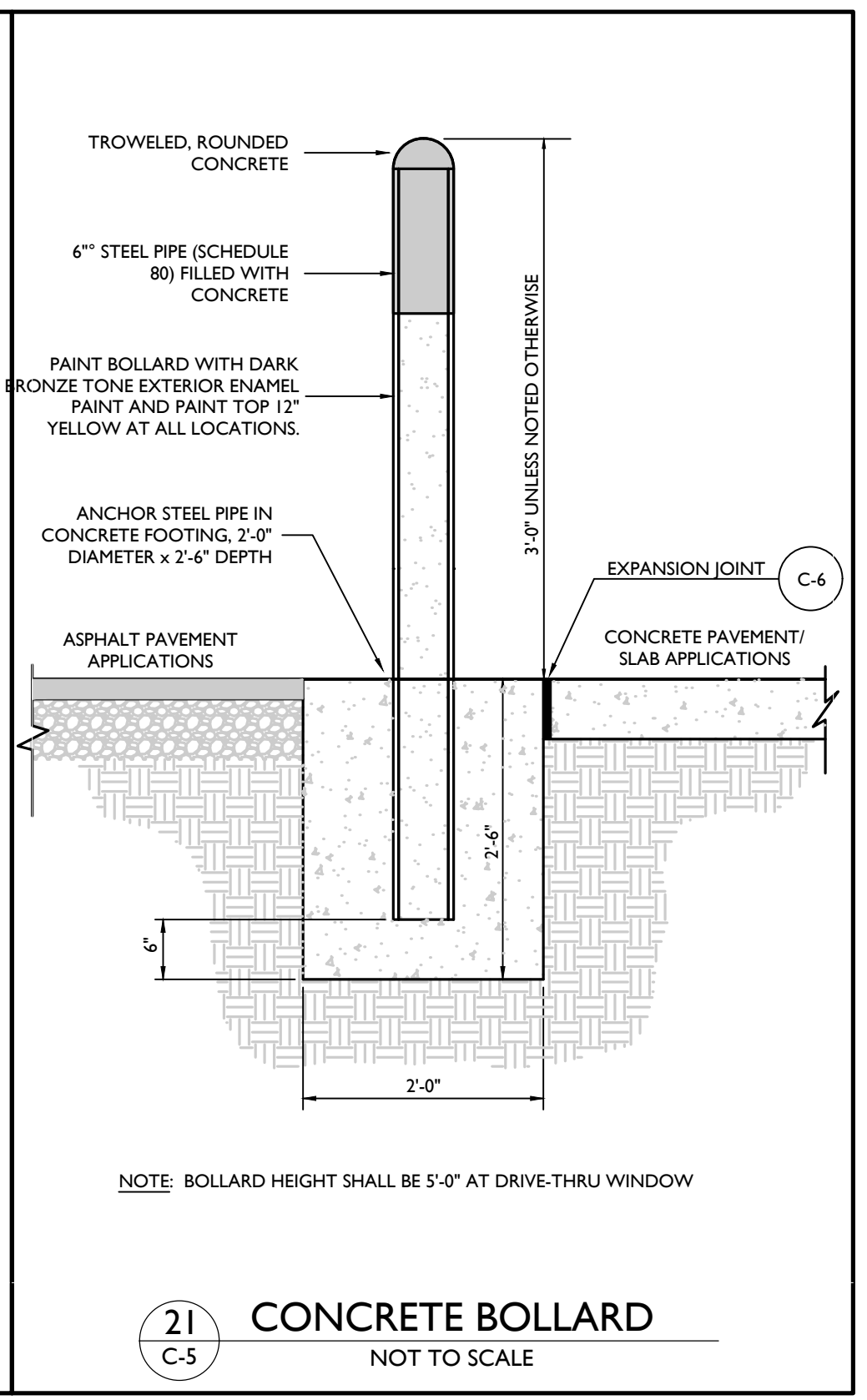
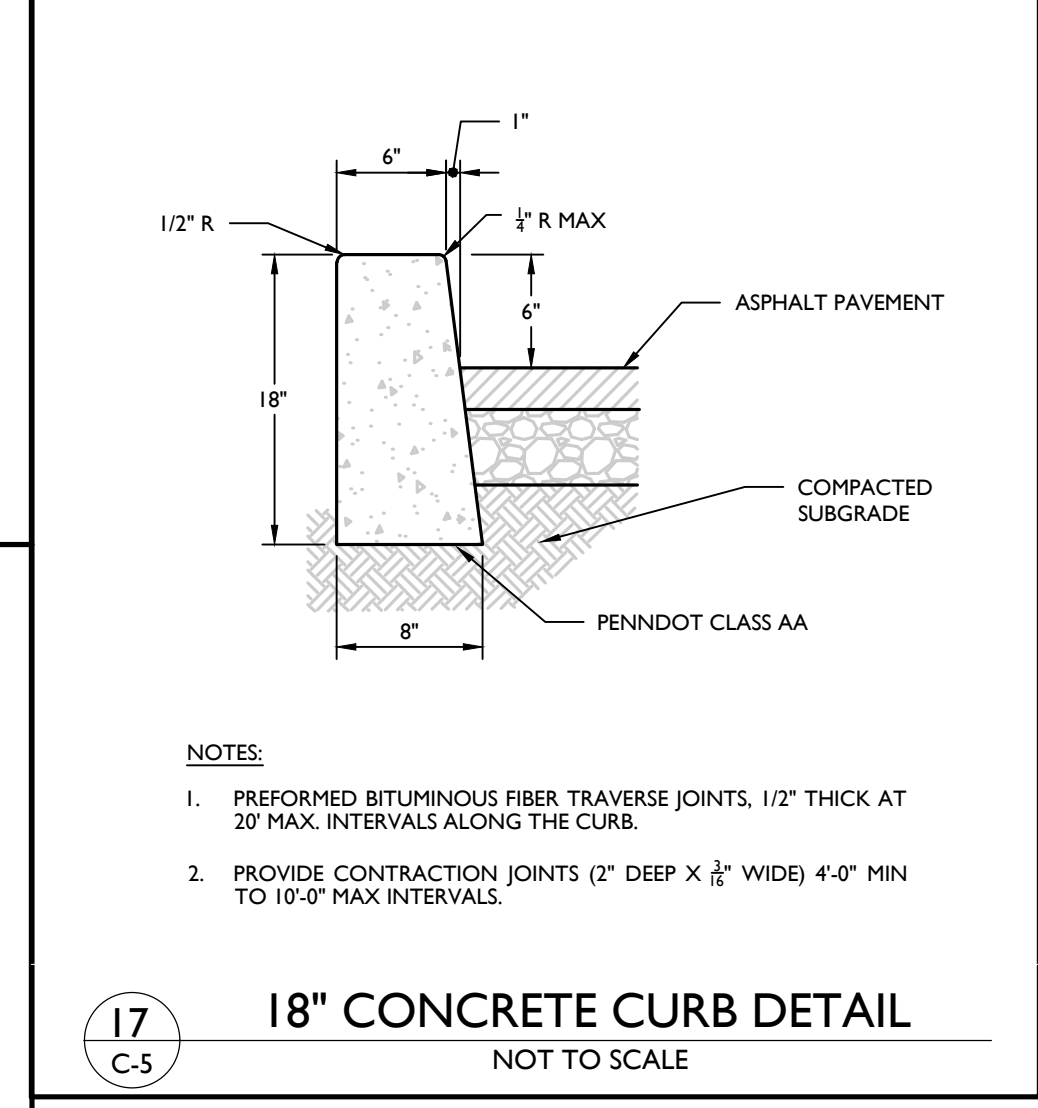
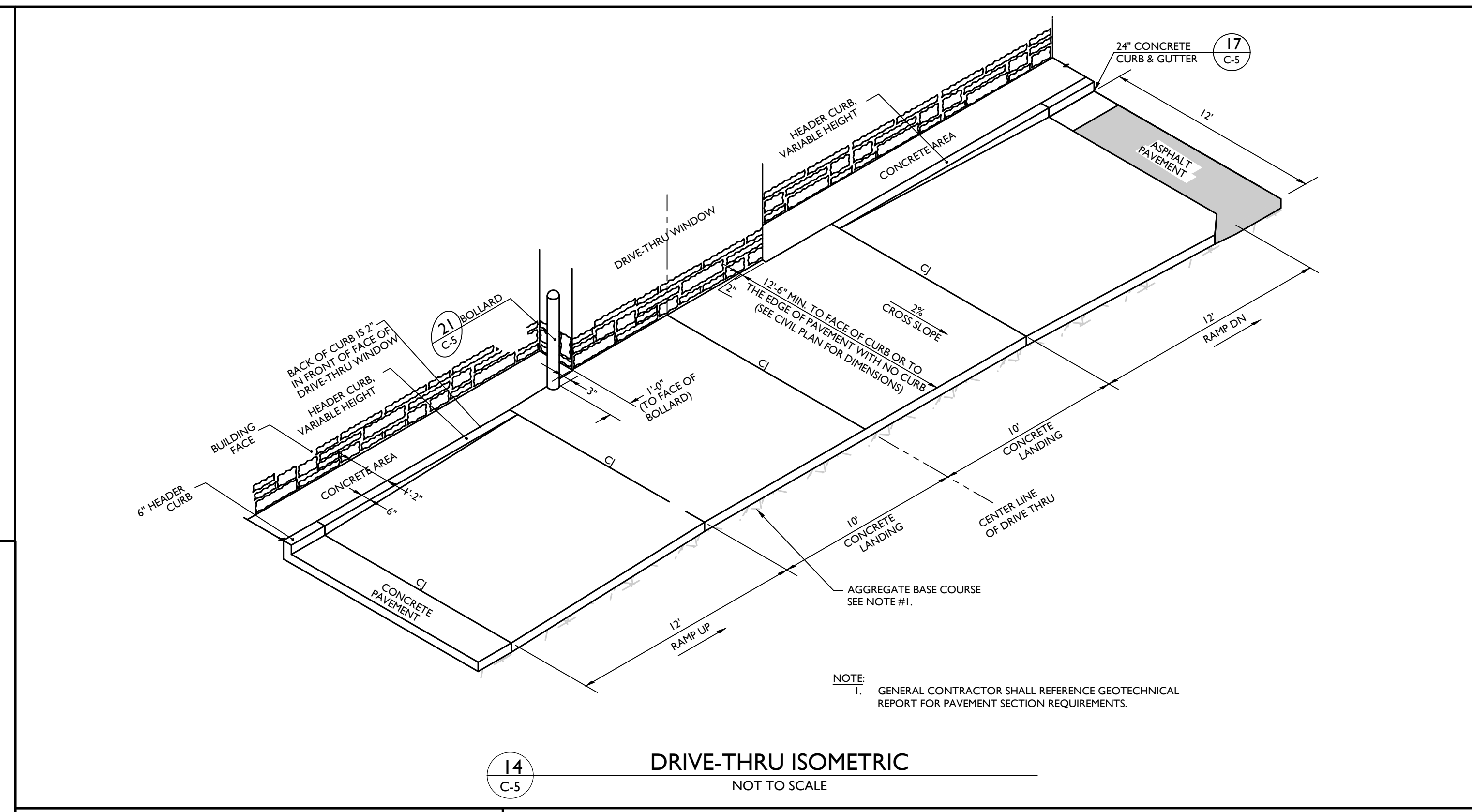
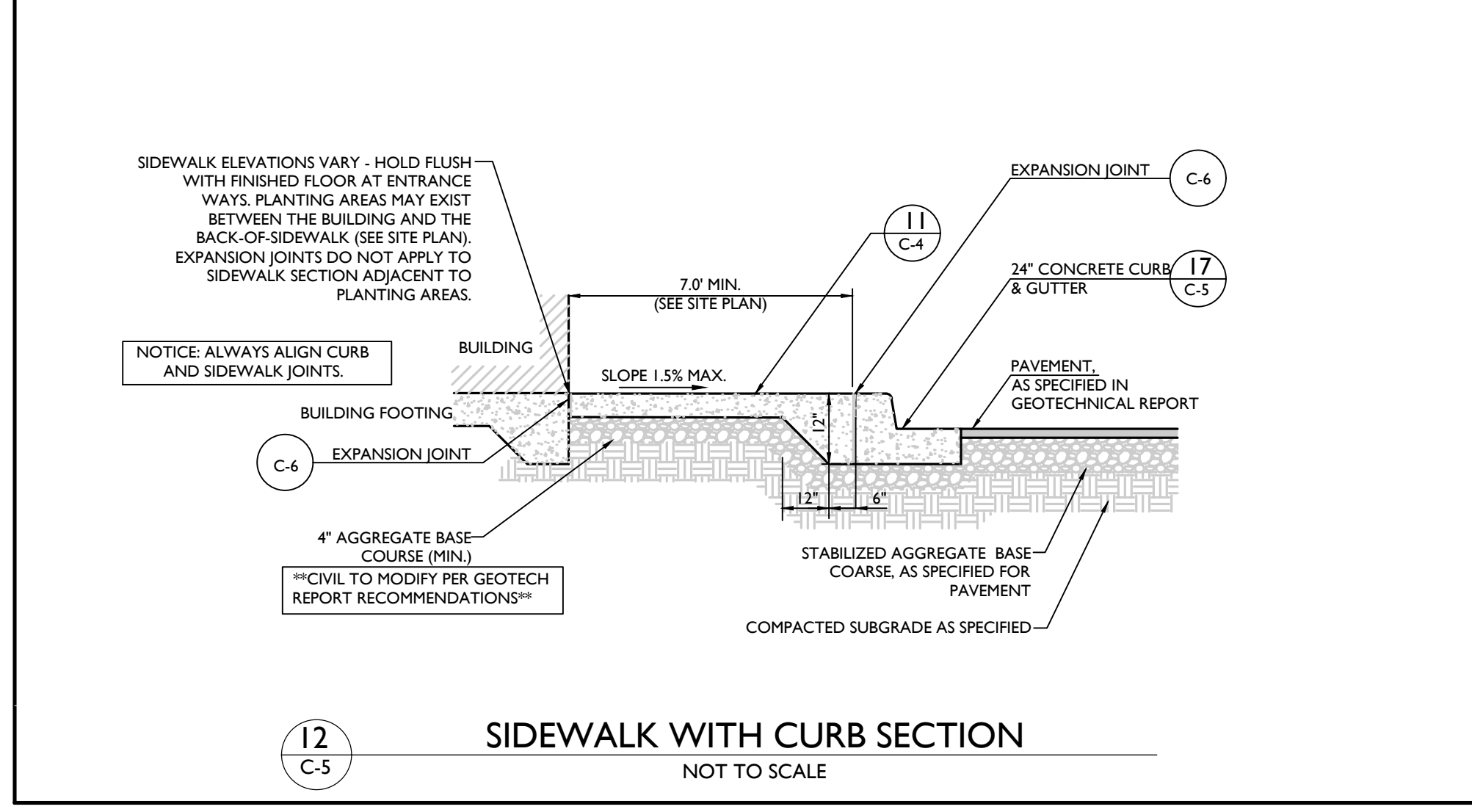
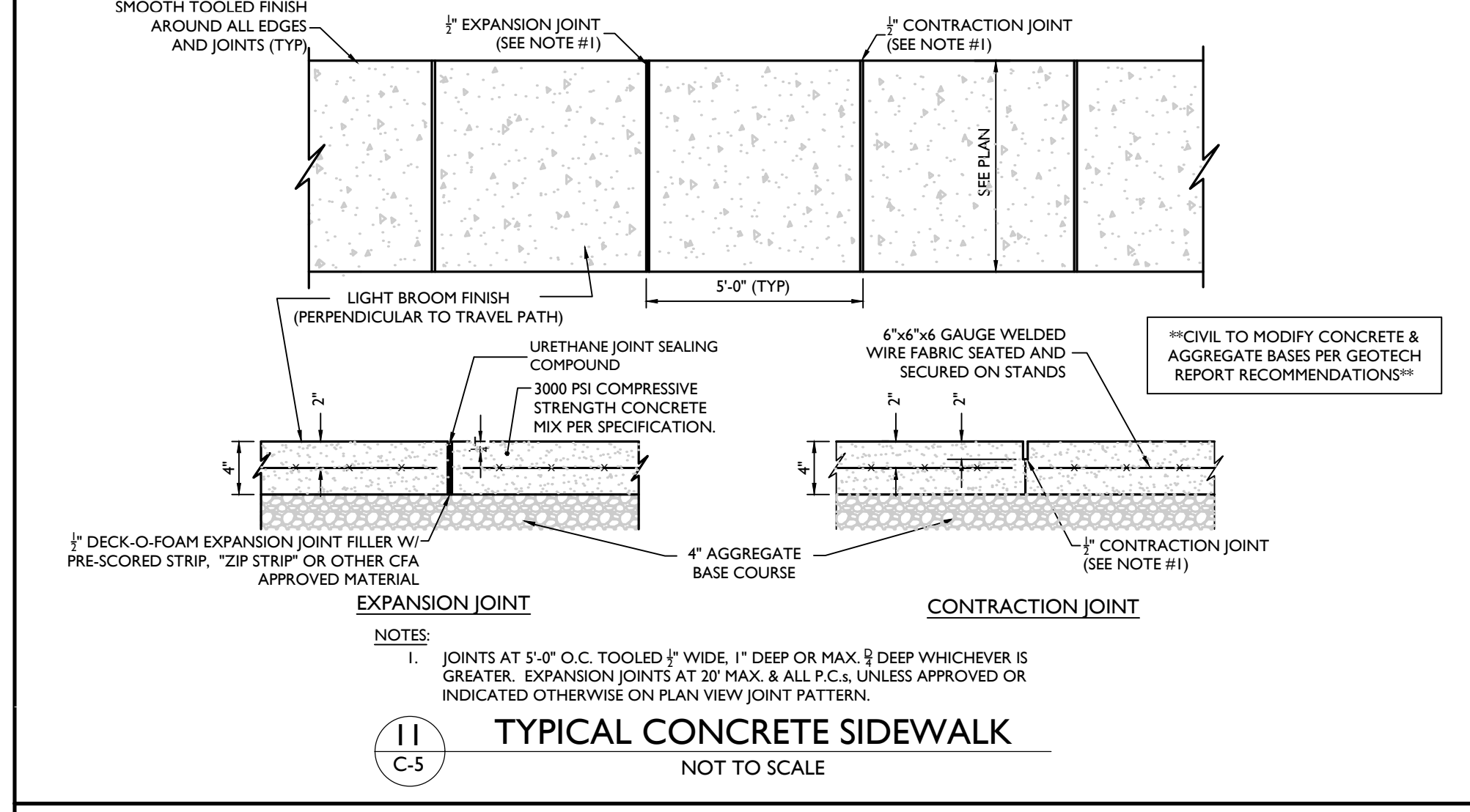
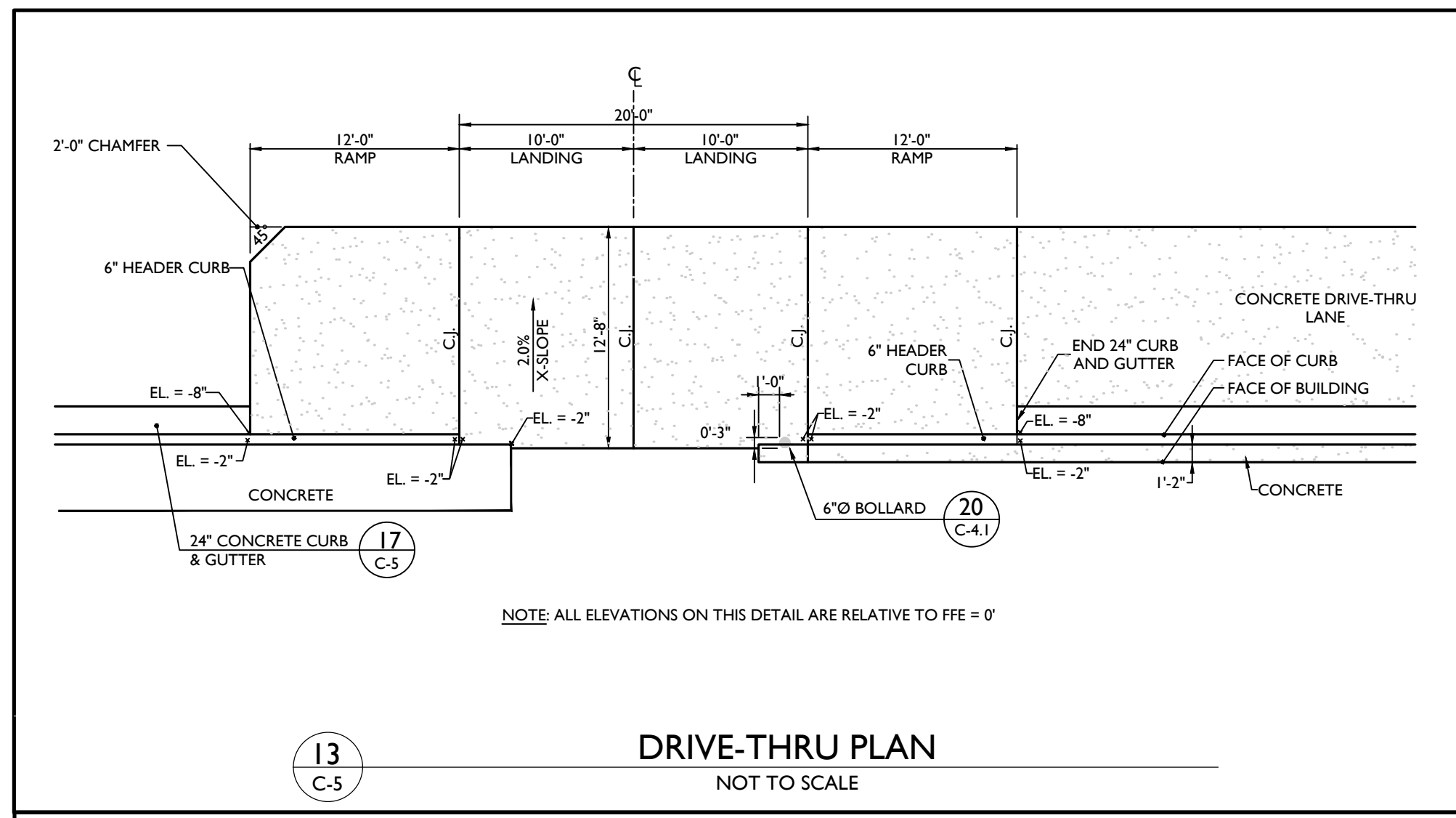
DWG EDITION 2.0

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Justin Ryan Thornton
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STORE 5029

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SUSQUEHANNA
TOWNSHIP
DAUPHIN COUNTY
PENNSYLVANIA

PRELIMINARY & FINAL
MAJOR SITE PLAN

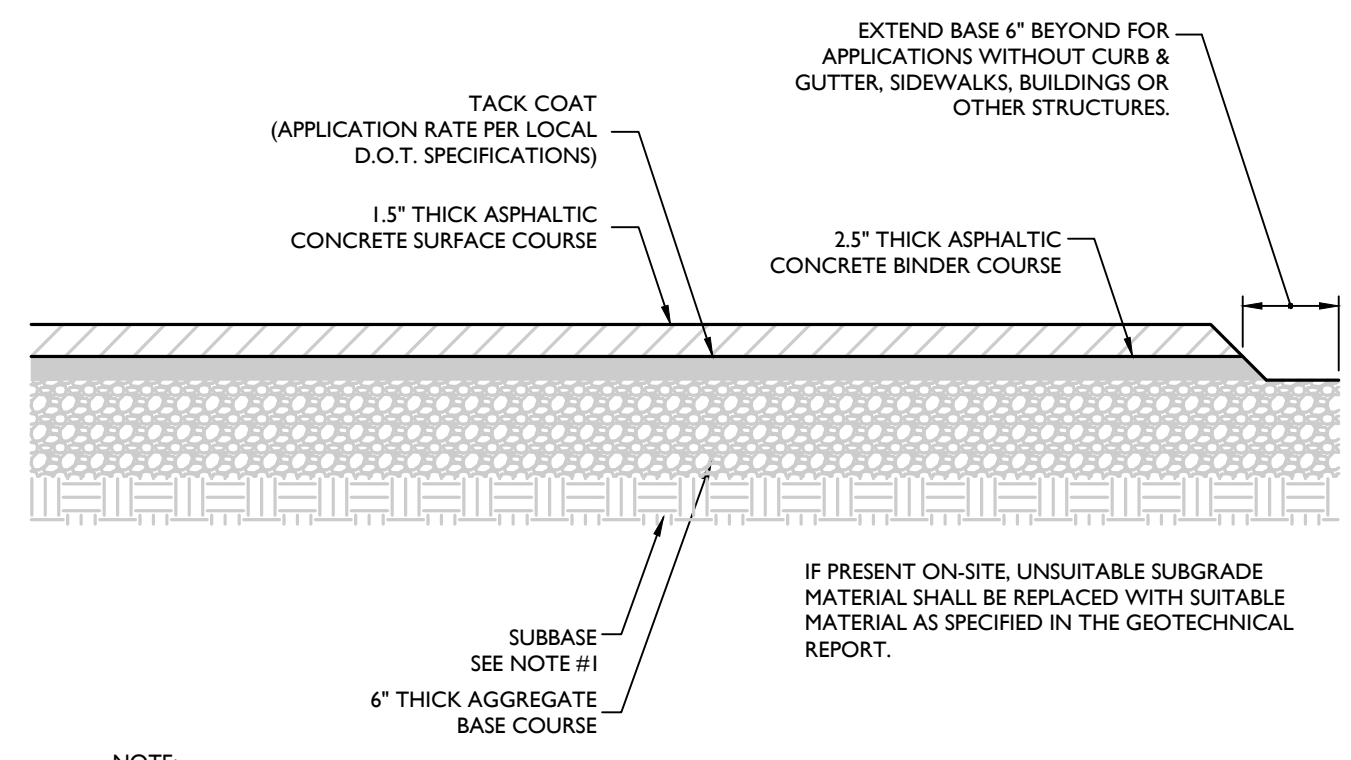
CONSTRUCTION
DETAILS

DWG EDITION 2.0

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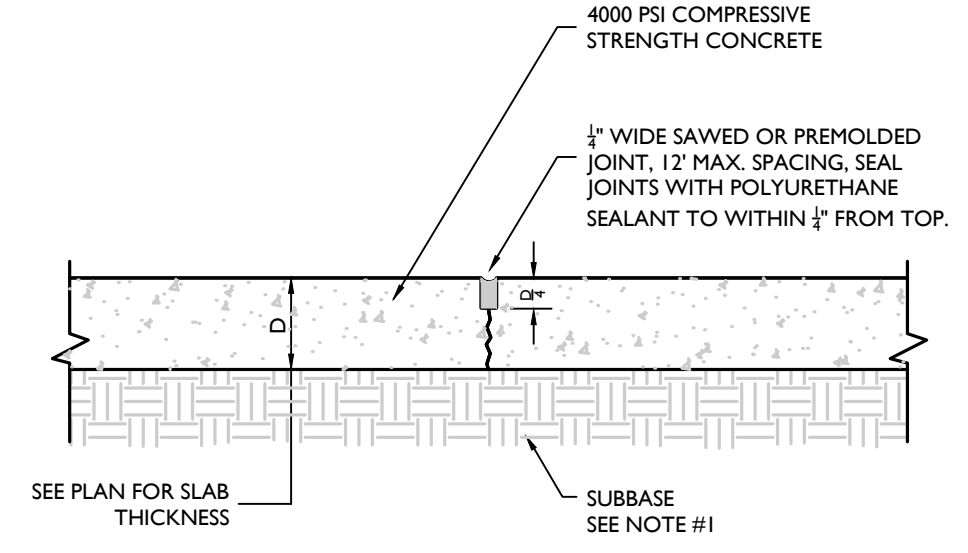
File No.: 21001871A
Store: 5029
Date: 05/04/22
Drawn By: VFP
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Sheet
C 5



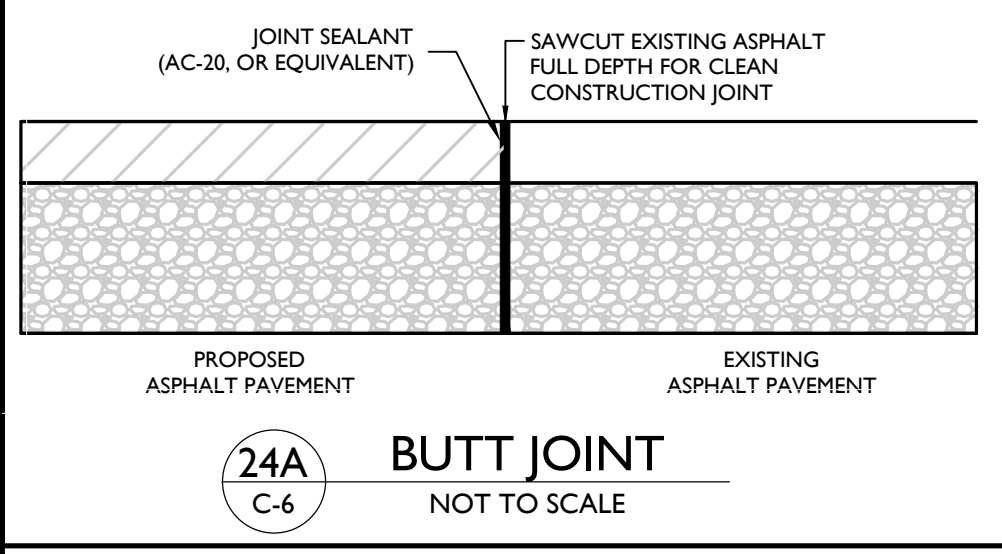
NOTE:
 1. GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
 2. MINIMUM PAVEMENT THICKNESS SHOULD BE 6\"/>

22
 C-6
TYPICAL PAVEMENT SECTION
 NOT TO SCALE

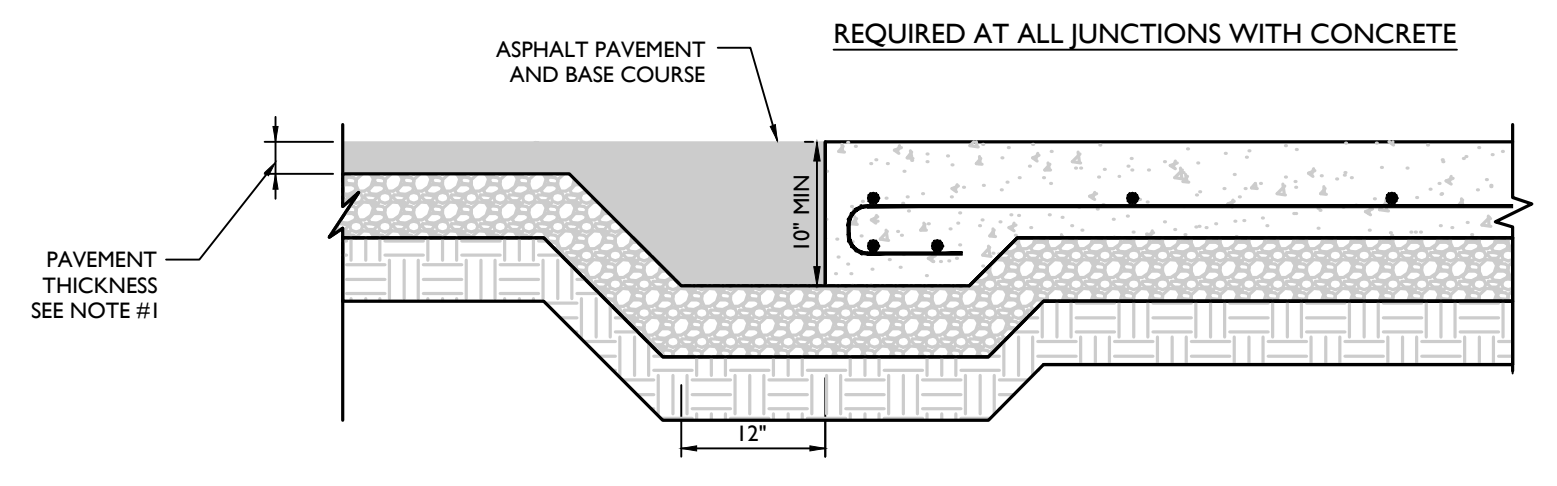


NOTE:
 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

23
 C-6
TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
 NOT TO SCALE

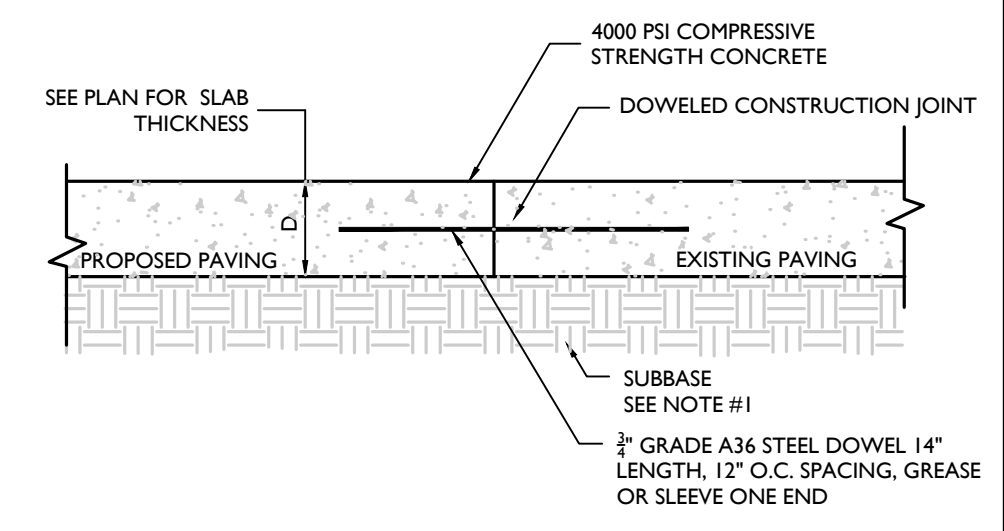


24A
 C-6
BUTT JOINT
 NOT TO SCALE



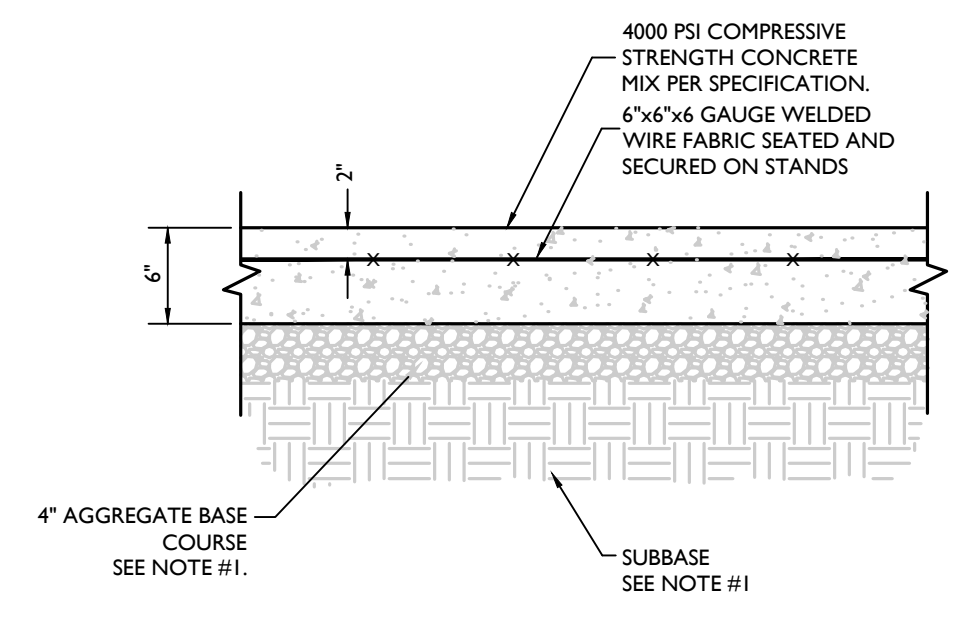
NOTE:
 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

22A
 C-6
PAVEMENT EDGE DETAIL
 NOT TO SCALE



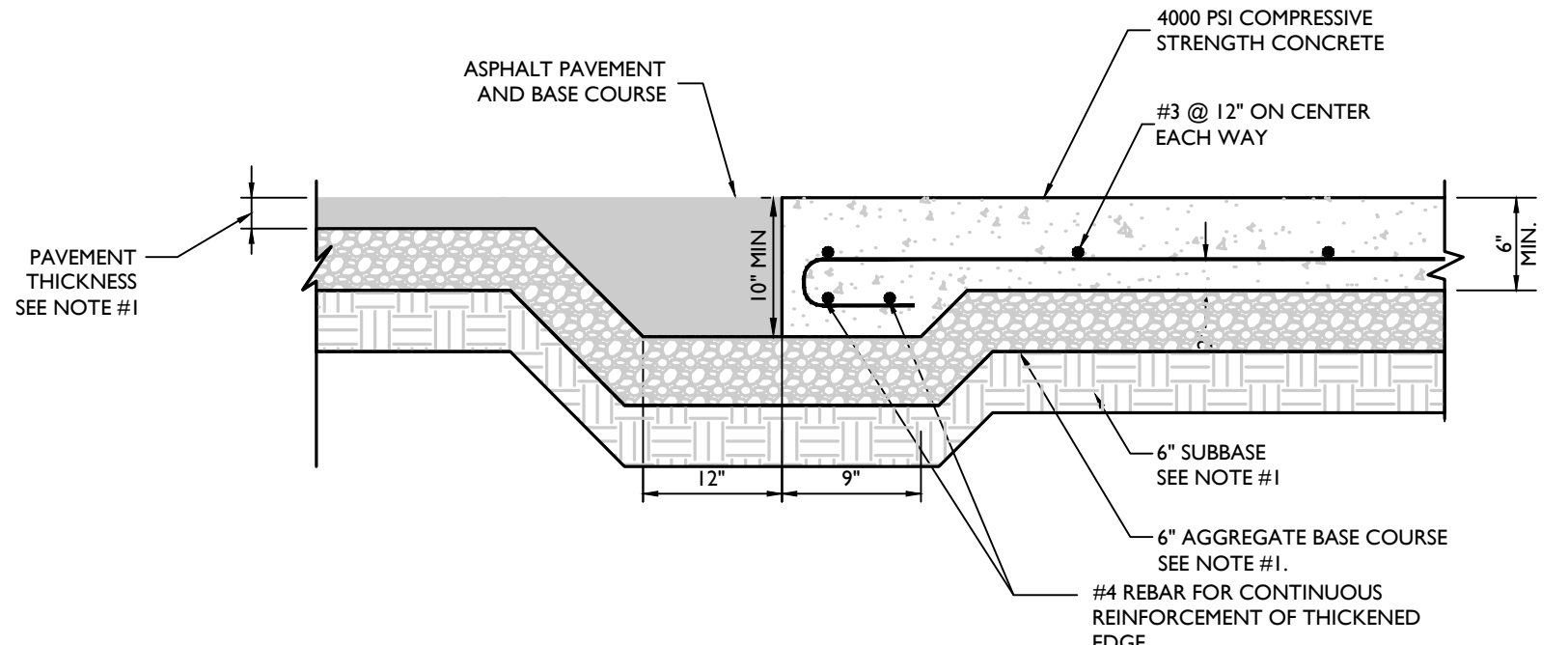
NOTE:
 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

24
 C-6
TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
 NOT TO SCALE



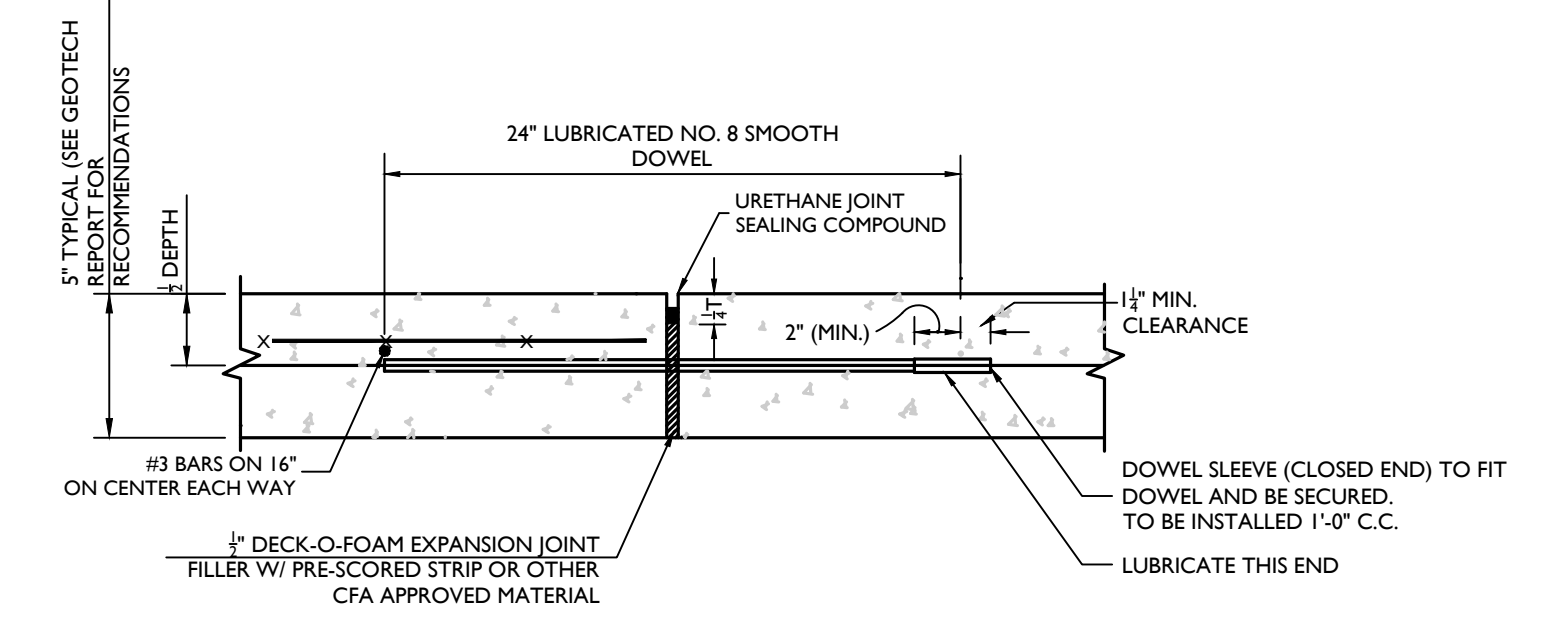
NOTE:
 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

26
 C-6
CONCRETE PAVING DRIVE-THRU LANE
 NOT TO SCALE



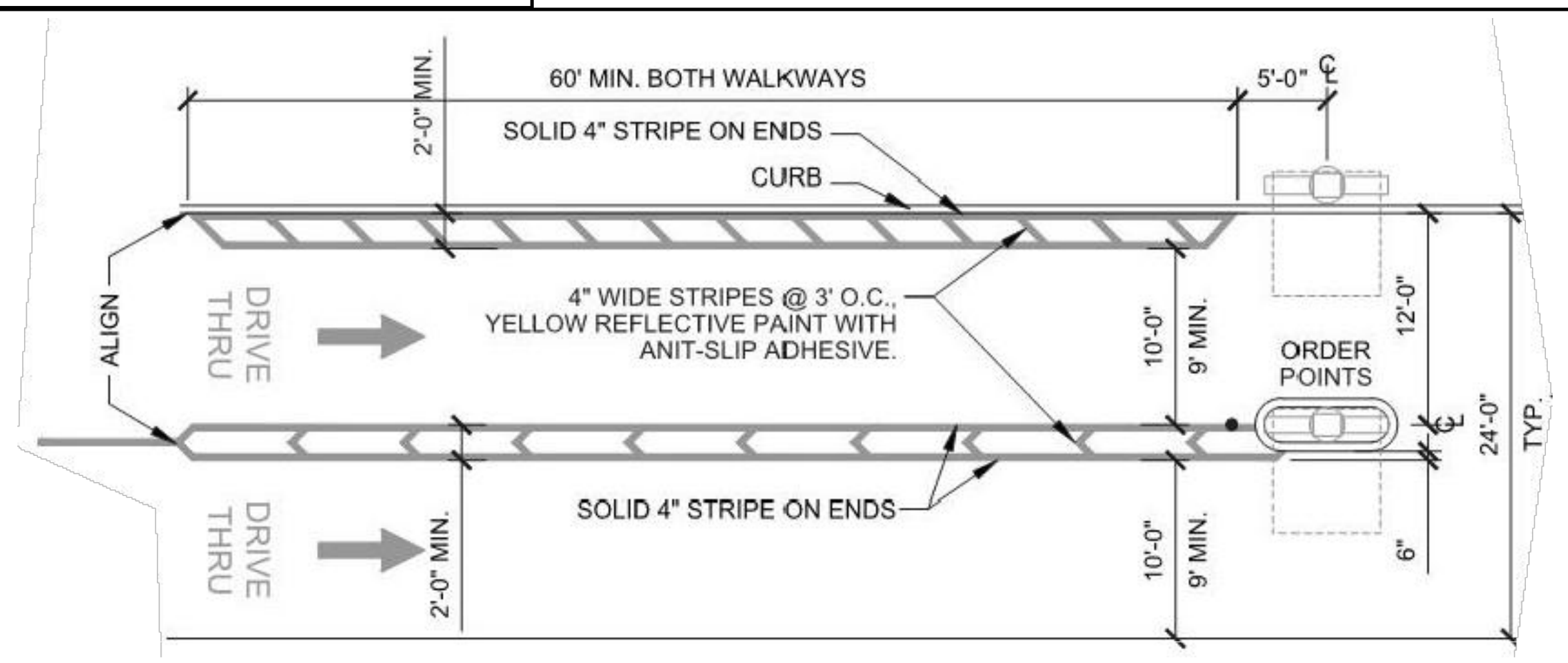
NOTE:
 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

25
 C-6
CONCRETE APRON @ TRASH ENCLOSURE
 NOT TO SCALE

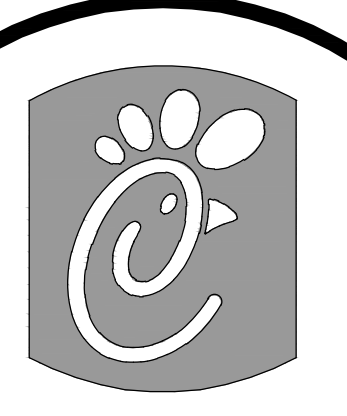


NOTES:
 1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
 3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL EQUIPMENT.
 4. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.
 5. JOINT SPACING TO BE 24X24\"/>

EXPANSION JOINT
 NOT TO SCALE



51
 C-6
DRIVE-THRU STRIPING
 NOT TO SCALE



Chick-fil-e

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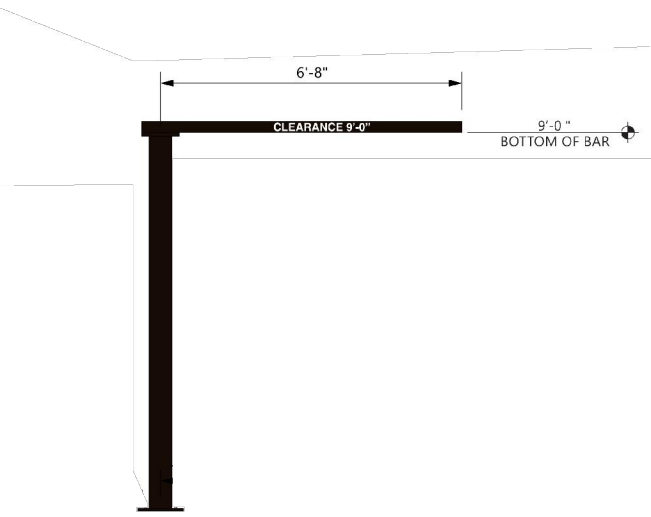
PRELIMINARY & FINAL
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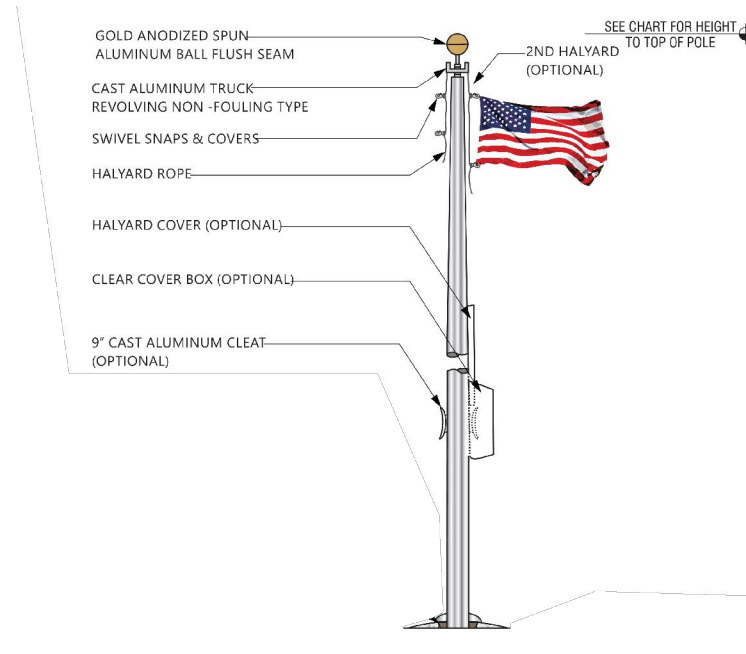
Sheet
C 6

SPECIFICATIONS
STEEL CLEARANCE BAR
CLEARANCE BAR FURNISHED AND INSTALLED BY PATISSON SIGN GROUP. ANCHOR CAGES AND FOOTINGS FURNISHED AND INSTALLED BY CLAYTON SIGNS.

COLORS
CHICK-FIL-A DARK BRONZE



39
C-8
CLEARANCE BAR
NOT TO SCALE



FLAG SIZES

POLE	A	B	MATERIAL
20'	3'0"	5'0"	POLYESTHER
25'	4'0"	6'0"	POLYESTHER
30'	5'0"	8'0"	POLYESTHER
35'	6'0"	10'0"	POLYESTHER
40'	8'0"	12'0"	POLYESTHER
45'	8'0"	12'0"	POLYESTHER
50'	12'0"	18'0"	POLYESTHER

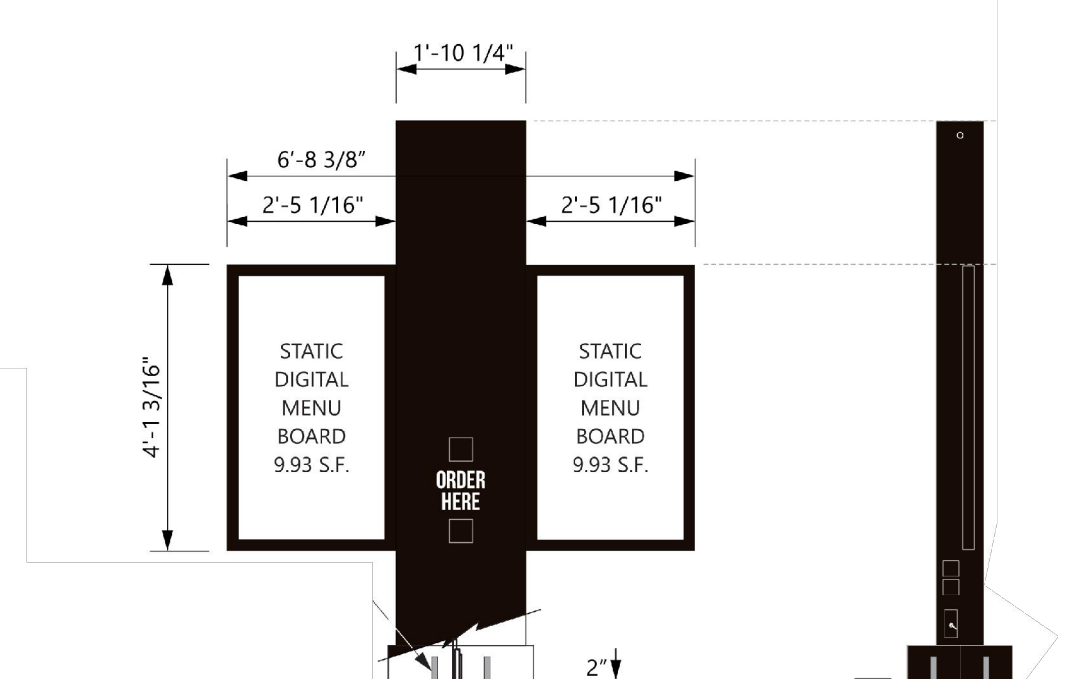
FOUNDATION SIZES

HEIGHT	A	B	C
20'	3'6"	3'0"	24"
25'	3'6"	3'0"	24"
30'	3'6"	3'0"	24"
35'	4'0"	3'6"	30"
40'	4'0"	4'2"	36"
45'	5'0"	4'8"	42"
50'	5'6"	4'8"	42"

40
C-8
FLAG POLE
NOT TO SCALE

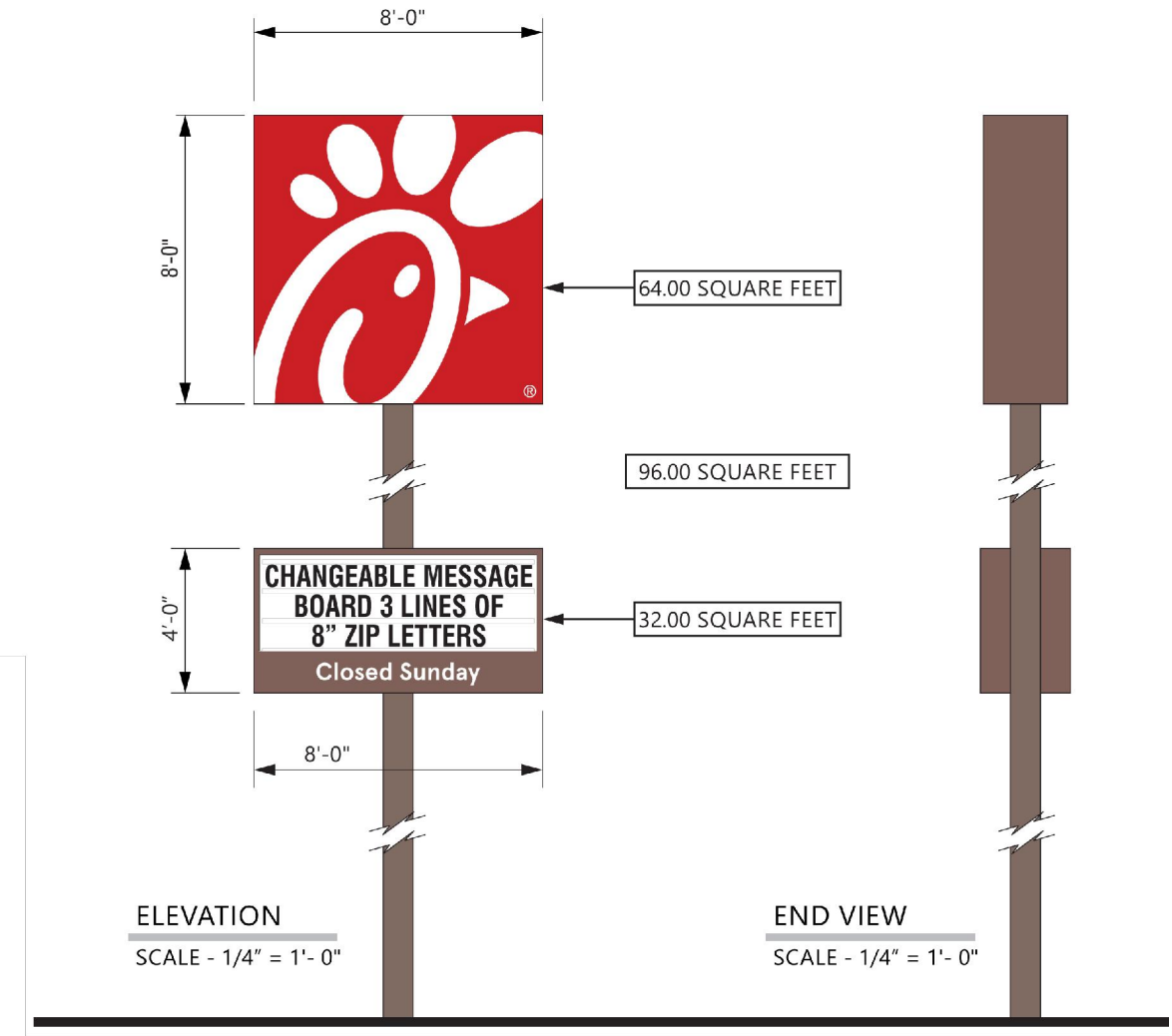
SPECIFICATIONS
ALUMINUM CONSTRUCTION CABINETS WITH DIGITAL DISPLAY BOARDS WITH STATIC IMAGES
MENU BOARDS FURNISHED BY COATES GROUP AND INSTALLED BY HONOR BUILT
MENU BOARD COLUMN AND FRAMING FURNISHED AND INSTALLED BY PATISSON SIGN GROUP
ANCHOR CAGES AND FOOTINGS FURNISHED AND INSTALLED BY CLAYTON SIGNS

COLORS
CHICK-FIL-A DARK BRONZE
WHITE REFLECTIVE VINYL FILM



41
C-8
DRIVE THRU MENU BOARD
NOT TO SCALE

SPECIFICATIONS
CABINET
D/F ALUM. CABINET WITH SIGNCOMP RETRO FLAT BLEED FRAME AND COVER WITH .063" ALUM FILLER.
SPACED EVENLY ILLUMINATED WHITE LED 6500K LIGHTS.
INTERNALLY ILLUMINATED WHITE LED 6500K LIGHTS.
SPACED EVENLY PAINT INTERIOR OF CABINETS MATTE WHITE.
READER BOARD
ALUMINUM CONSTRUCTION CABINET
INTERNALLY ILLUMINATED WHITE LED 6500K LIGHTS.
SPACED EVENLY ILLUMINATED WHITE LED 6500K LIGHTS.
FACE WITH TRACK TO ACCOMMODATE READER BOARD
LETTER SET INCLUDES FRANKLIN GOTHIC EXTRA CONDENSED UPPERCASE LETTER SET OF 334 CHARACTERS WITH PUNCTUATION MARKS & CHANGER ARM.



3M #3630-53 TRANSLUCENT CARDINAL RED
7328 WHITE POLYCARBONATE
MATTHEWS #74155 DARK BRONZE

42
C-8
MONUMENT SIGN (96.00 SF)
NOT TO SCALE

SPECIFICATIONS
CABINET
ALUMINUM CABINET HAS EXTRUDED ALUMINUM FACES
FLEX FACES DECORATED WITH TRANSLUCENT VINYL FILM ON SURFACE OF ACRYLIC
INTERNALLY ILLUMINATED WITH WHITE LED 6500K LIGHTS. DISCONNECT SWITCH AS REQUIRED PER NIC.

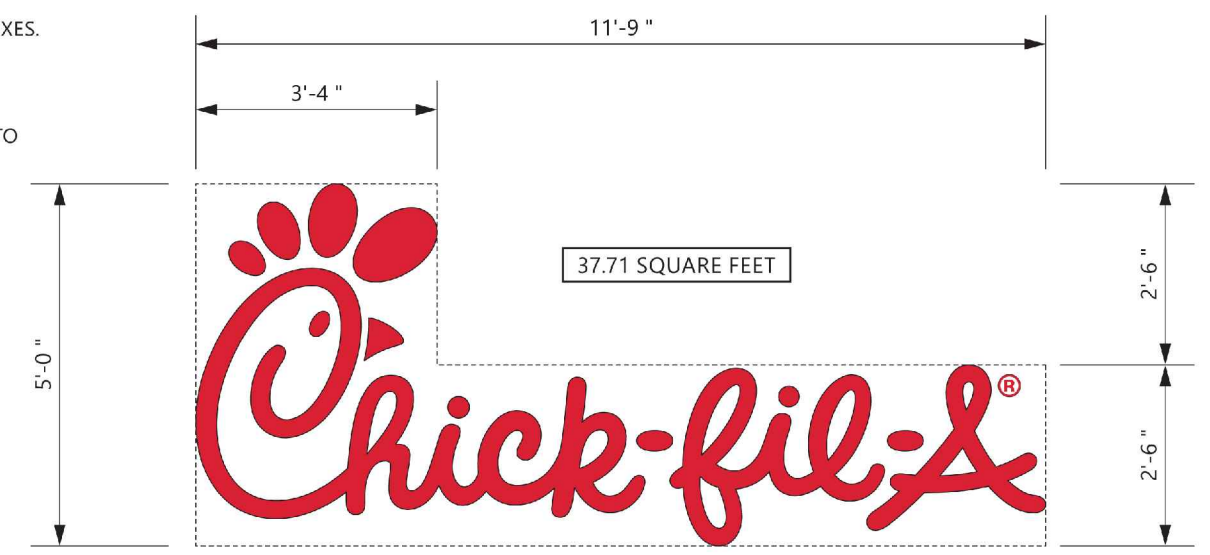
3M #3630-53 TRANSLUCENT CARDINAL RED
3M PANORAMIC III FLEX FACE



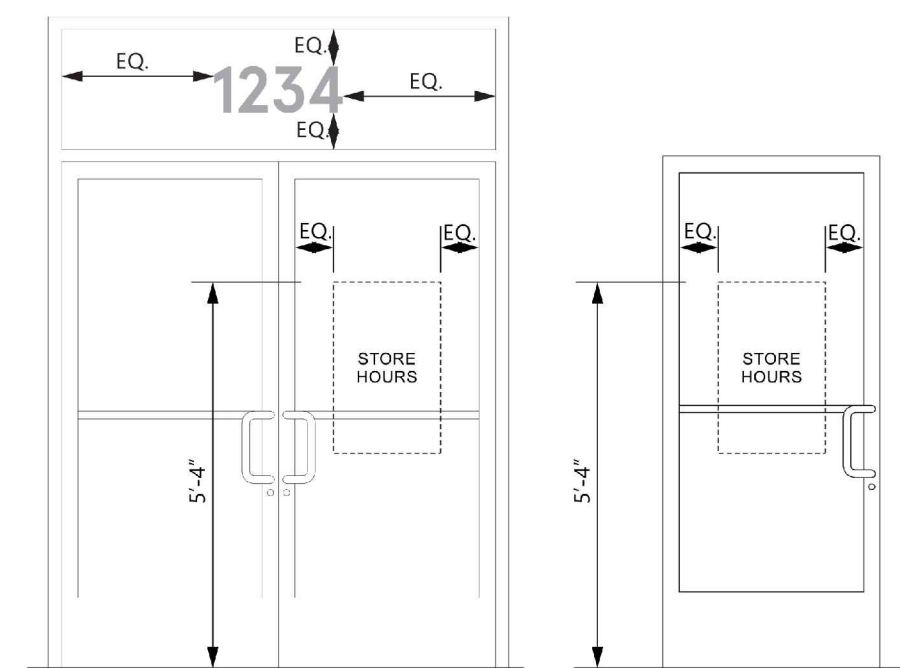
43
C-8
WALL SIGN (36.00 SF)
NOT TO SCALE

SPECIFICATIONS
CHICK-FIL-A SCRIPT LETTERS
LETTERS ARE LED-ILLUMINATED CHANNEL LETTERS MOUNTED ON ALUMINUM SURFACE OF BUILDING WITH TRANSFORMERS REMOTELY LOCATED BEHIND THE WALL IN UL APPROVED TRANSFORMER BOXES.
FACES ARE 3/16" ACRYLIC
RETURNS ARE .063 ALUMINUM
ALL RETURNS ARE ARC-WELDED TO LETTER BACKS

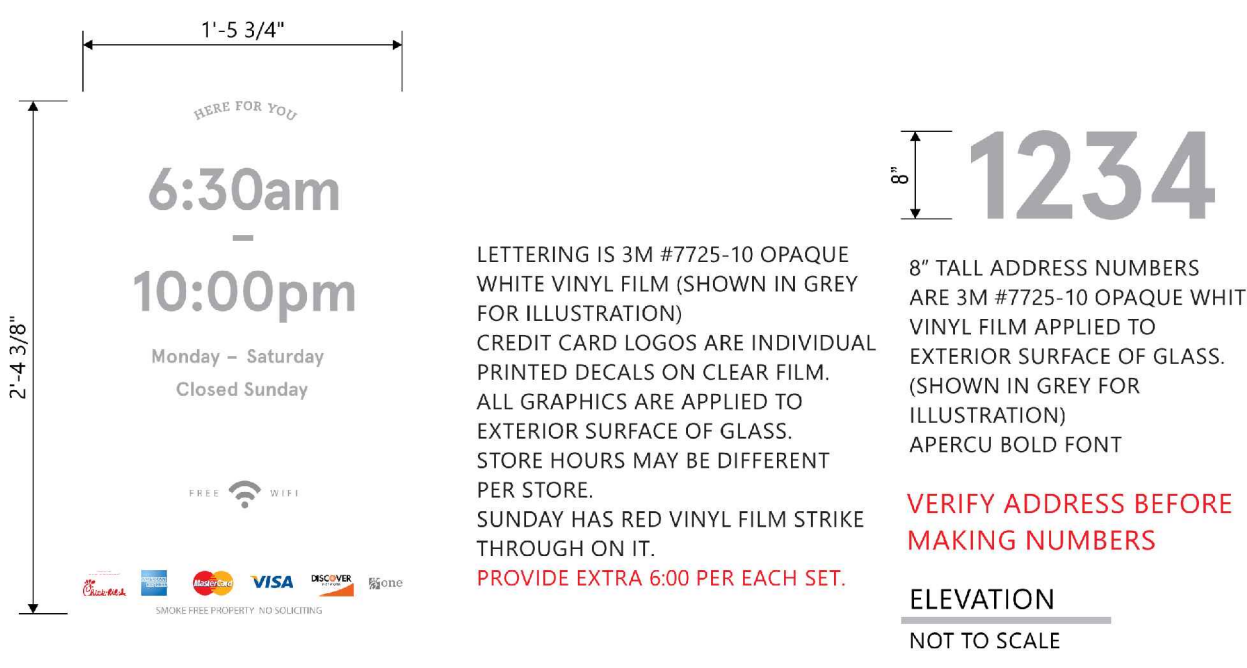
CHANNEL LETTER FACES
2793 RED ACRYLIC TRIMCAP RETAINER
1" RED JEWELITE TRIMCAP
ALUMINUM RETURNS PAINTED TO MATCH SHERWIN WILLIAMS SW6108 LATTE



44
C-8
WALL SIGN (58.75)
NOT TO SCALE



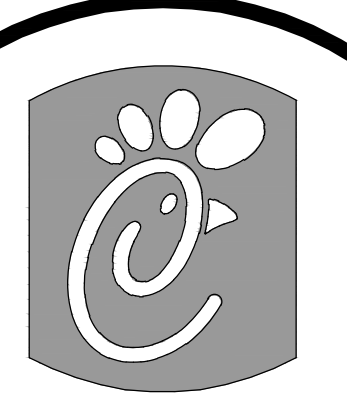
ELEVATION
SCALE - 1/2" = 1'-0"



ELEVATION
SCALE - 1 1/2" = 1'-0"



ADDRESS WINDOW GRAPHICS
NOT TO SCALE



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Justin Ryan Thornton
PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE000279
COLLIERS ENGINEERING & DESIGN, INC.

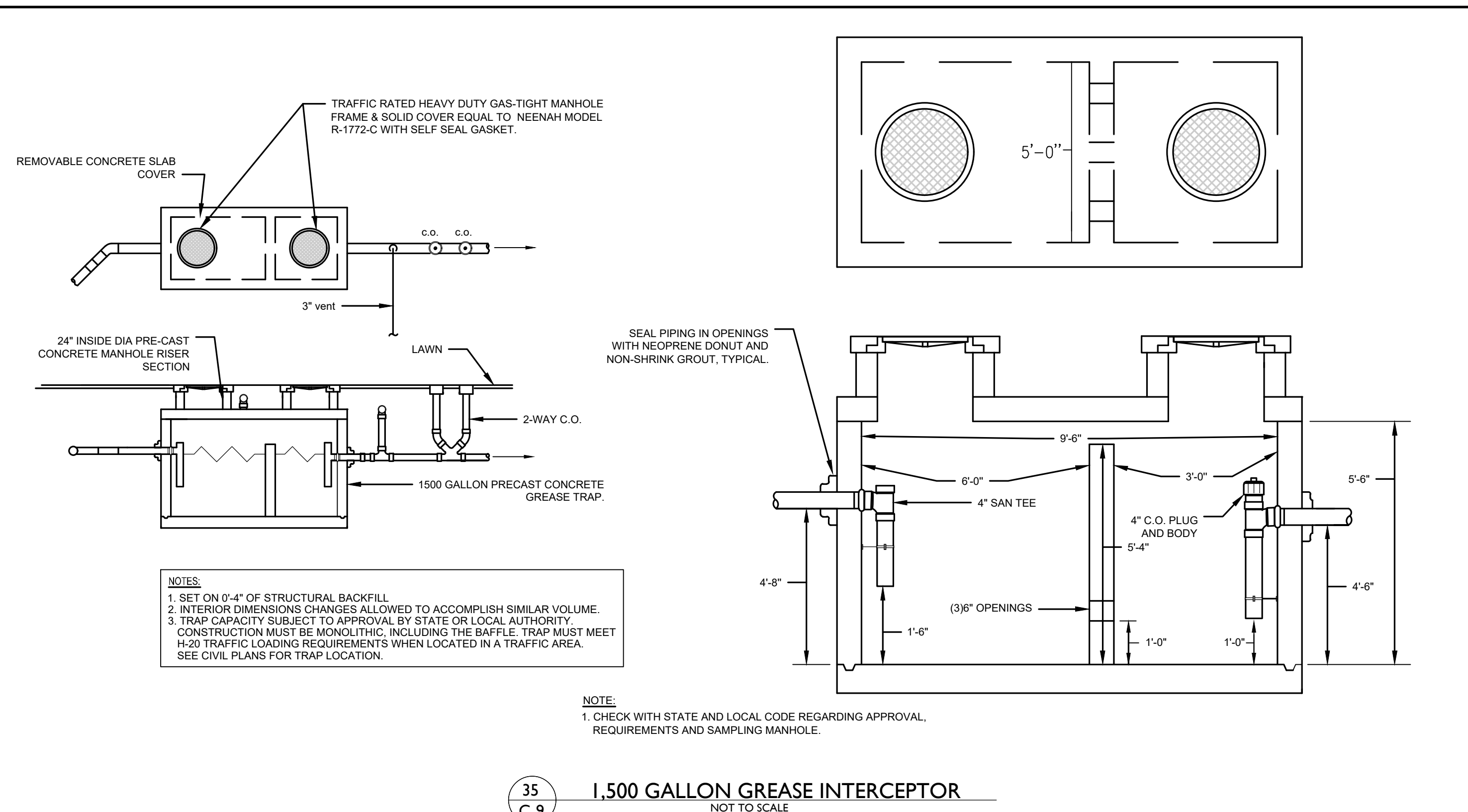
Colliers Engineering & Design
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1501 Pennsylvania Avenue
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Pittsburgh, PA 15223
Phone: 412.618.5390

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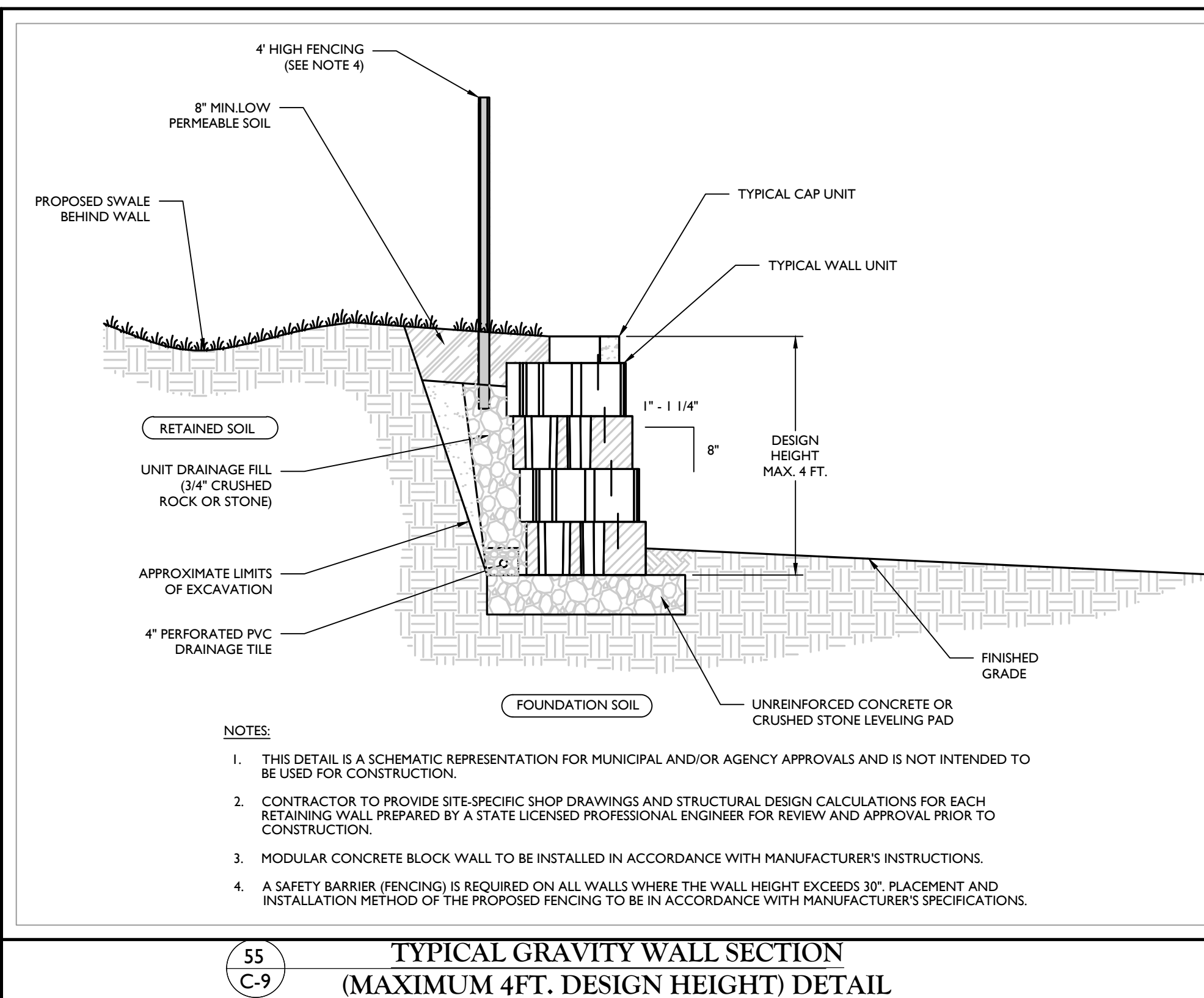
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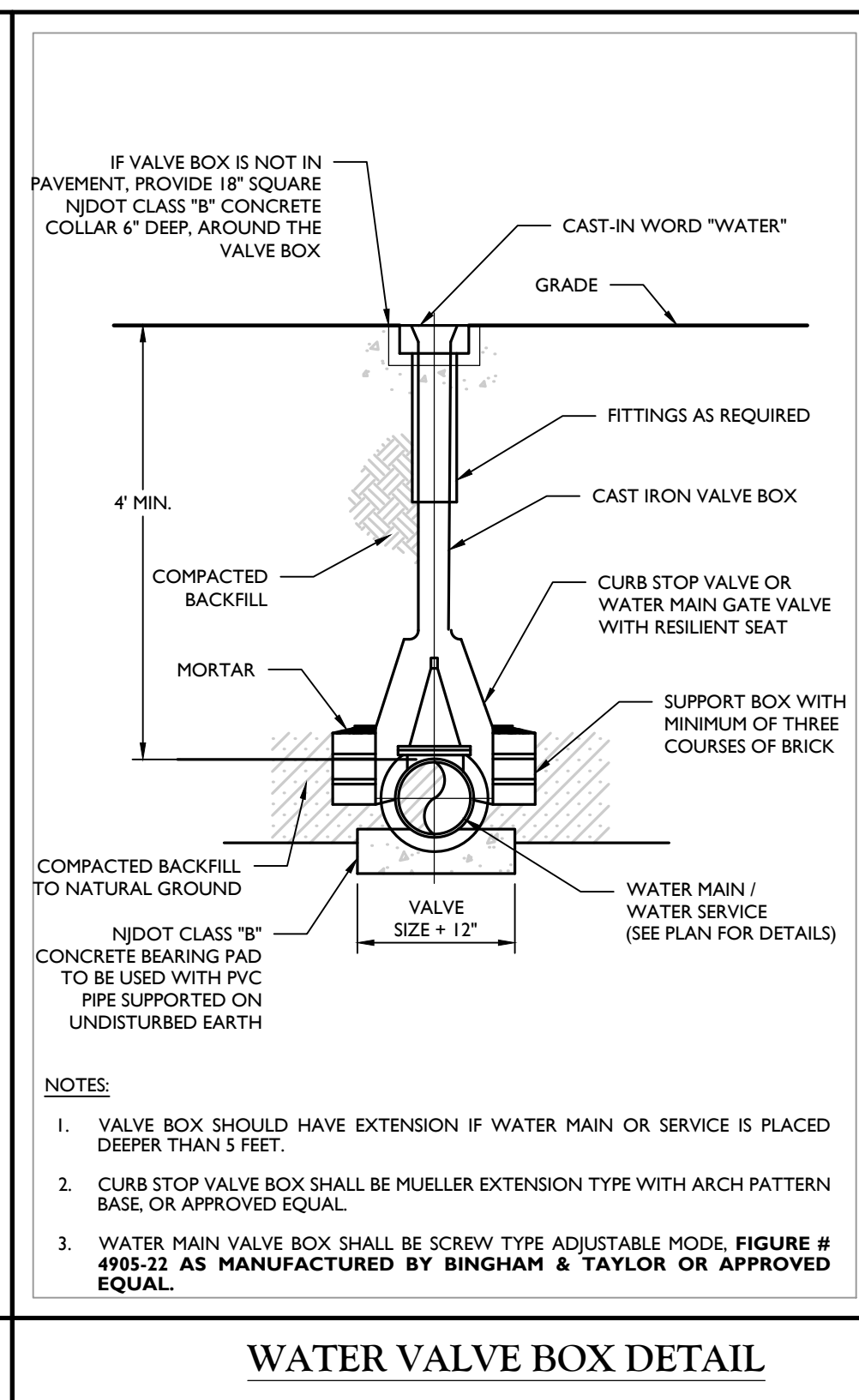
Sheet
C 8



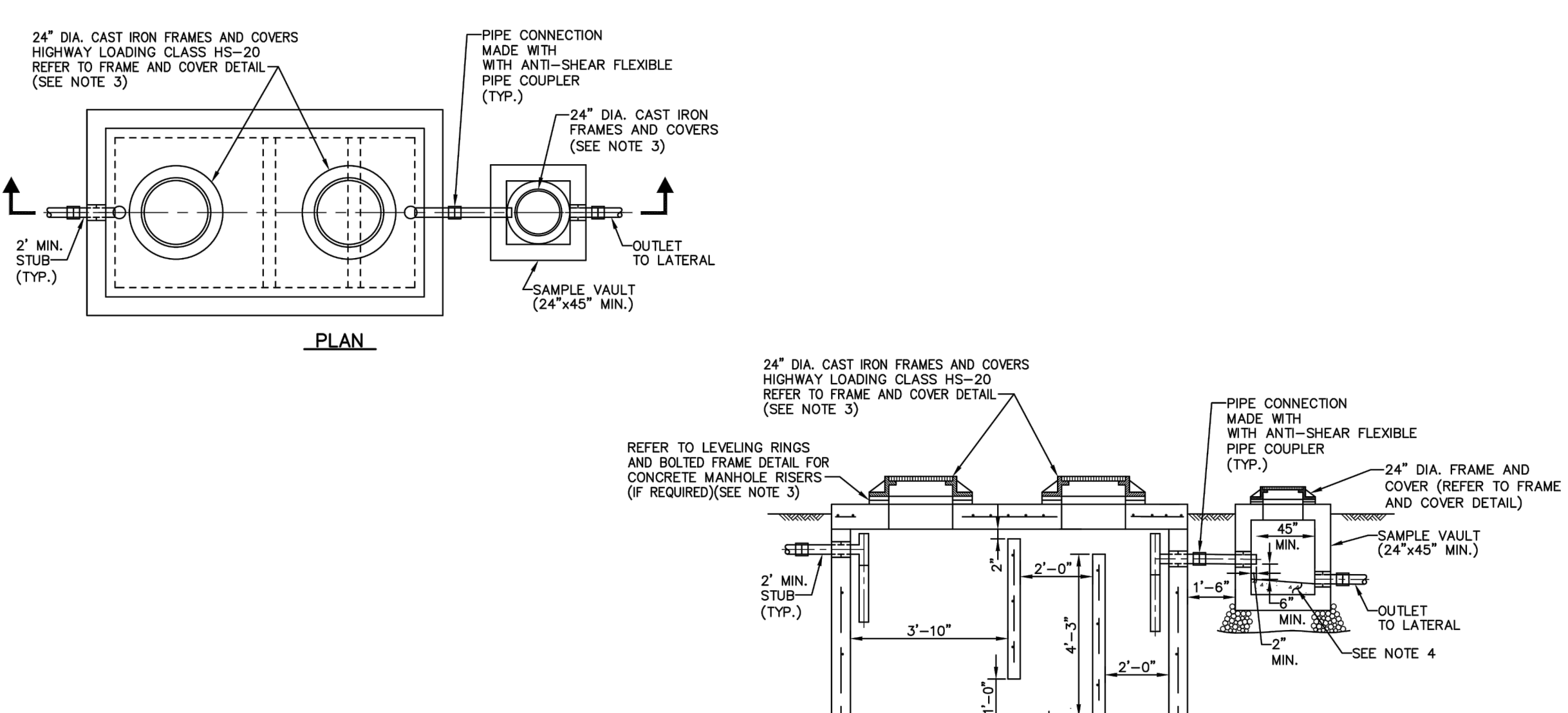
35
C-9 **1,500 GALLON GREASE INTERCEPTOR**
NOT TO SCALE



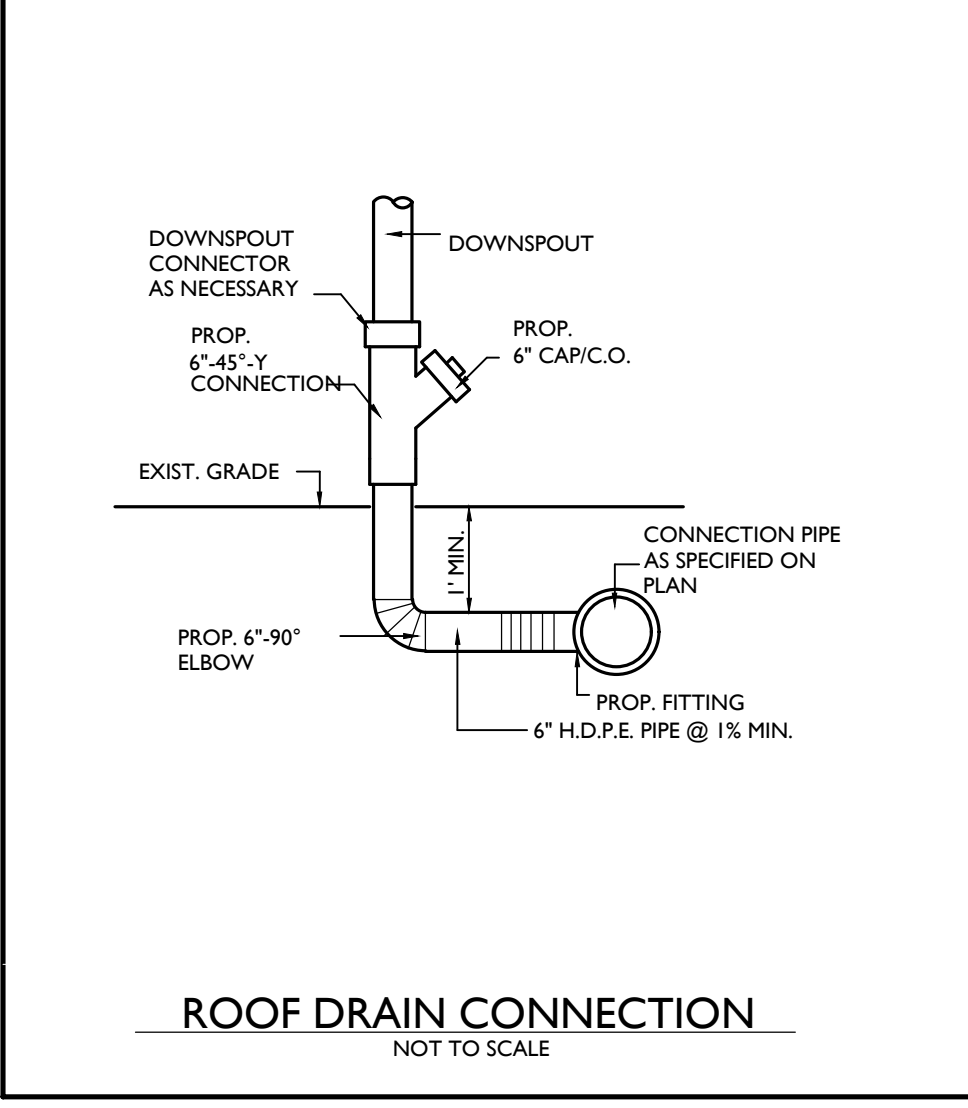
55
C-9 **TYPICAL GRAVITY WALL SECTION (MAXIMUM 4FT. DESIGN HEIGHT) DETAIL**
NOT TO SCALE



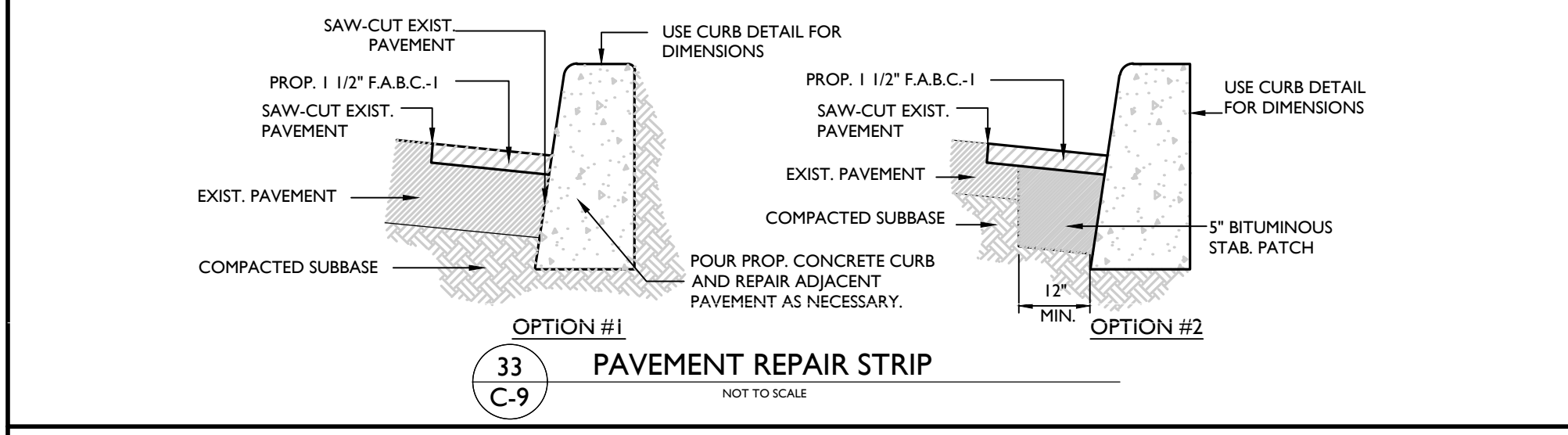
WATER VALVE BOX DETAIL
NOT TO SCALE



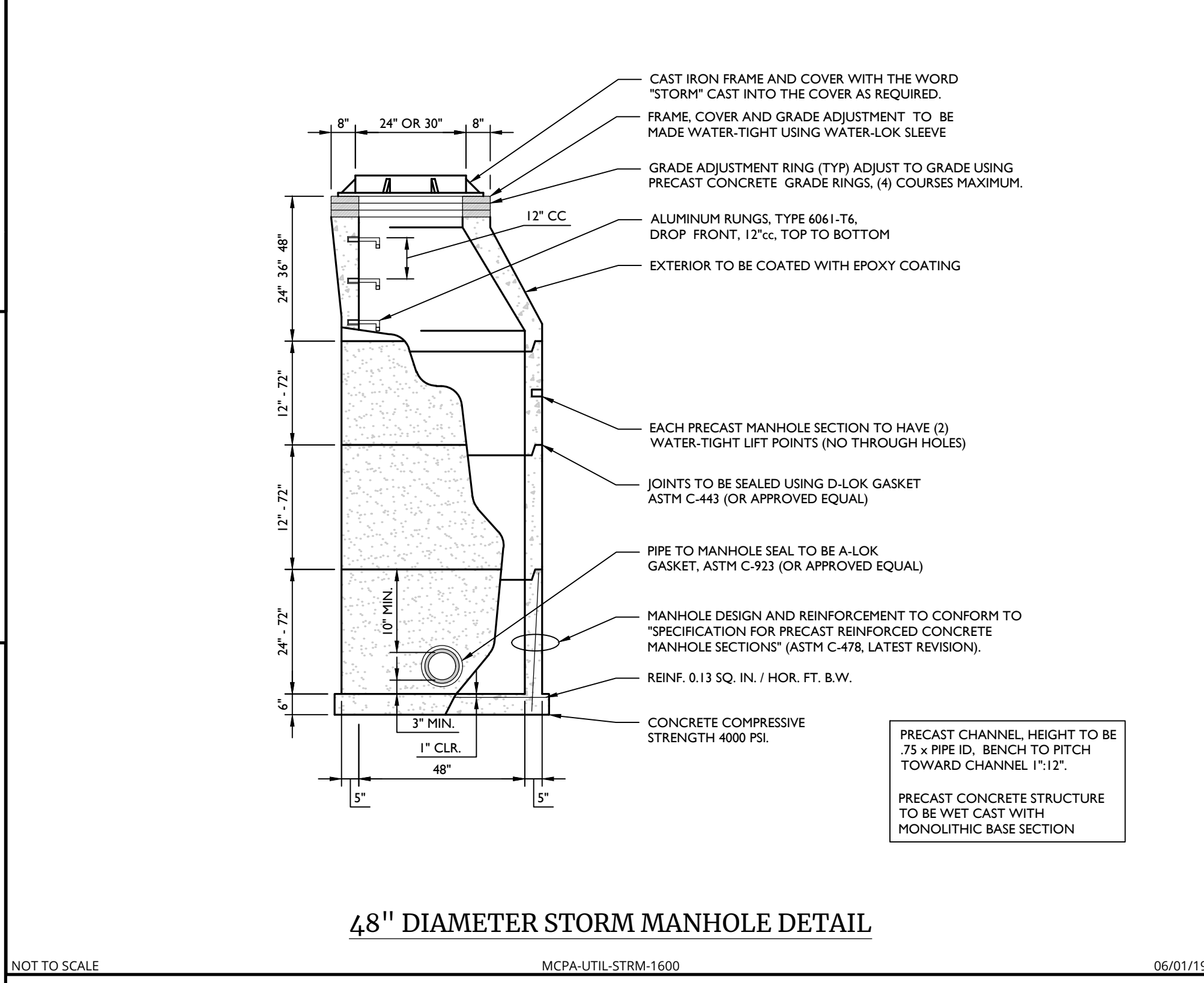
STANDARD DETAILS
TYPICAL GREASE INTERCEPTOR TO SAMPLING VAULT CONNECTION
SUSQUEHANNA TOWNSHIP AUTHORITY



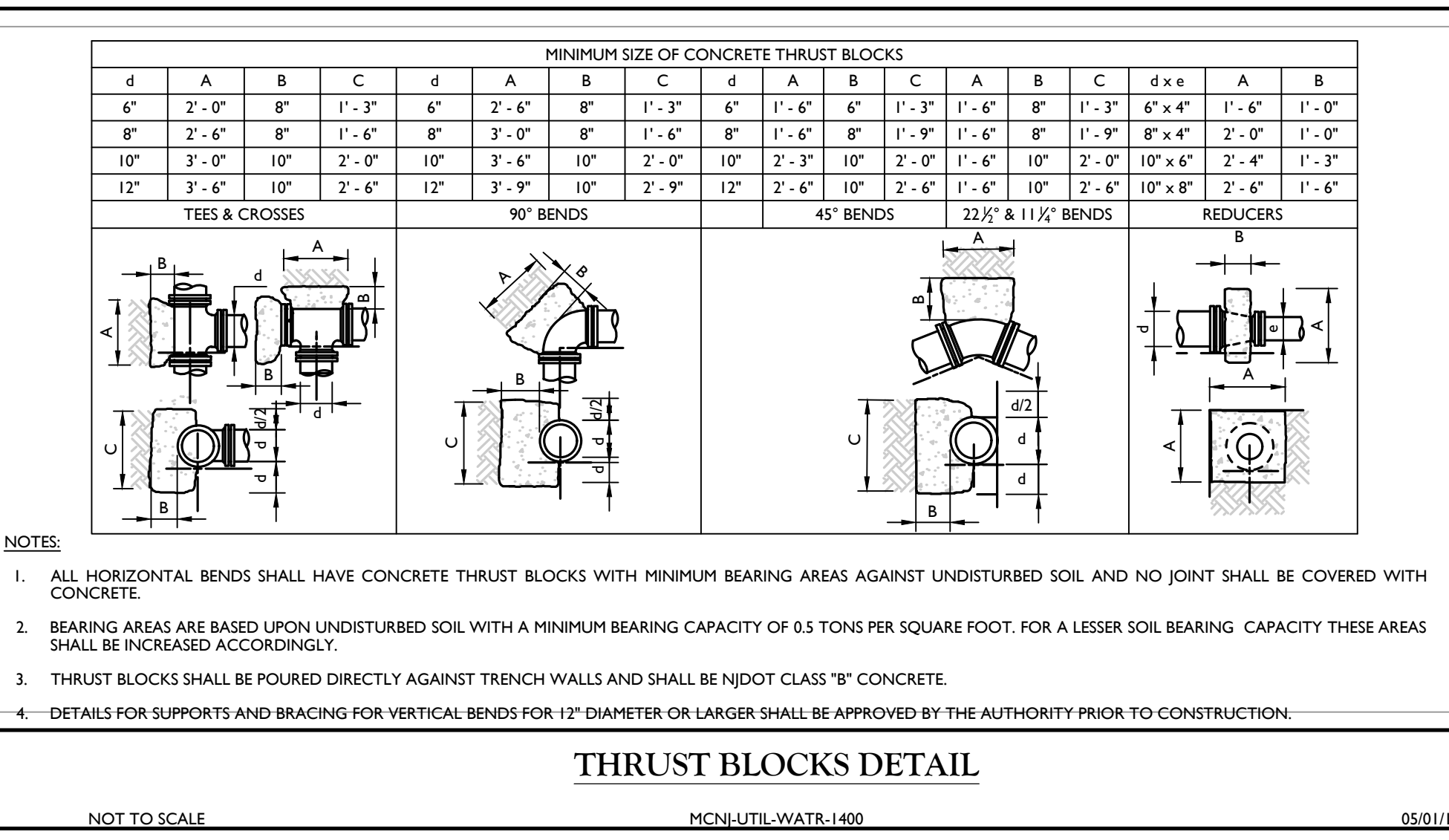
ROOF DRAIN CONNECTION
NOT TO SCALE



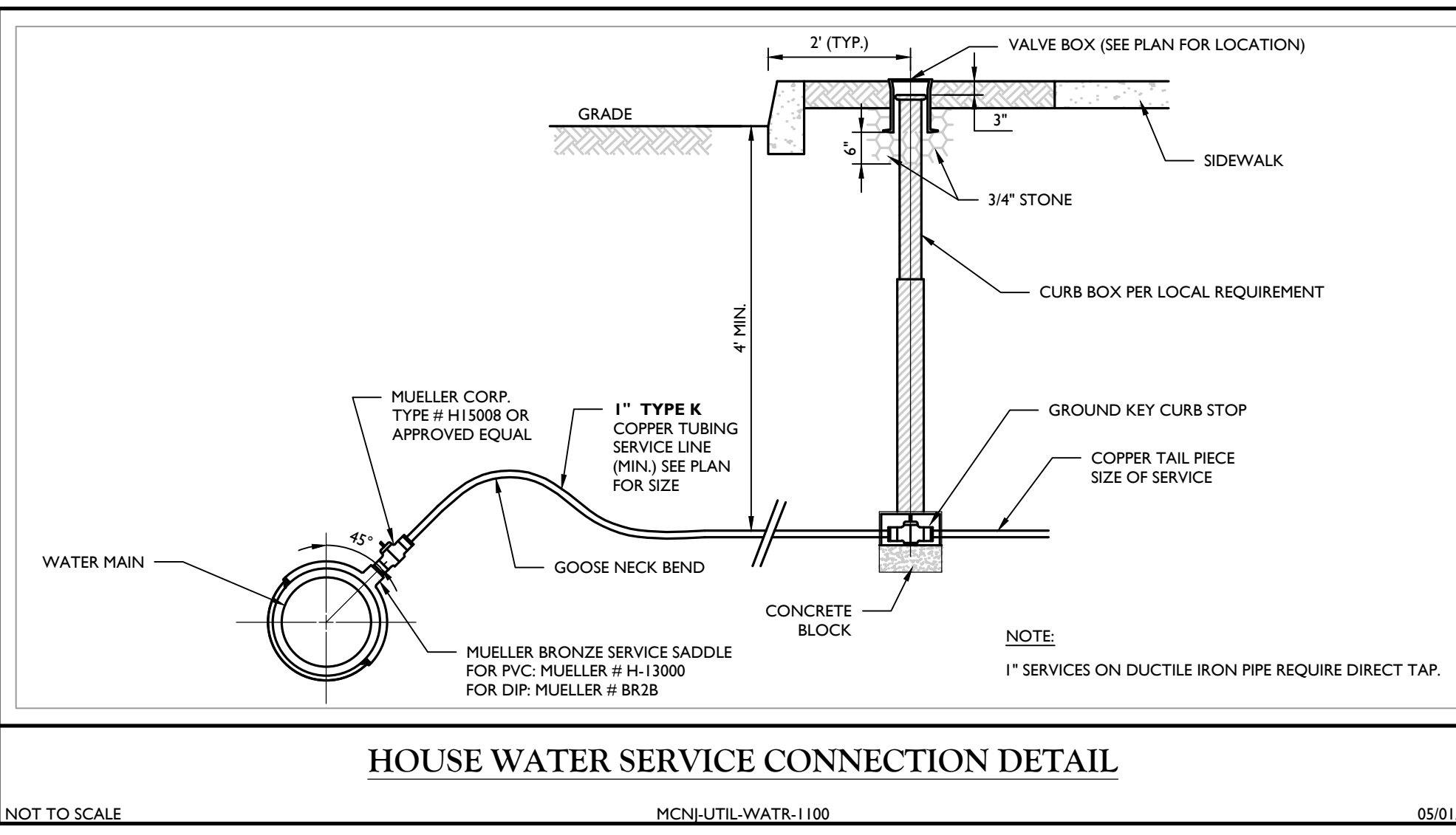
PAVEMENT REPAIR STRIP
NOT TO SCALE



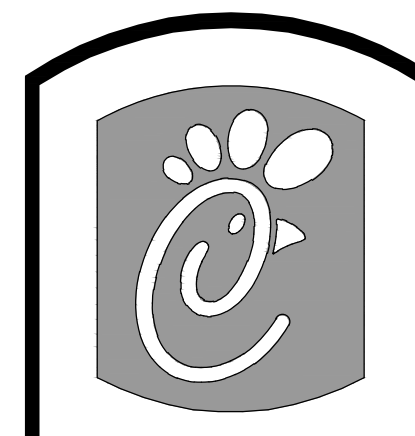
48" DIAMETER STORM MANHOLE DETAIL
NOT TO SCALE



THRUST BLOCKS DETAIL
NOT TO SCALE



HOUSE WATER SERVICE CONNECTION DETAIL
NOT TO SCALE



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30349-2998
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3	07/29/22		REVISED PER TYP COMMENTS

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STORE 5029

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DAUPHIN COUNTY
PENNSYLVANIA

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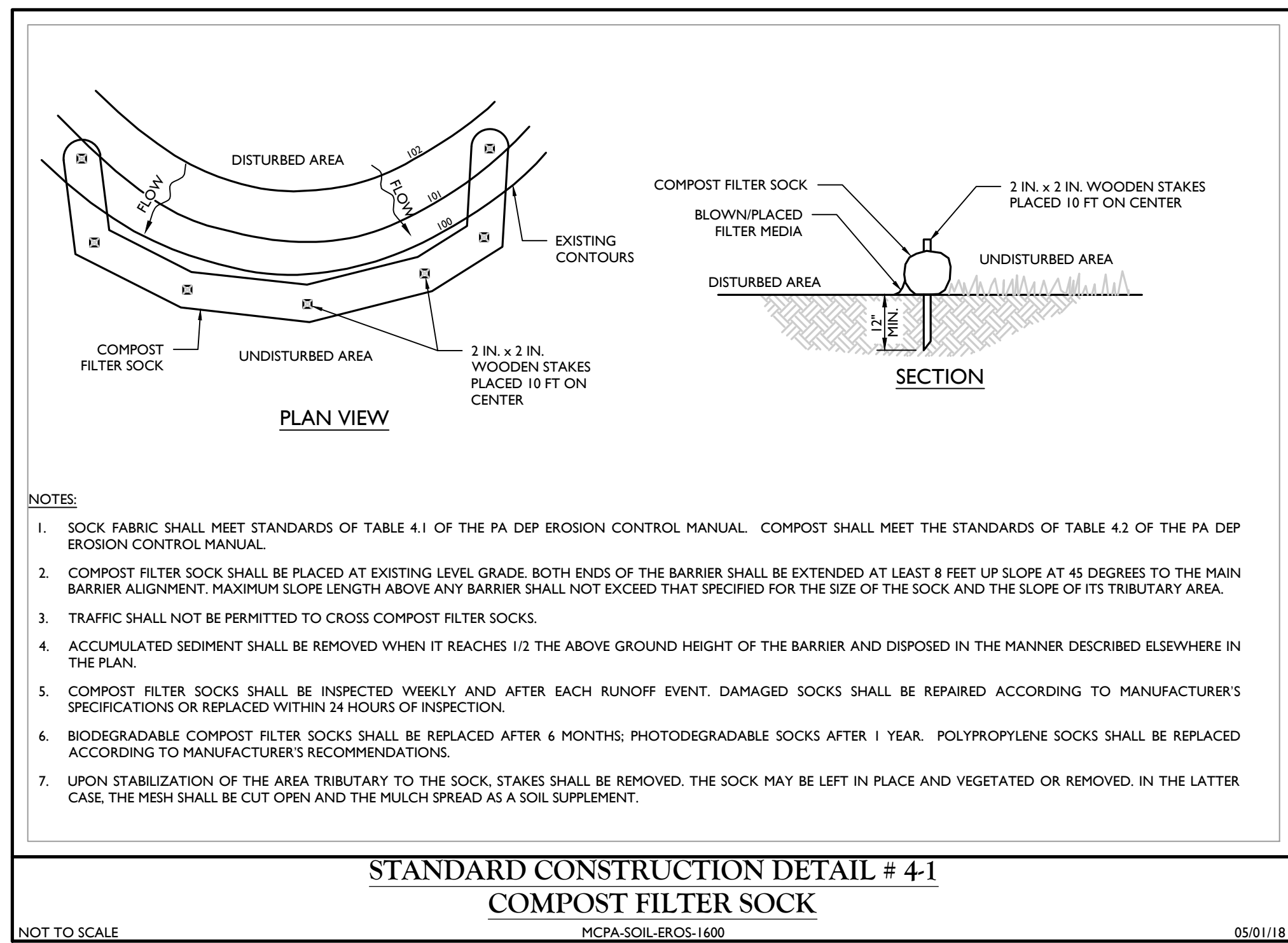
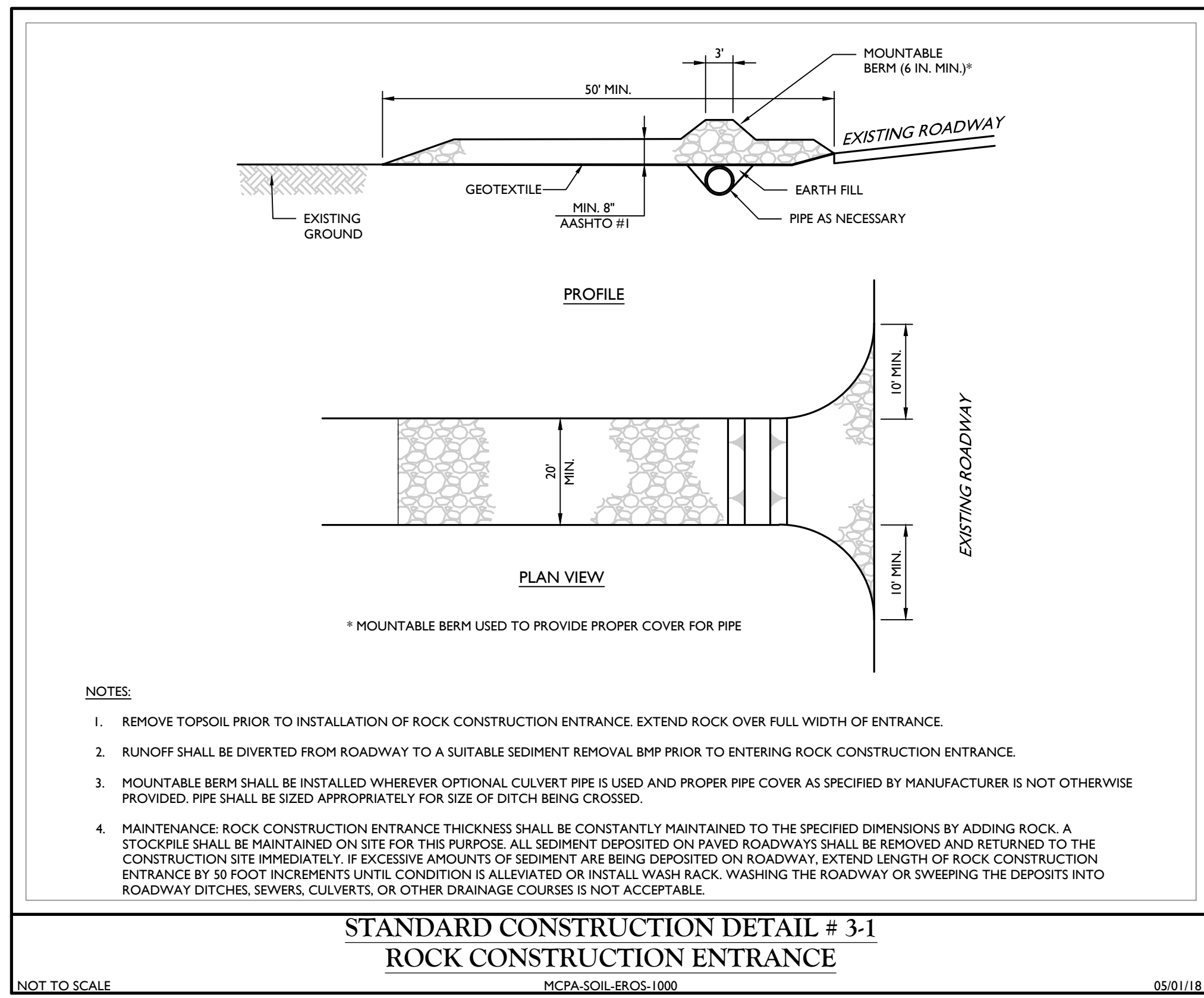


TABLE 4.1 COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMPFP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24"	12" 18" 24"	12" 18" 24"	12" 18" 24"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	3/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years

Two-ply Systems

Inner Containment Netting	Outer Filtration Mesh
HDPE biaxial net	Composite Polypropylene Fabric (Woven layer and non-woven fleece mechanically fused via needle punch)
Continuously wound	3/16" Max. aperture size
Fusion-welded junctures	3/16" Max. aperture size
3/4" x 3/4" Max. aperture size	

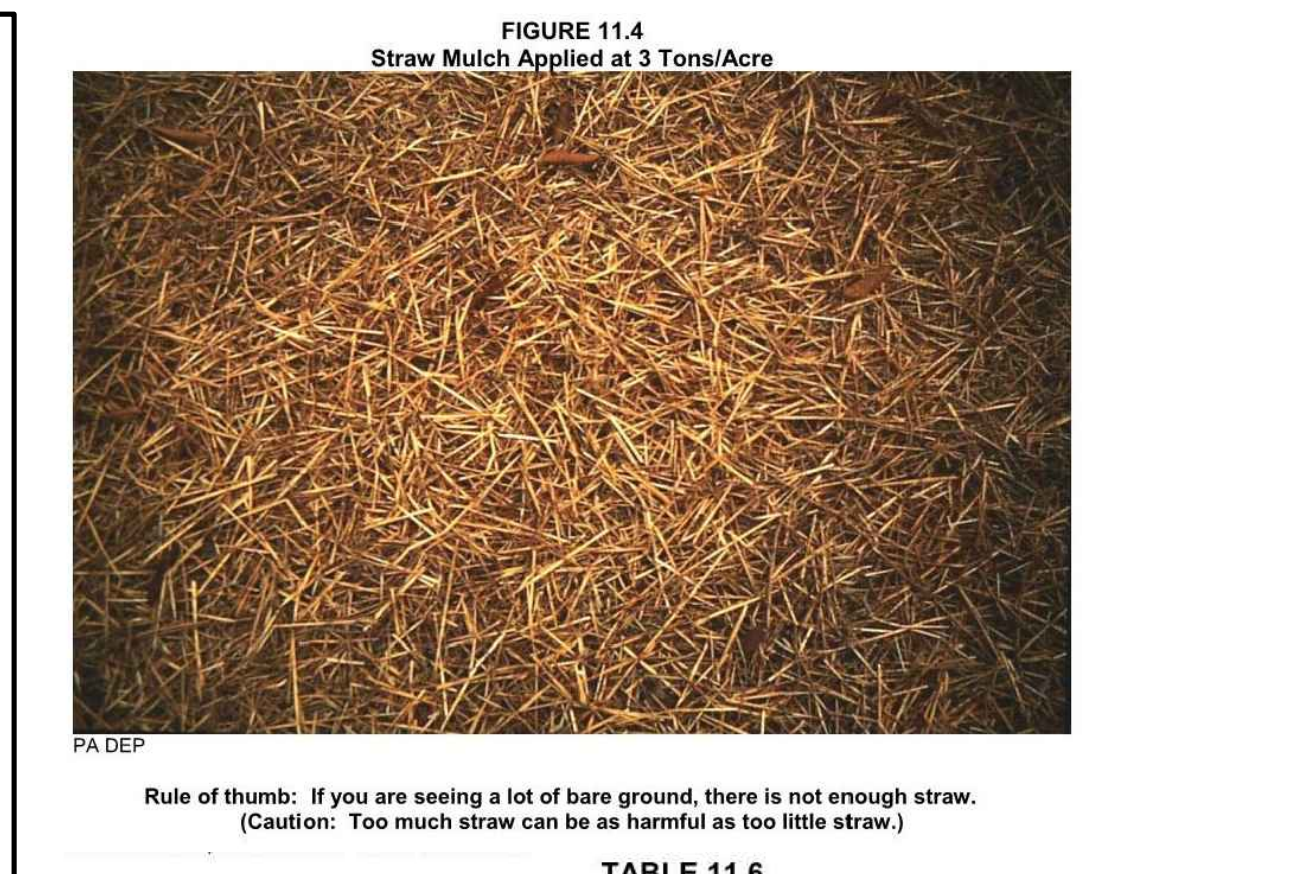
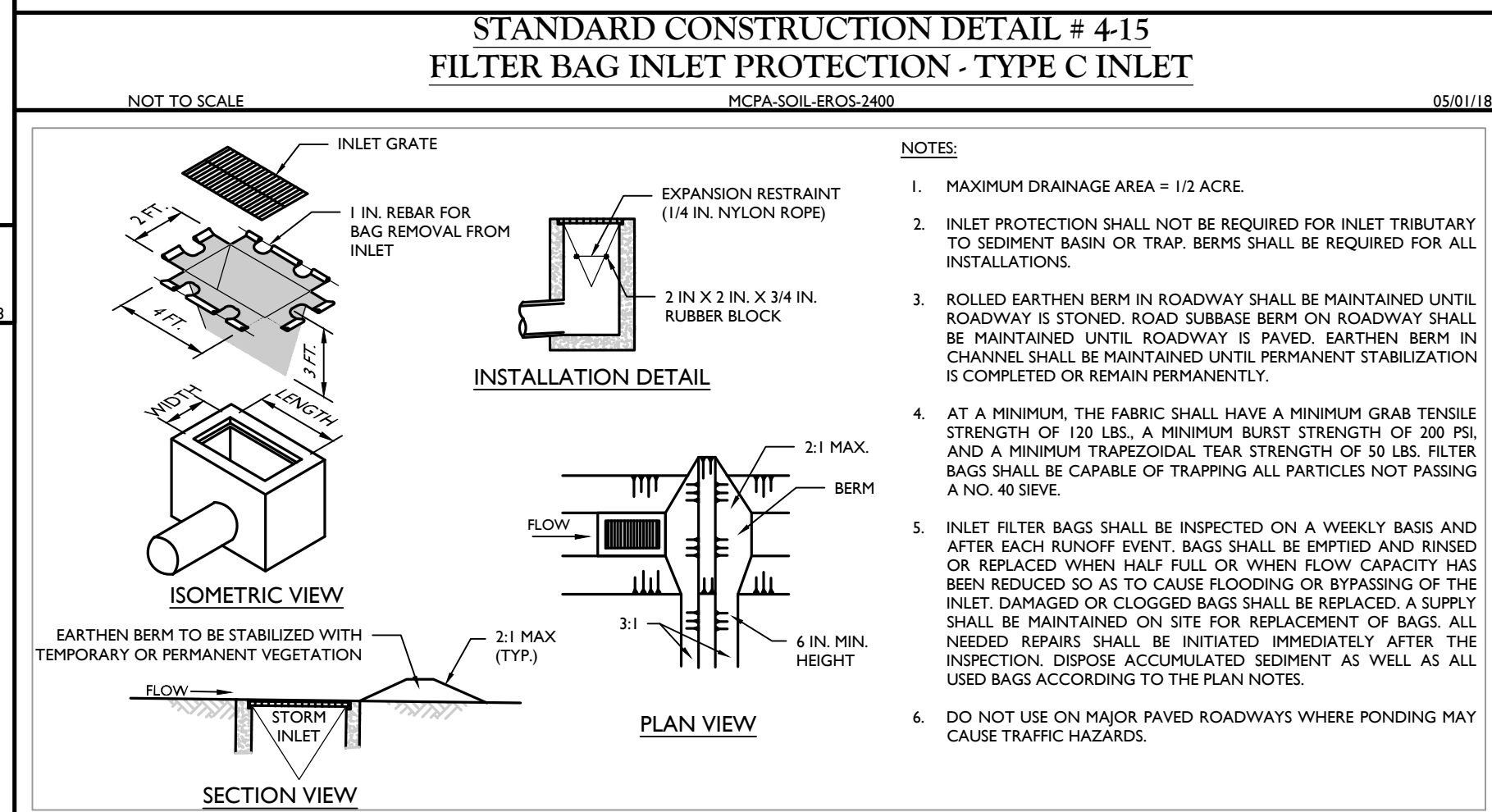
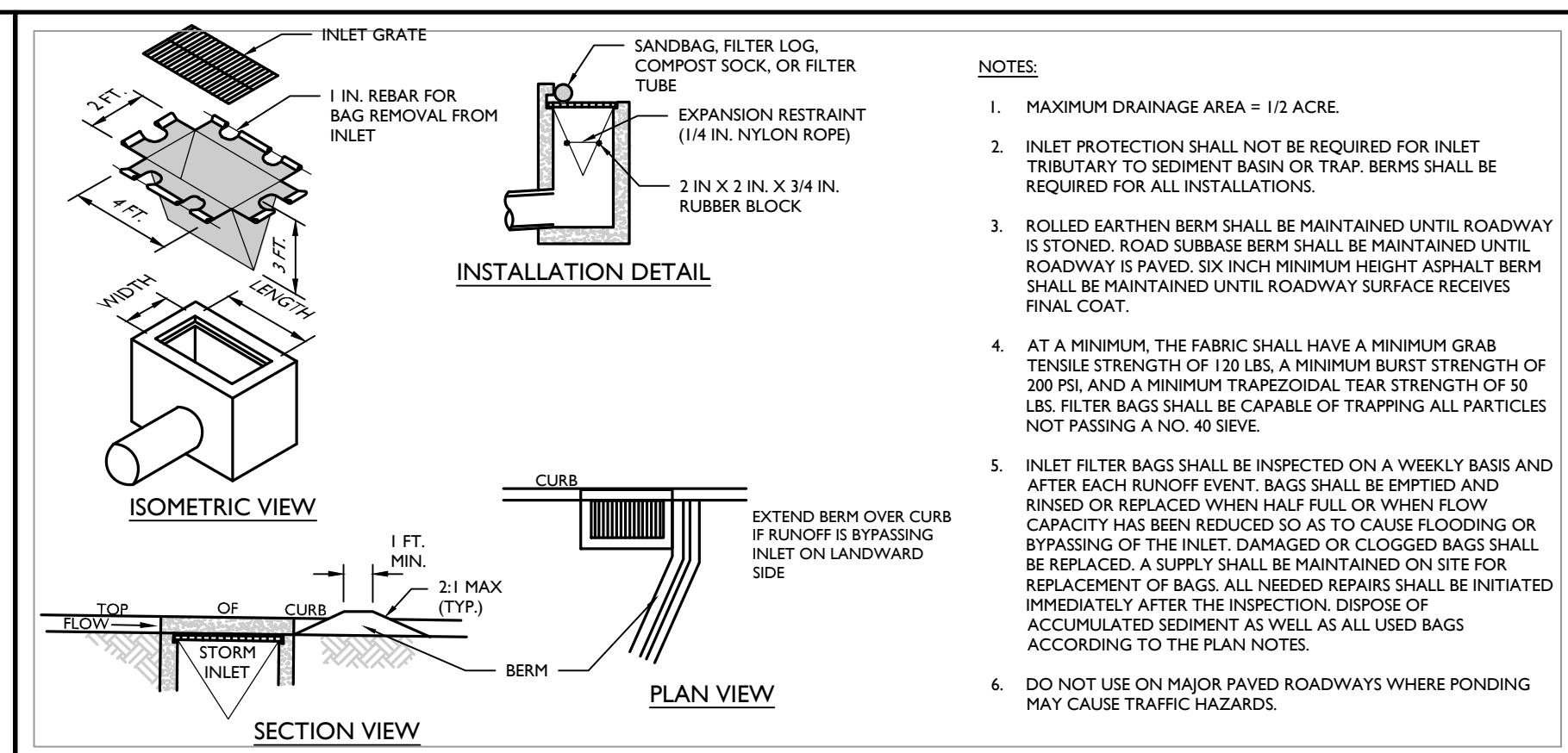
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

TABLE 4.2 COMPOST STANDARDS

Organic Matter Content	25% - 100% (dry weight basis)
Organic Portion	Fibrous and elongated
pH	5.5-8.5
Moisture Content	30%-60%
Particle Size	30% - 50% pass through 1/2" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

TABLE # 4.1 & 4.2

NOT TO SCALE MCPA-SOIL-EROS-1700 05/01/18



**TABLE 11.6
Mulch Application Rates**

Mulch Type	Application Rate (Min.)			Notes
	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 - 6 tons	185 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

MULCHING APPLICATION:

- MULCHES ABSORB RAINFALL IMPACT, INCREASE THE RATE OF INFILTRATION, REDUCE SOIL MOISTURE LOSS DUE TO EVAPORATION, MODERATE SOIL TEMPERATURES, PROVIDE A SUITABLE ENVIRONMENT FOR GERMINATION, AND PROTECT THE SEEDLING FROM INTENSE SUNLIGHT. ALL SEEDING AREAS SHOULD BE MULCHED OR BLANKETED TO MINIMIZE THE POTENTIAL FOR FAILURE TO ESTABLISH AN ADEQUATE VEGETATIVE COVER. MULCHING MAY ALSO BE USED AS A TEMPORARY STABILIZATION OF SOME DISTURBED AREAS IN NON-GERMINATING SEASONS.
- MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN TABLE 11.6
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WIND-BLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H:1V. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45 F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDING AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- SHREDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.

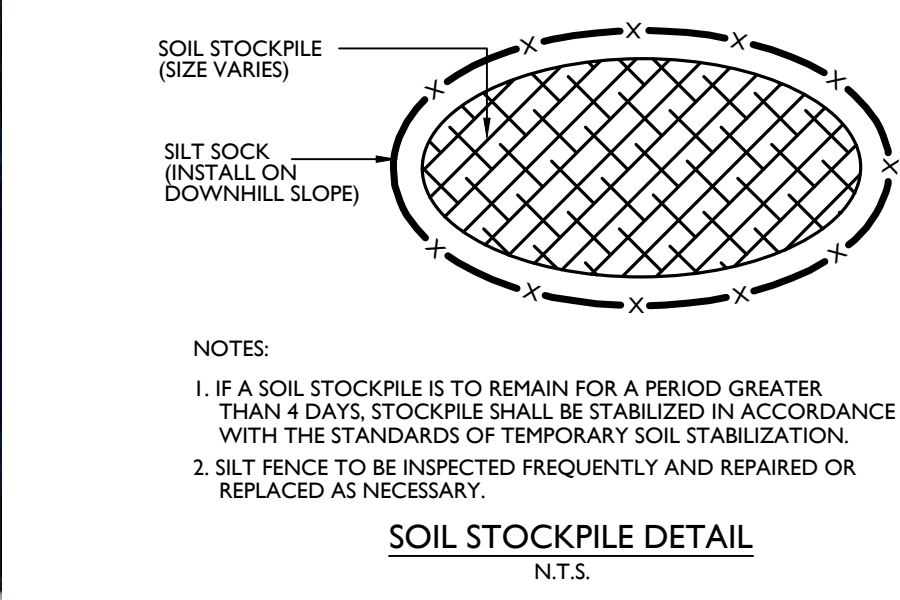


CONCRETE WASHOUT

NOT TO SCALE

NOTES:

- ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
- ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
- PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR REVIEW PRIOR TO CONSTRUCTION



COMPOST FILTER SOCK

CFS-01	12"
CFS-02	12"
STOCKPILE	12"

Chick-fil-e

5200 Buffington Road
Atlanta, Georgia
30349-2998
Telephone 404-765-8000

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STORE 5029

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SUSQUEHANNA
TOWNSHIP
DAUPHIN COUNTY
PENNSYLVANIA

PRELIMINARY & FINAL
MAJOR SITE PLAN

**SOIL EROSION
NOTES & DETAILS**

DWG EDITION 2.0

Preliminary
 80% Submittal
 For Construction

File No.: 21001871A

Store : 5029

Date : 05/04/22

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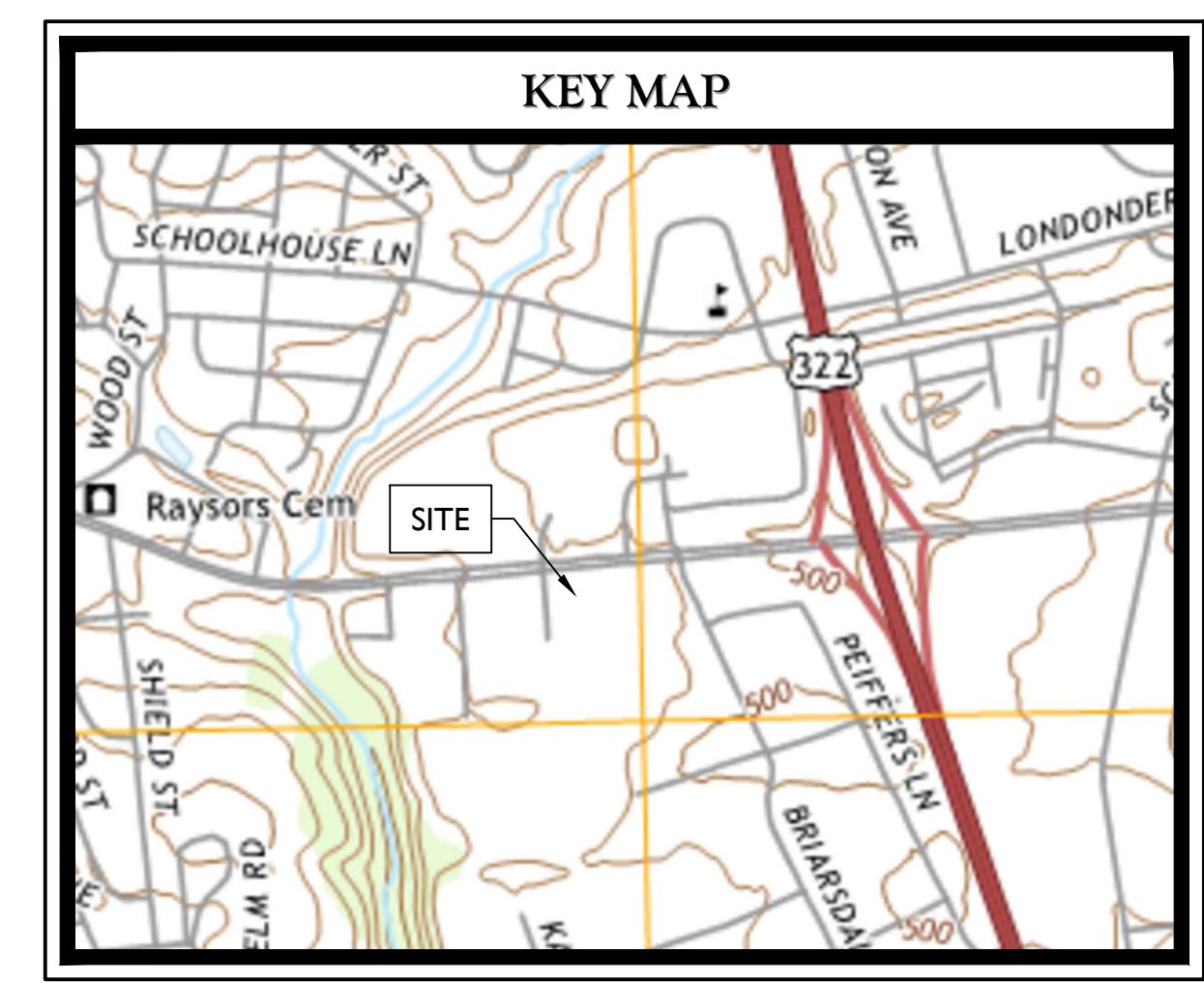
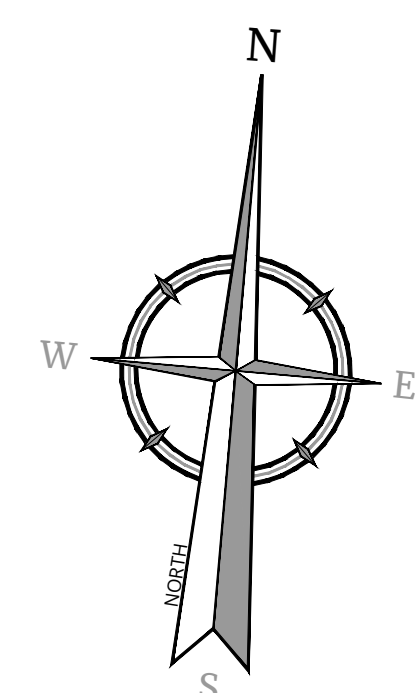
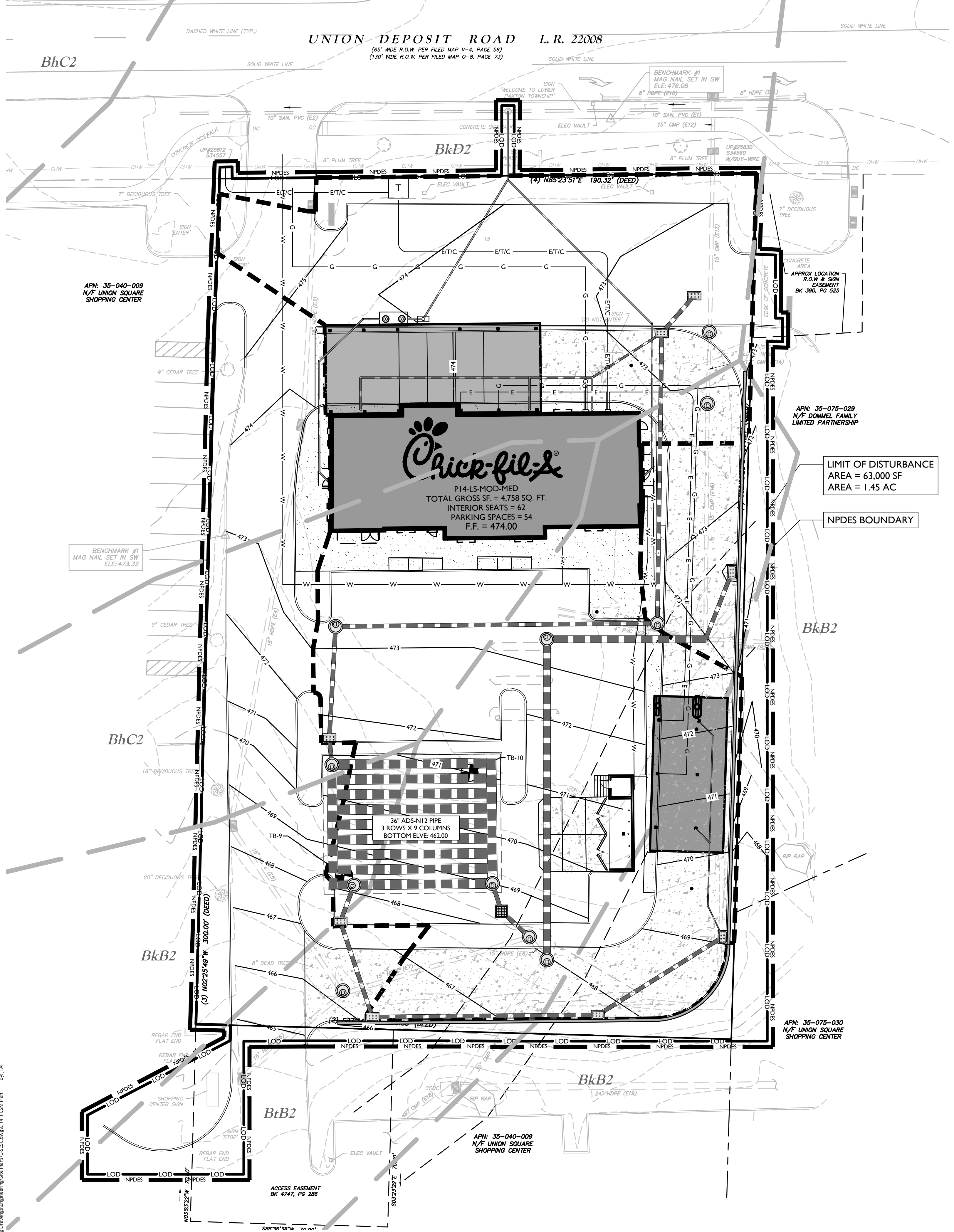
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SCALE: 1"=1,000' (APPROXIMATE)

NOTES:

1. THE RECEIVING STREAM IS TRIB 10129 TO SPRING CREEK WATERSHED. USE DESIGNATION IS CWF, WF (COLD WATER FISHES, MIGRATORY FISH). THIS STREAM IS LOCATED APPROXIMATELY 5,660 FT EAST OF THE PROJECT SITE.
2. PROPOSED LIMIT OF DISTURBANCE IS 63,000 SF (1.45 AC.)
3. THERE ARE NO STREAMS, WETLANDS, FLOODWAYS, OR WATERCOURSES WITHIN THE PROPOSED DEVELOPMENT AREA.
4. RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF FINANCIAL SECURITY.

PCSM PLAN OBJECTIVES:

1. PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
2. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
 - a. DAUPHIN COUNTY ACT 167 RELEASE RATE DISTRICT II FOR SPRING CREEK (WEST) GUIDELINES WERE UTILIZED AS DESIGN STANDARD.
3. MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME.
4. MINIMIZE IMPERVIOUS AREAS.
5. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
6. MINIMIZE LAND CLEARING AND GRADING.
7. MINIMIZE SOIL COMPACTION.
8. UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT AND MINIMIZE CHANGES IN STORMWATER RUNOFF.

UNDERGROUND BASIN SEQUENCE OF INSTALLATION:

1. REMOVE EXISTING ASPHALT AND STONE BASE.
2. EXCAVATE TO DESIGN STONE BASE ELEVATION. SCARIFY COMPACTED SOIL AND PLACE 6" STONE BASE.

(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE SUBGRADE PREPARATION.)
3. INSTALL ADS N-12 UNDERGROUND BASIN SYSTEM.

(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE UNDERGROUND BASIN SYSTEM INSTALLATION.)
4. PLACE 12" STONE COVER AND BACKFILL WITH SOIL TO DESIGN SUBGRADE ELEVATION FOR THE PARKING LOT.
5. COMPLETE WITH SUBBASE AND PAVEMENT FOR THE PARKING LOT AREA.

UNDERGROUND BASIN MAINTENANCE PROGRAM:

1. MAINTAINED BY: PROPERTY OWNER
2. UNDERGROUND BASIN WILL BE INSPECTED FOR ANY DEBRIS AND SETTLEMENT TWICE A YEAR. PERFORM ANY NECESSARY MAINTENANCE. ALL TRASH/DEBRIS/SETTLEMENT SHALL BE DISPOSED OF PROPERLY.

STORMWATER MANAGEMENT:

PROPOSED UNDERGROUND BASIN ADDITION - 9 ROWS OF 60 FT OPEN 36" PIPE

- PURPOSE: REDUCE RUNOFF VOLUME AND PEAK RATE DISCHARGE
- SURFACE AREA: 3,090 SF
- BOTTOM ELEVATION: 462.00'
- TOP ELEVATION: 468.50'
- DEPTH: 4' 5"
- STRUCTURAL STORAGE VOLUME PROVIDED: 3,423 CF

DRAINAGE INFORMATION:

- PRE-DEVELOPMENT CONDITION**
- IMPERVIOUS AREA = 35,074 SF / 0.81 AC
 - MEADOW (SOIL B) = 18,701 SF / 0.43 AC
 - MEADOW (SOIL C) = 3,920 SF / 0.09 AC
- POST DEVELOPMENT CONDITION**
1. DRAINAGE AREA TO BASIN
 - IMPERVIOUS AREA = 38,275 SF / 0.88 AC
 - LAWN AREA (SOIL B) = 2,659 SF / 0.06 AC
 - LAWN AREA (SOIL C) = 698 SF / 0.01 AC
 - DRAINAGE AREA 2-YEAR RUNOFF VOLUME = 7,710 CF
 2. DRAINAGE AREA TO BASIN
 - IMPERVIOUS AREA = 11,362 SF / 0.26 AC
 - LAWN AREA (SOIL B) = 4,091 SF / 0.09 AC
 - LAWN AREA (SOIL C) = 700 SF / 0.02 AC

PCSM LEGEND	
PROPOSED LIMIT OF DISTURBANCE	— LOD —
PROPOSED BMP DRAINAGE AREA	— — — — —
INFILTRATION TEST BORE LOCATION	⊙
NPDES BOUNDARY*	— NPDES —

*NPDES BOUNDARY IS THE SAME BOUNDARY AS THE LIMIT OF DISTURBANCE. IT IS SHOWN OFFSET FOR CLARITY PURPOSE.

SOIL USE LIMITATIONS AND RESOLUTIONS:

BASED ON THE WEB SOIL REPORT OF DAUPHIN COUNTY, THE EXISTING SOIL CLASSIFICATION WITHIN THE PROJECT AREA IS LISTED BELOW. B2B IS LISTED AS HYDRIC SOIL. THE SOIL USE LIMITATIONS FOR THE SITE ARE LISTED BELOW. WHEN ISSUES OCCUR DURING CONSTRUCTION, USE BELOW RESOLUTIONS OR CONSULTANT WITH THE ENGINEERS.

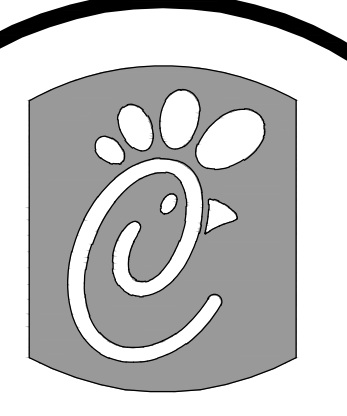
BkC2 (BERKS CHANNERY SILT LOAM, 8 TO 15 PERCENT SLOPES) - SOIL GROUP B
 BkB2 (BERKS SHALY SILT LOAM, 3 TO 8 PERCENT SLOPES) - SOIL GROUP B
 BkD2 (BERKS CHANNERY SILT LOAM, 15 TO 25 PERCENT SLOPES) - SOIL GROUP B
 BbB2 (BRINKERTON AND ARMAH SILT LOAMS, 3 TO 8 PERCENT SLOPES MODERATELY ERODED) - SOIL GROUP C

SOIL USE LIMITATIONS:

1. CUTBANKS CAVE
2. CORROSIVE TO CONCRETE AND STEEL
3. DROUGHTY
4. EASILY ERODIBLE
5. DEPTH TO SATURATED ZONE
6. HYDRIC/HYDRIC INCLUSIONS
7. LOW STRENGTH/LANDSLIDE PRONE
8. SLOW PERCOLATION
9. PIPING
10. POOR SOURCE OF TOPSOIL
11. FROST ACTION
12. POTENTIAL SINKHOLE
13. WETNESS

RESOLUTION:

1. CUTBANKS CAVE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
2. CORROSIVE TO CONCRETE/STEEL: CORROSIVE RESISTANT MATERIALS WILL BE USED OR CORROSIVE RESISTANT PRODUCTS WILL BE APPLIED TO THE SURFACE OF STEEL/CONCRETE FEATURES THAT CONTACT THE SOIL.
3. DROUGHTY: COMPOST WILL BE ADDED TO IMPROVE EXISTING SOIL CONDITIONS IF NECESSARY.
4. EASILY ERODIBLE: DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
5. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE: FILTER BAGS WILL BE USED IF WATER IS ENCOUNTERED DURING CONSTRUCTION.
6. HYDRIC/HYDRIC INCLUSIONS: HYDRIC SOILS ARE NOT EXPECTED ON THIS SITE.
7. LOW STRENGTH/LANDSLIDE PRONE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS, AND DISTURBED AREAS WILL BE STABILIZED WITH TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
8. SLOW PERCOLATION: NO INFILTRATION IS PROPOSED.
9. PIPING: ALL PIPE EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS.
10. POOR SOURCE OF TOPSOIL: ADD COMPOST TO IMPROVE SOIL CONDITION. USE SOILS FROM TOPSOIL STOCKPILES, IF NECESSARY, IMPORT TOPSOIL.
11. FROST ACTION: ALL PIPING WILL BE INSTALLED BELOW FROST LINE.
12. POTENTIAL SINKHOLE: MAINTAIN SEPARATION FROM INFILTRATION OF STORMWATER. MITIGATE POTENTIAL VOIDS DURING CONSTRUCTION.
13. WETNESS: CONSULT ENGINEERS WHEN ENCOUNTERED DURING CONSTRUCTION.



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 Telephone 404-765-8000

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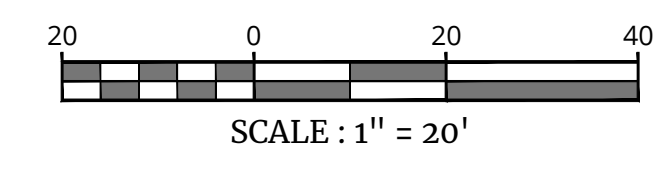
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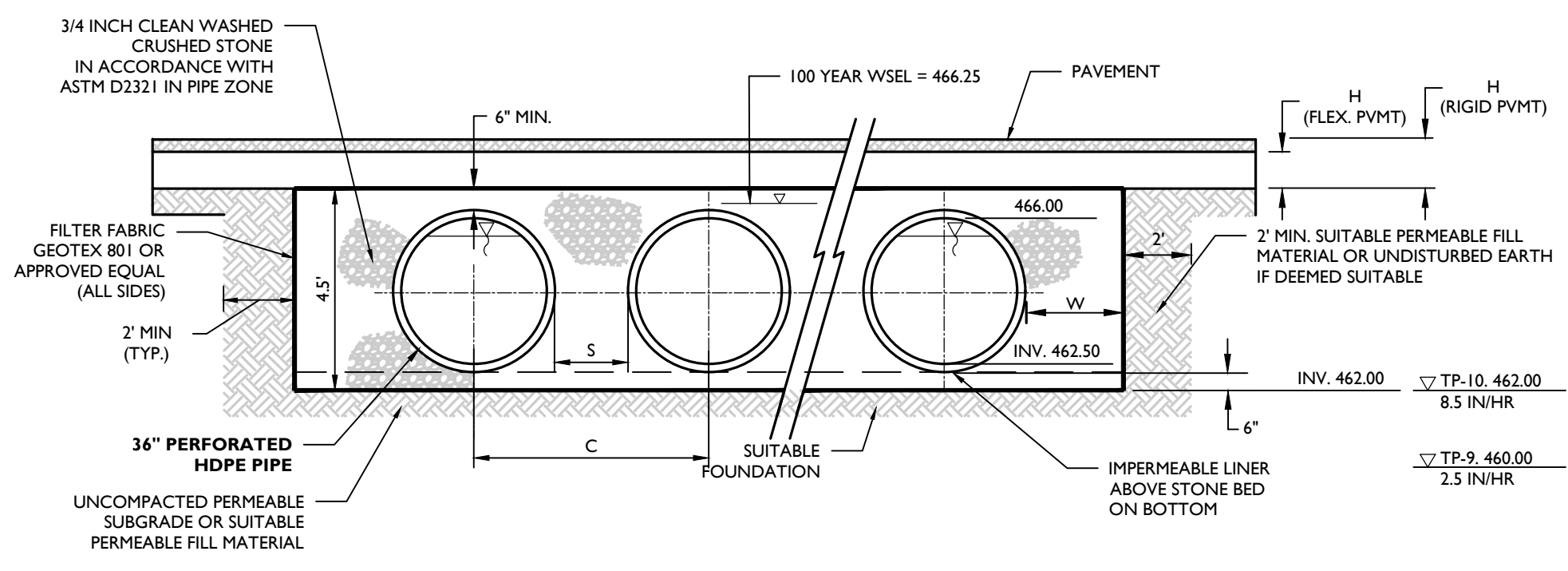
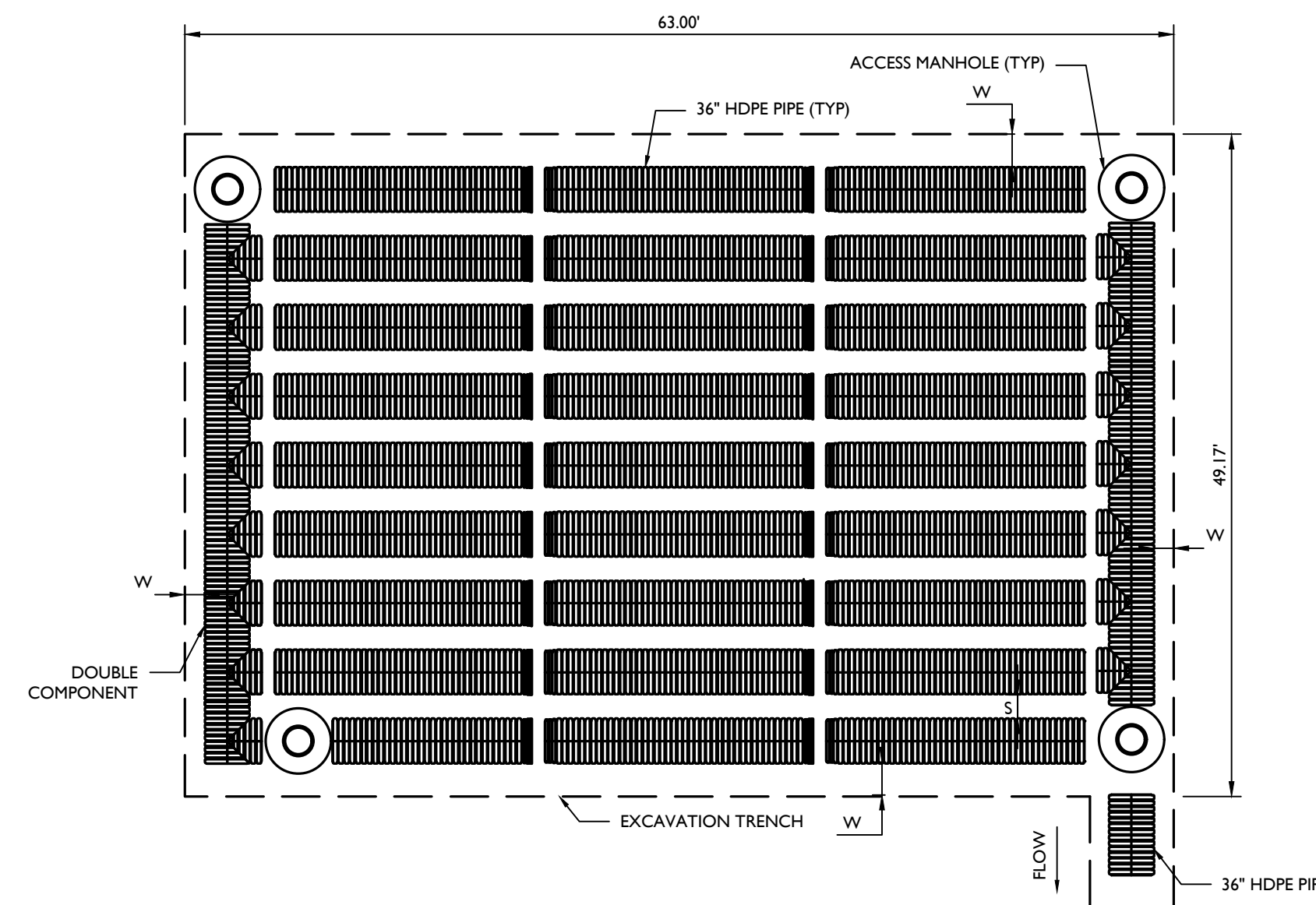
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NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "S"	TYPICAL SPACING "C"	TYPICAL SIDE WALL "W"	H (MIN. PIPE COVER) (TRAFFIC)
36" (900 MM)	42" (1067 MM)	22" (559 MM)	63" (1600 MM)	18" (457 MM)	12" (292 MM)

- NOTES:
- SEE ABOVE CHART SPECIFIC TO MATERIAL/PIPE SIZES PER MANUFACTURER'S SPECIFICATIONS.
 - (H) FOR FLEXIBLE PAVEMENT MAY INCLUDE THE PAVEMENT SUBBASE THICKNESS AS MINIMUM COVER.
 - MATERIAL TO BE ADS PIPE OR APPROVED EQUIVALENT.

UNDERGROUND INFILTRATION & DETENTION BASIN (OPEN SYSTEM) DETAIL

NOT TO SCALE MCPA-UTIL-STMW-1400 MOD: 11/09/21 05/01/18

UNDERGROUND STORMWATER INFILTRATION BASIN NOTES:

- ALL BASIN EXCAVATION MUST BE PERFORMED BY EQUIPMENT PLACED OUTSIDE THE BASIN WHENEVER POSSIBLE TO PREVENT THE COMPACTION OF THE BASIN SUBGRADE SOILS. DO NOT STOCKPILE MATERIAL IN THE AREA OF THE BASIN.
- CRUSHED STONE FILL USED IN SUBSURFACE INFILTRATION BASINS SHALL BE CLEAN WASHED STONE, AND PLACED IN LIFTS AND COMPACTED USING PLATE COMPACTORS. A MAXIMUM LOOSE LIFT THICKNESS OF 12 INCHES IS RECOMMENDED.
- DO NOT PLACE THE INFILTRATION BASIN(S) INTO OPERATION UNTIL THE CONTRIBUTORY DRAINAGE AREA(S) ARE COMPLETELY STABILIZED.
- THE CONTRACTOR SHALL NOTIFY THE SITE ENGINEER IMMEDIATELY IF SOIL CONDITIONS ENCOUNTERED IN THE FIELD DIFFER FROM WHAT IS SHOWN IN THE GEOTECHNICAL REPORT.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE ENGINEER PRIOR TO ORDERING MATERIAL.

UNDERGROUND STORMWATER INFILTRATION BASIN INSTALLATION NOTES:

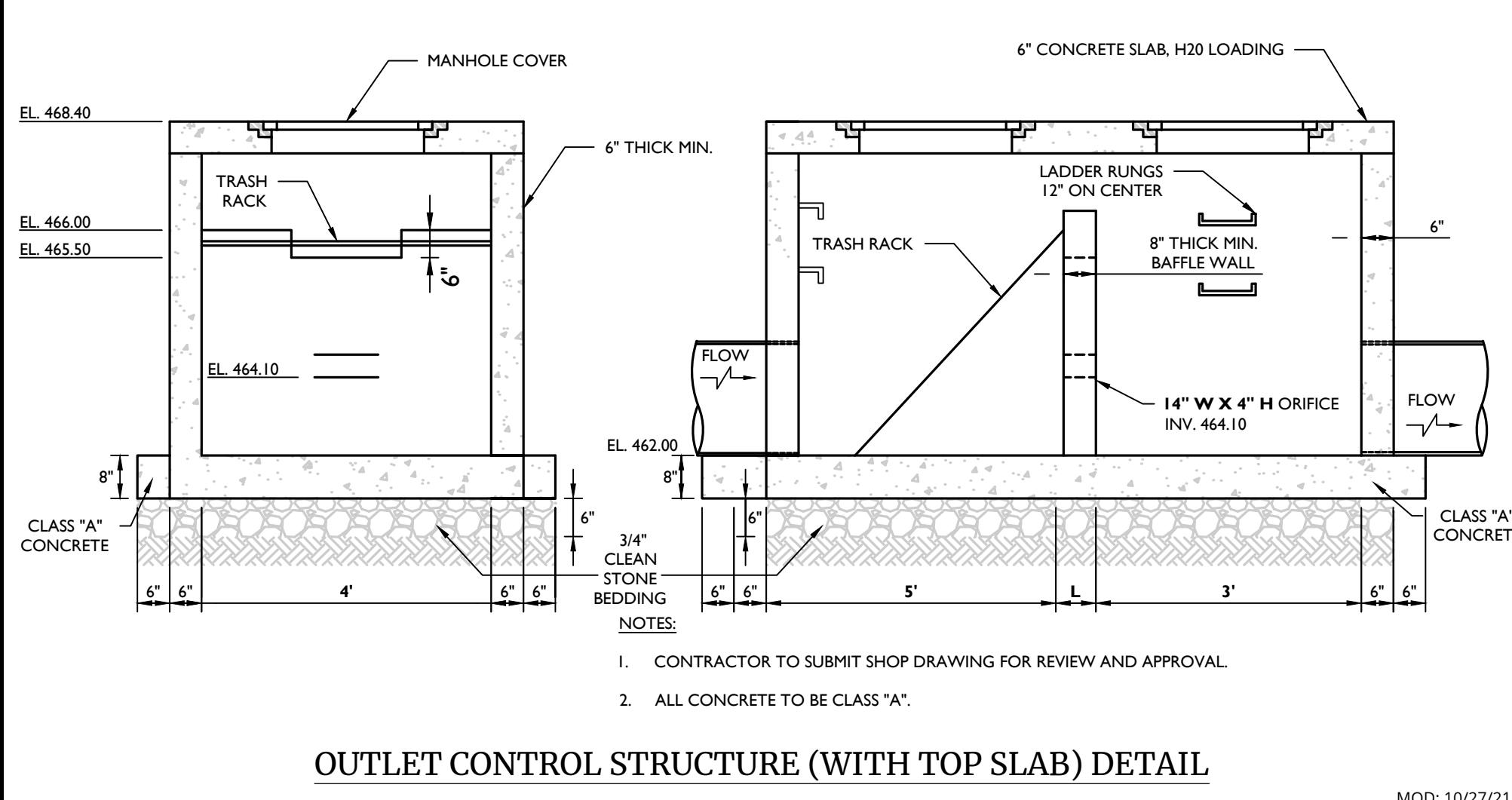
- PRIOR TO SMP INSTALLATION, THE INSPECTIONS COORDINATOR OF COUNTY CONSERVATION DISTRICT MUST BE CONTACTED TO SCHEDULE AN INSPECTION.
- THE CONTRACTOR SHALL IDENTIFY THE CONSTRUCTION EQUIPMENT TO BE USED FOR THE BASIN/BMP CONSTRUCTION AND THE CONSTRUCTION TECHNIQUES THAT WILL BE USED TO MINIMIZE COMPACTION OF THE INFILTRATION AREA.
- CONTRACTOR TO INSTALL SILT SOXX AROUND THE ENTIRE UNDERGROUND INFILTRATION AREA AND PROTECT THE AREA AT ALL TIMES.
- INSTALL OUTLET STRUCTURE AND OUTLET PIPE. CONSTRUCTION FENCE AND SILT/SOXX WHICH HAS BEEN REMOVED FOR THIS STAGE OF CONSTRUCTION MUST BE RE-INSTALLED AND STABILIZED AT THE END OF THE WORKING DAY.
- THE CONTRACTOR SHALL ENSURE THAT PROPER PRECAUTIONS ARE TAKEN TO PREVENT SEDIMENT ENTERING THE INFILTRATION AREA DURING CONSTRUCTION.
- CONTRACTOR MUST NOT COMPACT THE SUBGRADE ELEVATION OF THE SMP.
- INSTALL THE UNDERGROUND INFILTRATION BASIN AS INDICATED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

UNDERGROUND BASIN NOTES:

- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL. (SEE ASTM D2321)
- FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER.
- BEDDING: THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER.

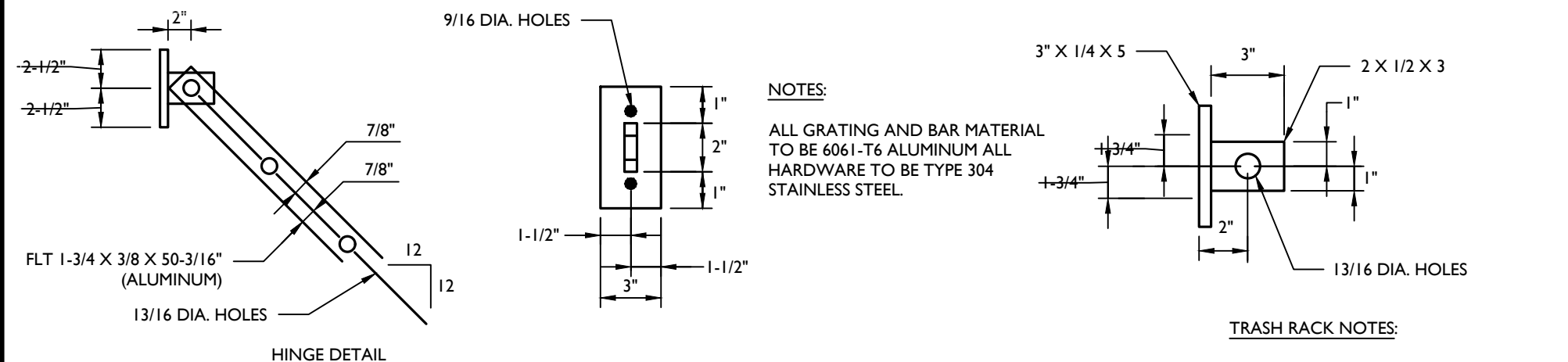
UNDERGROUND BASIN INSTALLATION NOTES:

- CONTRACTOR TO INSTALL SILT SOXX AROUND THE ENTIRE UNDERGROUND DETENTION AREA AND PROTECT THE AREA AT ALL TIMES.
- INSTALL OUTLET STRUCTURE AND OUTLET PIPE. CONSTRUCTION FENCE AND SILT SOXX WHICH HAS BEEN REMOVED FOR THIS STAGE OF CONSTRUCTION MUST BE RE-INSTALLED AND STABILIZED AT THE END OF THE WORKING DAY.
- CONTRACTOR MUST NOT COMPACT THE SUBGRADE ELEVATION OF THE BMP.
- EXCAVATE TO THE REQUIRED DEPTH AND PERFORM TWO (2) DOUBLE RING INFILTRATION TESTS. SUPPLY THE INFORMATION TO THE GEOTECHNICAL ENGINEER AND MASER CONSULTING FOR APPROVAL.
- INSTALL THE UNDERGROUND DETENTIONS SYSTEM AS INDICATED ON THE DETAIL SHEETS.
- ALL STONE THAT MAKES UP THE UNDERGROUND DETENTION FACILITY MUST REMAIN FREE OF SEDIMENT. IF SEDIMENT ENTERS THE STONE, THE CONTRACTOR MUST REMOVE THE SEDIMENT AND REPLACE IT WITH CLEAN-WASHED STONE.



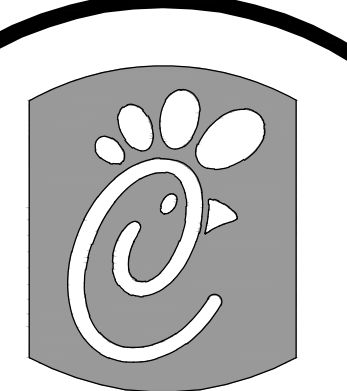
OUTLET CONTROL STRUCTURE (WITH TOP SLAB) DETAIL

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SLANTED TRASH RACK DETAIL

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PRELIMINARY & FINAL
MAJOR SITE PLAN
PCSM NOTES &
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DWG EDITION 2.0

- Preliminary
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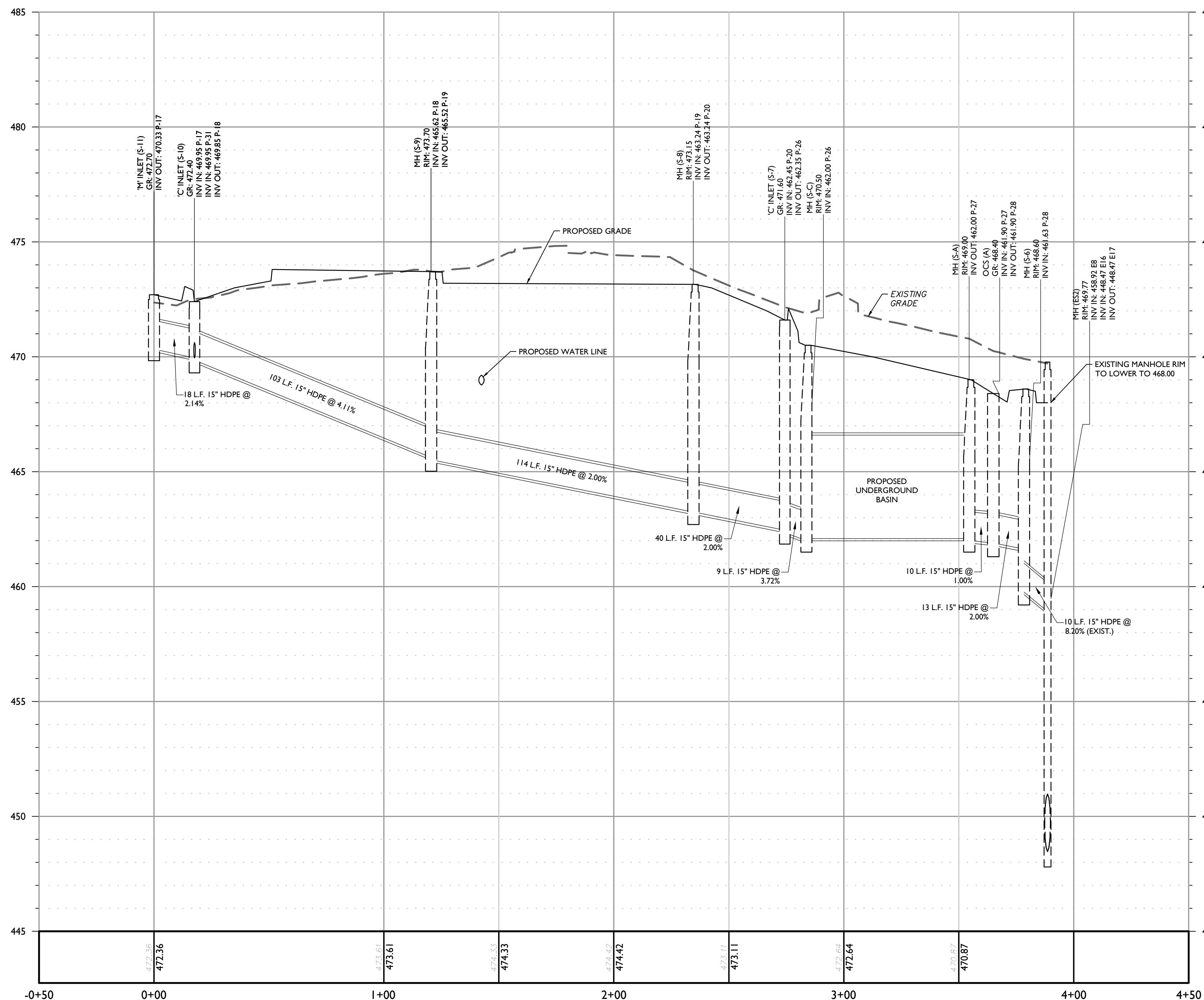
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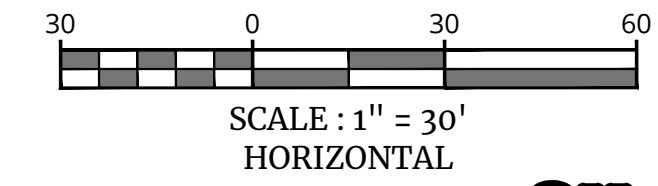
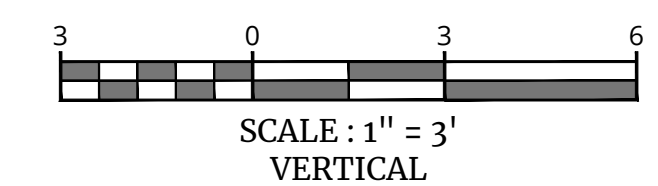
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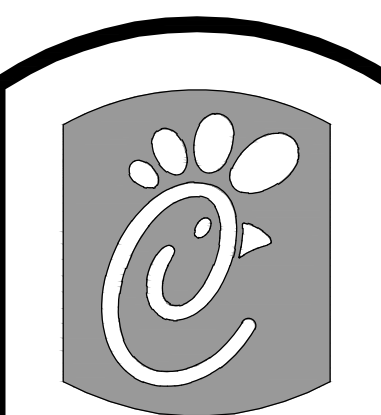
PROFILE OF INLET S-11 TO EXIST MH S-2
 HORIZONTAL : 1" = 30'
 VERTICAL : 1" = 3'



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 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
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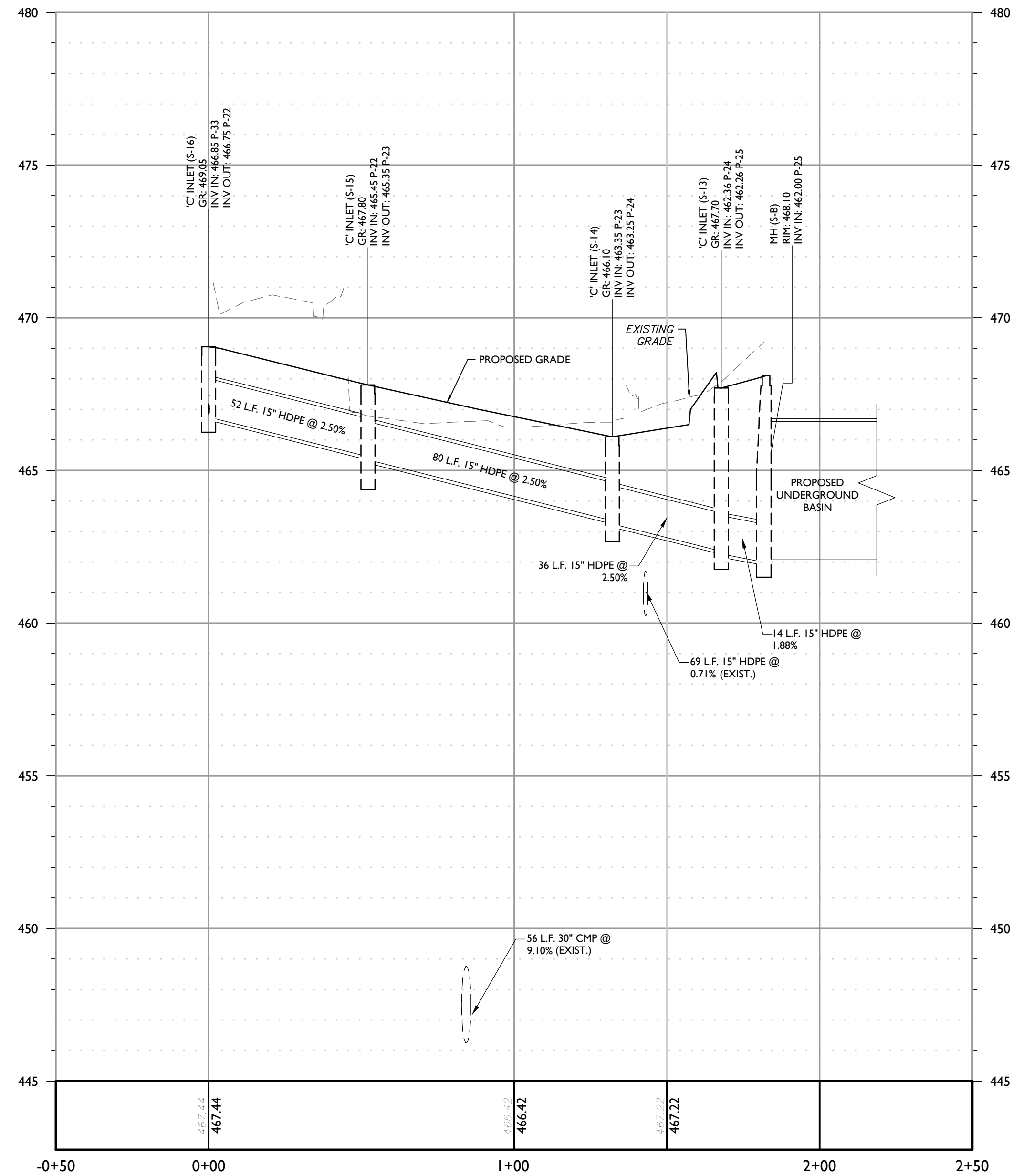
Colliera Engineering & Design
 www.collieraengineering.com
 Doing Business as **MASER**
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 1501 Pennsylvania Street
 Suite 302
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 Phone: 412.618.5390

STORE 5029
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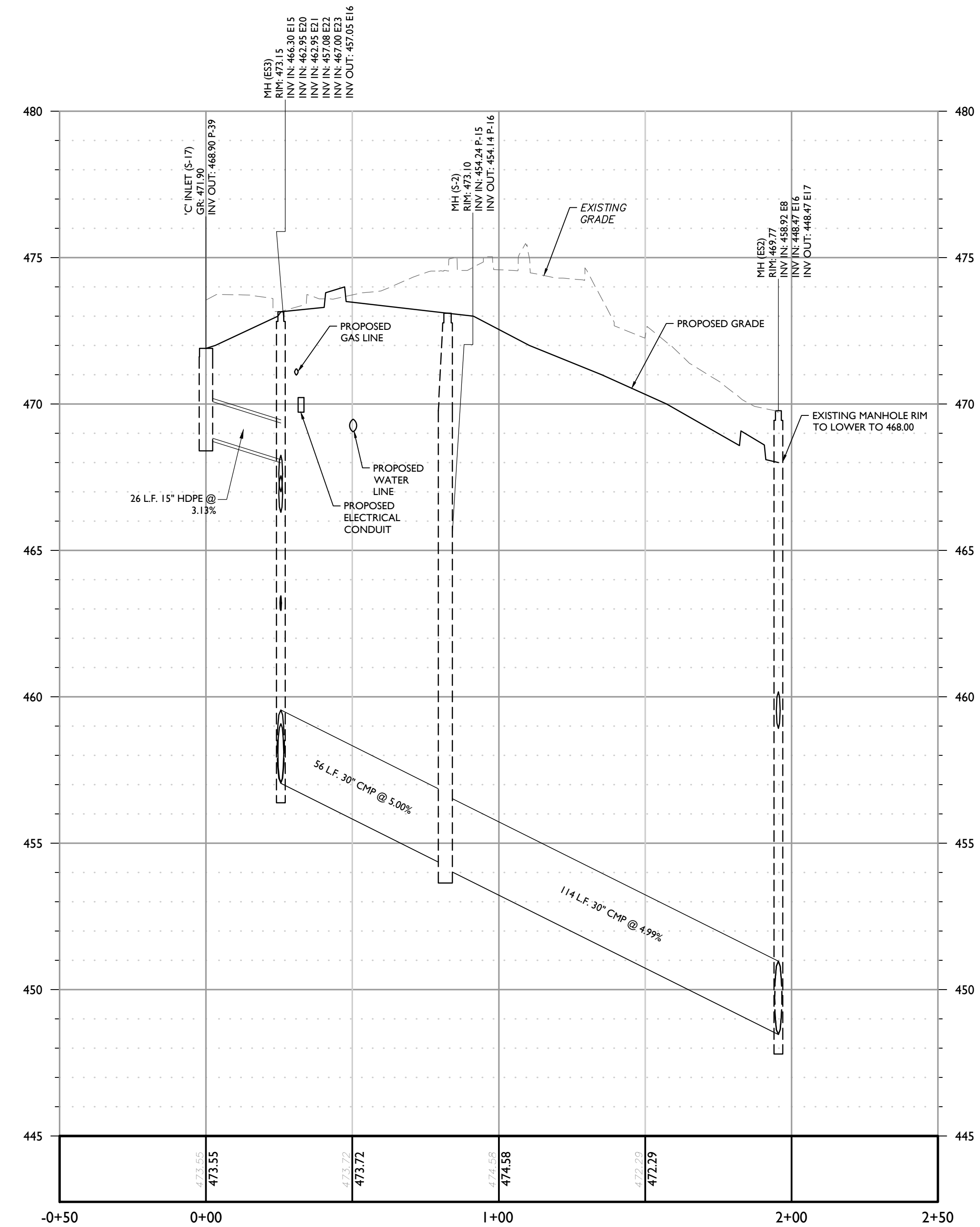
PRELIMINARY & FINAL
 MAJOR SITE PLAN
 STORM UTILITY
 PROFILE
 DWG EDITION 2.0
 Preliminary
 80% Submittal
 For Construction

File No.: 21001871A
 Store: 5029
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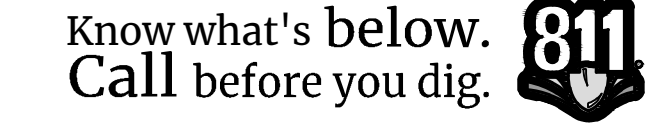
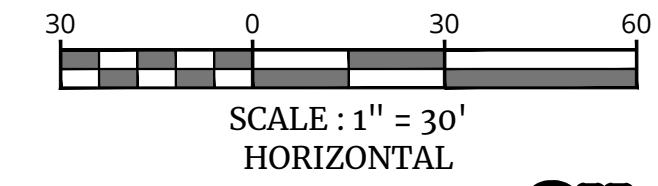
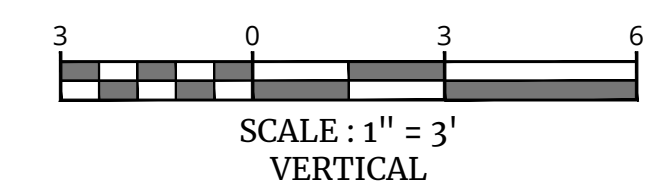
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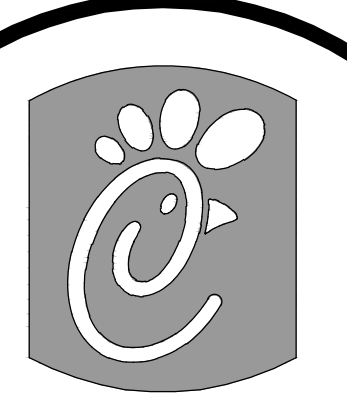
PROFILE OF INLET S-16 TO MH S-B
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



PROFILE OF INLET S-17 TO EXIST MH S-2
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



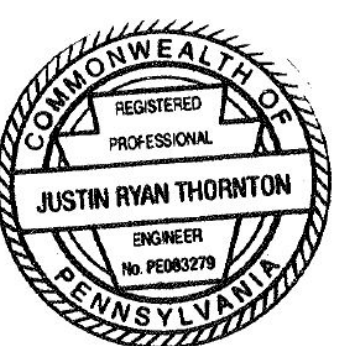
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1	07/20/22	REVISED PER TYP COMMENTS
2	07/20/22	REVISED PER TYP COMMENTS

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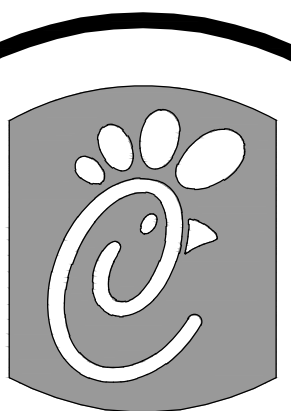
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PRELIMINARY & FINAL
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STORM UTILITY
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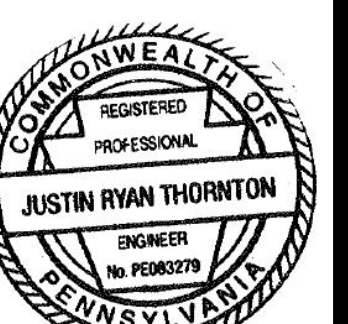
Chick-fil-e

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PRELIMINARY & FINAL
MAJOR SITE PLAN

SANITARY UTILITY
PROFILE

DWG EDITION 2.0

- Preliminary
- 80% Submittal
- For Construction

File No.: 21001871A

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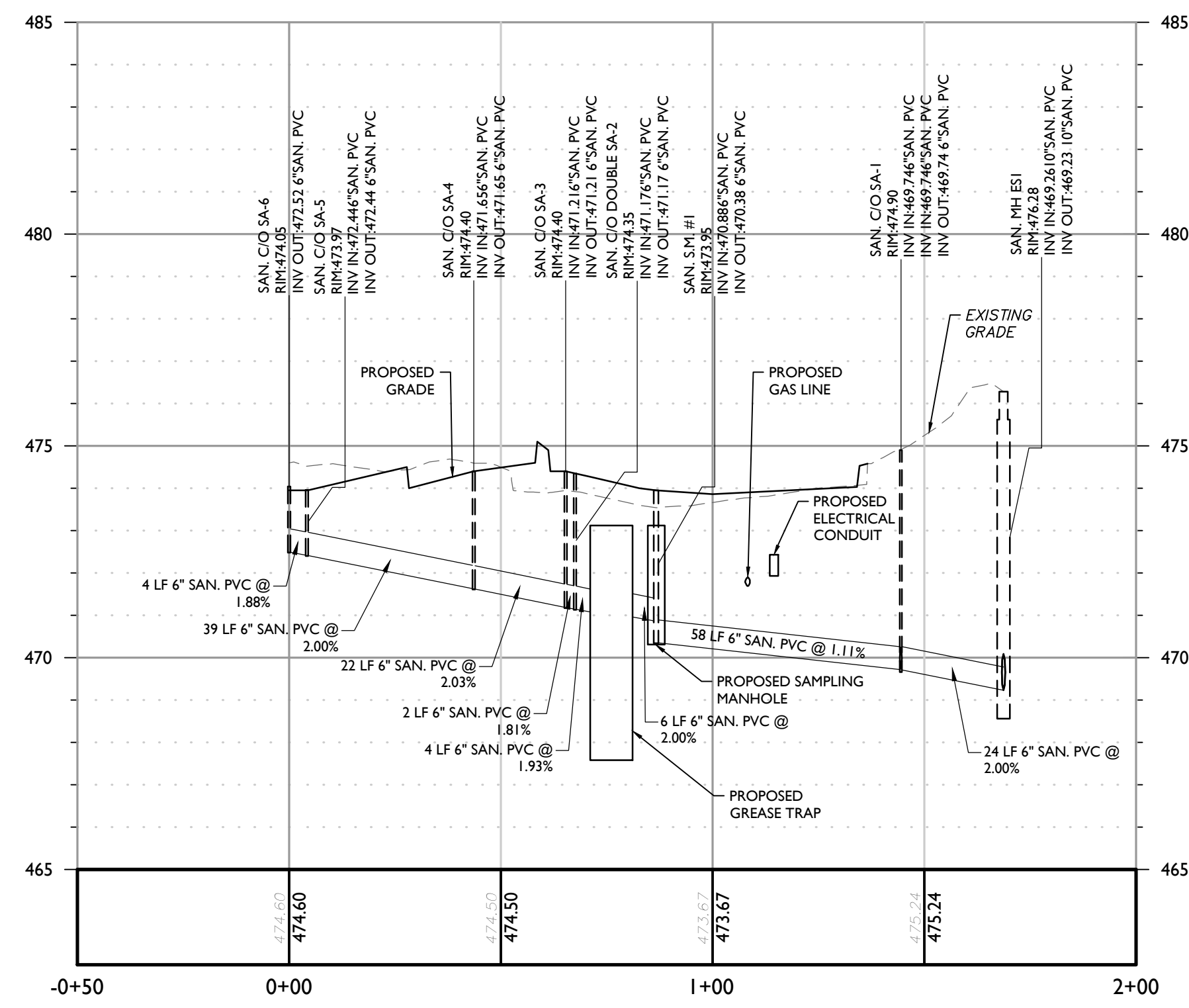
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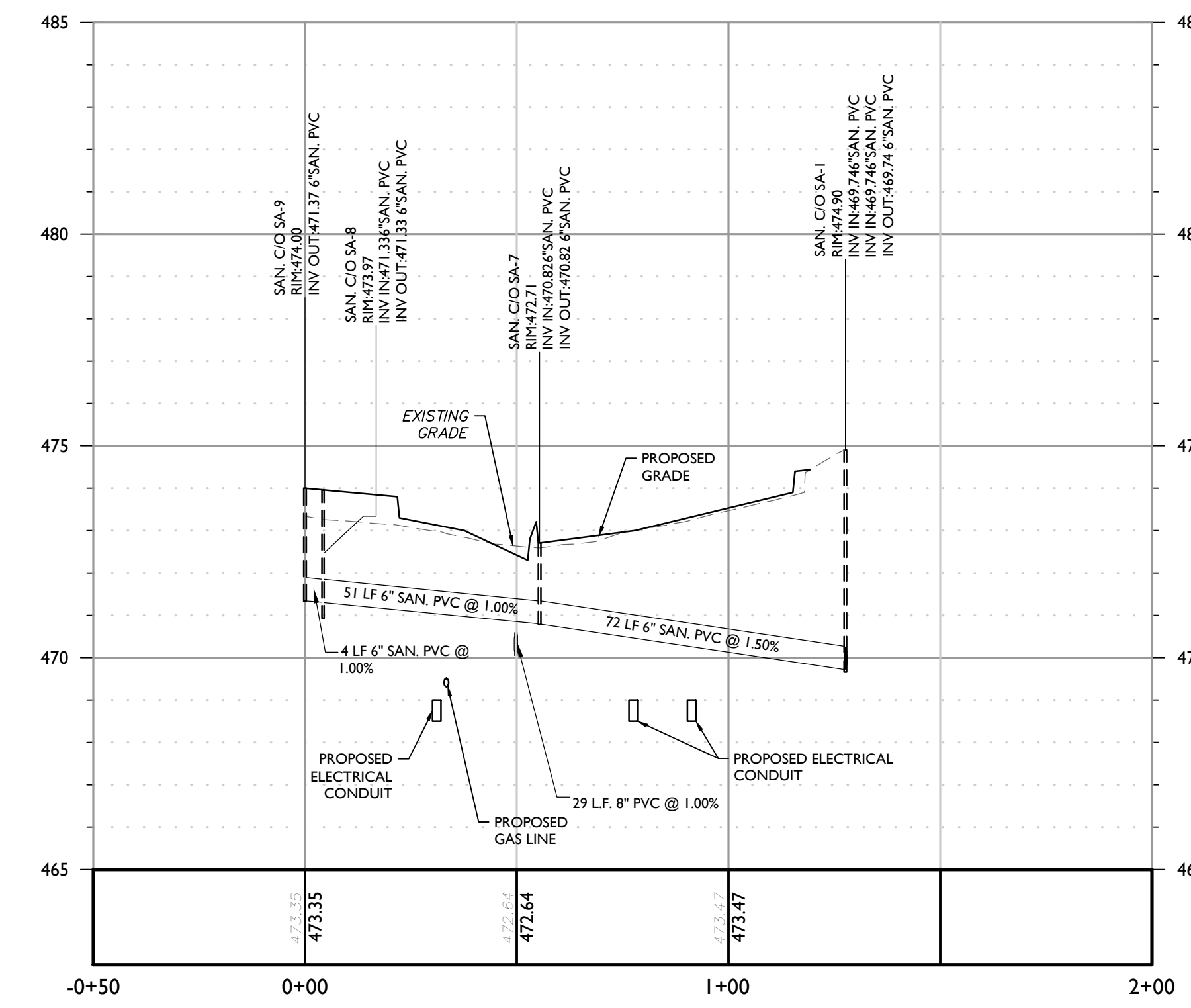
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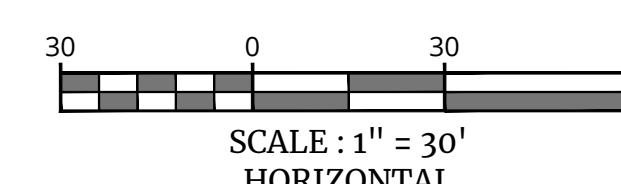
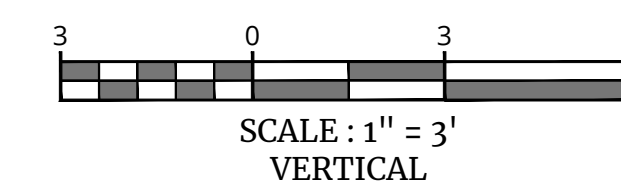
C 18



PROFILE OF KITCHEN WASTE LINE
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



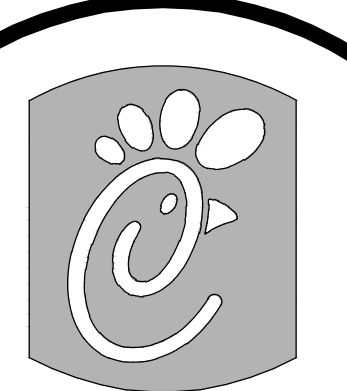
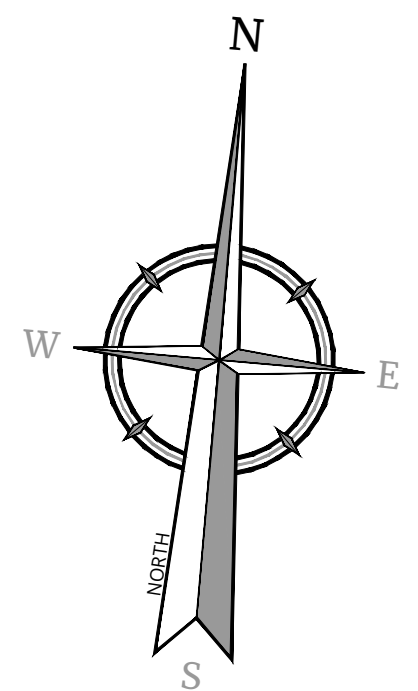
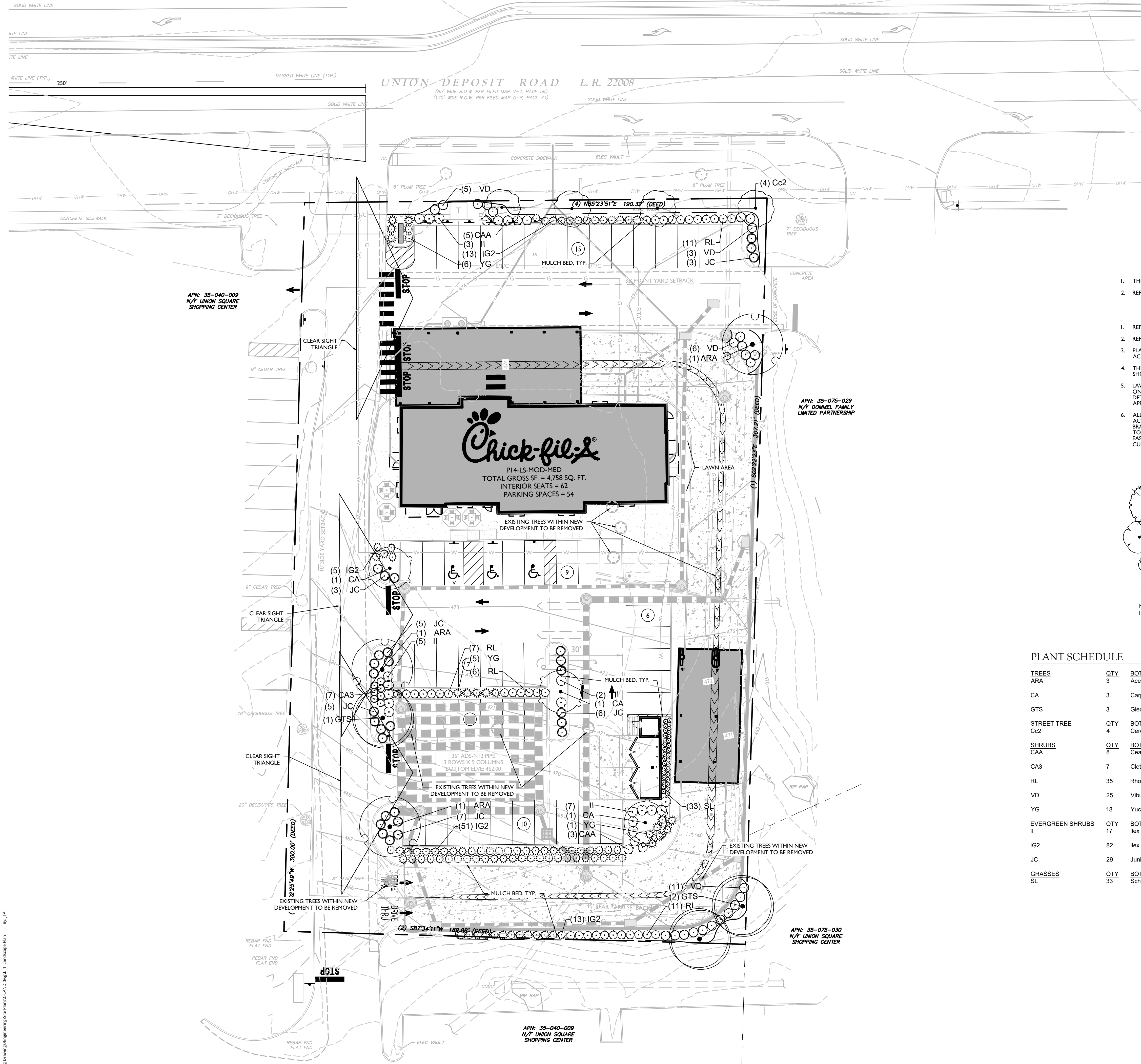
PROFILE OF RESTROOM WASTE LINE
HORIZONTAL : 1" = 30'
VERTICAL : 1" = 3'



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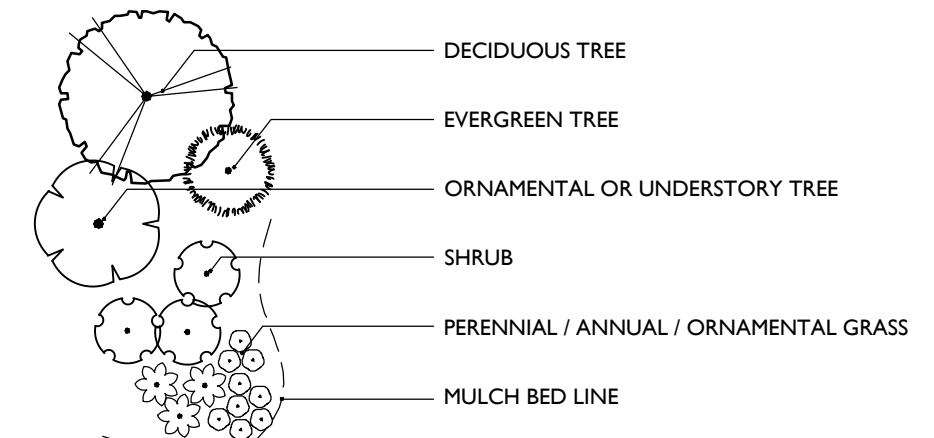
GENERAL NOTES

1. THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY.
2. REFER TO SHEET 1 FOR GENERAL NOTES.

LANDSCAPE PLAN NOTES

1. REFER TO SHEET L 2 FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS.
2. REFER TO THIS SHEET FOR PLANT SCHEDULE.
3. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE. ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS.
4. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT MATERIAL DISCREPANCIES OCCUR.
5. LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO THE LAWN SEED MIX NOTES ON THE LANDSCAPE DETAILS SHEET AND THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.
6. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-00" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-00" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.

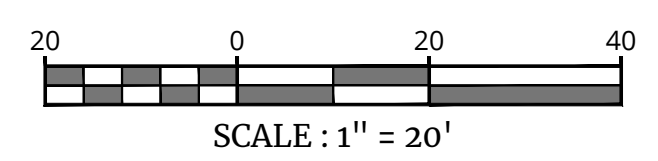
LANDSCAPE LEGEND



NOTES:
 1. LANDSCAPE SYMBOLS ON THE PLAN VARY AND MAY DEVIATE FROM THE LANDSCAPE LEGEND SYMBOLS SHOWN ABOVE.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
ARA	3	Acer rubrum 'Armstrong'	Armstrong Red Maple	B & B	2.5-3' Cal	12-15' H	
CA	3	Carpinus caroliniana	American Hornbeam	B & B	2.5-3' Cal	12-15' H	Fall Digging Hazard
GTS	3	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	B & B	2.5' - 3' Cal.	12-15' H	
STREET TREE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
Cc2	4	Cercis canadensis	Eastern Redbud	B & B	2.5' - 3' Cal.		
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
CAA	8	Ceanothus americanus	New Jersey Tea	5 gal		24" - 30" Ht.	
CA3	7	Clethra alnifolia	Summersweet Clethra	5 gal		24" - 30" Ht.	
RL	35	Rhododendron x 'Golden Lights'	Golden Lights Azalea	5 gal		24" - 30" Ht.	
VD	25	Viburnum dentatum 'Arrowwood'	Arrowwood Viburnum	7 gal		30" - 36" Ht.	
YG	18	Yucca filamentosa 'Golden Sword'	Adam's Needle	3 gal		15" - 18" Ht.	
EVERGREEN SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
II	17	Ilex glabra	Inkberry Holly	5 gal	24-30"		
IG2	82	Ilex glabra 'Compacta'	Compact Inkberry Holly	5 gal	24-30"		
JC	29	Juniperus conferta	Shore Juniper	3 gal	15-18"		
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	HEIGHT	REMARKS
SL	33	Schizachyrium scoparium	Little Bluestem Grass	5 gal			



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L 1

GENERAL PLANTING NOTES

LAND-GENL-PLNT-NOTE

10/14/2021

A. GENERAL

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK.
- OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

B. PLANT MATERIAL

- PLANT MATERIAL:**
 - PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2014 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY AMERICAN HORTICULTURE IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
 - ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
 - PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
 - THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
- PLANT QUANTITIES:** THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
- PLANT SIZE:** THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
- SUBSTITUTIONS:** NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED BY THE CONTRACTOR.
- GUARANTEE:** PLANT MATERIAL SHALL BE GUARANTEED FOR **ONE (1) YEAR** AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS DEAD WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN **ONE YEAR OR ONE** GROWING SEASON. TREE STAKES AND ARBOR TIES SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

C. TOPSOIL REQUIREMENTS

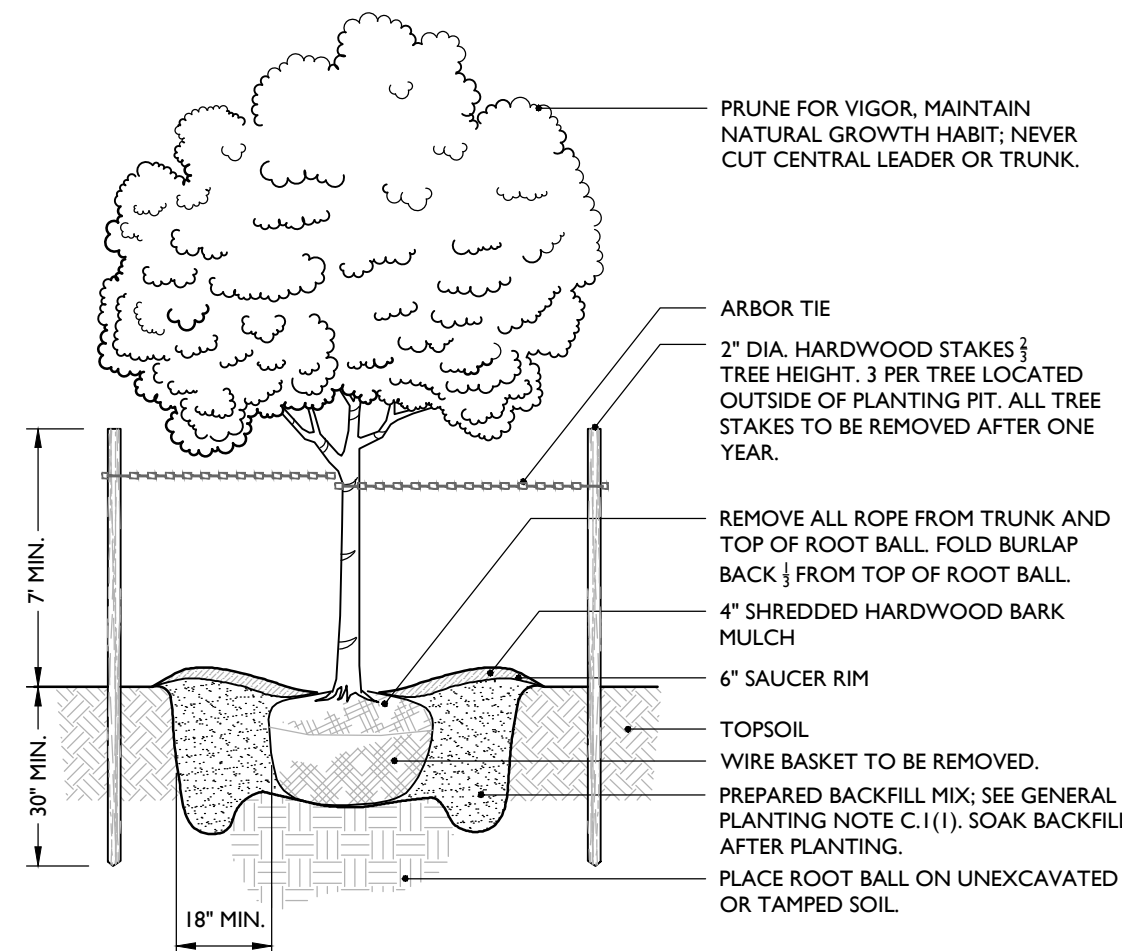
- TOPSOIL REQUIREMENTS:** SEE NJDOT SECTION 917 FOR REFERENCE AND SOIL ADDITIVES.
 - UNACCEPTABLE TOPSOIL SOURCES: DO NOT OBTAIN TOPSOIL FROM THE FOLLOWING SOURCES: AREAS CONTAINING CHEMICALLY CONTAMINATED SOILS, AREAS FROM WHICH THE ORIGINAL SURFACE HAS BEEN STRIPPED OR COVERED OVER, SUCH AS BORROW PITS, OPEN MINES, DEMOLITION SITES, DUMPS, LANDFILLS, NO TOPSOIL FROM WET EXCAVATION OR ACID PRODUCING SOILS.
 - TOPSOIL SHALL BE UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, SODS, LARGE STONE, CEMENT, ASH, SLAG, CONCRETE, TAR, BOARDS, CHIPS, MULCH, OR ANY OTHER UNDESIRABLE MATERIALS. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION.
 - TOPSOIL PH REQUIREMENTS ARE AS FOLLOWS: PH < 4.1 TOPSOIL IS UNACCEPTABLE. 4.1 ≤ PH < 5.8 ADD PULVERIZED LIME TO INCREASE THE PH TO 6.5 BEFORE USE. 5.8 ≤ PH < 7.0 TOPSOIL IS ACCEPTABLE. NO REMEDIATION NEEDED. 7.0 ≤ PH < 7.2 DECREASE PH TO AT LEAST 6.8 BEFORE USE. PH ≥ 7.2 TOPSOIL IS UNACCEPTABLE.
 - ORGANIC CONTENT: ENSURE THAT TOPSOIL HAS A MINIMUM ORGANIC CONTENT OF 2.75% BY WEIGHT. IF THE ORGANIC CONTENT IS LESS THAN 2.75%, INCREASE THE ORGANIC CONTENT BY ADDING SOIL ADDITIVES AT A RATE NECESSARY TO ATTAIN THE MINIMUM ORGANIC CONTENT. THE ORGANIC CONTENT SHALL NOT EXCEED 8% BY WEIGHT AND SHALL BE SAMPLED IN ACCORDANCE WITH THE ASSOCIATION OF AGRICULTURAL CHEMISTS.
 - GRADATION/PARTICLE SIZE: PROVIDE TOPSOIL CONFORMING TO THE PARTICLE SIZE REQUIREMENTS IN TABLE 917.01-2 AND THAT HAS NO MORE THAN 20 PERCENT RETAINED ON A NO. 10 SIEVE WHEN MECHANICALLY GRADED. THE DEPARTMENT WILL DETERMINE THE PARTICLE SIZE DISTRIBUTION FOR THE PORTION OF THE TOPSOIL PASSING THE NO. 10 SIEVE USING HYDROMETER ANALYSIS ACCORDING TO AASHTO T 88, SAND (20 MM TO 0.075 MM) 40 - 80% COMPOSITION. SILT (0.075 MM TO 0.005 MM) 0 - 30% COMPOSITION. CLAY (0.005 MM AND SMALLER) 10 - 30% COMPOSITION.
- PREPARATION OF SUBGRADE:**
 - HOLLOW, DEPRESSIONS, AND GULLIES SHALL BE FILLED WITH ACCEPTABLE SANDY LOAM AS OUTLINED ABOVE OR SOIL AS DESCRIBED HEREON. SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
 - LOOSEN SUBSOIL BY SCARIFYING, RIPPING OR TILLING USING DISKS, HARROWS OR OTHER SUITABLE EQUIPMENT TO A DEPTH OF 4'-6" IMMEDIATELY BEFORE PLACING ANY TOPSOIL. REPEAT IN AREAS WHERE SEED OR PLANTINGS ARE PROPOSED AND THERE HAS BEEN COMPACTED SOIL.
- TESTING AND APPROVAL OF SOILS:**
 - THE CONTRACTOR SHALL SUBMIT A CERTIFIED REPORT SHOWING THE ANALYSIS OF REPRESENTATIVE SAMPLES OF TOPSOIL. TESTING SHALL BE PERFORMED BY Rutgers COOPERATIVE RESEARCH & EXTENSION TESTING LABORATORIES OR EQUIVALENT AS APPROVED BY STATE AND LOCAL REGULATIONS. PRICE BID SHALL INCLUDE ALL INSPECTION AND LABORATORY FEES.

D. PLANTING PROCEDURES

- PLANTING BEDS:**
 - PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH SOILS AS OUTLINED IN SECTION C PRIOR. BACKFILL SOIL TO BE AT MINIMUM ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
 - PLANTING BEDS SHALL RECEIVE FOUR (4) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR. UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED.
 - SHRUB PASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- PLANT LOCATIONS:** THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
- PLANTING DATES:** PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.
- PLANTING METHODS:**
 - LOCAL ORDINANCES/TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
 - STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER.
 - THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2 1/2 TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
 - TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF ARBOR TIE TREE TIE (1/2" WIDE RECOMMENDED FOR TREES UP TO 2 1/2 INCHES IN CALIPER).
 - SET PLANTS PLUMB AND STRAIGHT, SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
 - AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS.
 - B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
 - CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

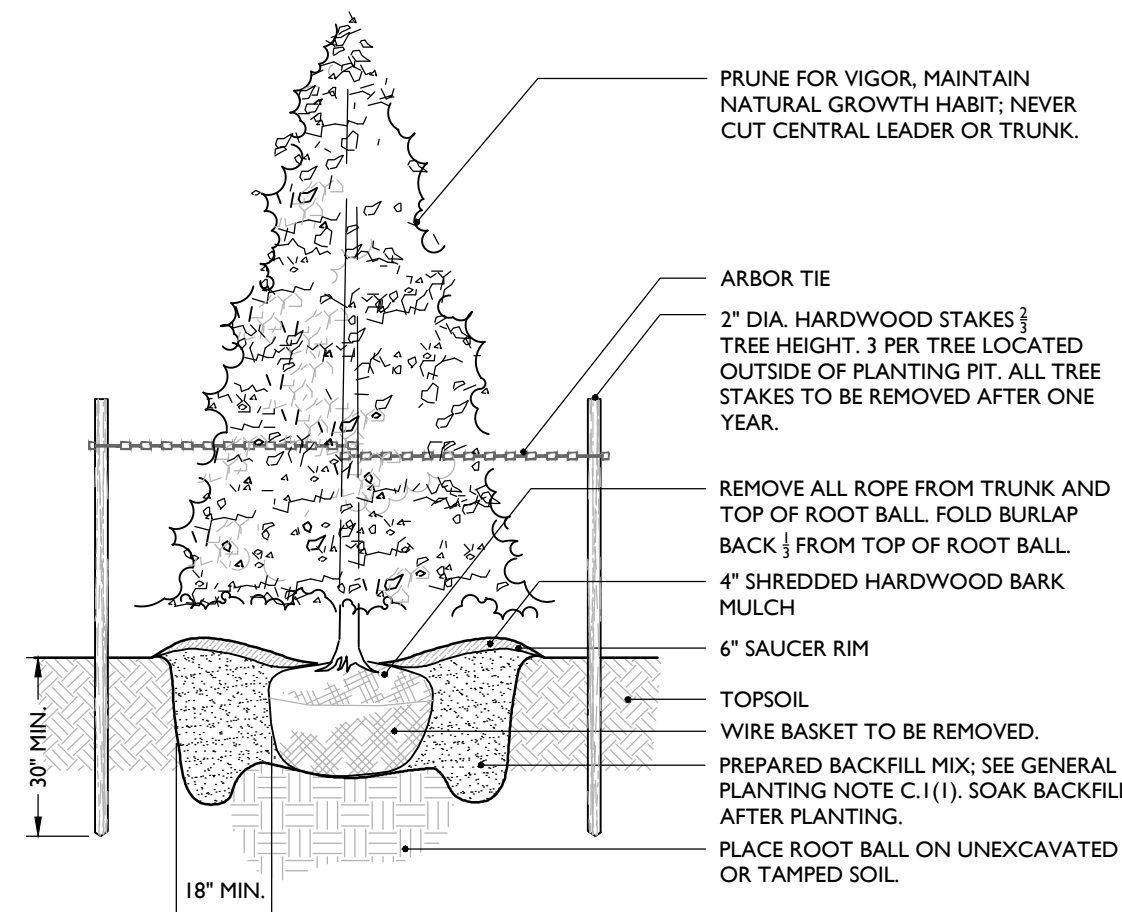
E. MAINTENANCE

- PRUNING:**
 - EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30' ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
 - THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.
- LAWN AREAS:**
 - THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED SHALL BE IN ACCORDANCE WITH THE LAWN SEED MIX NOTES AND THE SOIL EROSION AND SEDIMENT CONTROL DISTRICTS SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET.
 - SOD, IF SPECIFIED, SHALL CONSIST OF A STATE CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION.
- EXISTING VEGETATION:** EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TRELLINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD, DAMAGED, OR DISEASED BRANCHES.
- SITE CLEANUP:** PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.



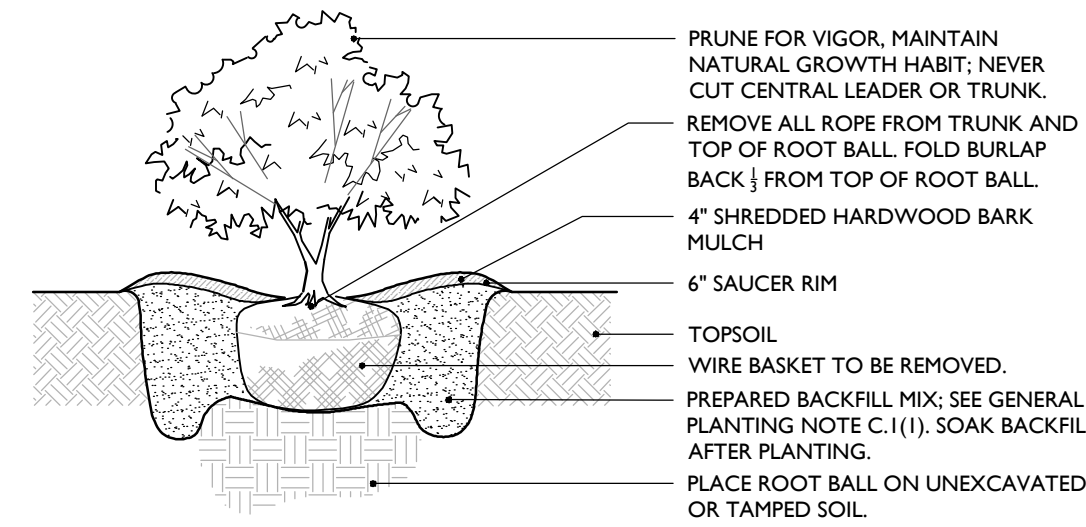
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

DECIDUOUS TREE PLANTING DETAIL



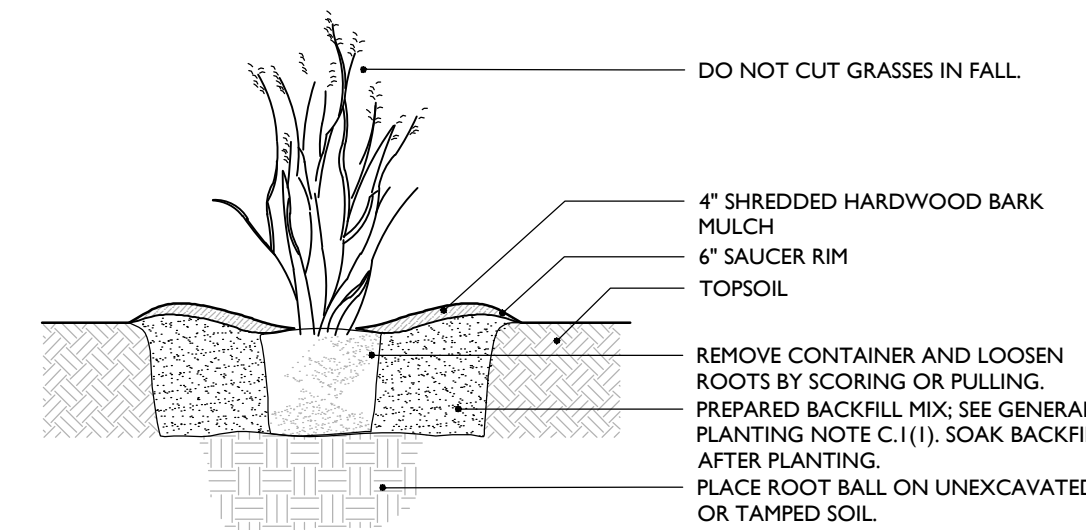
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

EVERGREEN TREE PLANTING DETAIL



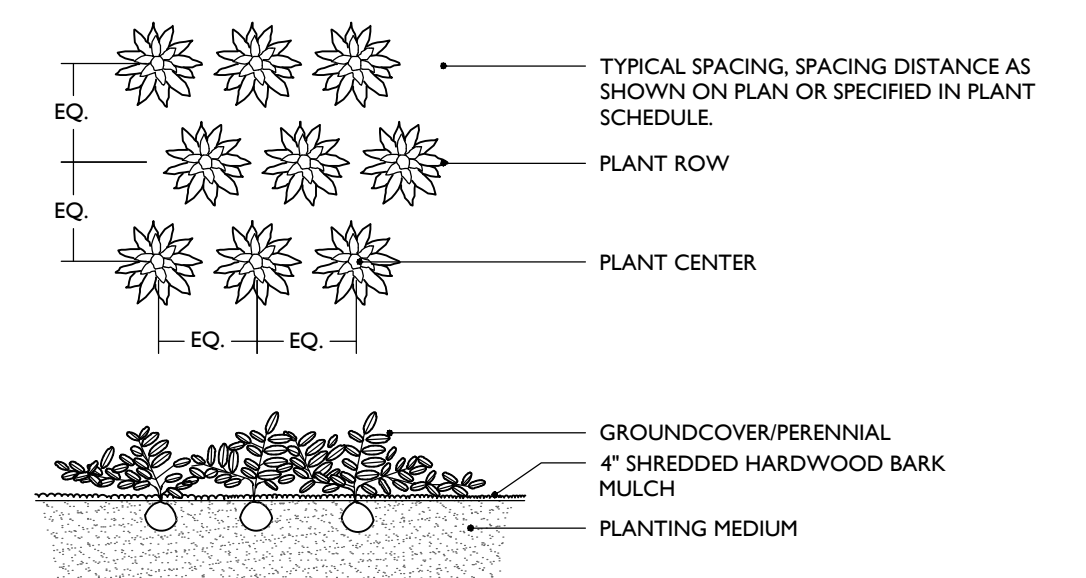
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

SHRUB PLANTING DETAIL



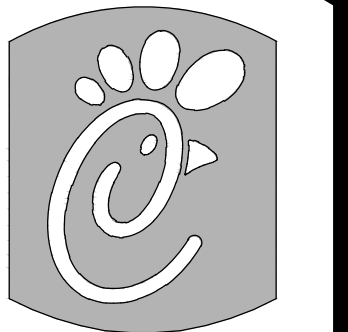
- NOTES:
- NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
 - PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

ORNAMENTAL GRASS PLANTING DETAIL



- NOTES:
- PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

GROUNDCOVER/PERENNIAL PLANTING DETAIL



5200 Buffington Road
Atlanta, Georgia
30349-2998

Telephone 404-765-8000

NO.	DATE	REVISION	DESCRIPTION	DRAWN BY
1	07/29/22		REVISED PER TYP COMMENTS	JT
2	07/29/22		REVISED PER TYP COMMENTS	JT
3	07/29/22		REVISED PER TYP COMMENTS	JT
4	07/29/22		REVISED PER TYP COMMENTS	JT
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Seal



Justin Ryan Thornton
REGISTERED PROFESSIONAL ENGINEER
LICENSE NUMBER: PE000787
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SUSQUEHANNA
TOWNSHIP
DAUPHIN COUNTY
PENNSYLVANIA

PRELIMINARY & FINAL
MAJOR SITE PLAN

LANDSCAPE DETAILS

- DWG EDITION 2.0
- Preliminary
 - 80% Submittal
 - For Construction

File No.: 21001871A
Store: 5029
Date: 05/04/22
Drawn By: VFP
Checked By: JRT

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L 2

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