	INDEX OF SHEETS
C 0 C 1.1 C 1.2 C 1A C 2 C 3 C 4 C 5 C 6 C 7 C 8 C 9 C 9A C 10 C 11 C 12 C 13 C 14 C 15 C 16 C 17 C 18 C 19	TITLE SHEET SURVEY PLAN SURVEY PLAN DEMOLITION PLAN SITE PLAN GRADING AND DRAINAGE PLAN CONSTRUCTION DETAIL SHEET CONSTRUCTION DETAIL SHEET SOIL EROSION PLAN SOIL EROSION PLAN SOIL EROSION NOTES AND DETAILS SOIL EROSION NOTES AND DETAILS SOIL EROSION NOTES AND DETAILS SOIL EROSION NOTES AND DETAILS STORM UTILITY PROFILE STORM UTILITY PROFILE
C 19 L I	STORM FACILITY EASEMENT PLAN LANDSCAPE PLAN
L 2 ES I PS I	LANDSCAPE NOTES AND DETAILS LIGHTING PLAN UTILITY SITE PLAN

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED \_ DAY OF \_\_\_\_\_ OF 20\_\_\_\_\_ ON THIS

PRESIDENT SECRETARY

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_ OF 20\_\_\_\_

CHAIRMAN

SECRETARY

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS

\_ DAY OF \_\_\_\_

TOWNSHIP ENGINEER

COMMISSION THIS \_\_\_\_\_ \_\_ DAY OF \_\_\_\_\_ OF 20\_\_\_\_\_

CHAIRMAN SECRETARY

RECORD INFORMATION

RECORDED IN THE DAUPHIN COUNTY COURTHOUSE

COMMONWEALTH OF PENNSYLVANIA

DAY OF

EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND OFFICIAL SEAL.

KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSON(S) WHOSE NAME(S)

IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGE THAT

THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

COUNTY OF

ON THIS THE

	DAY OF	, 20
INSTRUMENT NO.		

STORMWATER RUNOFF FOR THE PROPOSED DEVELOPMENT AS A PART OF THE SITE PLAN

APPROVAL PROCESS. IN CONSIDERATION FOR THE TOWNSHIP'S APPROVAL OF THE GRANTOR'S SITE PLAN, GRANTOR HAS ENTERED INTO THIS STORMWATER MANAGEMENT FACILITIES THIS PLAN RECOMMENDED FOR APPROVAL BY THE DAUPHIN COUNTY PLANNING MAINTENANCE AGREEMENT (THIS "AGREEMENT") TO CONTROL AND ADDRESS STORMWATER RUNOFF FOR THE SITE.

> OPERATION AND MAINTENANCE (0&M) AGREEMENT IS PART OF THE STORMWATER MANAGEMENT PLAN.

> THE FOLLOWING PROVISIONS ARE COVENANTS RUNNING WITH THE LAND TO THE BENEFIT OF THE TOWNSHIP, BINDING ON GRANTOR AND GRANTOR'S SUCCESSORS AND ASSIGNS IN INTEREST TO THE BENEFITED PROPERTY, AND SHALL ONLY BE AMENDED OR RELEASED WITH THE WRITTEN PERMISSION OF THE TOWNSHIP.

STORMWATER MANAGEMENT CERTIFICATE

MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

ENGINEER

ENVIRONMENTAL CERTIFICATE

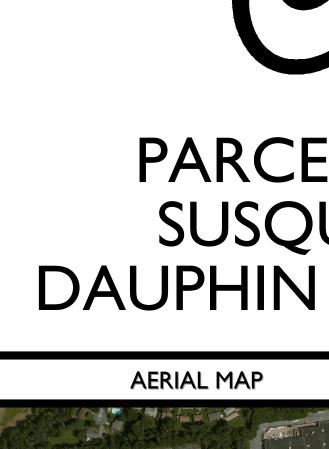
; HEREBY CERTIFY THAT THERE ARE NOT WETLANDS ON THE SUBJECT PROPERTY, THE PROPOSED PROJECT WILL NOT IMPACT OFF-SIT WETLANDS, AND PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL **GOVERNMENT** 

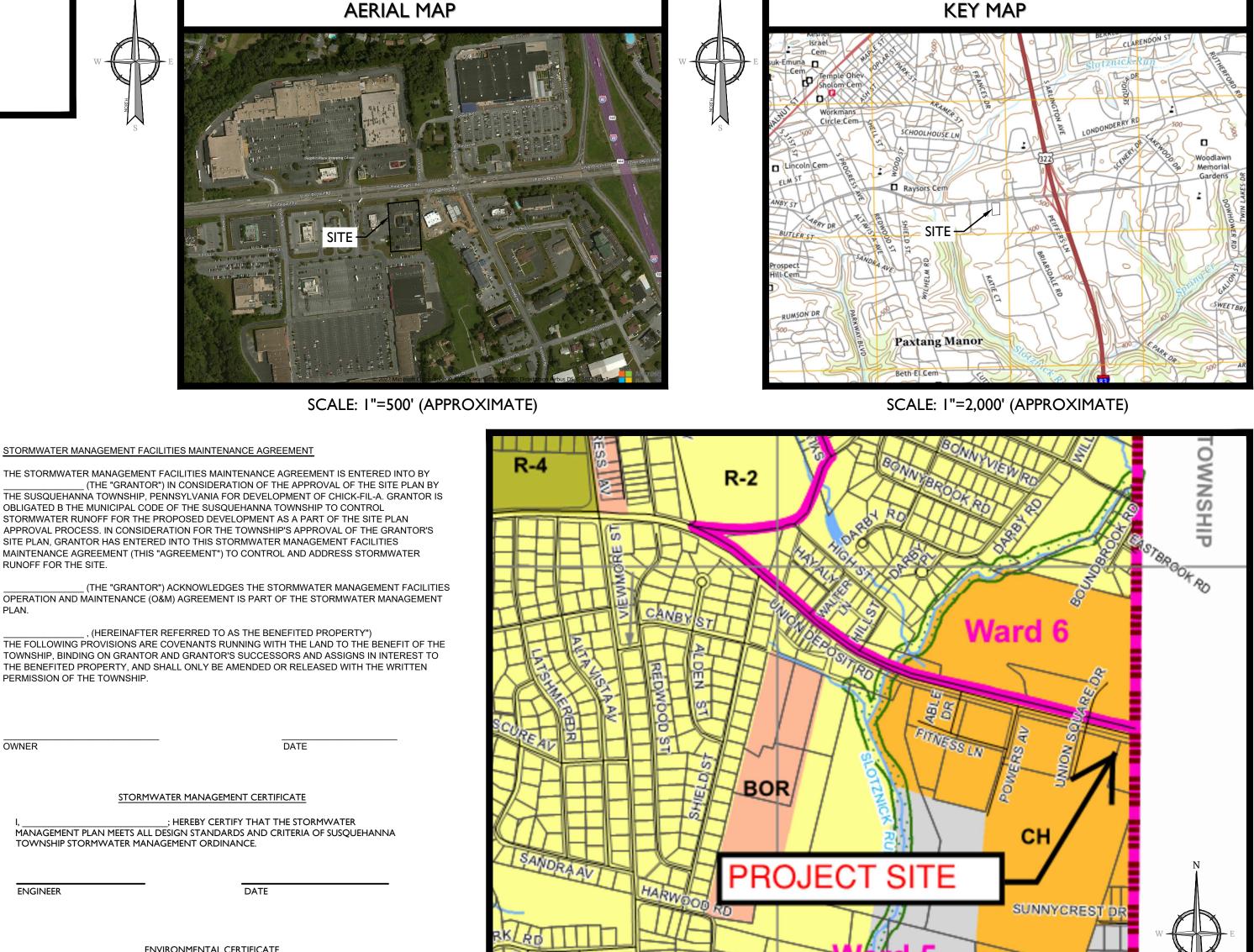
ENGINEER

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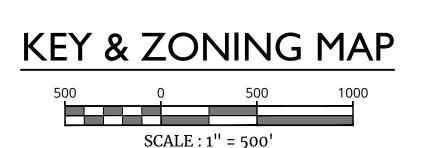
OWNER







# PARCEL # 62-040-048-000-0000 SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PENNSYLVANIA



١.	OFFICIAL TA	X MAP OF THE TOWN	
FOR EACH EMPLOYEE ON THE LARGEST SHIFT       20 EMPLOYEE = 36 SPACES         LOADING: I SPACE/25,000 SF       I         (E)       = PRE-EXISTING NON-CONFORMING CI (V)         *       THE FOLLOWING VARIANCES WERE APPROVED T 02/04/22:         27-1203.4       MAXIMUM IMPERVIOUS LOT COV 27-1203.5         27-1203.5       MINIMUM VEGETATIVE COVER O 27-2305.6.B         27-2040.5       THE DRIVE-THROUGH FACILITY INTERCOM, AND THE DRIVEWAY OR REAR FACES OF THE BUILDIN         5.       BOUNDARY SURVEY INFORMATION SHOWN HER "ALTA/NSPS LAND TITLE SURVEY", SHEET I OF I, I ROBERT W. TELSCHOW, JR., P.L.S. LIC. NO. SU0756 & DESIGN.         6.       THE TOPOGRAPHIC INFORMATION SHOWN HER "ALTA/NSPS LAND TITLE SURVEY", DATED AUGUS TELSCHOW, JR., P.L.S. LIC. NO. SU075641 OF PA OI 7.         7.       THE HORIZONTAL DATUM IS RELATIVE TO THE P COORDINATE SYSTEM AND ADJUSTED TO NAD I' TO NAVD 1988.         8.       GEOTECHNICAL INFORMATION AND SOIL TEST F AS PRESENTED IN A REPORT ENTITLED "CHICK-FI SITE IMPROVEMENTS", DATED: APRIL 30, 2021, PRE DESIGN.         9.       THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL DETERMINATION OF THE POTENTIAL FOR CHEMIN TYPE OF CONTAMINANTS AFFECTING THE PROP PROFESSIONAL IS NOT QUALIFIED TO DETERMINI ENVIRONMENTALLY IMPACTED SITE CONDITION PERFORMED NO EXPLORATORY OR TESTING SER CONCLUSIONS OR OTHER SITE ENVIRONMENTAL DETERMINATION OF THE POTENTIAL FOR CHEMIN TYPE OF CONTAMINANTS AFFECTING THE PROP PROFESSIONAL IS NOT QUALIFIED TO DETERMINI ENVIRONMENTAL CONTAMINATION OR WASTE CONTRACTOR SHALL BE RESPONSIBLE FOR COM AND REGULATIONS.         10.			
		HRONIS & HRONIS BL 3951 UNION DEPOSIT	_VD. PROP FROAD,
	APPLICANT:	CHICK-FIL-A 5200 BUFFINGTON R ATLANTA, GA 30349	
	ENGINEER:	JUSTIN T. THORNTO COLLIERS ENGINEERI 1501 REEDSDALE STRE	NG & DESIGN EET, SUITE 302
		412-752-7589	
3.	APPLICANT F	PROPOSES A NEW CHI LANES, ORDER AND N	CK-FIL-A FAST S
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⊢			N/A
$\vdash$			-
			35 FT
٢	1INIMUM REA	R YARD	15 FT
	OFICIAL TAX MAP OF THE TOWNSHI PENNSYLVANIA. 2. THE PROPERTY IS LOCATED IN THE C- CONTAINS A TOTAL TRACT AREA OF OWNER: HRONIS & HRONIS BLVD 3951 UNION DEPOSIT RC HARRISBURG, PA 17109 APPLICANT: CHICK-FIL-A S200 BUFFINGTON ROAL ATLANTA, GA 30349 404-765-8000 ENGINEER: JUSTIN T. THORNTON, P COLLIERS ENGINEERING IS01 REEDSDALE STREET, PITTSBURGH, PA 15223 412-752-7589 justin.thornton@collierseng 3. THE SUBJECT PROPERTY IS PRESENTLY APPLICANT PROPOSES A NEW CHICK- DRIVE-THRU LANES, ORDER AND MEAI MANAGEMENT IMPROVEMENT. ZONE DATA: C-H, COMMERCIAL HIGHW MINIMUM LOT WIDTH MINIMUM LOT WIDTH MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM BUILDING HEIGHT ACCESSORY BUILDING MINIMUM REAR YARD MINIMUM BUILDING HEIGHT MINIMUM BUILDING HEIGHT MINIMUM REAR YARD MINIMUM BUILDING HEIGHT MINIMUM SIDE YARD MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM REAR YARD MINIMUM BUILDING HEIGHT MAXIMUM BUILDING KARD MAXIMUM BUILDING KARDANCES WERE A 02/04/22: 27-103.4 MAXIMUM IMPERVIOU 27-123.5 MINIMUM VEGETATIVI 27-2305.6.B ALL PARKING SPACE WITHIN YARD LINE 27-2040.5 THE CHIVE-THROUG 27-2040.5 THE TRO AND ADJUSTED TO NAYD 1988. 8. GEOTECHNICAL INFORMATION AND AS PRESENTED IN A REPORT ENTITLE SITE IMPROVEMENTS'', DATED: APRIL 30 DESIGN. 9. THE STAFT PLANS IS NOT DEPICTING CONTRACTOR SHALL BURNETS'', DATED: APRIL 30 DESIGN. 9. THE SIS AS TO PLANS IS NOT DEPICTING CHIVIRONTAL ADATUM IS RELATIV COORDINATE SYSTEM AND ADJUSTED TO NAYD 1988. 8. GEOTECHNICAL INFORMATION AND AS PRESENTED IN A REPORT ENTITLE SITE IMPROVEMENTS'', DATED: APRIL 30 DESIGN. 9. THIS SET OF PLANS IS NOT DEPICTING CONTRACTON OF		-
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٢	1INIMUM SIDE	YARD	15 FT
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- H		ERVIOUS COVERAGE	
٢	1INIMUM VEG	ETATIVE COVERAGE	20 %
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Ľ	<b>(E)</b> = P	RE-EXISTING NON-CC	ONFORMING CC
MINIMUM LOT DEPTH       N/A         PRINCIPAL BUILDING		RE APPROVED TH	
		MAXIMUM IMPERV	IOUS LOT COVE
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	27-2305.6.B		
	27-2040.5	INTERCOM, AND	THE DRIVEWAY
5.	"ALTA/NSPS ROBERT W. 1	LAND TITLE SURVEY",	SHEET I OF I, D
6.	"ALTA/NSPS	LAND TITLE SURVEY",	DATED AUGUST
7.	COORDINAT	E SYSTEM AND ADJUS	
8.	AS PRESENTE SITE IMPROV	D IN A REPORT ENTIT	LED "CHICK-FIL
9.	CERTIFICATION ENVIRONMED PERFORMED CONCLUSIO DETERMINAT TYPE OF CO PROFESSION ENVIRONMED CONTRACTO	ON/WARRANTY REGA NTALLY IMPACTED SIT NO EXPLORATORY O NS OR OTHER SITE EN TION OF THE POTENT NTAMINANTS AFFECT AL IS NOT QUALIFIED NTAL CONTAMINATIC OR SHALL BE RESPONS	RDING THE PRE TE CONDITIONS R TESTING SERV IVIRONMENTAL IAL FOR CHEMIC ING THE PROPE TO DETERMINE DN OR WASTE B
10.			I AND UNLESS S
11.	PHYSICAL CO	onditions, building	S, STRUCTURES
12.	AGENCY REV CONSTRUCT OBTAINED, A HAVE BEEN S OF ALL CATA	/IEW AND APPROVAL. TON DOCUMENTS UN ALL CONDITIONS OF A TAMPED "ISSUED FOR ALOG CUTS, SHOP DR.	THIS SET OF PL/ JTIL ALL APPROV APPROVAL HAVE CONSTRUCTIO AWINGS AND/C
13.			
	REQUEST A L		CONTRACTOR
1.	BUILDING FO	OOTPRINT DIMENSION JRAL PLANS AT THE T	IS FOR EACH BU IME OF APPLICA
2.	SURFACE. AC TO HAVE DE	CESSIBLE CURB RAMP	S INSTALLED WI SURFACES COM
3.			SHALL CORRESPO
4.	<b>REFUSE AND</b>	RECYCLABLES SHALL OSURES AS NOTED O	
5. 6.	MATERIALS II THERE SHALI	ACTOR SHALL BE RESF N ACCORDANCE WIT L BE NO ON-SITE BURI	H GOVERNING I AL OF CONSTRI

# GENERAL INFORMATION

### THE SUBJECT PROPERTY IS KNOWN AS 62-040-048-000-0000 AS SHOWN ON THE JSHIP OF SUSQUEHANNA, DAUPHIN COUNTY,

E C-H - COMMERCIAL HIGHWAY ZONE DISTRICT AND A OF 57,695 SF, 1.32 ACRES.

### LVD. PROP ROAD,

### DN, P.E. ING & DESIGN

# REET, SUITE 302

ITLY A FORMER FIRST NATIONAL BANK BANK. THE

### ICK-FIL-A FAST SERVE RESTAURANT WITH DUAL MEAL DELIVERY CANOPIES, AND STORMWATER

HWAY DISTRICT

REQUIRED	EXISTING	PROPOSED
N/A	57,695 SF	57,695 SF
N/A	190.3 FT	190.3 FT
N/A	300 FT	300 FT
35 FT	97.1 FT	80.3 FT
15 FT	146.4 FT	174.2 FT
10 FT	<b>49.9</b> FT	31.5 FT
<b>60</b> FT	<60 FT	30 FT
35 FT	156.0 FT	52.3 FT
15 FT	65.8 FT	4.7 FT (V)
10 FT	101.6 FT	66.0 FT
15 FT	<15 FT	<b>9.7</b> FT
50 %	6.6 %	8.2 %
80 %	76.0 %	86.3 % (V)
20 %	24.0 %	I3.7 % (V)
62 SEATS / 4 + 20 EMPLOYEES = 36 SPACES	-	54 (V)
	-	0

ONFORMING CONDITION

RE APPROVED THE ZONING HEARING BOARD ON

VIOUS LOT COVERAGE OF 80%

TIVE COVER OF 20%

ACES AND ACCESS DRIVES SHALL NOT BE LOCATED

THE DRIVEWAY SHALL BE LOCATED ALONG THE SIDE, OF THE BUILDING SERVED THEREBY.

N SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED SHEET I OF I, DATED AUGUST 26, 2021, PREPARED BY LIC. NO. SU075641 OF PA, OF COLLIERS ENGINEERING

N SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED DATED AUGUST 26, 2021, PREPARED BY ROBERT W. 75641 OF PA OF COLLIERS ENGINEERING & DESIGN. ATIVE TO THE PENNSYLVANIA SOUTH STATE PLANE TED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE

ND SOIL TEST PIT LOCATIONS SHOWN HEREON ARE FLED "CHICK-FIL-A RESTAURANT #2603 - PROPOSED RIL 30, 2021, PREPARED BY COLLIERS ENGINEERING &

ING ENVIRONMENTAL CONDITIONS OR A ARDING THE PRESENCE OR ABSENCE OF TE CONDITIONS. MASER CONSULTING HAS OR TESTING SERVICES, INTERPRETATIONS,

IVIRONMENTAL SERVICES RELATED TO THE IAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER ING THE PROPERTY AND THE UNDERSIGNED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ON OR WASTE BE DISCOVERED, THE OWNER AND SIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS

AND UNLESS SPECIFICALLY NOTED ELSEWHERE

EY PERTAIN TO ADJACENT AND SURROUNDING GS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, SHOWN THERETO.

PARED FOR THE PURPOSES OF MUNICIPAL AND THIS SET OF PLANS SHALL NOT BE UTILIZED AS NTIL ALL APPROVALS REQUIRED HAVE BEEN APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS R CONSTRUCTION". THIS SHALL INCLUDE APPROVAL AWINGS AND/OR DESIGN CALCULATIONS AS IER AND/OR MUNICIPAL ENGINEER.

**LE FOR PROJECT SAFETY, INCLUDING PROVISION OF** AND TRAINING REQUIRED.

E CONTRACTOR SHALL CALL PA ONE CALL TO

NS SHOWN HEREON ARE APPROXIMATE. FINAL IS FOR EACH BUILDING SHALL BE FURNISHED ON THE ME OF APPLICATION FOR A BUILDING PERMIT. ALL THE APPROVED BULK ZONING REQUIREMENTS.

JCTED FLUSH WITH THE FINISHED PAVEMENT S INSTALLED WITHIN THE PUBLIC RIGHT OF WAY ARE SURFACES COMPLIANT WITH FEDERAL ACCESSIBILITY ILITIES IN THE PUBLIC RIGHT OF WAY.

SHALL CORRESPOND TO THE MANUAL ON UNIFORM BE STORED WITHIN WITHIN OUTSIDE SCREENED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE

PONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE H GOVERNING REGULATIONS AND AGENCIES. 6. THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.

- 7. MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
- A. PENNSYLVANIA DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS PUBLICATION 408", 2020; AS SUPPLEMENTED. B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS. C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS,

AND REQUIREMENTS. D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS. UTILITY NOTES

- I. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDER SIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON. SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE
- 2. UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITIES
- 3. STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLOX SUPERSEAL OR EQUIVALENT, ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPEP), AS NOTED ON THE PLAN OR APPROVED FOLIAL PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- 4. CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
- 5. THERE IS EXISTING WATER SERVICE ON SITE.
- 6. THERE IS EXISTING SANITARY SERVICE ON SITE.
- 7. ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- 8. AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS), WITH WATERTIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501 OR EQUIVALENT AT DIP/PVC JOINTS.
- 9. GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.
- 10. TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

WETLAND NOTES: I. THERE ARE NO WETLANDS WITHIN THE PROPOSED DEVELOPMENT AREA. FLOOD HAZARD NOTES:

UGH FACILITY, INCLUDING SERVICE WINDOS AND BY GRAPHICAL PRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON FLOOD INSURANCE MAPS, COMMUNITY PANEL NO. 42043C0339D WHICH HAS AN EFFECTIVE DATE OF AUGUST 2, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE.

ADA INSTRUCTIONS TO CONTRACTOR:

- CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
- ( NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN):

A. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

B. CURB RAMPS- SLOPES SHALL NOT EXCEED 1:12 (8.3%).

C. LANDINGS -SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.

D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL, (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH), THE SLOPE SHALL BE NO GREATER THAN I :20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.

E. WHERE PATH OF TRAVEL WILL BE GREATER THAN I:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.

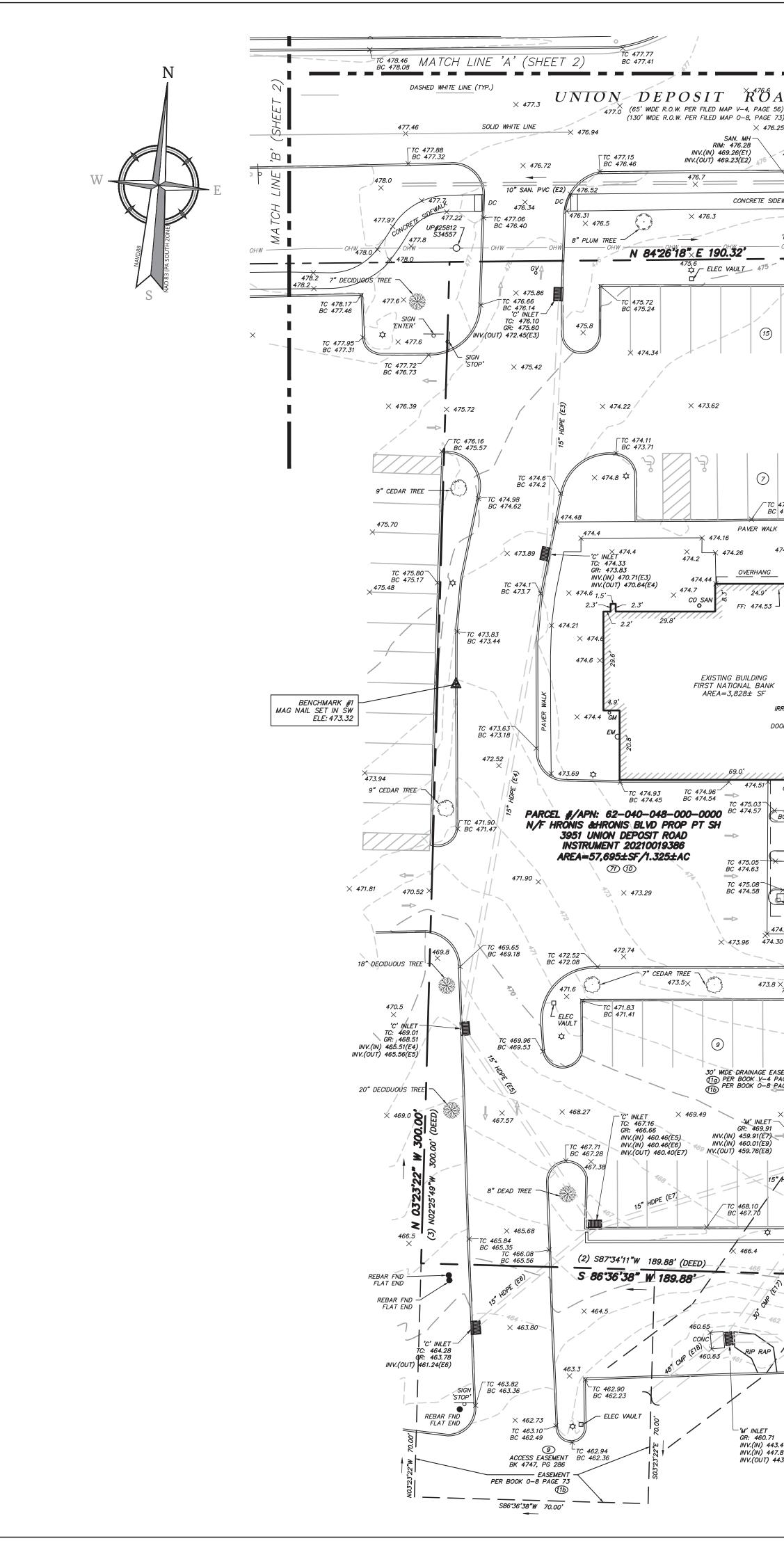
F. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NORMALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG. EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).

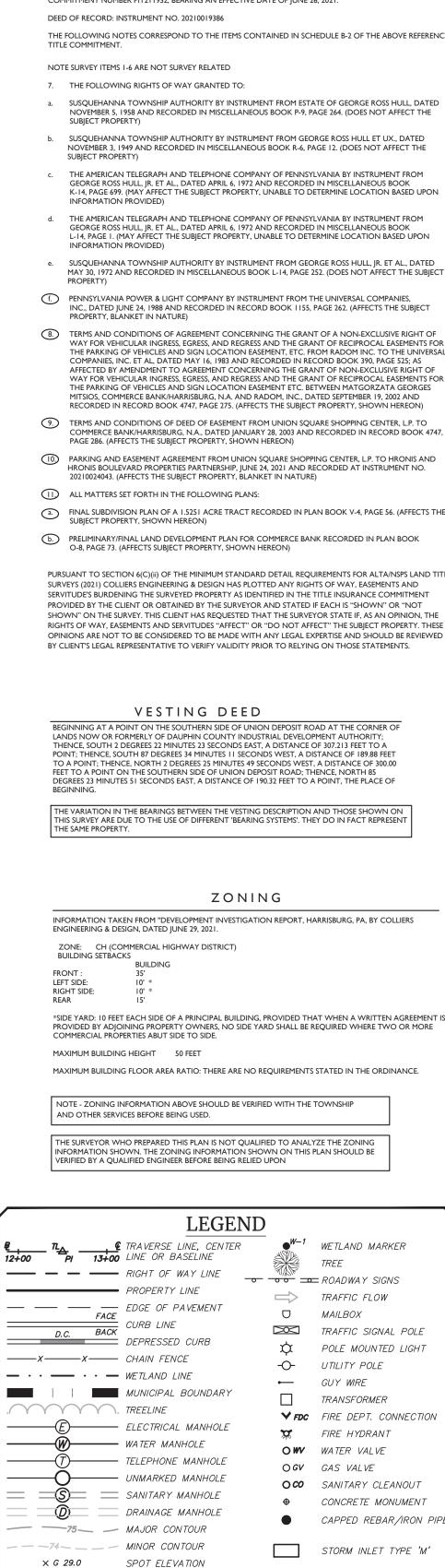
2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING

RECORD PLAN NOTES

I. NOTHING SHALL BE PLANTED OR PLACED WITHIN THE EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT.

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							DRAV
					REVISED PER TWP COMMENTS	REVISED PER TWP COMMENTS	DESCRIPTION
		-	-	-	07/29/22	07/06/22	DATE
	al				2	_	REV
PENN	IUSTIN RYAN THORNTON ENGINEER NO. PEOB3279 WS Y LVANAU WS Y LVANAU MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MACHINE MAC						
it is certi	t © 2022. Coll herein is auth lied. This draw purpose v						ny other
	PARCEL #/APN: 62-040-048-000-0000 SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY PENNSYLVANIA PRELIMINARY & FINAL MAJOR SITE PLAN TITLE SHEET DWG EDITION 2.0						
Fil St D D Cł	ro le l or ate rav nec	No e e wn	.: _ Ву	:; :;	0!	0187 50 5/04,	) <u>29</u> / <u>22</u> /FP





C = BOTTOM OF CURB

TC = TOP OF CURB

BOL = BOLLARD

B = MAILBOX

GRT = GRATE

× 476.2	X'G'_HHET SOLID WHITE LINE	N
AD L. R. 22008	<u> </u>	× 75.9
$\begin{array}{cccc} 73 @ \hline $	INV.(OUT) 471.44(É12) 475.65	(SHE
BC 475.68 SIGN 'WELCOME TO LOWER PAXTON TOWNSHIP'	8" HDPE (E11)	Ć,
476.36 10" SAN. PVC (E1)	× 475.13	LINE
DEWALK 476.26 ELEC VAULT 15" CMP (E12)	• CO SAN	TCH
SIGN       X 475.2       INV.(IN) 470.88(E12)         'REALTY'       INV.(OUT) 470.54(E13)       8" PLUM TREE	UP#25830 \$34560 W (CI V_ WRF	MA To
OHW OHW OHW OHW OHW		
× 474.6 TC 474.30 TC 473.40		.03 × 474.4
BC 473.83 BC 472.99	7" DECIDUOUS TREE CC: IN TC: 4 CR: 4	LET 74.66 173.99
473.54	474 × 474.3	70.00
×473.54	473.12 CONCRETE TC 473.97 AREA BC 473.51	
472.53 472.34	AREA BC 473.51 APPROX LOCATION B R.O.W & SIGN EASEMENT 472.90 BK 390, PG 525	
×473.28 × <sup>472.98</sup> × <sup>'C'</sup> INLET × TC: 472.40	→ 4/2.90 × 473.69	
'DO NOT ENTER' / INV.(IN) 468.86(E13) TC 473.48 / INV.(OUT) 468.98(E14) BC 473.08	472.61	
DO NOT ENTER'	SIGN STOP' - 9" CED_R TREE C 474.65 BC 474.19	
SIGN SIGN STOP' × 472.89	12" СМР (E14) × 474.6	
C 473.78		
K 474.06 474.21 473.7 (NV.(IN) 468.62(E14)	<b>31</b> ,	
474.21 × 474.3 (NV, (NV) +00.02(E1+) INV.(0UT) 468.46(E15) × 473.01	E 307.21	
474.45 × 474.4		
- TC 474.0 BC 473.5 (6)	0319'56'	
(513) XTVM	<b>2 03</b>	
15		
r r r r r r r r r r r r r r r r r r r	× 475.0	
IRRIGATION VALVE 000R SILL: 474.48 TRFF 000R SILL: 474.48 TRFF 000R SILL: 474.13		
JOOR SILL: 4/4.48 TREE PAVERS SIGN 9" CEDAR TREE 9" CEDAR TREE	2 <sup>th</sup> HDFE (E22) × 474.4	
	2 <sup>th</sup> W <sup>10</sup> × 474.4	
CONCRETE AREA BANK BOX 474.51 4" PVC (E20) 4" PVC (E21) D	-0-	
BOLO TC 474.93 BC 474.49	15" CMP, (E23)	
BANK BOX TC 475.03 BC 474.57 BC 474.50 BC 474.50 INV.(IN) 466.30(E15) BC 472.99	× 473.4	
INV.(IN) 462.95(E20) INV.(IN) 462.95(E21) BANK BOX ¬ INV.(IN) 457.08(E22)		
BOL 0 D TC 474.92 BOL 0 D TC 474.48		
X 473.52 / TC 479.61		
474.33     474.29     A 476.02     BC 472.14       .30     .30	, of the second s	
BC 474.23 3×7" CEDAR TREE SIGN 5TOP	× 472.9	
TC 473.14 BC 472.66	MART	
bc 4/2.00 ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓ ↓		
	RIP RAP	
ASEMENT PAGE 56 PAGE 73 TC 472.63 BC 472.13 PAGE 73		
× 470.53		
TNV.(OUT) 466.68(E9) (15" HDPE (E9) TC 470.80 BC 470.32		
	× 467.8	
5" HDPE (EB) - 0 (12) TC 470.43 BC 470.01		
BC 470.01 7" CEDAR TREE		
WALL MH RIM: 469.77		
INV.(IN) 458.92(E8) INV.(IN) 448.47(E16) INV.(OUT) 448.47(E17)		
A 465 466.5		
24" HDPE (E19) \$\$ 462	× 461.0	
TC 462.14 BC 461.36 TC 462.72 BC 461.99	TC 461.54 BC 460.96	
BC 461.36 BC 461.99		PARKI
BC 461.40	· · · · · · · · · · · · · · · · · · ·	
1 3.41(E17) 17.81(E19) 443.41(E18)		REET PARK
	I HAND	

SOLID WHITE LINE

PARKING SPACES TABLE		
	existing	
OFF-STREET PARKING SPACES:	59	
HANDICAP PARKING SPACES:	3	
TOTAL PARKING SPACES:	62	

	TITLE	
THIS SURVEY DOES NOT CO	ONSTITUTE A TIT	LE

### REPORT NOTES

### STITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDIN RECORD EASEMENTS, ADJOINERS, AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO TRACT SHOWN HEREON WAS GAINED FROM FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NUMBER PIT211952, BEARING AN EFFECTIVE DATE OF JUNE 26, 2021.

THE FOLLOWING NOTES CORRESPOND TO THE ITEMS CONTAINED IN SCHEDULE B-2 OF THE ABOVE REFERENCED

NOVEMBER 5, 1958 AND RECORDED IN MISCELLANEOUS BOOK P-9, PAGE 264. (DOES NOT AFFECT THE

K-14, PAGE 699. (MAY AFFECT THE SUBJECT PROPERTY, UNABLE TO DETERMINE LOCATION BASED UPON

L-14, PAGE I. (MAY AFFECT THE SUBJECT PROPERTY, UNABLE TO DETERMINE LOCATION BASED UPON

e. SUSQUEHANNA TOWNSHIP AUTHORITY BY INSTRUMENT FROM GEORGE ROSS HULL, JR. ET AL., DATED MAY 30, 1972 AND RECORDED IN MISCELLANEOUS BOOK L-14, PAGE 252. (DOES NOT AFFECT THE SUBJECT

WAY FOR VEHICULAR INGRESS, EGRESS, AND REGRESS AND THE GRANT OF RECIPROCAL EASEMENTS FOR THE PARKING OF VEHICLES AND SIGN LOCATION EASEMENT, ETC. FROM RADOM INC. TO THE UNIVERSAL COMPANIES INC. ET AL. DATED MAY 16, 1983 AND RECORDED IN RECORD BOOK 390 PAGE 525, AS AFFECTED BY AMENDMENT TO AGREEMENT CONCERNING THE GRANT OF NON-EXCLUSIVE RIGHT OF WAY FOR VEHICULAR INGRESS, EGRESS, AND REGRESS AND THE GRANT OF RECIPROCAL EASEMENTS FOR THE PARKING OF VEHICLES AND SIGN LOCATION EASEMENT ETC. BETWEEN MATGORZATA GEORGES MITSIOS, COMMERCE BANK/HARRISBURG, N.A. AND RADOM, INC., DATED SEPTEMBER 19, 2002 AND RECORDED IN RECORD BOOK 4747, PAGE 275. (AFFECTS THE SUBJECT PROPERTY, SHOWN HEREON)

(10) PARKING AND EASEMENT AGREEMENT FROM UNION SQUARE SHOPPING CENTER, L.P. TO HRONIS AND HRONIS BOULEVARD PROPERTIES PARTNERSHIP, JUNE 24, 2021 AND RECORDED AT INSTRUMENT NO.

(a) FINAL SUBDIVISION PLAN OF A 1.5251 ACRE TRACT RECORDED IN PLAN BOOK V-4, PAGE 56. (AFFECTS THE

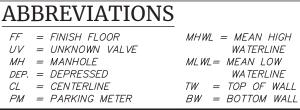
PURSUANT TO SECTION 6(C)(ii) OF THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS (2021) COLLIERS ENGINEERING & DESIGN HAS PLOTTED ANY RIGHTS OF WAY, EASEMENTS AND SERVITUDE'S BURDENING THE SURVEYED PROPERTY AS IDENTIFIED IN THE TITLE INSURANCE COMMITMENT PROVIDED BY THE CLIENT OR OBTAINED BY THE SURVEYOR AND STATED IF EACH IS "SHOWN" OR "NOT SHOWN" ON THE SURVEY, THIS CLIENT HAS REQUESTED THAT THE SURVEYOR STATE IF, AS AN OPINION. THE RIGHTS OF WAY, EASEMENTS AND SERVITUDES "AFFECT" OR "DO NOT AFFECT" THE SUBJECT PROPERTY. THESE OPINIONS ARE NOT TO BE CONSIDERED TO BE MADE WITH ANY LEGAL EXPERTISE AND SHOULD BE REVIEWED

ZONING

INFORMATION TAKEN FROM "DEVELOPMENT INVESTIGATION REPORT, HARRISBURG, PA, BY COLLIERS

\*SIDE YARD: 10 FEET EACH SIDE OF A PRINCIPAL BUILDING. PROVIDED THAT WHEN A WRITTEN AGREEMENT IS OVIDED BY ADJOINING PROPERTY OWNERS, NO SIDE YARD SHALL BE REQUIRED WHERE TWO OR MORE

LEGEND						
<u>13+00</u> <u>₽</u> <u>13+00</u>	TRAVERSE LINE, CENTER LINE OR BASELINE	₩-1	WETLAND MARKER TREE			
	RIGHT OF WAY LINE	<u> </u>	ROADWAY SIGNS			
	PROPERTY LINE		TRAFFIC FLOW			
	EDGE OF PAVEMENT		MAILBOX			
	CURB LINE		TRAFFIC SIGNAL POLE			
D.C. BACK	DEPRESSED CURB	Å	POLE MOUNTED LIGHT			
xx	CHAIN FENCE	~~ -~	UTILITY POLE			
_ · · · <u></u> · · · <u>_</u>	WETLAND LINE	Ļ	GUY WIRE			
	MUNICIPAL BOUNDARY		TRANSFORMER			
	TREELINE	↓ FDC	FIRE DEPT. CONNECTION			
Ē	ELECTRICAL MANHOLE	X	FIRE HYDRANT			
	WATER MANHOLE	O WV	WATER VALVE			
	TELEPHONE MANHOLE	OGV	GAS VALVE			
Q	UNMARKED MANHOLE	0.00	SANITARY CLEANOUT			
= =	SANITARY MANHOLE	\$	CONCRETE MONUMENT			
= $@$ $=$	DRAINAGE MANHOLE	•	CAPPED REBAR/IRON PIPE			
	MAJOR CONTOUR	•	,			
74	MINOR CONTOUR		STORM INLET TYPE 'M'			
× G 29.0	SPOT ELEVATION					
× TC 29.0	TOP OF CURB ELEV.		STORM INLET TYPE 'C'			
× BC 29.0	BOTTOM OF CURB ELEV. U/G CABLE TV LINE		FLARED END SECTION			
F0	U/G FIBER OPTIC LINE		HEADWALL			
	U/G TELEPHONE LINE		TILAD WALL			
	U/G ELECTRIC LINE	<i>P.O.B</i> .	POINT OF BEGINNING			
OHW	OVERHEAD WIRE	P.O.C.	POINT OF COMMENCEMENT			
<i>w</i>	WATER MAIN	/ .0.0.				
G	GAS MAIN					
<i>SS</i>	SAN. SEWER LATERAL					
	SAN. SEWER MAIN					
	STORM PIPE					
	ABBREVI	ATIONS	5			
D.C. = DEPRESSED CUR			MHWL = MEAN HIGH			





PROPERTY KNOWN AS PARCEL #/APN: 62-040-048-000-0000 IN SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY,

- 2. MAP REFLECTS CONDITIONS AS OF: 08-20-21.
- 3 THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN HEREON ARE APPROXIMATE AND ARE RASED ON VISIBLE ABOVE GROUND STRUCTURES, ANY UTILITY MAPS PROVIDED BY UTILITY COMPANIES REFERENCED HEREON. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES, ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED, THE CONTRACTOR SHALL HAVE ALL UNDERGROUND UTILITIES FIELD VERIFIED BY THE PROPER UTILITY COMPANIES BEFORE ANY CONSTRUCTION BEGINS.
- 4. PERTINENT DOCUMENTS OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY ARE NOTED HEREON. OTHER DOCUMENTS OF RECORD MAY EXIST THAT WOULD AFFECT THIS PARCEL.
- 5. HORIZONTAL DATUM = NORTH AMERICAN DATUM OF 1983 (NAD83), (PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE) VERTICAL DATUM = NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). THE VERTICAL AND HORIZONTAL DATUM WERE ESTABLISHED AT THE PROJECT SITE BY USING GPS SURVEY METHOD
- 6. BY GRAPHIC PLOTTING ONLY THIS PROPERTY LIES WITHIN FLOOD ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP 42043C0339D BEARING AN EFFECTIVE DATE OF AUGUST 2, 2012.
- 7. THE EXISTENCE OR NONEXISTENCE OF WETLANDS, TIDELANDS OR OPEN WATERS THAT MAY BE REGULATED BY THE STATE OF PENNSYLVANIA AND/OR THE GOVERNMENT OF THE UNITED STATES IS NOT A PART OF THIS SURVEY.
- 8. THE WORD "CERTIFY" OR CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL DPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESS OR IMPLIED.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONDITIONS THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT. 10. THIS PLAN IS MADE TO PROVIDE INFORMATION TO THE TITLE INSURER SO THAT IT MAY INSURE TITLE TO THE LANDS
- SHOWN HEREON AND FOR THE MORTGAGE HOLDER NAMED. THIS DECLARATION IS GIVEN SOLELY TO THE NAMED PARTIES FOR THIS TRANSACTION ONLY AND IS NOT TRANSFERABLE, EXCEPT AS PROVIDED HEREIN. 11. THE OFFSETS SHOWN ON THIS PLAN SHALL NOT BE USED AS THE BASIS FOR THE CONSTRUCTION OF FENCES OR ANY OTHER PERMANENT STRUCTURES.
- 12. CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN AN ORIGINAL INK SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.
- 13. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. (TABLE A ITEM 16)
- 14. PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. (TABLE A ITEM 17)
- 15. NO EVIDENCE OF THE SITE USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL WAS OBSERVED (TABLE A
- ITEM 20) 16. ALL PLOTTABLE MATTERS SHOWN ON RECORDED PLATS PROVIDED TO THE SURVEYOR ARE SHOWN ON THE SURVEY.
- 17. PROPERTY CORNERS TO BE SET AT COMPLETION OF SITE CONSTRUCTION.
- 18. DO NOT USE DISTANCES TO BUILDINGS TO ESTABLISH PROPERTY LINES.

# SITE ADDRESS: 3951 UNION DEPOSIT ROAD HARRISBURG, PA

# CONTACTS

FIRE DEPARTMENT Agency: Susquehanna Township -Office of the Fire Marshal Address: 1900 Linglestown Road Harrisburg, PA 17110 Contact: George C. Drees, Fire Marshal Phone: (717) 909-9255 Email: gdrees@susquehannatwp.com

HEALTH DEPARTMENT Agency: Susquehanna Township Health Departmer Address: 1900 Linglestown Road Harrisburg, PA 17110 Contact: Anthony Russo Phone: (717) 909-9226 Email: trusso@susquehannatwp.com

EROSION CONTROL Agency: Dauphin County Conservation Address: 1451 Peters Mountain Road Dauphin, PA 17018 Phone: (717) 921-8100

PLANNING BOARD Agency: Planning & Zoning Departmen Address: 1900 Linglestown Road Harrisburg, PA 17110 Contact: Michael Rohrer, Zoning/Planning Administrator Phone: (717) 909-9225 Email: mrohrer@susquehannatwp.com

SERVICE UTILITIES

GAS Agency: UGI Utilities Address: P.O. Box 13009 Reading, PA 19612 Contact: Keith Hartman, Operations Supervisor Phone: (717) 255-1485 Email: kehartman@ugi.com

ELECTRIC Agency: PPL Electric Utilities Address: 827 Hausman Road Allentown, PA 18104 Contact: Heather dabbio - New Services Department Phone: (800) 342-5775

**TELEPHONE/CABLE** Agency: Verizon Contact: Jim Costello Phone: (570) 903-4400 Email: j.costello@ctdi.com

PLUMBING DEPARTMENT Agency: Susquehanna Township Building Codes Address: 1900 Linglestown Road Harrisburg, PA 17110 Contact: Joseph Vajda, Building Codes Officer Phone: (717) 909-9226 Email: jvajda@susquehannatwp.com

TRAFFIC ENGINEERING Agency: HRG Engineering Services Address: 1240 North Mountain Road Harrisburg, PA 17112 Contact: Joel Kostelac, P.E., BCEE Phone: (717) 541-0622 Fax: (717) 541-8004

BUILDING DEPARTMENT Agency: Community Development Department Address: 1900 Linglestown Road Harrisburg, PA 17110

Contact: Joseph Vajda, Building Codes Officer Phone: (717) 909-9226 Email: jvajda@susquehannatwp.com

ZONING DEPARTMENT Agency: Planning & Zoning Department 1900 Linglestown Road Harrisburg, PA 17110 Address: Contact: Michael Rohrer, Zoning/Planning Administrator Phone: (717) 909-9225 Email: mrohrer@susquehannatwp.com

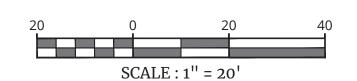
## SITE UTILITIES

SANITARY SEWER Agency: Susquehanna Township Authority Address: 1900 Linglestown Road Harrisburg, PA 17110 Contact:Nathan Bragunier, Director of Public WorksPhone:(717) 233-7143 Email: Nbragunier@susquehannatwp.com

STORM DRAINAGE Agency:Susquehanna TownshipAddress:1900 Linglestown Road Harrisburg, PA 17110 Contact: Madison Smith Phone: (717) 909-9260 Email: msmith@susquehannatwp.com

WATER Agency: Capital Region Water Address: 100 Pine Drive Harrisburg, PA 17103 Phone: (888) 510-0606

MAP REFERENCE PLAN TITLED "FINAL SUBDIVISION PLAN OF A 1.5251 ACRE TRACT FOR UNIVERSAL COMPANIES. INC... 2801 EAST BELTLINE AVENUE NORTHEAST GRAND RAPIDS, MI. 495050 TELEPHONE: 616 364-6161, SUSQUEHANNA TOWNSHIP, DAUPHIN CO., PA, PREPARED BY J. MICHAEL BRILL & ASSOCIATES, INCL CONSULTING ENGINEERS, DATED MARCH 29, 1989, REVISED MAY 3, 1989.



eal : CHICK-FIL-A, INC. A GEORGIA RPORATION; FIDELITY NATIONAL TITLE ISURANCE COMPANY THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED VERE MADE IN ACCORDANCE WITH THE 2 11NIMUM STANDARD DETAIL REQUIREMENT FOR ALTA/NSPS LAND TITLE SURVEYS, IOIN TABLISHED AND ADOPTED BY ALTA AND ISPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b) ), 7(b)(1), 8, 9, 11(b), 13, 16, 17, 19 \$1,000,00 ND 20 OF TABLE A THEREOF. THE FIELD ORK WAS COMPLETED ON 08-20-21.

> Digitally signed by Robert W. Telsch Date: 2022.07.06 08:17:22-0 Robert W. Telschow, Ir LICENSE NUMBER: SU07564 COLLIERS ENGINEERING & DESIGN, INC.

5200 Buffington Road

Atlanta, Georgia

30349-2998

Telephone 404-765-8000

Colliers Engineering & Design www.colliersengineering.com

Doing Business as MT. LAUREI 2000 Midlantic Drive, Suite 100 Mt. Laurel, NJ 08054 Phone: 856.797.0412

COLLIERS ENGINEERING & DESIGN, INC. DOING BUSINESS AS MASER CONSULTING

STORE #05029

# PARCEL #/APN: 62-040-048-000-0000 SUSQUEHANNA

TOWNSHIP DAUPHIN COUNTY PENNSYLVANIA

ALTA/NSPS LAND TITLE SURVEY

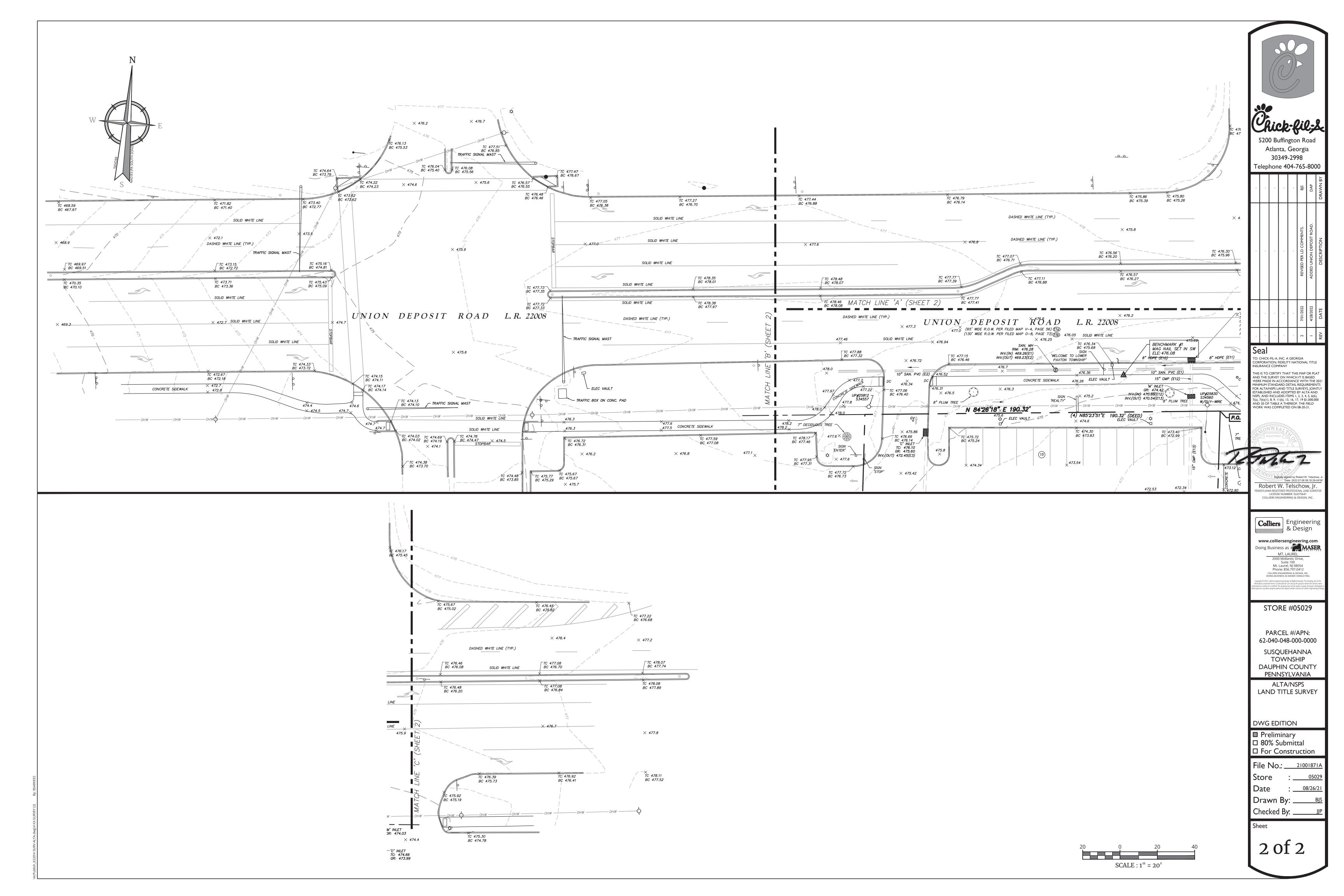
# DWG EDITION

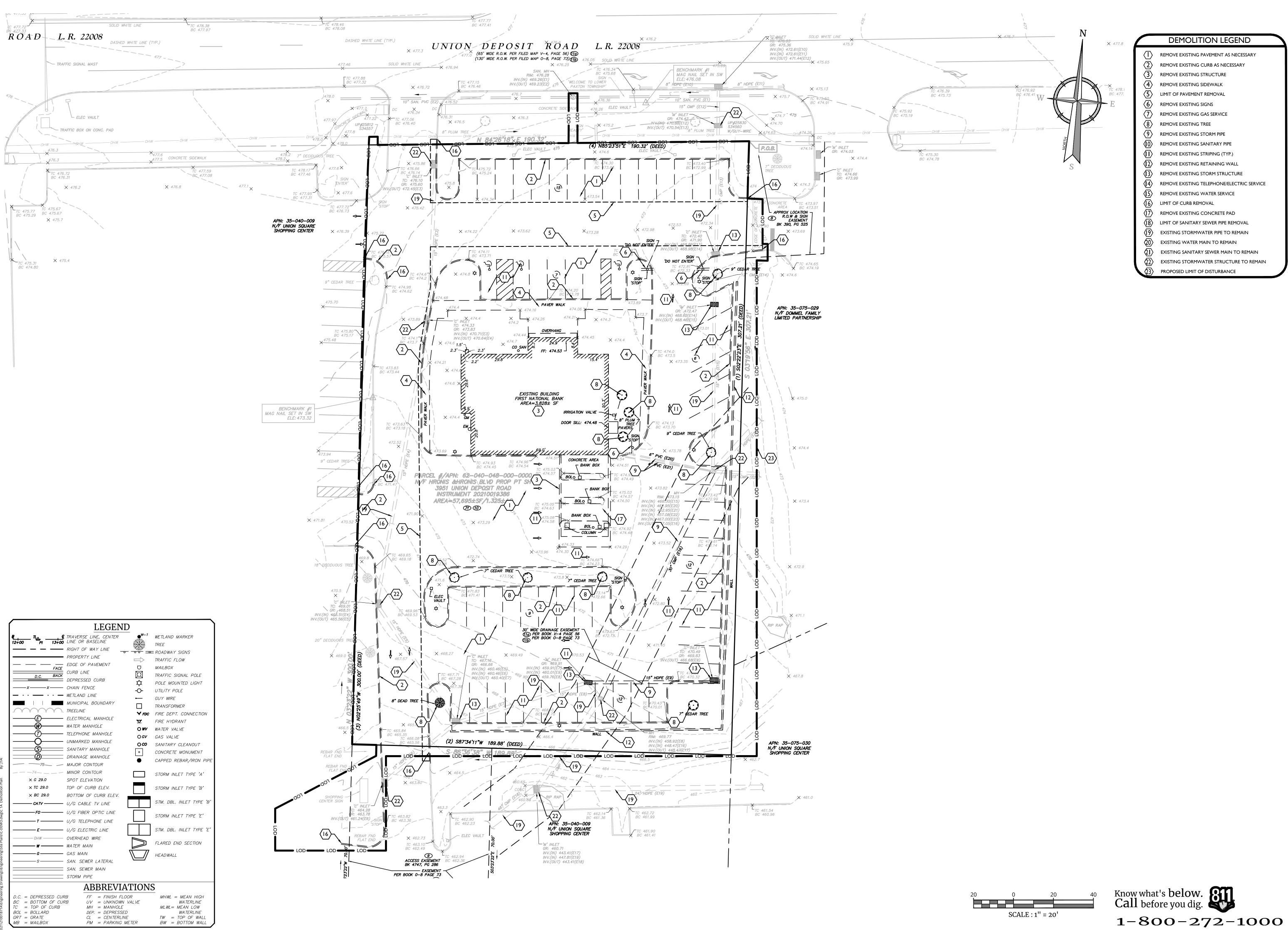
**Preliminary** 🛛 80% Submittal □ For Construction

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Checked By: .	JJP

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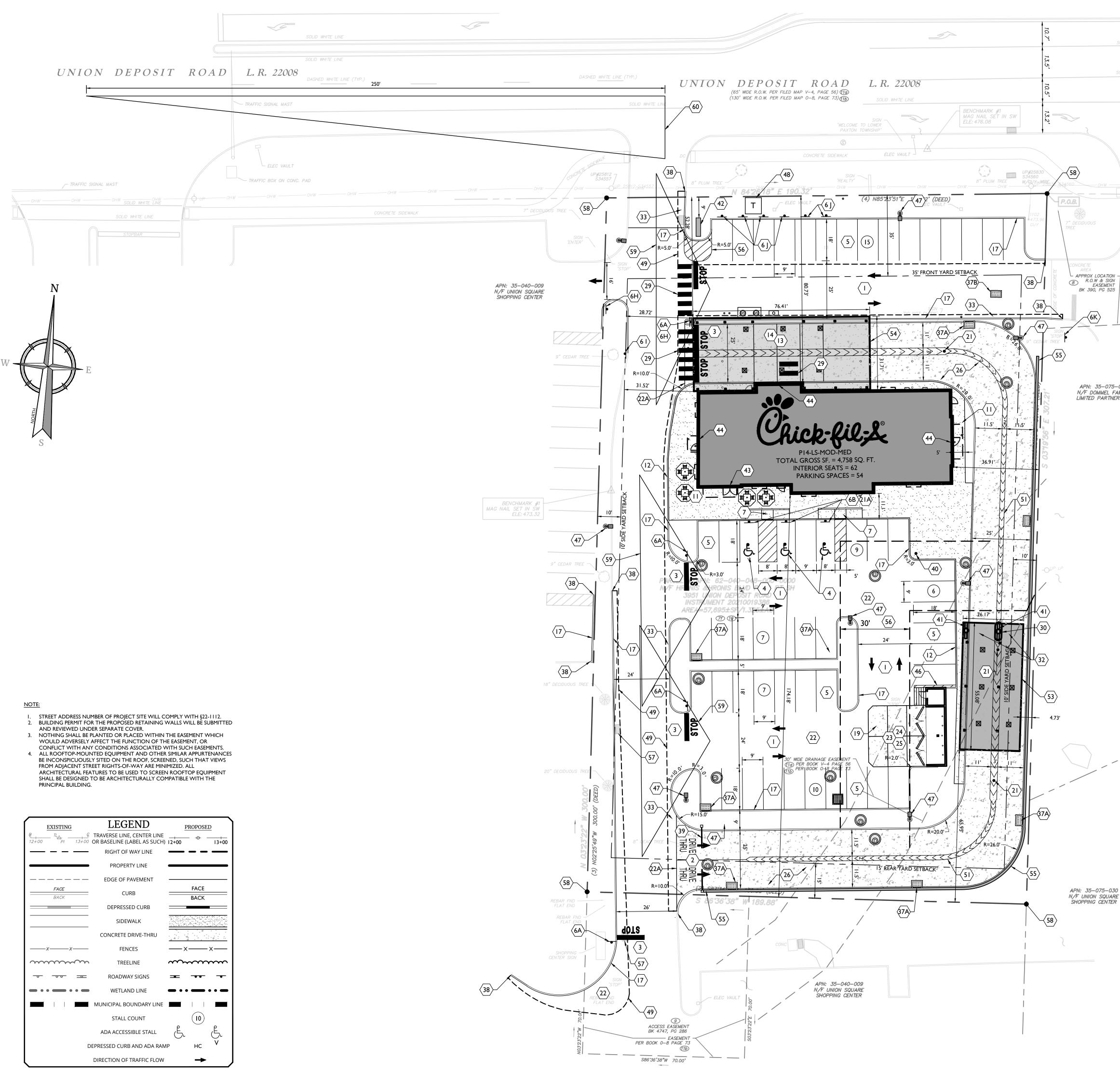
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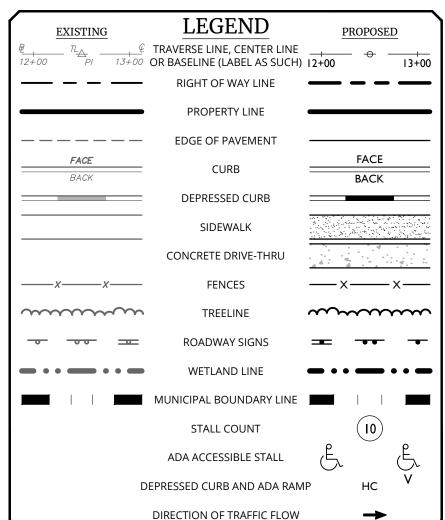




	DEMOLITION LEGEND
	REMOVE EXISTING PAVEMENT AS NECESSARY
$\langle 2 \rangle$	REMOVE EXISTING CURB AS NECESSARY
ğ	REMOVE EXISTING STRUCTURE
<b>〈4〉</b>	REMOVE EXISTING SIDEWALK
5	LIMIT OF PAVEMENT REMOVAL
$\overline{6}$	REMOVE EXISTING SIGNS
$\langle 7 \rangle$	REMOVE EXISTING GAS SERVICE
<u>(8)</u>	REMOVE EXISTING TREE
(9)	REMOVE EXISTING STORM PIPE
$\langle 0 \rangle$	REMOVE EXISTING SANITARY PIPE
$\langle \Pi \rangle$	REMOVE EXISTING STRIPING (TYP.)
<b>(12)</b>	REMOVE EXISTING RETAINING WALL
<b>(</b> ]	REMOVE EXISTING STORM STRUCTURE
<b>(</b> ]4	REMOVE EXISTING TELEPHONE/ELECTRIC SERVICE
<b>(</b> 15)	REMOVE EXISTING WATER SERVICE
(6)	LIMIT OF CURB REMOVAL
(17)	REMOVE EXISTING CONCRETE PAD
<u> </u>	LIMIT OF SANITARY SEWER PIPE REMOVAL
(19)	EXISTING STORMWATER PIPE TO REMAIN
20>	EXISTING WATER MAIN TO REMAIN
<b>(I</b> )	EXISTING SANITARY SEWER MAIN TO REMAIN
22>	EXISTING STORMWATER STRUCTURE TO REMAIN
23>	PROPOSED LIMIT OF DISTURBANCE

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/	PROFESSIONAL JUSTIN RYAN THORNTON ENGINEER NO. PEOB3279 VS YLVANIA WS YLVANIA MAMM MAC MAMM MAC JUSTIN Ryan Thornton PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER LICENSE NUMBER: PEOB3279 COLLIERS ENGINEERING & DESIGN, INC.							
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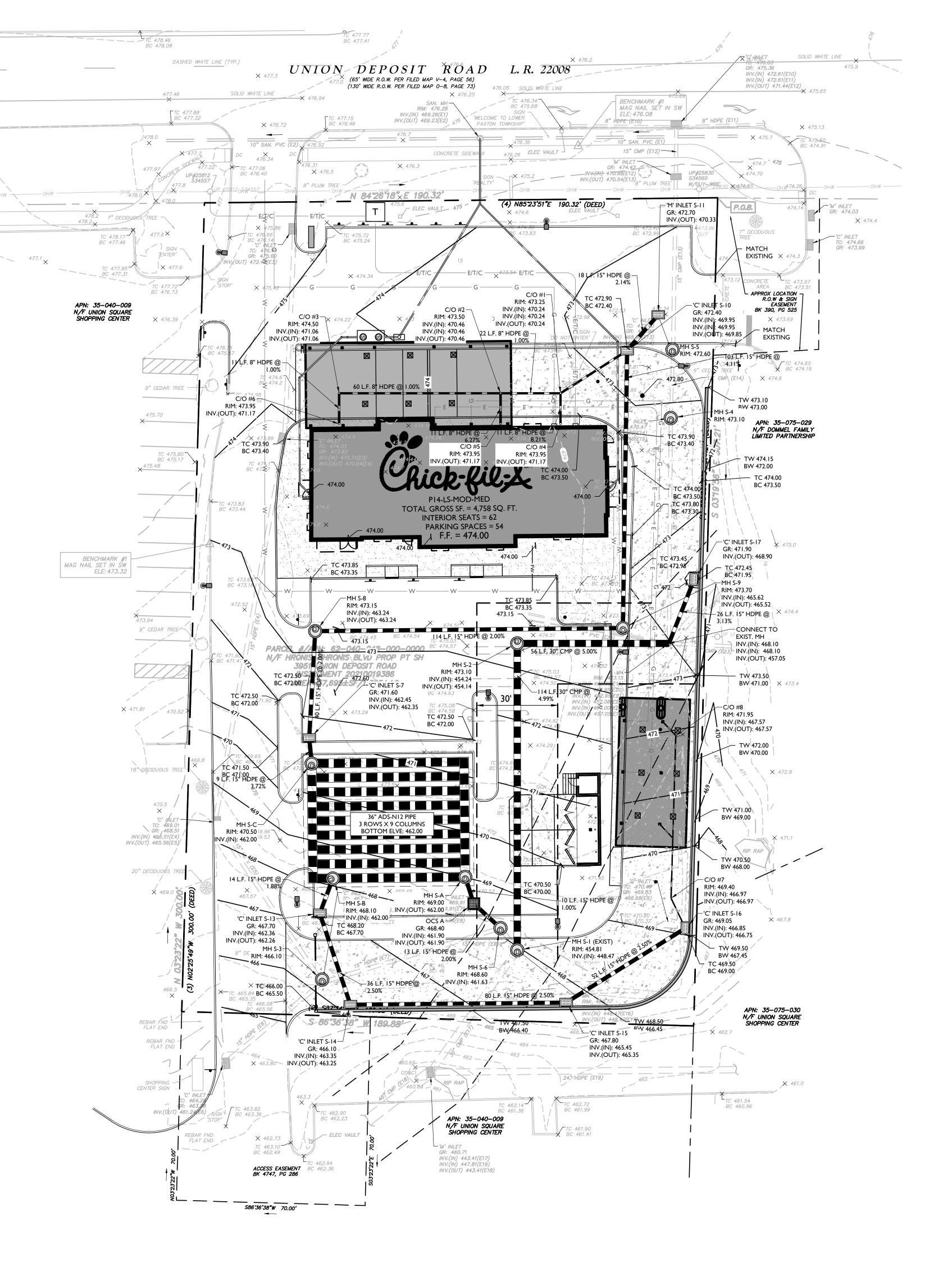


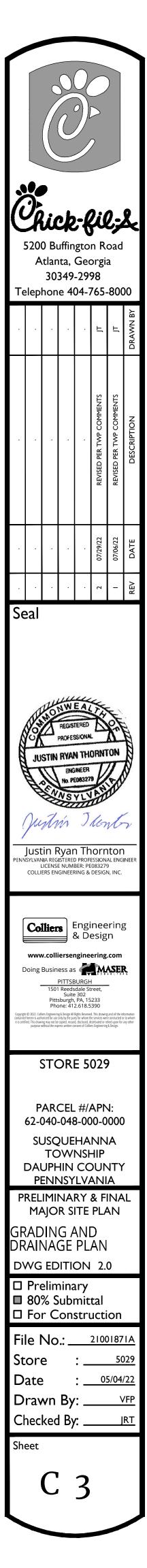


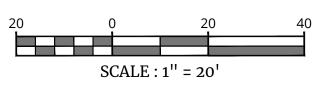
SOLID WHITE LINE		SITE PLAN LEGEND		
SOLID WHITE LINE		<ul> <li>DRIVE-THRU GRAPHICS</li> <li>DRIVE-THRU MULTI-LANE MERGE STRIPING</li> </ul>	$(\text{NOT USED}) \stackrel{2}{\underset{(4)}{\bigcirc}}$	
		3 STOP LINE GRAPHICS		
		<ul> <li>PAINTED HANDICAP PARKING SYMBOL (TYP)</li> <li>\$\standard parking stall (TYP.)</li> </ul>	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
		6 DIRECTIONAL SIGNAGE		
		ALL SIGNS TO CONFORM TO MUTCD LATEST VERSION STOP SIGN		Chick-filz
		(6B)       HANDICAP W/PENALTY (TYP.)         (6C)       NO TRUCKS EXCEPT FOR DELIVERIES SIGN		5200 Buffington Road
OHW OHW	ОНШОНШ	<ul> <li>(B) HANDICAP W/PENALTY (TYP.)</li> <li>(C) NO TRUCKS EXCEPT FOR DELIVERIES SIGN</li> <li>(D) RIGHT TURN ONLY SIGN</li> <li>(E) ONE WAY SIGN</li> <li>(E) ONE WAY SIGN</li> <li>(F) CATERING &amp; CARRY OUT SIGN</li> <li>(G) PEDESTRIAN CROSSING SIGN</li> <li>(H) DO NOT ENTER SIGN</li> <li>(G) NO U-TURN SIGN</li> <li>(G) NO U-TURN SIGN</li> <li>(G) LOADING ZONE. NO PARKING</li> </ul>		Atlanta, Georgia 30349-2998
		GF CATERING & CARRY OUT SIGN		Telephone 404-765-8000
	6K	<ul> <li>(ii) DO NOT ENTER SIGN</li> <li>(ii) NO U-TURN SIGN</li> </ul>		∠ R
		AFTER STORE HOUR SIGN		лариана и стана и стана И МАМИ
		(K) DO NOT BLOCK INTERSECTION SIGN		
		<ul> <li>CHICK-FIL-A MAIN ENTRY HANDICAP RAMP</li> <li>HANDICAP RAMP w/FLARED SIDES</li> </ul>	(NOT USED)	
¥ 7 ↓		RETURNED CURB HANDICAP RAMP	(NOT USED) (NOT USED)	COMMENTS
5		<ul> <li>TRUNCATED DOMES</li> <li>TYPICAL SIDEWALK DETAIL - PICTURE FRAME PATTERN</li> </ul>	(NOT USED)	TTVP COP
		<ul> <li>PICTORE FRAME PATTERN</li> <li>TYPICAL SIDEWALK WITH CURB</li> </ul>	Ξ	PER PER
		<ul> <li>ORIVE THRU PLAN VIEW</li> <li>ORIVE THRU ISOMETRIC VIEW</li> </ul>	\$ \$ \$ \$	D
		(13) PLASTIC WHEEL STOP (TYP.)		
		<ul> <li>18" CONCRETE CURB</li> <li>ROLLOVER/MOUNTABLE CURB</li> </ul>	(NOT USED)	
5– <i>029</i> FAMILY		() TRASH ENCLOSURE FOUNDATION PLAN		
ERSHIP		<ul> <li>ALT. TRASH ENCLOSURE FOUNDATION PLAN</li> <li>ALT. TRASH ENCLOSURE DRAINAGE PLAN</li> </ul>	(NOT USED)	REV - 2 · · · · · ·
		BOLLARD	æ	Seal
		<ul> <li>BOLLARD W/ SIGN</li> <li>Typical asphalt pavement section</li> </ul>	추운 다 다 다 다 다 다 다 다 다 다 다 다 다 다 다 다 다 다 다	
		222 PAVEMENT EDGE AT CONCRETE		
		<ul> <li>CONSTRUCTION JOINTS</li> <li>SECTION THRU CONCRETE PAVEMENT AT DUMPSTER</li> </ul>	23 23	NWEAL
		6" CONCRETE PAVEMENT SECTION AT DRIVE-THRU		REGISTERED APR
		<ul> <li>⟨₯⟩ HANDRAIL</li> <li>⟨₂𝔅⟩ HANDRAIL AND RAMP</li> </ul>	(NOT USED)	JUSTIN RYAN THORNTON
		CROSS WALK DETAIL	(101 0112)(G) (101 0112)(G) (101 0112)(G)	BUSTIN RIVER
		<ul> <li>DRIVE THRU ORDER POINT ISLAND CURB</li> <li>MULTI ORDER POINT MOUNTABLE CURB</li> </ul>		WNSVLVA MUL
		<ul> <li>MENU BOARD LOOP DETECTION SYSTEM</li> </ul>	32 C7	Quatria Ilianta
		PAVEMENT REPAIR STRIP		
		<ul> <li>CURB CUT (FLUSH CURB)</li> <li>GREASE INTERCEPTOR</li> </ul>	(NOT USED) $(34)$	Justin Ryan Thornton PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER LICENSE NUMBER: PE083279
		S EXTERIOR CLEANOUT (TYP.)	() () () () () () () () () () () () () (	COLLIERS ENGINEERING & DESIGN, INC.
		<ul> <li>INLET DETAILS</li> <li>INDET C"</li> </ul>		
		(77B) TYPE "M"		<b>Colliers</b> Engineering & Design
		<ul> <li>MEET EXISTING CURB</li> <li>CLEARANCE BAR</li> </ul>	39)	www.colliersengineering.com
		<ul> <li>FLAG POLE</li> </ul>	32 42 8	Doing Business as
				1501 ReedSolde Street, Suite 302 Pittsburgh, PA, 15233 Phone: 412.618.5330
		<ul> <li>MAIN ID SIGN (96.00 SF)</li> <li>WALL SIGN (36.00 SF)</li> </ul>		Phone: 412.618.5390 Copyright © 2022. Collies Engineering & Design AII Bights Research. This drawing and all the information contained herein is autorectored for use only by the anyto P whom the services were constanted or to autom it is certified. This drawing may not be copied, reused, disclosed, disclosed or relied upon for any other puppore without the express without constant of Calles Engineering & Design.
		WALL SIGN (58.75 SF)		
		<ul> <li>CURB TRANSITION FROM FLUSH TO FULL HEIGHT</li> <li>40 4" WIDE WHITE STRIPE</li> </ul>		STORE 5029
/		<ul> <li>LIGHT POLE (SEE LIGHTING PLAN FOR DETAILS)</li> </ul>		
				PARCEL #/APN:
		<ul> <li>TRANSFORMER &amp; PAD</li> <li>SAW CUT LIMIT (TYP.)</li> </ul>		62-040-048-000-0000 SUSQUEHANNA
			(NOT USED)	TOWNSHIP
		<ul> <li>DRIVE-THRU STRIPING</li> <li>EMPLOYEE PARKING</li> </ul>	Ð	DAUPHIN COUNTY PENNSYLVANIA
				PRELIMINARY & FINAL
		<ul> <li>MEAL DELIVERY CANOPY</li> <li>RETAINING WALL</li> </ul>	(55)	MAJOR SITE PLAN
		So 30 FT WIDE STORM EASEMENT	~~ ·	SITE PLAN
50		<ul> <li>(57) CONVERT C INLET TO M INLET</li> <li>(58) PROPERTY CORNER TO BE SET WITH PROPERTY MA</li> </ul>		DWG EDITION 2.0
RE R		WITH DIMENSION OF 3/4" X 3/4" SQUARE OR 3/4" IN DIAMETER. THE MARKER SHALL BE 30 INCHES IN LEN AND MADE OF IRON PIPE OR IRON/STEEL BARS.		<ul><li>Preliminary</li><li>80% Submittal</li></ul>
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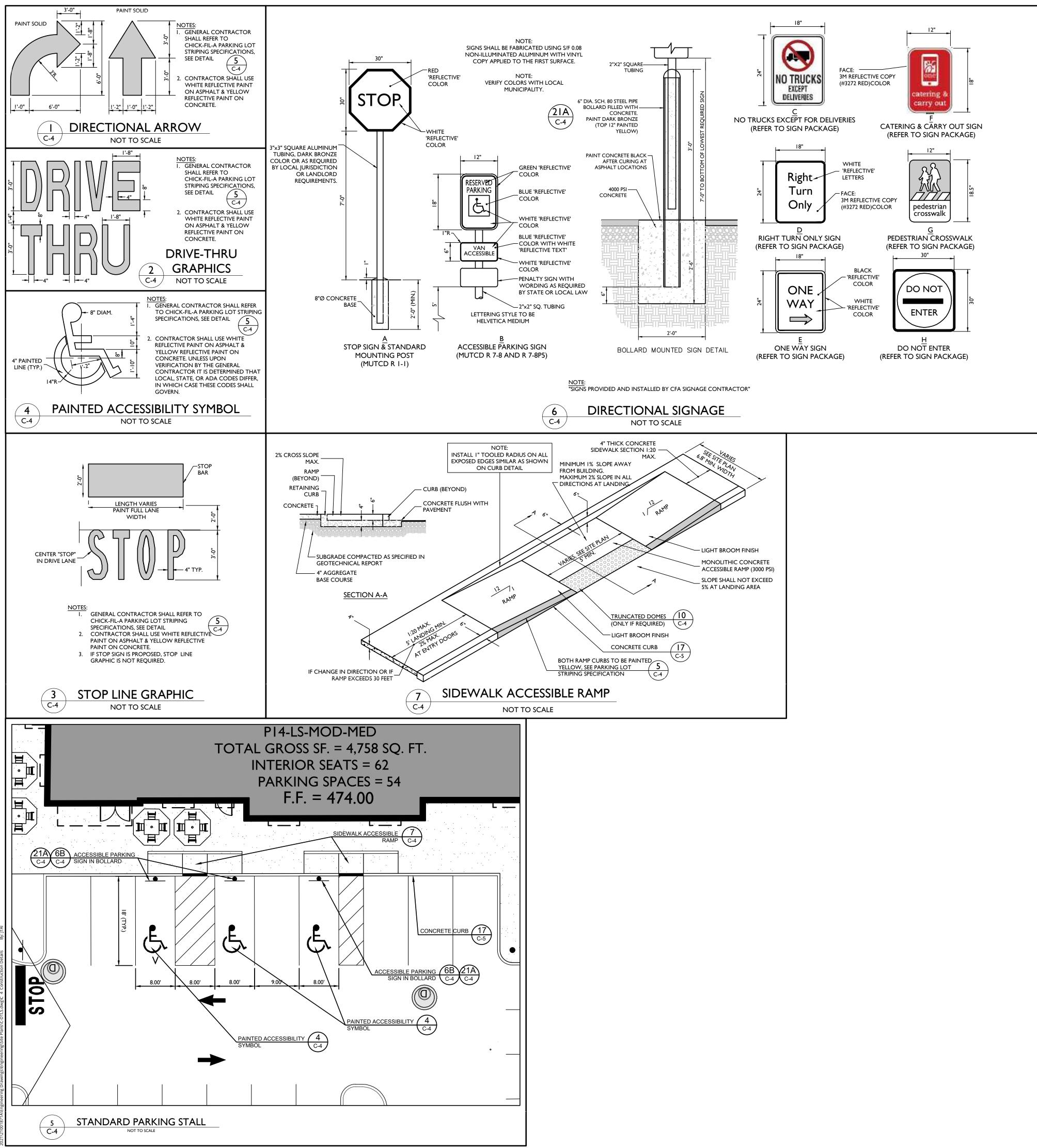
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		RIGHT OF WAY LINE	
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;	xx-	FENCES	xx
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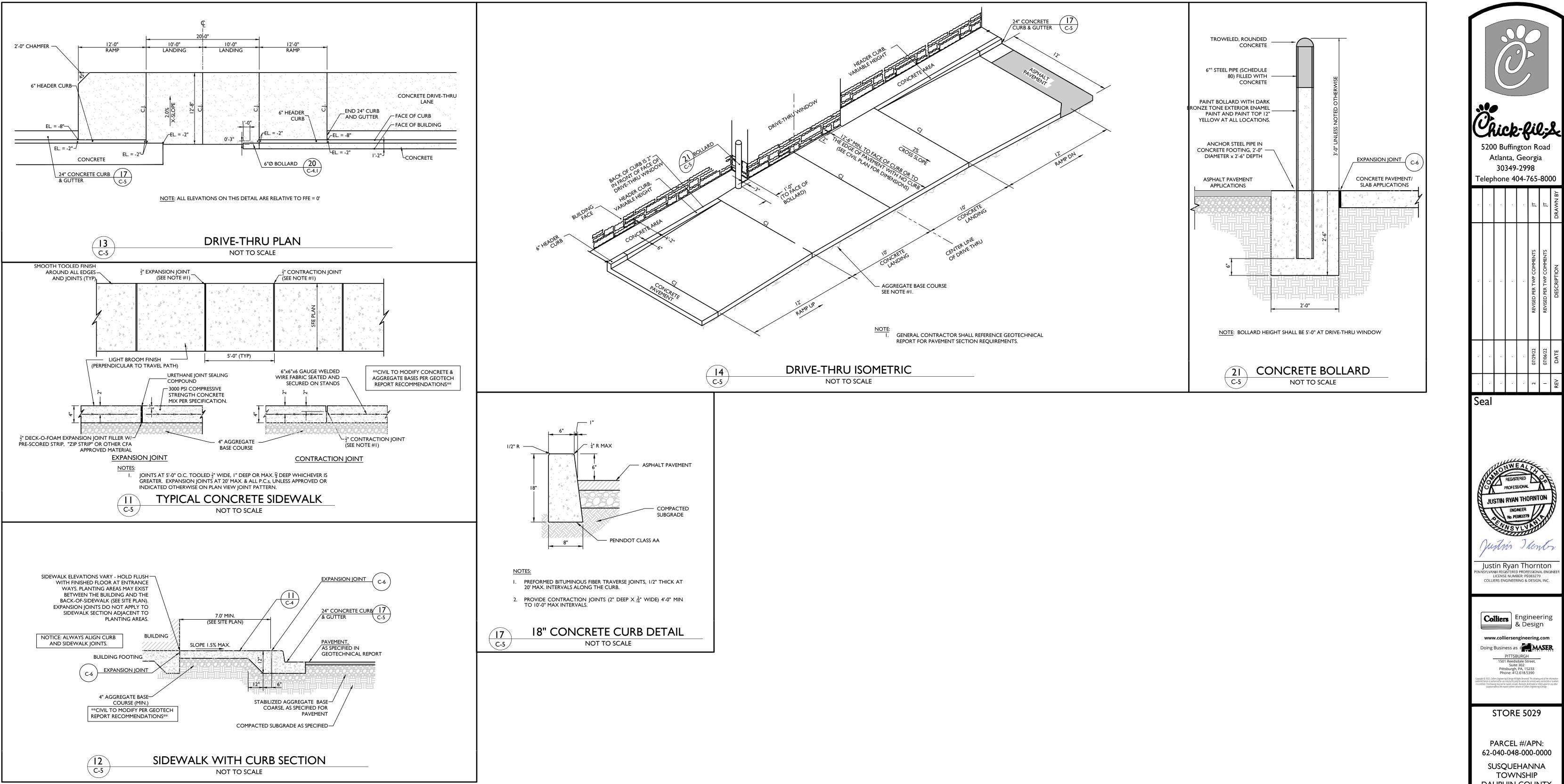




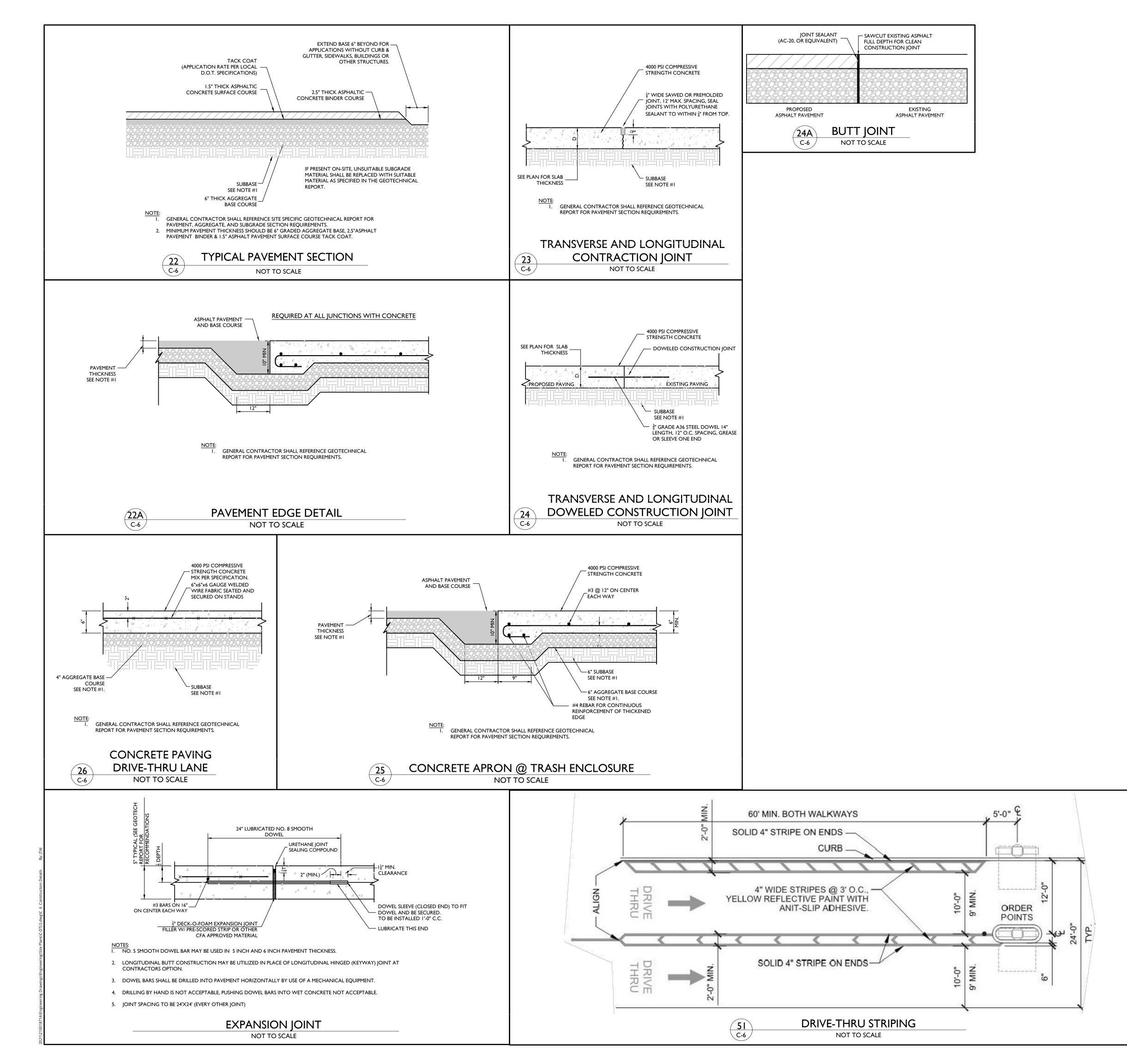




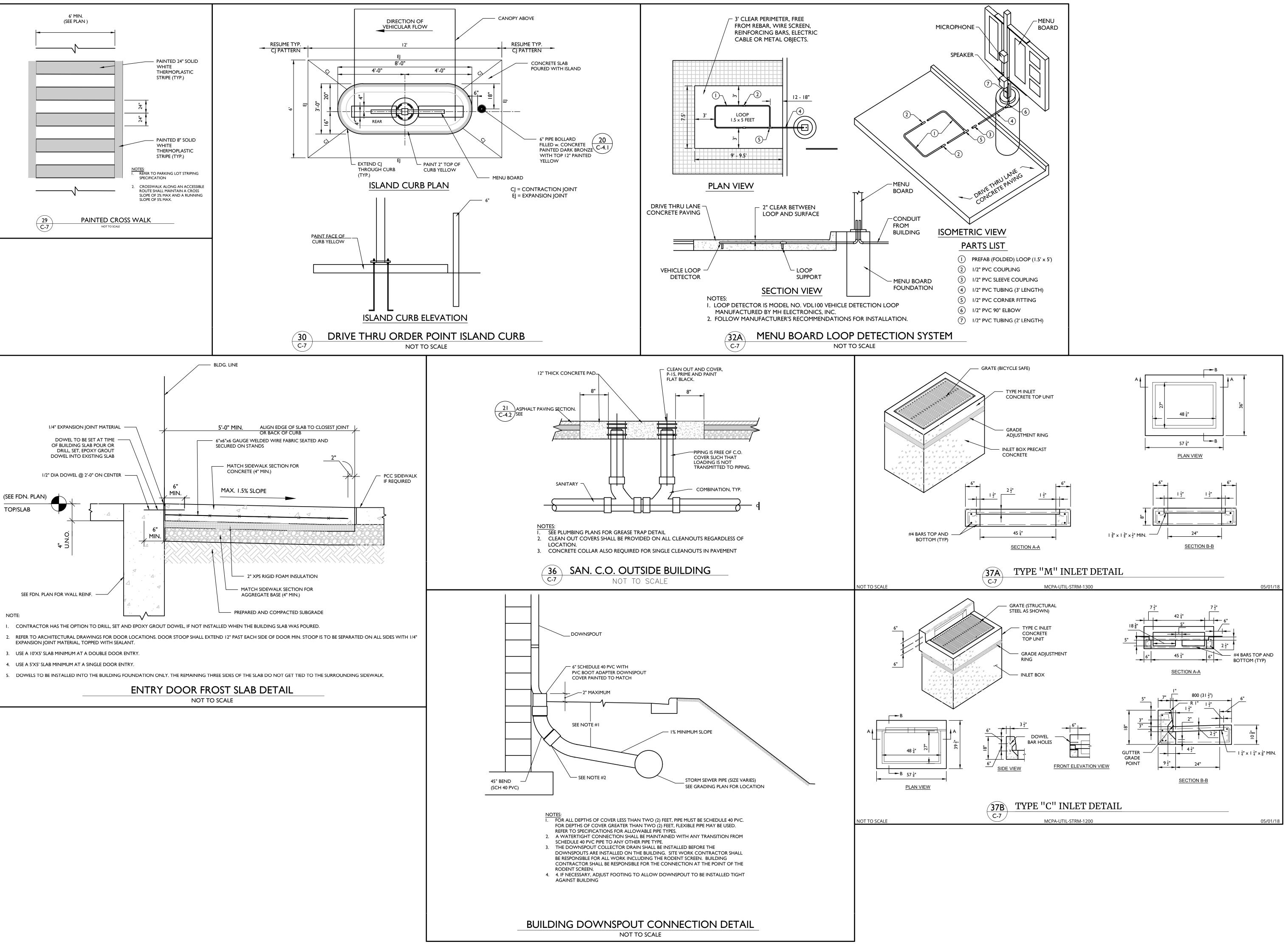
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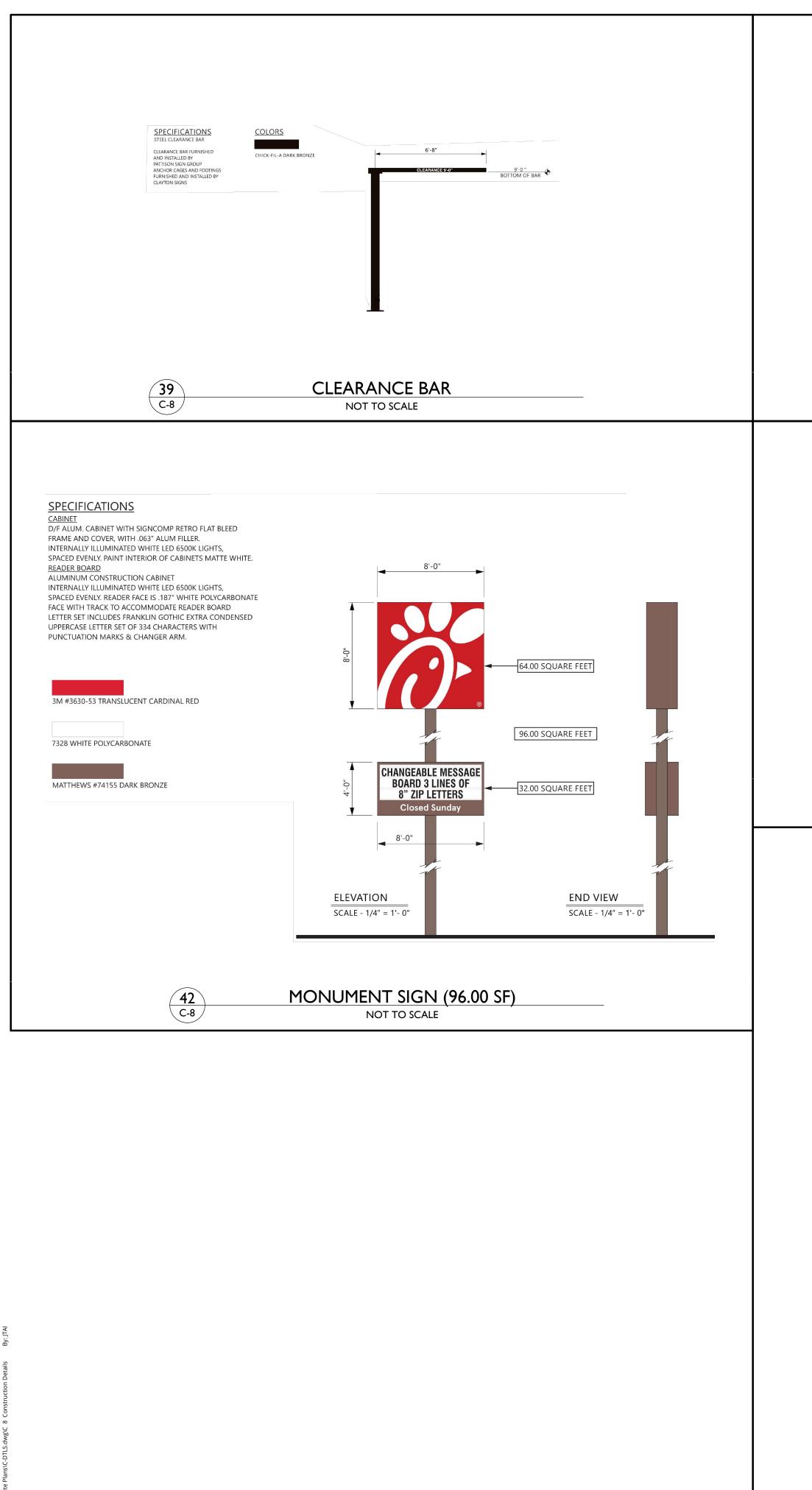


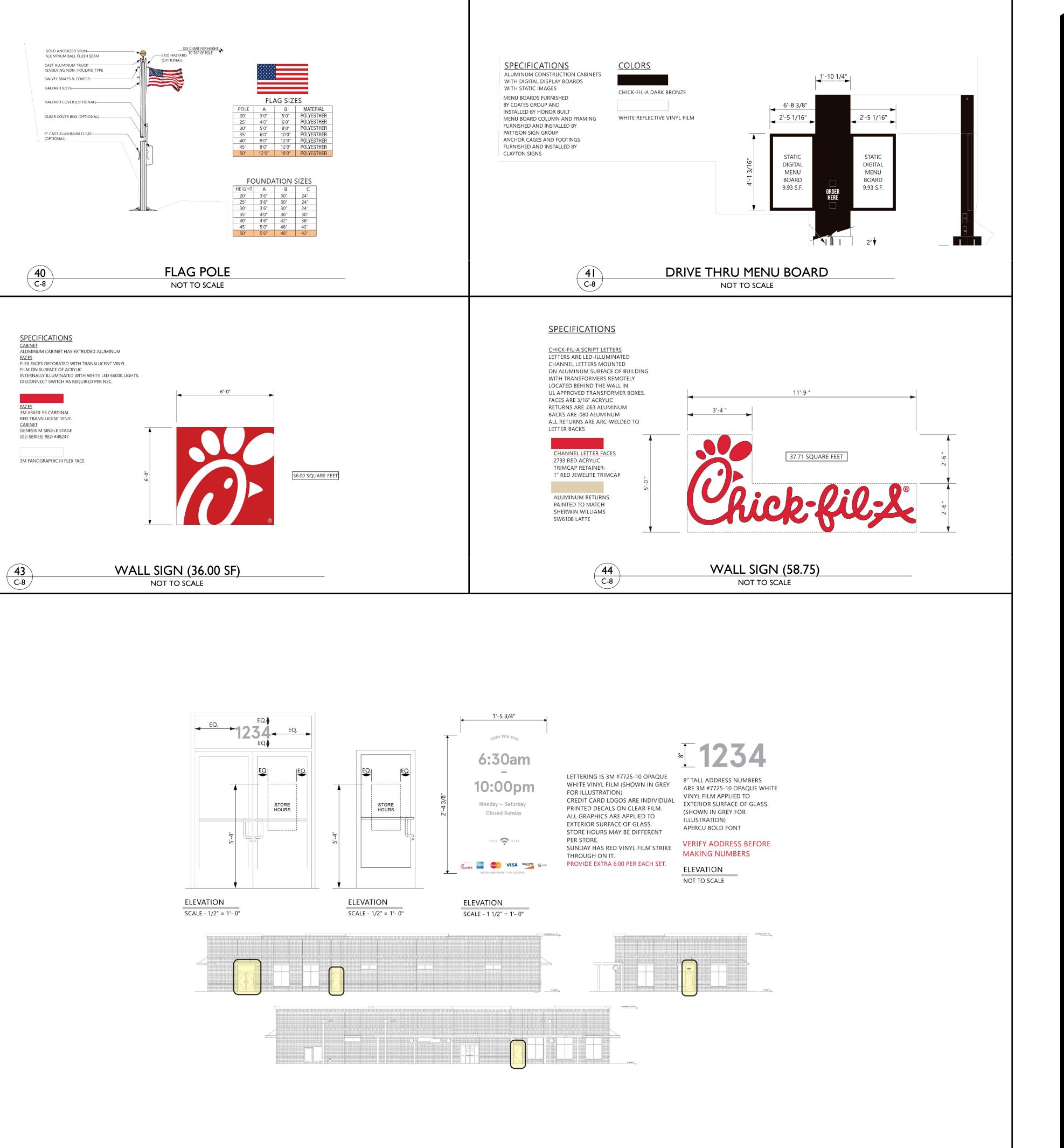
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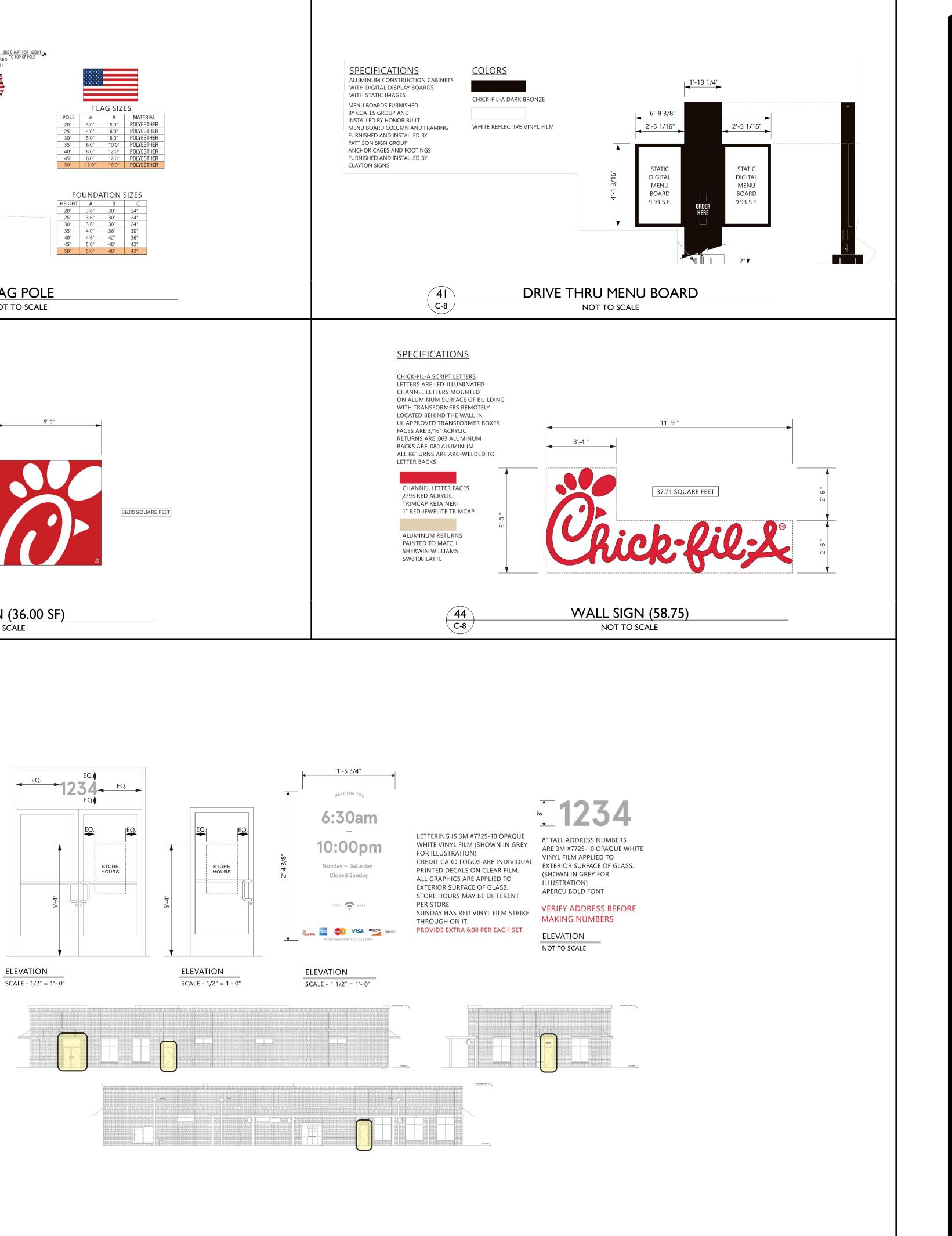


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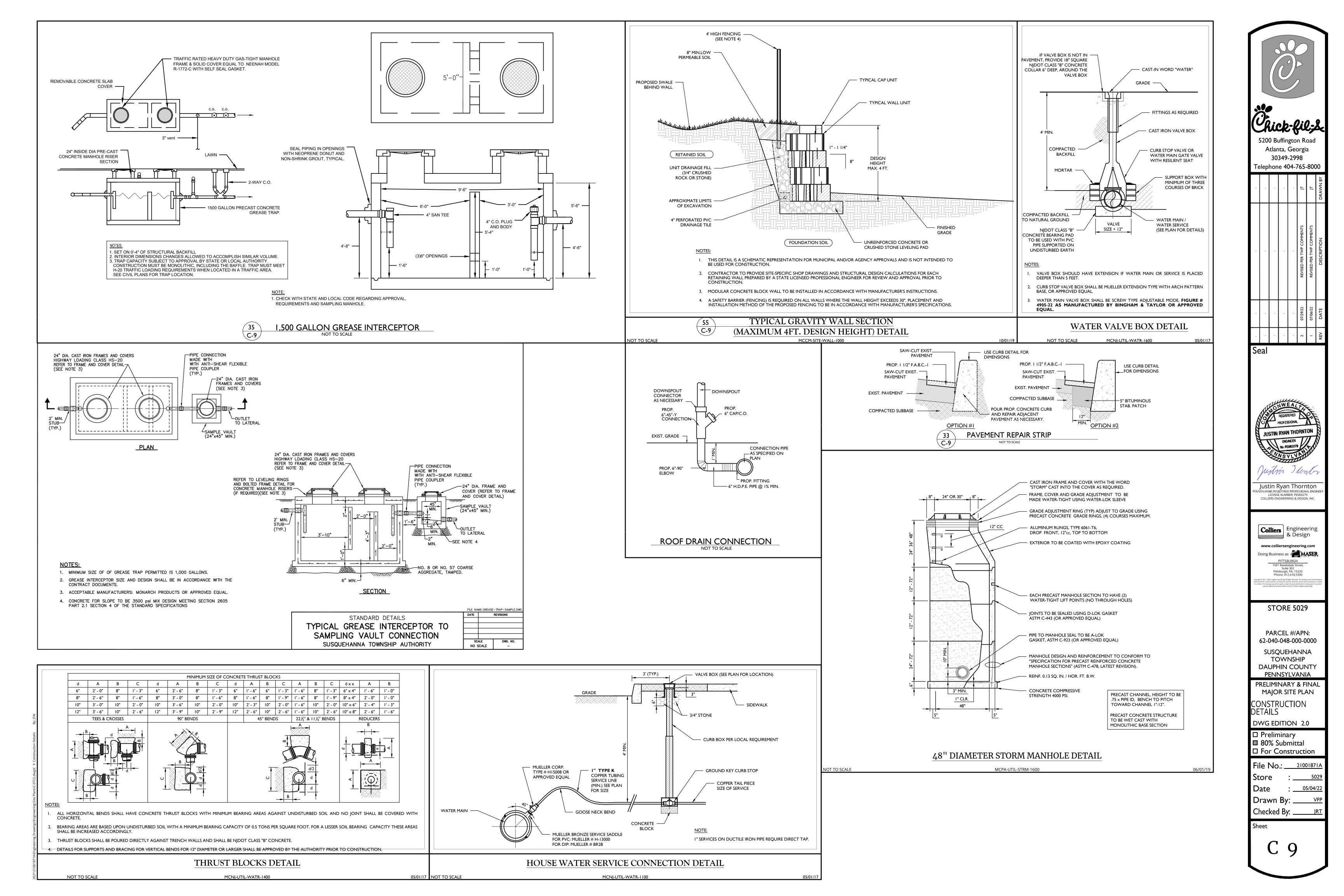


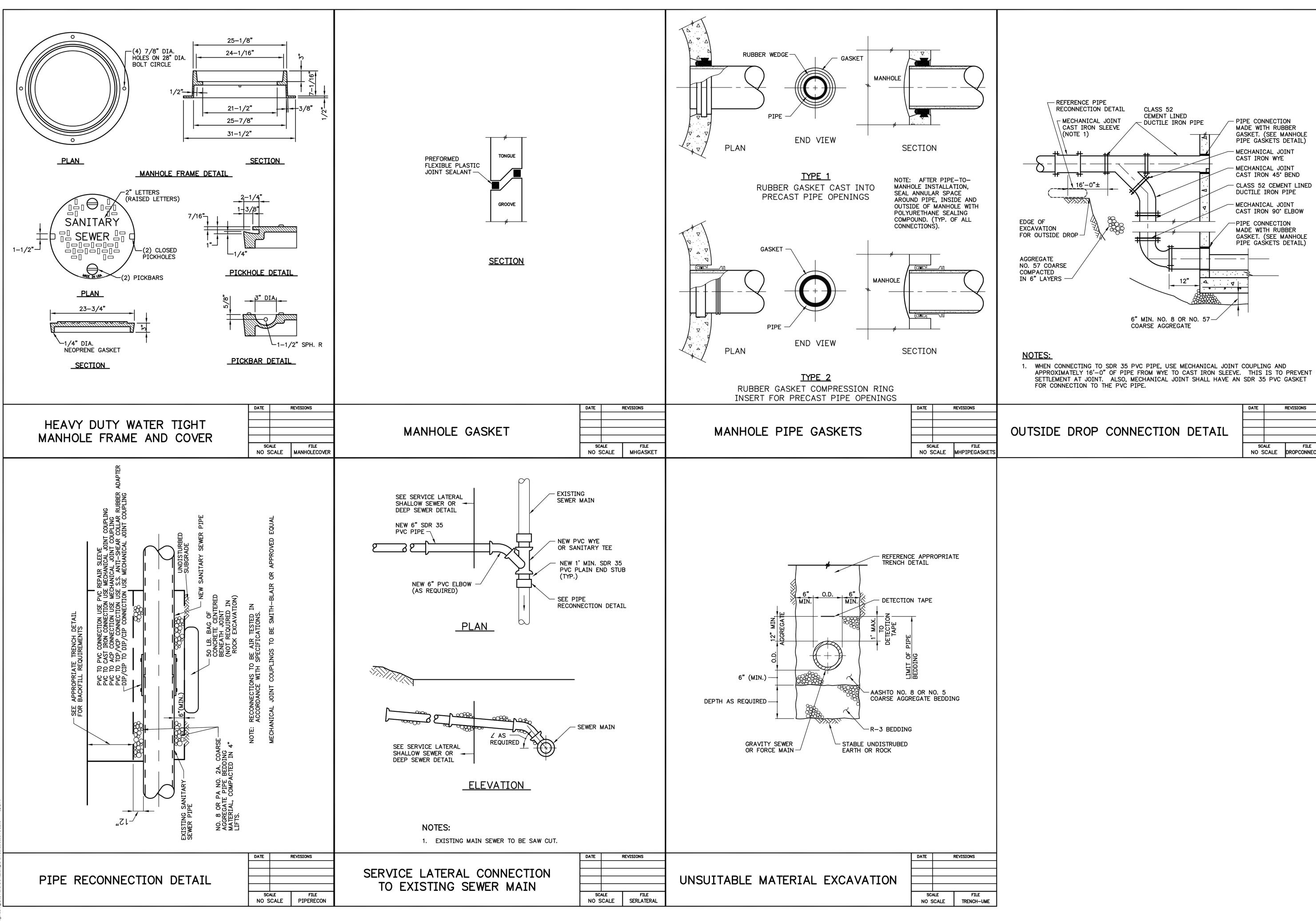




ADDRESS WINDOW GRAPHICS NOT TO SCALE

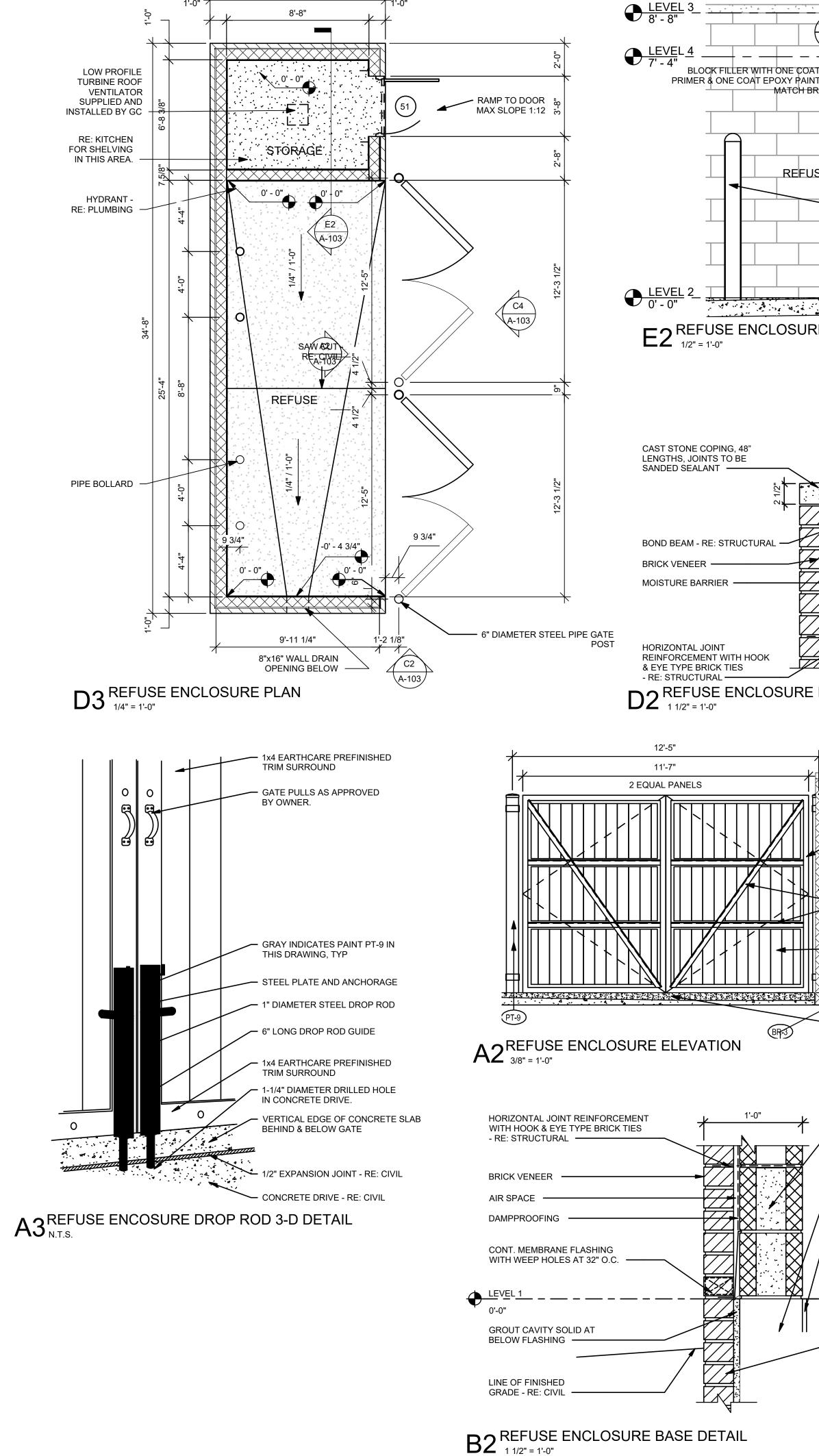
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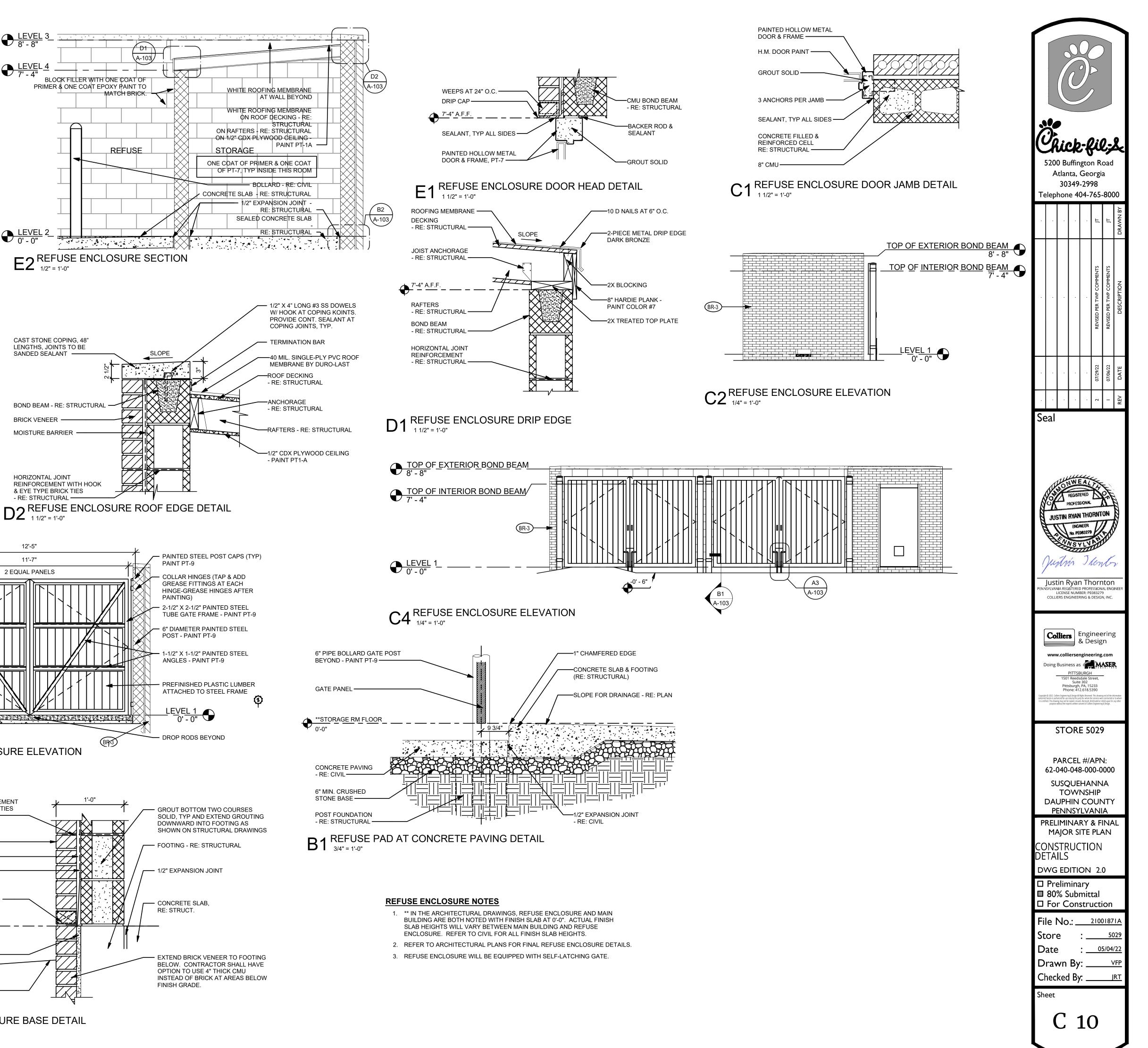
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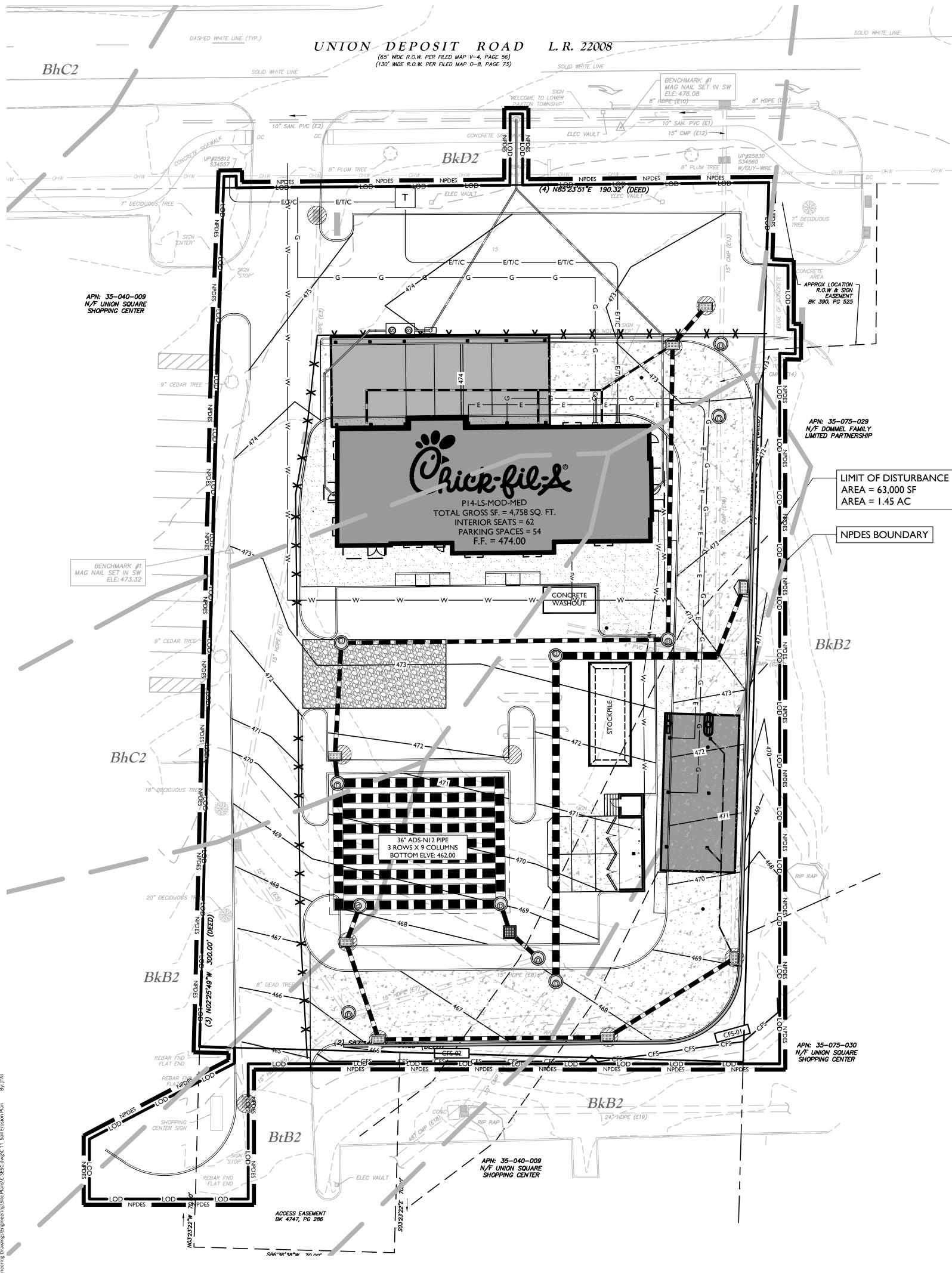
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10'-8"

8'-8"





### NOTES:

1. THE RECEIVING STREAM IS TRIB 10129 TO SPRING CREEK WATERSHED. USE

- DESIGNATION IS CWF, MF (COLD WATER FISHES, MIGRATORY FISH). THIS STREAM IS LOCATED APPROXIMATELY 1,560 FT WEST OF THE PROJECT SITE. 2. PROPOSED LIMIT OF DISTURBANCE IS 63,000 SF (1.45 AC.) B. THERE ARE NO STREAMS, WETLANDS, FLOODWAYS, OR WATERCOURSES
- UNDERGROUND BASIN SEQUENCE OF INSTALLATION

WITHIN THE PROPOSED DEVELOPMENT AREA.

- 1. REMOVE EXISTING ASPHALT AND STONE BASE.
- 2. EXCAVATE TO DESIGN STONE BASE ELEVATION. SCARIFY COMPACTED SOIL AND PLACE 6" STONE BASE. (CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A
- SITE INSPECTION OF THE SUBGRADE PREPARATION.) 3. INSTALL ADS N-12 UNDERGROUND BASIN SYSTEM.
- (CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE UNDERGROUND BASIN SYSTEM INSTALLATION.) 4. PLACE 12" STONE COVER AND BACKFILL WITH SOIL TO DESIGN SUBGRADE
- ELEVATION FOR THE PARKING LOT.
- 5. COMPLETE WITH SUBBASE AND PAVEMENT FOR THE PARKING LOT AREA.

### UNDERGROUND BASIN MAINTENANCE PROGRAM:

### 1. MAINTAINED BY: PROPERTY OWNER

2. UNDERGROUND BASIN WILL BE INSPECTED FOR ANY DEBRIS AND SETTLEMENT TWICE A YEAR. PERFORM ANY NECESSARY MAINTENANCE. ALL TRASH/DEBRIS/SETTLEMENT SHALL BE DISPOSED OF PROPERLY.

### RECYCLING & DISPOSAL OF MATERIALS:

- 1. ANY POST-CONSTRUCTION WASTE MATERIALS COLLECTED BY THE UNDERGROUND BASIN AND/OR THE STORMWATER COLLECTION/CONVEYANCE SYSTEM SHALL BE DISPOSED OF PROPERLY.
- WASTE MATERIALS SHALL NOT BE DISTRIBUTED ON SITE. THERE SHALL BE NO DUMPING OF WASTE MATERIALS INTO THE STORM INLETS. ANTICIPATED
- POST-CONSTRUCTION WASTES FOR THIS PROJECT INCLUDE CUSTOMER 2. TRASH/DEBRIS, VEHICULAR LIQUIDS, SEDIMENT, LEAVES, AND GRASS

# SEQUENCE OF DEVELOPMENT

PHASE I

CLIPPINGS.

- INSTALL INLET FILTERS ON EXISTING INLETS TO REMAIN
- INSTALL TEMPORARY CONSTRUCTION FENCING INSTALL ROCK CONSTRUCTION ENTRANCE
- 4. INSTALL COMPOST FILTER SOCK
- PHASE II
  - SAWCUT EXISTING PAVEMENT REMOVE EXISTING PAVEMENT/CONCRETE AS NECESSARY
- REMOVE EXISTING FEATURES

PHASE III

- ROUGH GRADE SITE
- CONSTRUCT DRAINAGE FACILITIES INSTALL INLET FILTERS TO PROPOSED INLETS
- CONSTRUCT BUILDING FOUNDATIONS
- INSTALL UTILITY SERVICE CONNECTIONS TO BUILDING LOCATION CONSTRUCT CURBING, PAVEMENT BASE
- INSTALL UNDERGROUND DETENTION BASIN
- PHASE IV
- COMPLETE CONSTRUCTION OF ALL STRUCTURES
- DISTRIBUTE STOCK PILE SOIL 3. REMOVE EXCESS SOIL AND DEBRIS FROM SITE
- PHASE V
- BRING SITE TO FINISHED GRADE
- 2. COMPLETE LANDSCAPING REMOVE E & S MEASURES

# SOIL USE LIMITATIONS AND RESOLUTIONS:

### BASED ON THE WEB SOIL REPORT OF DAUPHIN COUNTY, THE EXISTING SOIL CLASSIFICATION WITHIN THE PROJECT AREA AREA LISTED BELOW. BtB2 IS LISTED AS HYDRIC SOIL. THE SOIL USE LIMITATIONS FOR THE SITE ARE LISTED BELOW. WHEN ISSUES OCCUR DURING CONSTRUCTION, USE BELOW RESOLUTIONS OR CONSULTANT WITH THE ENGINEERS.

### BhC2 (BERKS CHANNERY SILT LOAM, 8 TO 15 PERCENT SLOPES) - SOIL GROUP B BkB2 (BERKS SHALY SILT LOAM, 3 TO 8 PERCENT SLOPES) - SOIL GROUP B BkD2 (BERKS CHANNERY SILT LOAM, 15 TO 25 PERCENT SLOPES) - SOIL GROUP B BtB2 (BRINKERTON AND ARMAGH SILT LOAMS, 3 TO 8 PERCENT SLOPES MODERATELY ERODED) - SOIL GROUP C

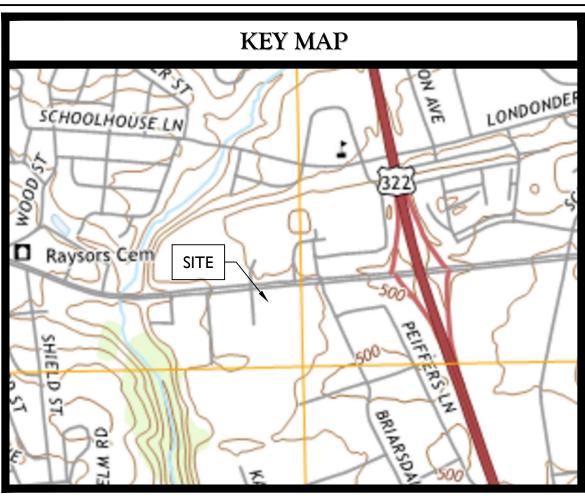
# SOIL USE LIMITATIONS: 1. CUTBANKS CAVE

- 2. CORROSIVE TO CONCRETE AND STEEL
- DROUGHTY
- 4. EASILY ERODIBLE 5. DEPTH TO SATURATED ZONE
- 6. HYDRIC/HYDRIC INCLUSIONS
- 7. LOW STRENGTH/LANDSLIDE PRONE
- 8. SLOW PERCOLATION 9. PIPING
- 10. POOR SOURCE OF TOPSOIL
- 11. FROST ACTION 12. POTENTIAL SINKHOLE
- 13. WETNESS

### RESOLUTION: I. CUTBANKS CAVE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA

- STANDARDS. 2. CORROSIVE TO CONCRETE/STEEL: CORROSIVE RESISTANT MATERIALS WILL BE USED OR CORROSIVE RESISTANT PRODUCTS WILL BE APPLIED TO THE SURFACE OF STEEL/CONCRETE FEATURES THAT CONTACT THE SOIL.
- 3. DROUGHTY: COMPOST WILL BE ADDED TO IMPROVE EXISTING SOIL CONDITIONS IF
- NECESSARY. 4. EASILY ERODIBLE: DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH
- TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS.
- 5. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE: FILTER BAGS WILL BE USED IF WATER IS ENCOUNTERED DURING CONSTRUCTION.
- 6. HYDRIC/HYDRIC INCLUSIONS: HYDRIC SOILS ARE NOT EXPECTED ON THIS SITE. 7. LOW STRENGTH/LANDSLIDE PRONE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS, AND DISTURBED AREAS WILL BE STABILIZED WITH
- TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS. 8. SLOW PERCOLATION: NO INFILTRATION IS PROPOSED.
- 9. PIPING: ALL PIPE EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA
- STANDARDS. 10. POOR SOURCE OF TOPSOIL: ADD COMPOST TO IMPROVE SOIL CONDITION. USE SOILS
- FROM TOPSOIL STOCKPILES. IF NECESSARY, IMPORT TOPSOIL.
- 11. FROST ACTION: ALL PIPING WILL BE INSTALLED BELOW FROST LINE. 12. POTENTIAL SINKHOLE: MAINTAIN SEPARATION FROM INFILTRATION OF STORMWATER.
- MITIGATE POTENTIAL VOIDS DURING CONSTRUCTION.
- 13. WETNESS: CONSULT ENGINEERS WHEN ENCOUNTER DURING CONSTRUCTION.

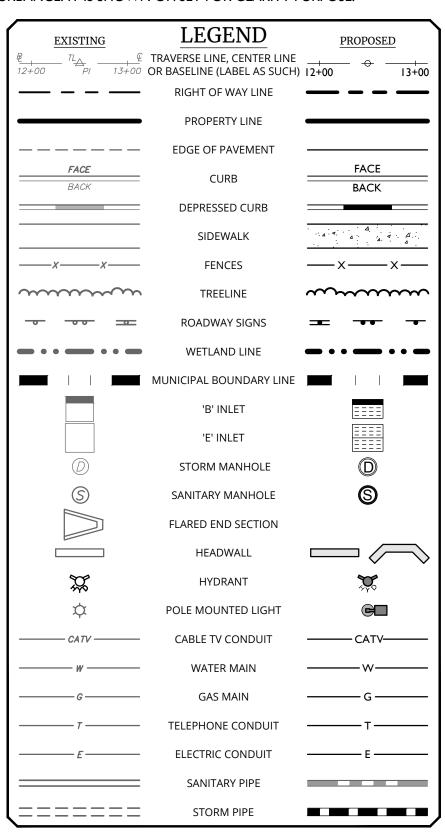


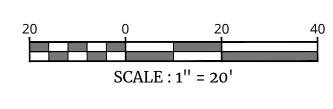


SCALE: I"=1,000' (APPROXIMATE)

SOIL EROSION	LEGEND
PROPOSED INLET FILTER	
PROPOSED AREA OF TEMPORARY TOPSOIL STOCK PILE	
PROPOSED COMPOST FILTER SOCK	CFS CFS
PROPOSED LIMIT OF DISTURBANCE	LOD
PROPOSED CONCRETE WASHOUT	
PROPOSED CONSTRUCTION #1 ENTRANCE, 1 1/2"-2" Ø STONE (50' LONG × 25' WIDE × 12")	
TEMPORARY CONSTRUCTION FENCING	<del>- X - X</del>
NPDES BOUNDARY*	NPDES

\*NPDES BOUNDARY IS THE SAME BOUNDARY AS THE LIMIT OF DISTURBANCE. IT IS SHOWN OFFSET FOR CLARITY PURPOSE.





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PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL	PROTECTION
E&S PLAN NOTES	

	MCPA-SOIL-NOTE-1000 05	5/01/18
Ι.	ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.	
2.	AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.	N
3.	AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SH BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.	HALL
4.	ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT OR BY THE DEPARTMENT PRIOR TO IMPLEMENTATION.	
5.	AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.	
6.	CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPS SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PH HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.	HASE
7.	AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST E CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.	3E
8.	TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAPS(S) IN THE AMOUNT NECESSARY TO COMPLE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWI STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H: IV OR FLATTER.	
9.	IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRIC AND/OR THE REGIONAL OFFICE OF THE DEPARTMENT.	ст
10.	ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMEI REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, DISCHARGED AT THE SITE.	
11.	ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEIN ACTIVATED.	IG
12.	THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.	
13.	ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.	
14.	VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM LOTS 255-B-11 & 255-B-118 ONTO SHARED ACCESS DRIVE.	
15.	UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPS SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT B AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.	
16.	A LOG SHOWING DATES THAT E&S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.	BE
17.	SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MAN DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.	JNER
18.	ALL SEDIMENT REMOVED FROM BMPS SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.	
19.	AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES — 6 TO 12 INCHES ON COMPACTED SOILS — PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.	
20.	ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.	
21.	ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.	
22.	FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.	
23.	FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.	
24.	FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.	
25.	SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.	
26.	ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS ( THIS PLAN.	OF
27.	IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN I YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN I YEAR SH BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.	
28.	PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.	ГТО
29.	E&S BMPS SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.	BY
	UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPS.	
31.	AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.	
32.	UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.	
33.	FAILURE TO CORRECTLY INSTALL E&S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVI ACTION TO RESOLVE FAILURE OF E&S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 60 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.	02
34.	CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.	

### STANDARD FOR VEGETATIVE COVER

1. SITE PREPARATION A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING. B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING. D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES,

A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING. D. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) E. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS F. REMOVE FROM THE SURFACE ALL STONES 2 INCHES OR LARGER IN ANY DIMENSION AND OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL. G. HIGH ACID PRODUCING SOIL, SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED REPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS SEEDING

A. <u>TEMPORARY SEEDING SPECIFICATIONS</u> - USE THE MIXTURE LISTED BELOW OR SELECT AN APPROVED MIXTURE FROM THOSE LISTED IN THE PADEP E&S MANUAL TABLE 11.4. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED. SEED SHALL BE APPLIED AS NOTED BELOW WITHIN THE DATES SPECIFIED IN THE STANDARDS:

MIX#2 TALL FESCUE 60 LBS/ACRE PLS / 76% PLS = 78.9 LBS/ACRE PERENNIAL RYE GRASS 15 LBS/ACRE / 81% PLS = 18.6 LBS/ACRE15% PURE LIVE SEED

OPTIMUM SEEDING DATES: 8/15 - 11/15 ACCEPTABLE SEEING DATES: 3/1 - 4/30 5/1 - 8/14 (SEE NOTE BELOW)

NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED. MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENDURE ESTABLISHMENT BEFORE FREEZING CONDITIONS

B. <u>PERMANENT SEEDING SPECIFICATIONS</u> - USE THE MIXTURE LISTED BELOW OR SELECT AN APPROVED MIXTURE FROM THOSE LISTED IN THE PADEP E&S MANUAL TABLE 11.4. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED. SEED SHALL BE APPLIED AS NOTED BELOW WITHIN THE DATES SPECIFIED IN THE STANDARDS:

MIX#2 TALL FESCUE 60 LBS/ACRE PLS / 76% PLS = 78.9 LBS/ACRE PERENNIAL RYE GRASS 15 LBS/ACRE / 81% PLS = 18.6 LBS/ACRE15% PURE LIVE SEED OPTIMUM SEEDING DATES: 8/15 - 11/15

ACCEPTABLE SEEING DATES: 3/1 - 4/30 5/1 - 8/14 (SEE NOTE BELOW)

SEDIMENT BASINS, AND WATERWAYS.

2. <u>SEEDBED PREPARATION</u>

1. LAWN AREAS:

1. LAWN AREAS:

FERTILIZER

4. <u>LIME</u>

<u>MULCHING</u>

1. SITE PREPARATION

2. PROTECTIVE MATERIALS

2. USE ONE OF THE FOLLOWING:

NOTE: SUMMER SEEDING SHOULD ONLY BE CONDUCTED WHEN THE SITE IS IRRIGATED. MIXES INCLUDING WHITE CLOVER REQUIRE THAT AT LEAST SIX WEEKS OF GROWING SEASON REMAIN AFTER SEEDING TO ENDURE ESTABLISHMENT BEFORE FREEZING CONDITIONS C. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED. HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A

EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED E. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK. OR TRAILER-MOUNTED TANK. WITH AN AGITATION SYSTEM AND HYDRAULL C PLIMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT- FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW), HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.

DEPTH OF 1/2 INCH, BY RAKING OR DRAGGING, DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEPER ON COARSE-TEXTURED SOIL. D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING

A. TEMPORARY FERTILIZER TO BE APPLIED AT A RATE OF 10-10-10 AT A RATE OF 500 LBS/ACRE. B. PERMANENT FERTILIZER TO BE APPLIED AT A RATE OF 10-20-20 AT A RATE OF 1,000 LBS/ACRE OR PER SOIL TEST.

A. TEMPORARY AGRICULTURAL GRADE LIMESTONE TO BE APPLIED AT A RATE OF 1.0 TON/ACRE. B. PERMANENT AGRICULTURAL GRADE LIMESTONE TO BE APPLIED AT A RATE OF 6.0 TONS/ACRE OR PER SOIL TEST

MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT. A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 3 TONS PER ACRE (130 TO 140 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED

APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTIO ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS.

1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS. 2. MULCH NETTINGS - STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED 3. CRIMPER (MULCH ANCHORING COULTER TOOL) - A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS

TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED 4. LIQUID MULCH-BINDERS - MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH. a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD

**BE UNIFORM IN APPEARANC** b. USE ONE OF THE FOLLOWING: (1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE AND NOT PESHIT IN A DHVTO

RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE. (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRAS

NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS B. WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USEI

AT THE RATE OF 2.000 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE

MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL. C. PELLETIZED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED- SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL

5. IRRIGATION (WHERE FEASIBLE): IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES. TOPDRESSING: N/A ESTABLISHING PERMANENT VEGETATIVE STABILIZATION:

THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

### STANDARD FOR STABILIZATION WITH MULCH ONLY

A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING. B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.

A. UNROTTED SMALL-GRAIN STRAW, AT 3 TONS PER ACRE, IS SPREAD UNIFORMLY AT 130 TO 140 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH. B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 2,000 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER. D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON, OR PLASTIC, MAY BE USED.

E. WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT. F. GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED

3. MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES.

A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS. B. MULCH NETTINGS - STAPLE PAPER, COTTON, OR PLASTIC NETTINGS OVER MULCH. USE DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN

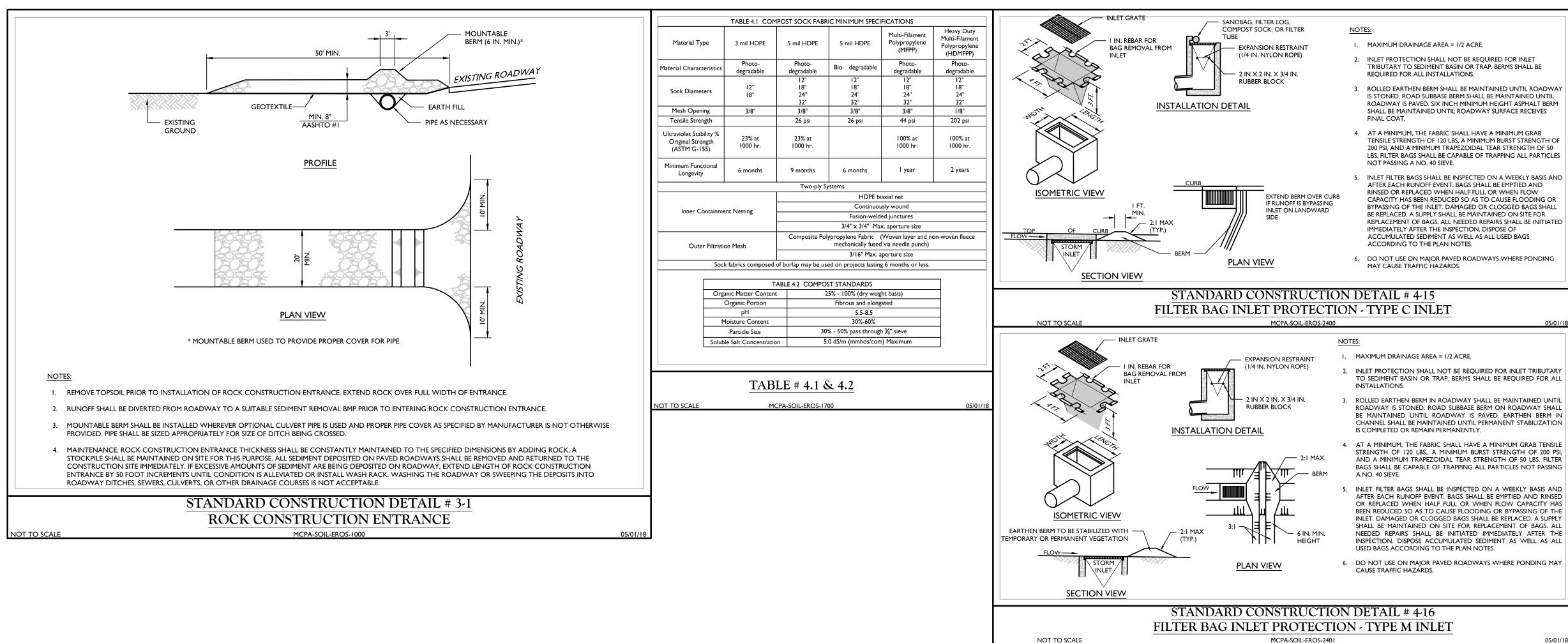
ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG. C. CRIMPER MULCH ANCHORING COULTER TOOL - A TRACTOR-DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL, BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3 TO 4 INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR. D. LIQUID MULCH-BINDERS

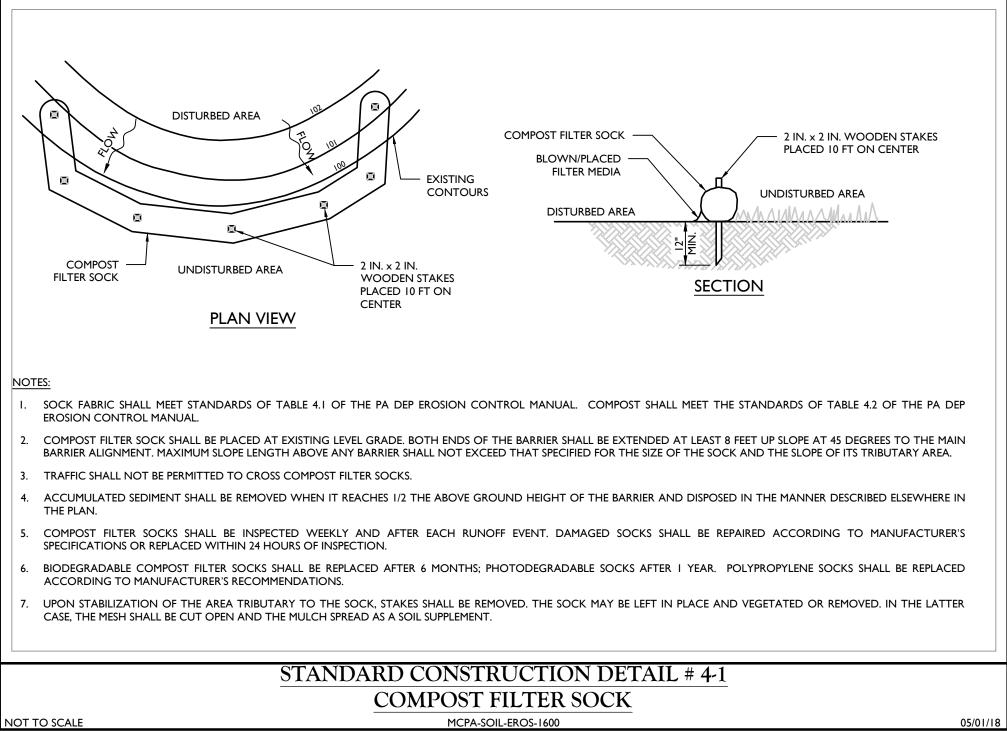
1. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.

a. ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTO-TOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER. b. SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

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	STORE 5029 PARCEL #/APN: 62-040-048-000-0000 SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY PENNSYLVANIA PRELIMINARY & FINAL MAJOR SITE PLAN SOIL EROSION NOTES & DETAILS DWG EDITION 2.0 Preliminary 80% Submittal								
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# COMPOST FILTER SOCK

CFS-01	12"
CFS-02	12"
STOCKPILE	12"

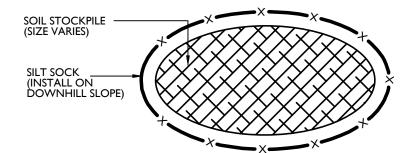


CONCRETE WASHOUT N.T.S.

NOTES:

I. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.

- 2. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
- 3. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- 4. CONTRACTOR SHALL SUBMIT SHOP DRAWING FOR REVIEW PRIOR TO CONSTRUCTION



NOTES:

I. IF A SOIL STOCKPILE IS TO REMAIN FOR A PERIOD GREATER THAN 4 DAYS, STOCKPILE SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS OF TEMPORARY SOIL STABILIZATION. 2. SILT FENCE TO BE INSPECTED FREQUENTLY AND REPAIRED OR

REPLACED AS NECESSARY. SOIL STOCKPILE DETAIL

N.T.S.

Rule of thumb: If you are seeing a lot of bare ground, there is not enough straw. (Caution: Too much straw can be as harmful as too little straw.) **TABLE 11.6** 

FIGURE 11.4

Straw Mulch Applied at 3 Tons/Acre

Mulch Application Rates

		Application Rate (M		
Mulch Type	Per Acre	Per 1,000 sq. ft.	Per 1,000 sq. yd.	Notes
Straw	3 tons	140 lb.	1,240 lb.	Either wheat or oat straw, free of weeds, not chopped or finely broken
Hay	3 tons	140 lb.	1,240 lb.	Timothy, mixed clover and timothy or other native forage grasses
Wood Chips	4 - 6 tons	185 - 275 lb.	1,650 - 2,500 lb.	May prevent germination of grasses and legumes
Hydromulch	1 ton	47 lb.	415	See limitations above

MULCHING APPLICATION:

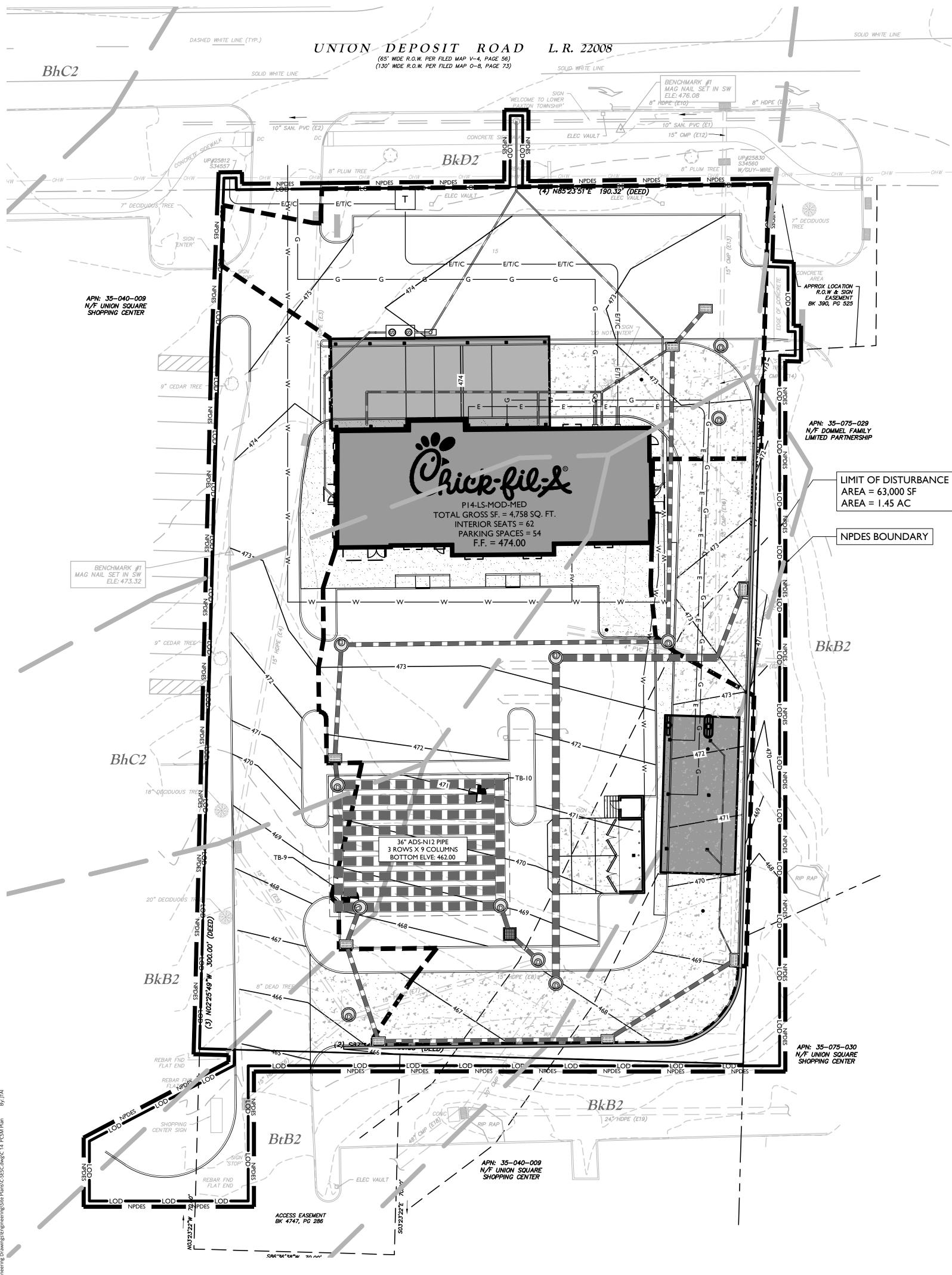
- MULCHES ABSORB RAINFALL IMPACT, INCREASE THE RATE OF INFILTRATION, REDUCE SOIL MOISTURE LOSS DUE TO EVAPORATION, MODERATE SOIL TEMPERATURES, PROVIDE A SUITABLE ENVIRONMENT FOR GERMINATION, AND PROTECT THE SEEDLING FROM INTENSE SUNLIGHT. ALL SEEDED AREAS SHOULD BE MULCHED OR BLANKETED TO MINIMIZE THE POTENTIAL FOR FAILURE TO ESTABLISH AN ADEQUATE VEGETATIVE COVER. MULCHING MAY ALSO BE USED AS A TEMPORARY STABILIZATION OF SOME DISTURBED AREAS IN NON-GERMINATING SEASONS. MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN TABLE 11.6
- STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEIN WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW OR HAY INTO THE SOIL -ABOUT 3 INCHES. THIS METHOD SHOULD BE LIMITED TO SLOPES NO STEEPER THAN 3H: IV. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. NOTE: CRIMPING OF HAY OR STRAW BY RUNNING OVER IT WITH TRACKED MACHINERY IS NOT RECOMMENDED.
- POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH. AVOID APPLICATION DURING RAIN AND ON WINDY DAYS. A 24-HOUR CURING PERIOD AND A SOIL TEMPERATURE HIGHER THAN 45 F ARE TYPICALLY REQUIRED. APPLICATION SHOULD GENERALLY BE HEAVIEST AT EDGES OF SEEDED AREAS AND AT CRESTS OF RIDGES AND BANKS TO PREVENT LOSS BY WIND. THE REMAINDER OF THE AREA SHOULD HAVE BINDER APPLIED UNIFORMLY. BINDERS MAY BE APPLIED AFTER MULCH IS SPREAD OR SPRAYED INTO THE MULCH AS IT IS BEING BLOWN ONTO THE SOIL. APPLYING STRAW AND BINDER TOGETHER IS GENERALLY MORE EFFECTIVE.
- SYNTHETIC BINDERS, OR CHEMICAL BINDERS, MAY BE USED AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH PROVIDED SUFFICIENT DOCUMENTATION IS PROVIDED TO SHOW THEY ARE NON-TOXIC TO NATIVE PLANT AND ANIMAL SPECIES.
- MULCH ON SLOPES OF 8% OR STEEPER SHOULD BE HELD IN PLACE WITH NETTING. LIGHTWEIGHT PLASTIC, FIBER, OR PAPER NETS MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. SHREDDED PAPER HYDROMULCH SHOULD NOT BE USED ON SLOPES STEEPER THAN 5%. WOOD FIBER HYDROMULCH MAY BE APPLIED ON STEEPER SLOPES PROVIDED A TACKIFIER IS USED. THE APPLICATION RATE FOR ANY HYDROMULCH SHOULD BE 2,000 LB/ACRE AT A MINIMUM.



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PARCEL #/APN: 62-040-048-000-0000 SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY PENNSYLVANIA
PRELIMINARY & FINAL MAJOR SITE PLAN
SOIL EROSION NOTES & DETAILS
<ul> <li>DWG EDITION 2.0</li> <li>Preliminary</li> <li>80% Submittal</li> <li>For Construction</li> </ul>
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# NOTES:

- DESIGNATION IS CWF, MF (COLD WATER FISHES, MIGRATORY FISH). THIS
- 2. PROPOSED LIMIT OF DISTURBANCE IS 63,000 SF (1.45 AC.) 3. THERE ARE NO STREAMS, WETLANDS, FLOODWAYS, OR WATERCOURSES
- WITHIN THE PROPOSED DEVELOPMENT AREA. 4. RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER
- FINANCIAL SECURITY.

### PCSM PLAN OBJECTIVES:

- 1. PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF THE
- RECEIVING STREAM. 2. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
- (WEST) GUIDELINES WERE UTILIZED AS DESIGN STANDARD. 3. MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME.
- 4. MINIMIZE IMPERVIOUS AREAS.
- EXISTING VEGETATION. 6. MINIMIZE LAND CLEARING AND GRADING.
- 7. MINIMIZE SOIL COMPACTION. 8. UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT AND
- MINIMIZE CHANGES IN STORMWATER RUNOFF. UNDERGROUND BASIN SEQUENCE OF INSTALLATION
- 1. REMOVE EXISTING ASPHALT AND STONE BASE. 2. EXCAVATE TO DESIGN STONE BASE ELEVATION. SCARIFY COMPACTED SOIL AND PLACE 6" STONE BASE.

# SITE INSPECTION OF THE SUBGRADE PREPARATION.)

- 3. INSTALL ADS N-12 UNDERGROUND BASIN SYSTEM.
- PLACE 12" STONE COVER AND BACKFILL WITH SOIL TO DESIGN SUBGRADE
- ELEVATION FOR THE PARKING LOT. 5. COMPLETE WITH SUBBASE AND PAVEMENT FOR THE PARKING LOT AREA.

# UNDERGROUND BASIN MAINTENANCE PROGRAM:

1. MAINTAINED BY: PROPERTY OWNER 2. UNDERGROUND BASIN WILL BE INSPECTED FOR ANY DEBRIS AND SETTLEMENT TWICE A YEAR. PERFORM ANY NECESSARY MAINTENANCE. ALL TRASH/DEBRIS/SETTLEMENT SHALL BE DISPOSED OF PROPERLY.

## STORMWATER MANAGEMENT

# PROPOSED UNDERGROUND BASIN ADDITION - 9 ROWS OF 60 FT OPEN 36" PIPE

- PURPOSE: REDUCE RUNOFF VOLUME AND PEAK RATE DISCHARGE • SURFACE AREA: 3,090 SF
- BOTTOM ELEVATION: 462.00' • TOP ELEVATION: 466.50'
- DEPTH: 4.5' • STRUCTURAL STORAGE VOLUME PROVIDED: 3,423 CF

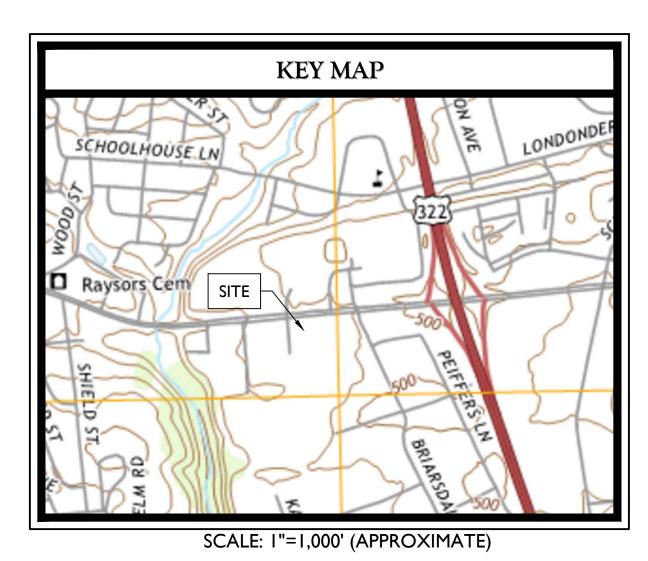
# DRAINAGE INFORMATION

PRE-DEVELOPMENT CONDITION • IMPERVIOUS AREA = 35,074 SF / 0.81 AC • MEADOW (SOIL B) = 18,701 SF / 0.43 AC • MEADOW (SOIL C) = 3,920 SF / 0.09 AC

# POST DEVELOPMENT CONDITION

- 1. DRAINAGE AREA TO BASIN • IMPERVIOUS AREA = 38,275 SF / 0.88 AC • LAWN AREA (SOIL B) = 2,659 SF / 0.06 AC • LAWN AREA (SOIL C) = 608 SF / 0.01 AC • DRAINAGE AREA 2-YEAR RUNOFF VOLUME = 7,710 CF
- 2. DRAINAGE AREA TO BASIN • IMPERVIOUS AREA = 11,362 SF / 0.26 AC • LAWN AREA (SOIL B) = 4,091 SF / 0.09 AC • LAWN AREA (SOIL C) = 700 SF / 0.02 AC





1. THE RECEIVING STREAM IS TRIB 10129 TO SPRING CREEK WATERSHED. USE STREAM IS LOCATED APPROXIMATELY 5,660 FT EAST OF THE PROJECT SITE.

MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF

a. DAUPHIN COUNTY ACT 167 RELEASE RATE DISTRICT II FOR SPRING CREEK

5. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND

(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A

(CRITICAL STAGE: CONTRACTOR TO CONTACT DESIGN ENGINEER FOR A SITE INSPECTION OF THE UNDERGROUND BASIN SYSTEM INSTALLATION.)

# PCSM LEGEND PROPOSED LIMIT OF DISTURBANCE PROPOSED BMP DRAINAGE AREA Ð INFILTRATION TEST BORE LOCATION NPDES BOUNDARY\* NPDES

\*NPDES BOUNDARY IS THE SAME BOUNDARY AS THE LIMIT OF DISTURBANCE. IT IS SHOWN OFFSET FOR CLARITY PURPOSE. SOIL USE LIMITATIONS AND RESOLUTIONS:

BASED ON THE WEB SOIL REPORT OF DAUPHIN COUNTY, THE EXISTING SOIL CLASSIFICATION WITHIN THE PROJECT AREA AREA LISTED BELOW. BtB2 IS LISTED AS HYDRIC SOIL. THE SOIL USE LIMITATIONS FOR THE SITE ARE LISTED BELOW. WHEN ISSUES OCCUR DURING CONSTRUCTION, USE BELOW RESOLUTIONS OR CONSULTANT WITH THE ENGINEERS.

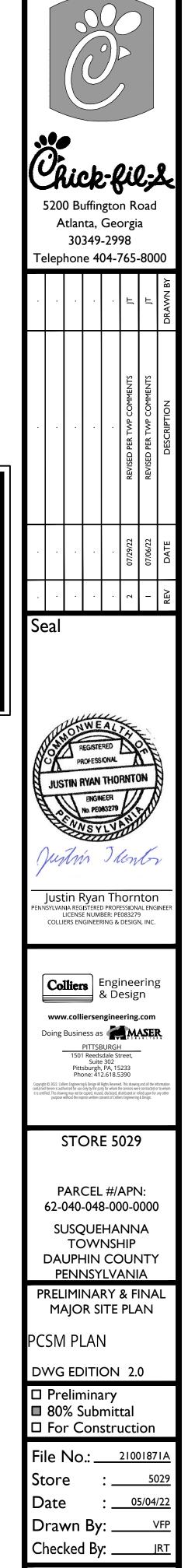
BhC2 (BERKS CHANNERY SILT LOAM, 8 TO 15 PERCENT SLOPES) - SOIL GROUP B BkB2 (BERKS SHALY SILT LOAM, 3 TO 8 PERCENT SLOPES) - SOIL GROUP B BkD2 (BERKS CHANNERY SILT LOAM, 15 TO 25 PERCENT SLOPES) - SOIL GROUP | BtB2 (BRINKERTON AND ARMAGH SILT LOAMS, 3 TO 8 PERCENT SLOPES MODERATELY ERODED) - SOIL GROUP C

SOIL USE LIMITATIONS: 1. CUTBANKS CAVE

2. CORROSIVE TO CONCRETE AND STEEL

- 3. DROUGHTY 4. EASILY ERODIBLE
- 5. DEPTH TO SATURATED ZONE 6. HYDRIC/HYDRIC INCLUSIONS
- 7. LOW STRENGTH/LANDSLIDE PRONE
- 8. SLOW PERCOLATION 9. PIPING
- 10. POOR SOURCE OF TOPSOIL
- 11. FROST ACTION 12. POTENTIAL SINKHOLE 13. WETNESS

- RESOLUTION: 1. CUTBANKS CAVE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA
- STANDARDS. 2. CORROSIVE TO CONCRETE/STEEL: CORROSIVE RESISTANT MATERIALS WILL BE USED OR CORROSIVE RESISTANT PRODUCTS WILL BE APPLIED TO THE SURFACE OF STEEL/CONCRETE FEATURES THAT CONTACT THE SOIL.
- 3. DROUGHTY: COMPOST WILL BE ADDED TO IMPROVE EXISTING SOIL CONDITIONS IF
- NECESSARY. 4. EASILY ERODIBLE: DISTURBED AREAS WILL BE STABILIZED IMMEDIATELY WITH
- TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS. 5. DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE: FILTER BAGS WILL BE USED IF WATER IS ENCOUNTERED DURING CONSTRUCTION.
- 6. HYDRIC/HYDRIC INCLUSIONS: HYDRIC SOILS ARE NOT EXPECTED ON THIS SITE. 7. LOW STRENGTH/LANDSLIDE PRONE: EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA STANDARDS, AND DISTURBED AREAS WILL BE STABILIZED WITH
- TEMPORARY/PERMANENT VEGETATION AND EROSION CONTROL BLANKETS. 8. SLOW PERCOLATION: NO INFILTRATION IS PROPOSED. 9. PIPING: ALL PIPE EXCAVATIONS WILL BE SHORED IN ACCORDANCE WITH OSHA
- STANDARDS. 10. POOR SOURCE OF TOPSOIL: ADD COMPOST TO IMPROVE SOIL CONDITION. USE SOILS
- FROM TOPSOIL STOCKPILES. IF NECESSARY, IMPORT TOPSOIL.
- 11. FROST ACTION: ALL PIPING WILL BE INSTALLED BELOW FROST LINE. 12. POTENTIAL SINKHOLE: MAINTAIN SEPARATION FROM INFILTRATION OF STORMWATER.
- MITIGATE POTENTIAL VOIDS DURING CONSTRUCTION.
- 13. WETNESS: CONSULT ENGINEERS WHEN ENCOUNTER DURING CONSTRUCTION.

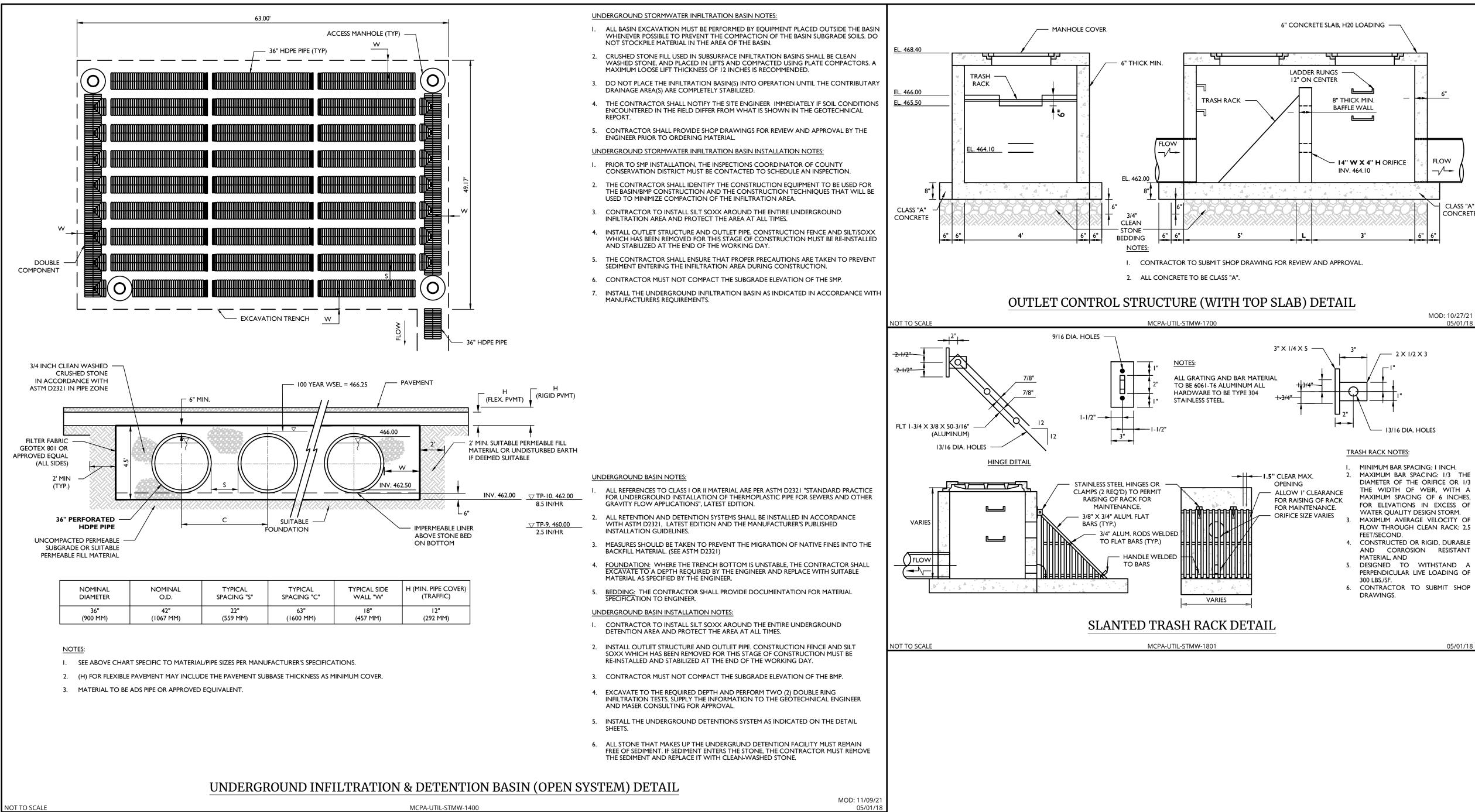


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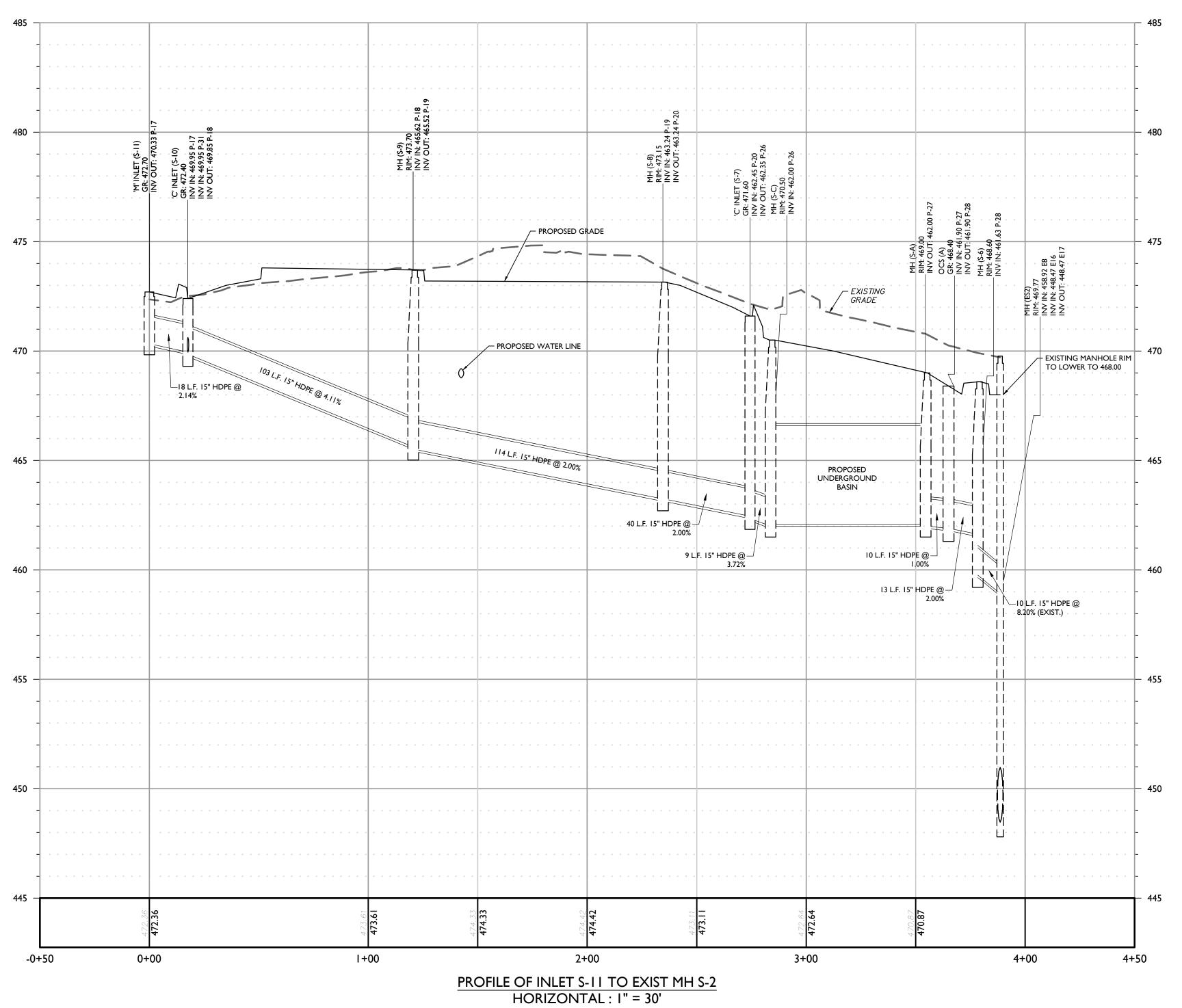
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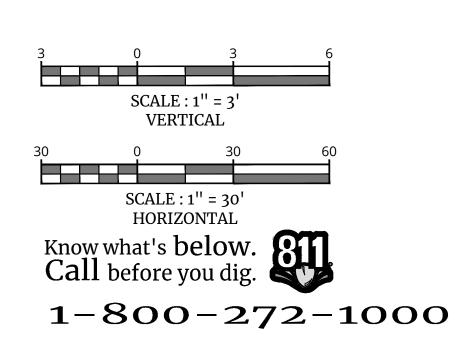
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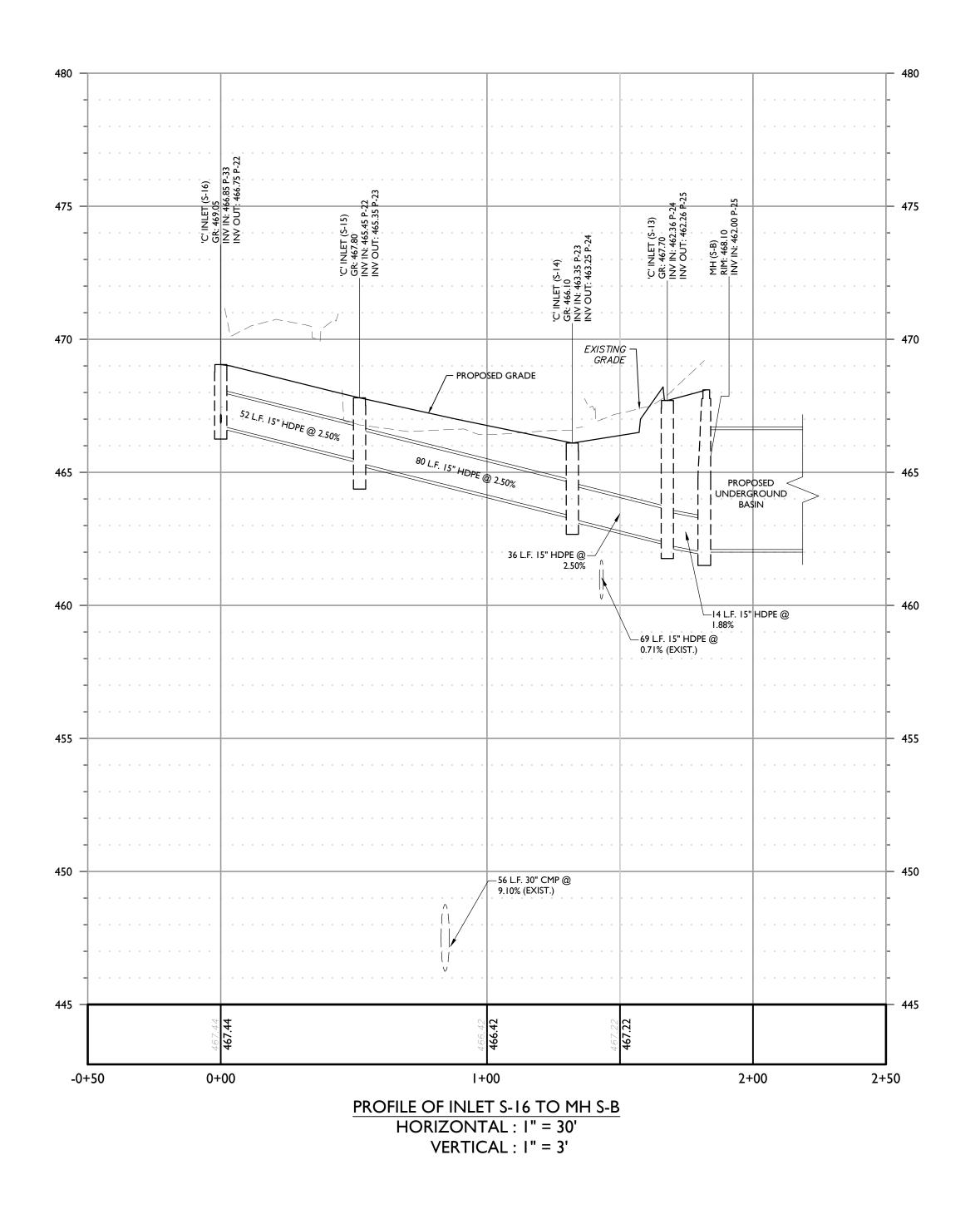
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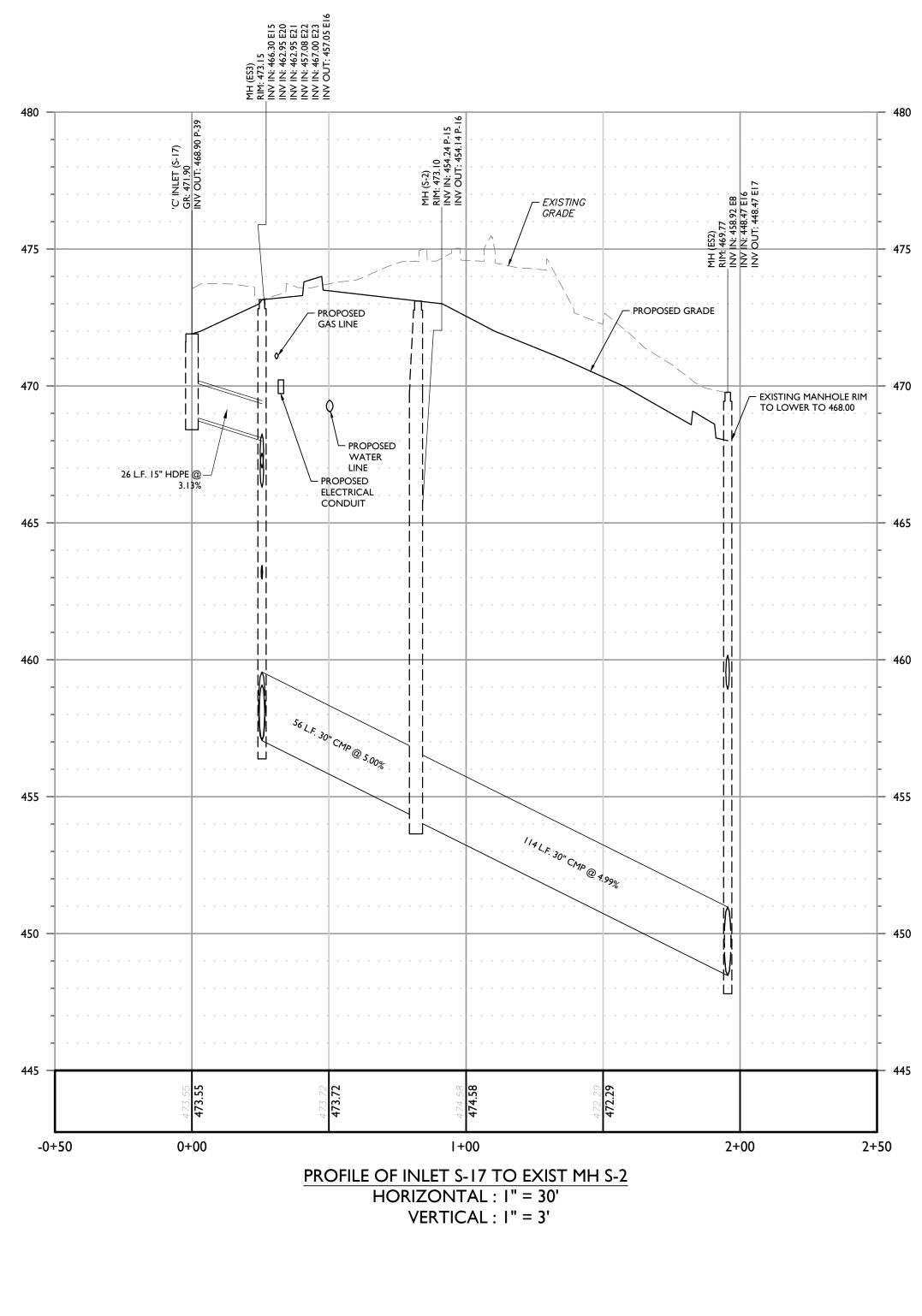


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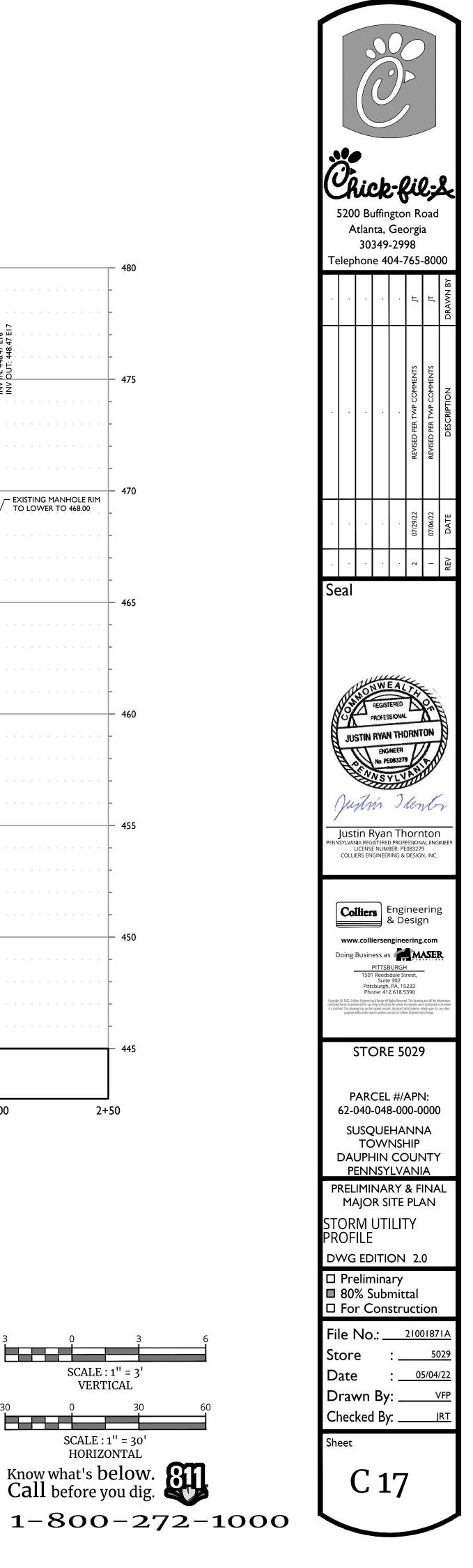


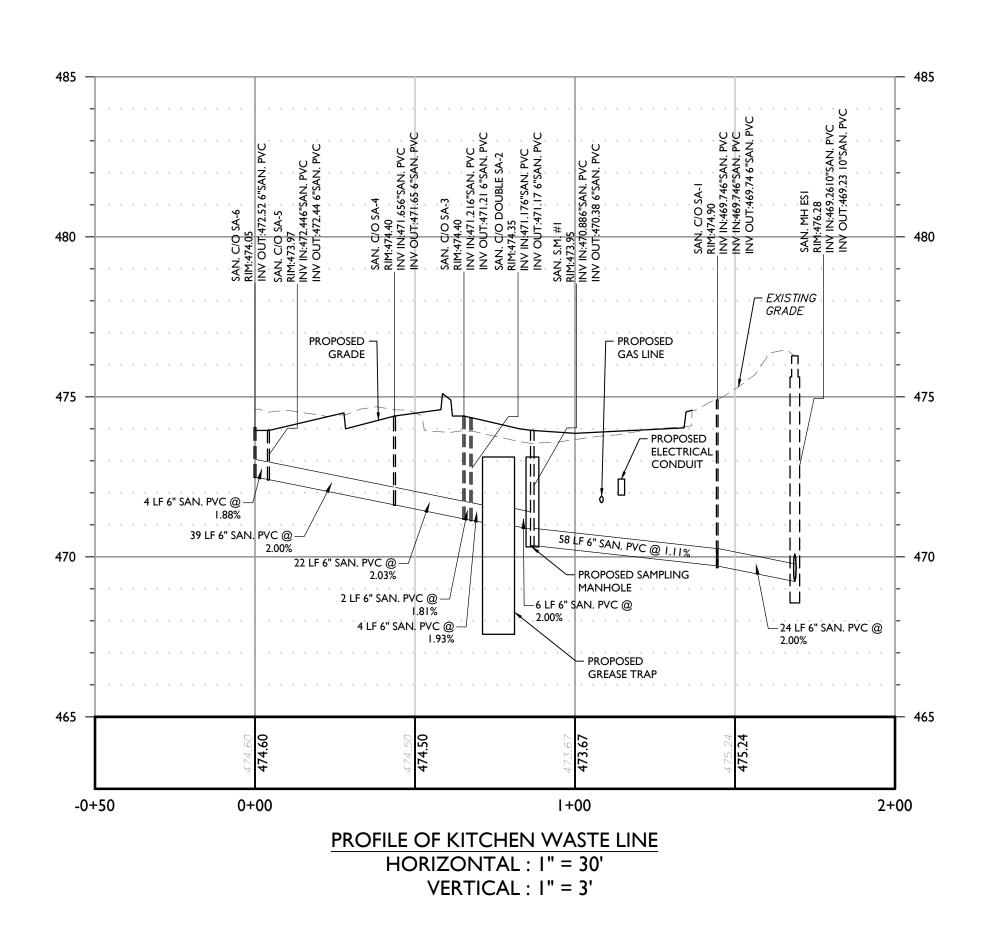


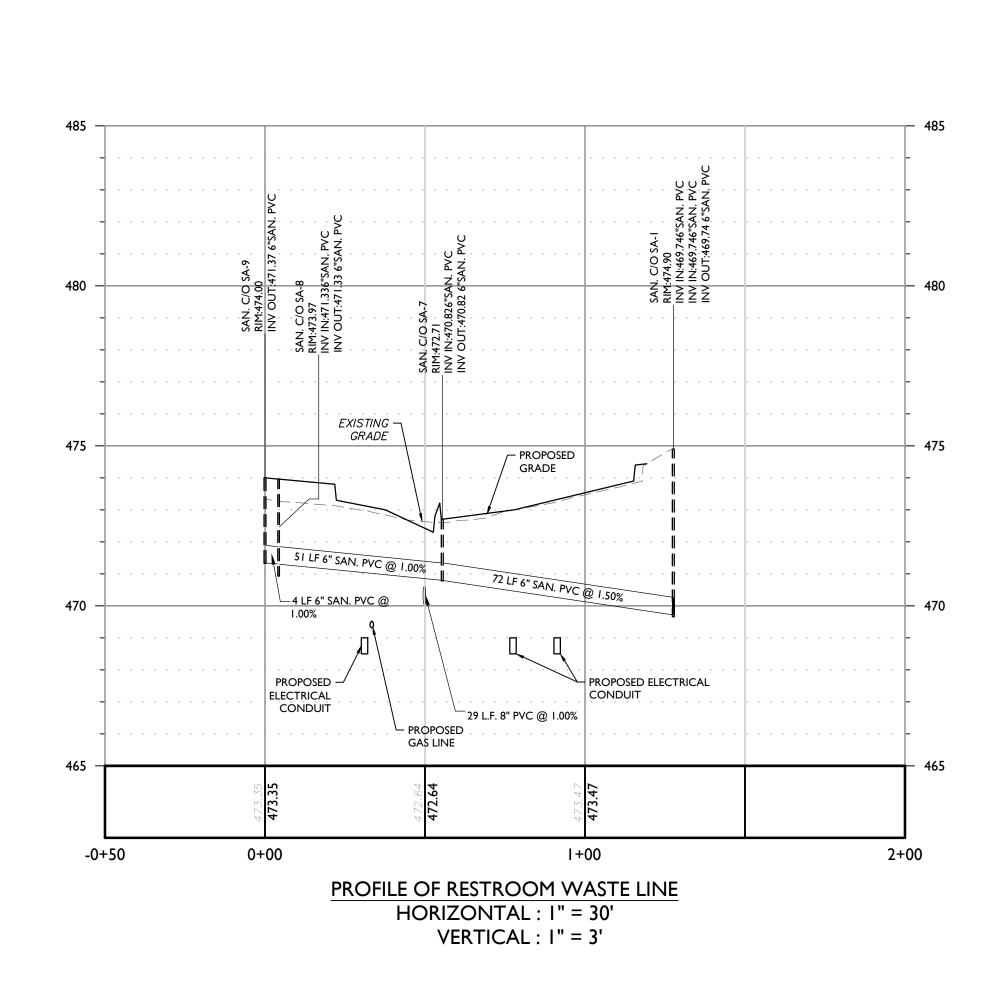
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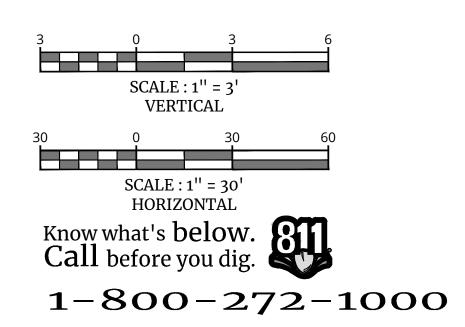
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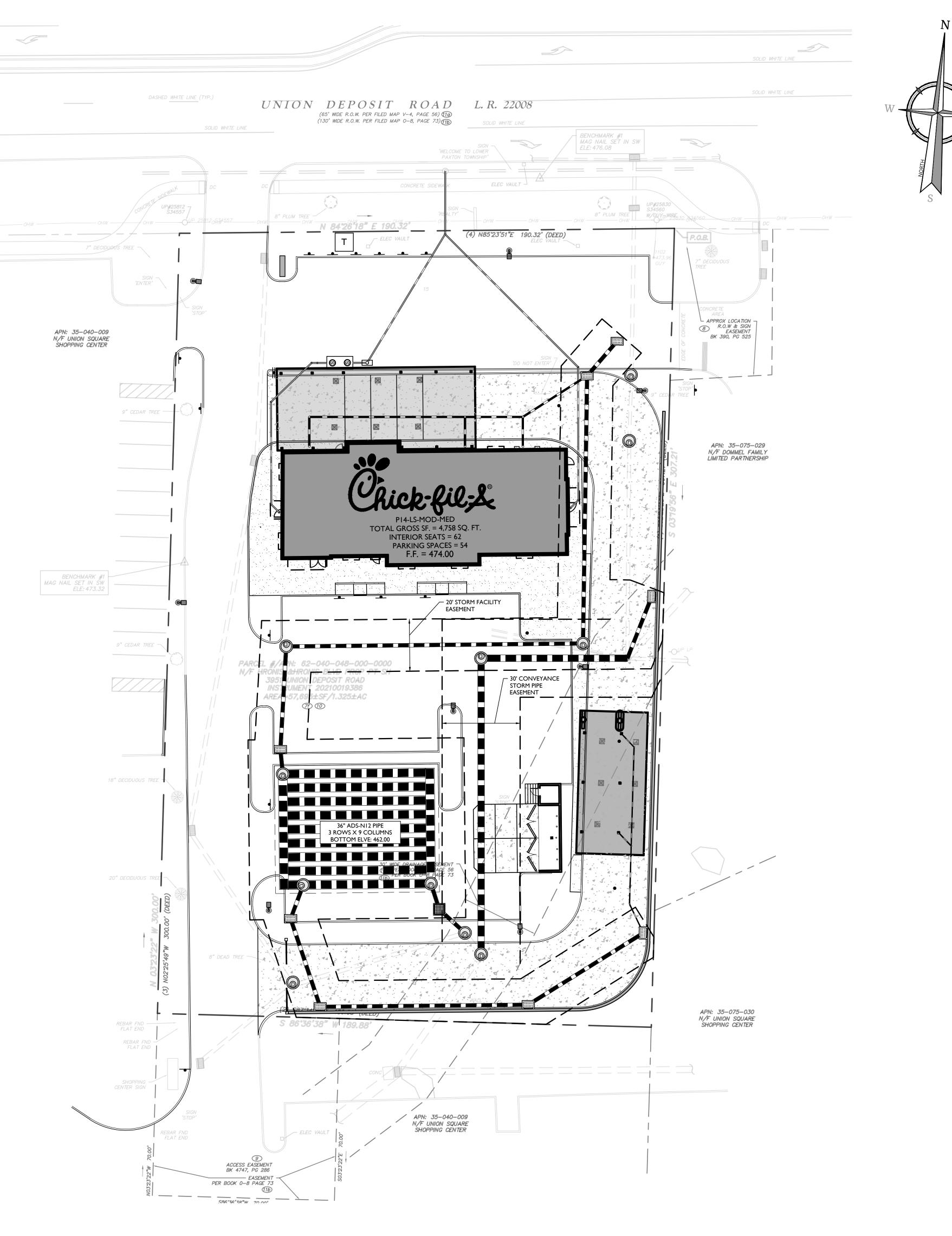






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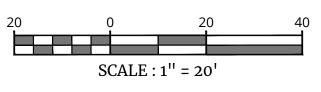
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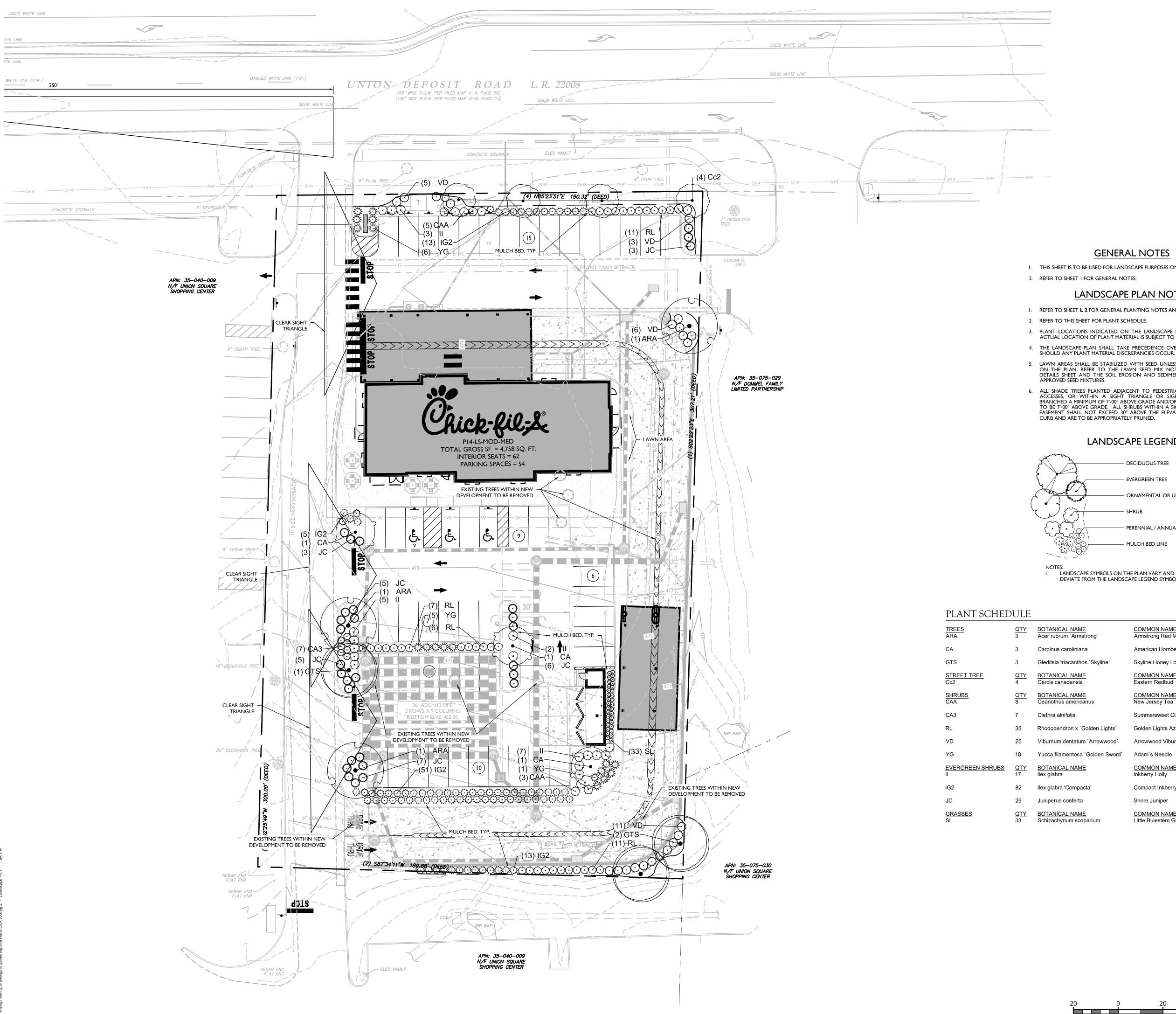
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# **GENERAL NOTES**

I. THIS SHEET IS TO BE USED FOR LANDSCAPE PURPOSES ONLY. 2. REFER TO SHEET I FOR GENERAL NOTES.

# LANDSCAPE PLAN NOTES

I. REFER TO SHEET L 2 FOR GENERAL PLANTING NOTES AND LANDSCAPE DETAILS. 2. REFER TO THIS SHEET FOR PLANT SCHEDULE.

3. PLANT LOCATIONS INDICATED ON THE LANDSCAPE PLAN ARE APPROXIMATE; ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO SITE CONDITIONS. 4. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE

LAWN AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE PLAN. REFER TO THE LAWN SEED MIX NOTES ON THE LANDSCAPE DETAILS SHEET AND THE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR APPROVED SEED MIXTURES.

6. ALL SHADE TREES PLANTED ADJACENT TO PEDESTRIAN WALKWAYS, VEHICLE ACCESSES, OR WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL BE BRANCHED A MINIMUM OF 7'-00" ABOVE GRADE AND/OR APPROPRIATELY PRUNED TO BE 7'-00" ABOVE GRADE. ALL SHRUBS WITHIN A SIGHT TRIANGLE OR SIGHT EASEMENT SHALL NOT EXCEED 30" ABOVE THE ELEVATION OF THE ADJACENT CURB AND ARE TO BE APPROPRIATELY PRUNED.

# LANDSCAPE LEGEND

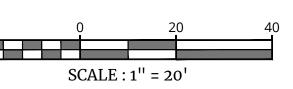
	- DECIDUOUS TREE
and the second s	- EVERGREEN TREE
Interim to	- ORNAMENTAL OR UNDERSTORY TREE
/	- SHRUB
$\frac{1}{2}$	- PERENNIAL / ANNUAL / ORNAMENTAL GRASS
	- MULCH BED LINE

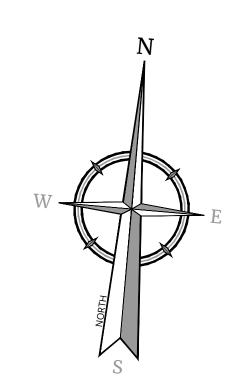
I. LANDSCAPE SYMBOLS ON THE PLAN VARY AND MAY DEVIATE FROM THE LANDSCAPE LEGEND SYMBOLS SHOWN ABOVE.

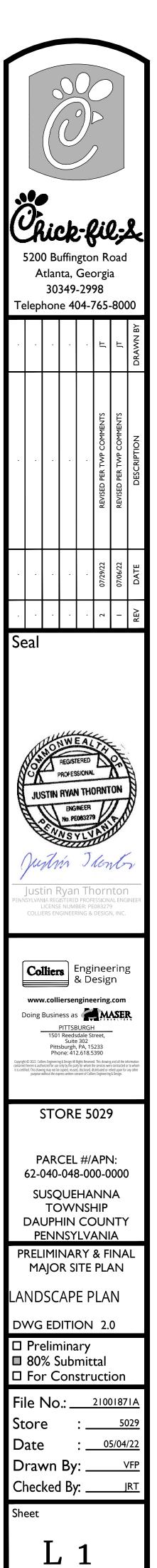
<u>AME</u> rmstrong`	<u>COMMON NAME</u> Armstrong Red Maple	CONT B & B	<u>SIZE</u> 2.5-3"Cal	<u>HEIGHT</u> 12-15` H	REMARKS
niana	American Hornbeam	B & B	2.5-3"Cal	12-15` H	Fall Digging Hazard
nthos `Skyline`	Skyline Honey Locust	B & B	2.5" - 3" Cal.	12-15` H	
AME sis	COMMON NAME Eastern Redbud	CONT B & B	<u>SIZE</u> 2.5" - 3" Cal.	HEIGHT	REMARKS
AME ericanus	COMMON NAME New Jersey Tea	<u>CONT</u> 5 gal	SIZE	<u>HEIGHT</u> 24" - 30" Ht.	REMARKS
	Summersweet Clethra	5 gal		24" - 30" Ht.	
x `Golden Lights`	Golden Lights Azalea	5 gal		24" - 30" Ht.	
atum `Arrowwood`	Arrowwood Viburnum	7 gal		30" - 36" Ht.	
osa `Golden Sword`	Adam`s Needle	3 gal		15" - 18" Ht.	
<u>AME</u>	COMMON NAME Inkberry Holly	<u>CONT</u> 5 gal	<u>SIZE</u> 24-30"	HEIGHT	REMARKS
npacta'	Compact Inkberry Holly	5 gal	24-30"		
erta	Shore Juniper	3 gal	15-18"		
<u>AME</u> scoparium	<u>COMMON NAME</u> Little Bluestem Grass	<u>CONT</u> 5 gal	SIZE	<u>HEIGHT</u>	REMARKS

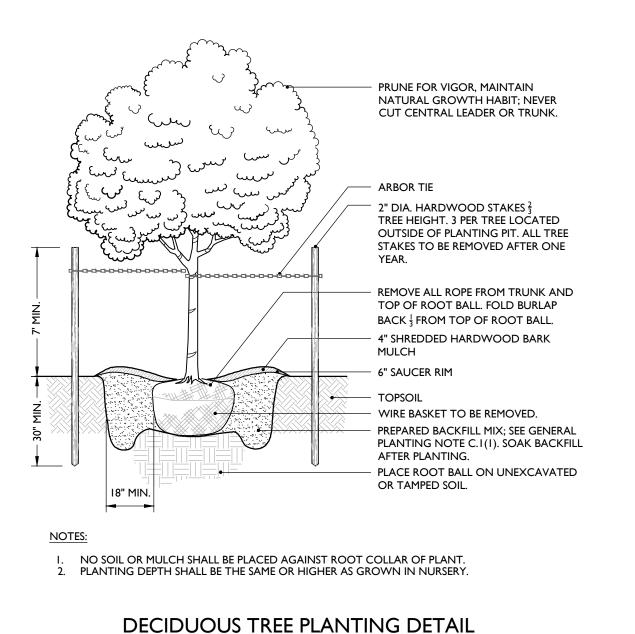
Know what's below. **Call** before you dig.

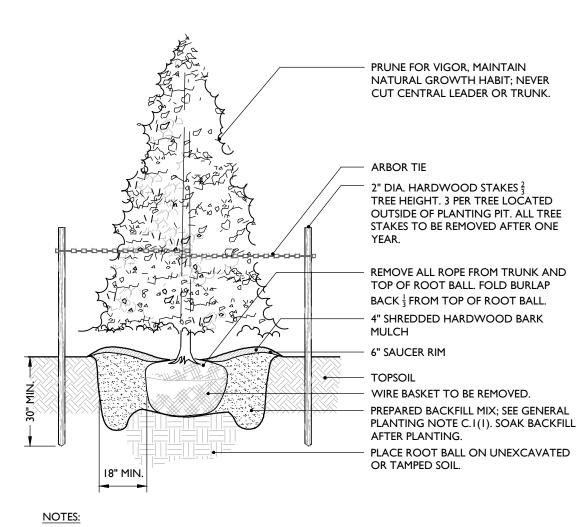
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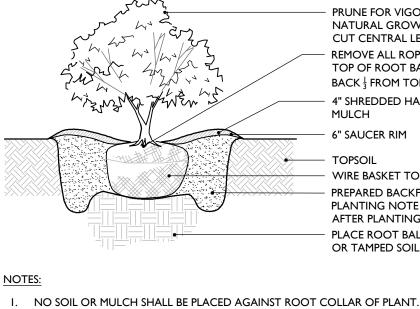


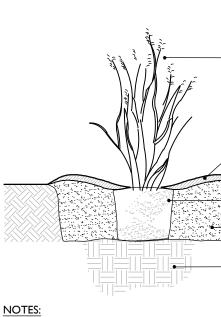




NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT. 2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

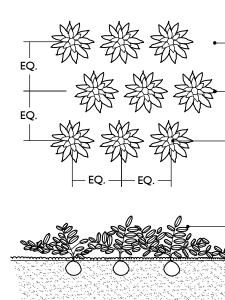
EVERGREEN TREE PLANTING DETAIL











NOTES:

CUT CENTRAL LEADER OR TRUNK. REMOVE ALL ROPE FROM TRUNK AND TOP OF ROOT BALL. FOLD BURLAP BACK  $\frac{1}{3}$  FROM TOP OF ROOT BALL. 4" SHREDDED HARDWOOD BARK MULCH

NATURAL GROWTH HABIT; NEVER

PRUNE FOR VIGOR, MAINTAIN

- 6" SAUCER RIM WIRE BASKET TO BE REMOVED. PREPARED BACKFILL MIX; SEE GENERAL PLANTING NOTE C.I(I). SOAK BACKFILL AFTER PLANTING. PLACE ROOT BALL ON UNEXCAVATED

OR TAMPED SOIL.

# 2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

# SHRUB PLANTING DETAIL

- DO NOT CUT GRASSES IN FALL.

4" SHREDDED HARDWOOD BARK MULCH - 6" SAUCER RIM - TOPSOIL - REMOVE CONTAINER AND LOOSEN ROOTS BY SCORING OR PULLING. PREPARED BACKFILL MIX; SEE GENERAL PLANTING NOTE C.I(I). SOAK BACKFILL AFTER PLANTING.

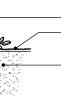
PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

ORNAMENTAL GRASS PLANTING DETAIL

TYPICAL SPACING, SPACING DISTANCE AS SHOWN ON PLAN OR SPECIFIED IN PLANT SCHEDULE. PLANT ROW

PLANT CENTER



GROUNDCOVER/PERENNIAL 4" SHREDDED HARDWOOD BARK MULCH PLANTING MEDIUM

I. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

# **GROUNDCOVER/PERENNIAL PLANTING DETAIL**

A. GENERAL

- THIS PLAN SHALL BE USED FOR LANDSCAPE PLANTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANTING INSTALLATION. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES MARKOUTS AND COMPLIANCE WITH ALL FEDERAL, STATE, OR
- LOCAL CODES, LAWFUL ORDERS OR REGULATIONS GOVERNING UPON THIS WORK. 3. OWNER OR HIS/HER REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO BEGINNING PLANTING OPERATIONS.

## **B. PLANT MATERIAL**

- I. PLANT MATERIAL
- I.I. PLANT MATERIAL SHALL CONFORM WITH THE ANSI Z60.1-2014 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY AMERICANHORT IN REGARD TO QUALITY, SIZE OF PLANTING, SPREAD OF ROOTS, SIZE OF ROOTBALL, AND BRANCHING PATTERN.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, 1.2. DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS, AND FREE FROM DEFECTS, INJURY, DISEASE, AND/OR INFESTATION, WITH ROOT BALLS INTACT.
- ALL PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AT THE NURSERY. THE PLANT MATERIAL SHALL 1.3. BE PLANTED AT THE SAME LEVEL WHEN PLANTED.
- 1.4. PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY TO THE SITE. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PROTECT THE PLANT MATERIAL FROM DAMAGE PRIOR TO INSTALLATION.
- 1.5. THE LANDSCAPE ARCHITECT OR OWNER SHALL HAVE THE RIGHT, AT ANY STAGE OF THE OPERATION, TO REJECT ANY AND ALL PLANT MATERIAL WHICH IN THEIR OPINION DOES NOT MEET THE REQUIREMENTS OF THESE PLANS.
- PLANT QUANTITIES: THE LANDSCAPE PLAN SHOULD TAKE PRECEDENCE OVER THE PLANT SCHEDULE IF ANY PLANT DISCREPANCIES OCCUR.
- PLANT SIZE: THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN THE CALIPER, HEIGHT, SIZE OR SPREAD INDICATED IN THE PLANT SCHEDULE.
- SUBSTITUTIONS: NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES, OR VARIETY WITHOUT WRITTEN PERMISSIONS OF THE MUNICIPALITY, LANDSCAPE ARCHITECT, OR OWNER. WRITTEN PROOF OF THE PLANT MATERIAL UNAVAILABILITY MUST BY DOCUMENTED BY THE CONTRACTOR.
- GUARANTEE: PLANT MATERIAL SHALL BE GUARANTEED FOR **ONE (I) YEAR** AFTER THE DATE OF FINAL ACCEPTANCE. ANY PLANT MATERIAL THAT IS DEAD WITHIN THAT TIME PERIOD SHALL BE REMOVED, INCLUDING STUMP, AND REPLACED WITH A SIMILAR SIZE AND SPECIES AT THE EXPENSE OF THE CONTRACTOR WITHIN ONE YEAR OR ONE GROWING SEASON. TREE STAKES AND ARBOR TIES SHALL BE REMOVED AT THE END OF THE GUARANTEE PERIOD.

C. TOPSOIL REQUIREMENTS:

- TOPSOIL REQUIREMENTS: SEE NJDOT SECTION 917 FOR REFERENCE AND SOIL ADDITIVES.
- UNACCEPTABLE TOPSOIL SOURCES: DO NOT OBTAIN TOPSOIL FROM THE FOLLOWING SOURCES: AREAS CONTAINING 1.1. CHEMICALLY CONTAMINATED SOILS. AREAS FROM WHICH THE ORIGINAL SURFACE HAS BEEN STRIPPED OR COVERED OVER, such as borrow pits, open mines, demolition sites, dumps, landfills. No topsoil from wet excavation or ACID PRODUCING SOILS.
- TOPSOIL SHALL BE UNIFORM QUALITY, FREE FROM HARD CLODS, STIFF CLAY, HARD PAN, SODS, LARGE STONE, CEMENT, 1.2. ASH. SLAG, CONCRETE, TAR, BOARDS, CHIPS, MULCH, OR ANY OTHER UNDESIRABLE MATERIALS. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION.
- TOPSOIL PH REQUIREMENTS ARE AS FOLLOWS: PH < 4.1 TOPSOIL IS UNACCEPTABLE. 4.1 ≤ PH < 5.8 ADD PULVERIZED LIME TO 1.3. INCREASE THE PH TO 6.5 BEFORE USE. 5.8 ≤ PH < 7.0 TOPSOIL IS ACCEPTABLE. NO REMEDIATION NEEDED. 7.0 ≤ PH < 7.2 DECREASE PH TO AT LEAST 6.8 BEFORE USE. PH ≥ 7.2 TOPSOIL IS UNACCEPTABLE.
- ORGANIC CONTENT. ENSURE THAT TOPSOIL HAS A MINIMUM ORGANIC CONTENT OF 2.75% BY WEIGHT. IF THE ORGANIC 1.4. CONTENT IS LESS THAN 2.75%, INCREASE THE ORGANIC CONTENT BY ADDING SOIL ADDITIVES AT A RATE NECESSARY TO ATTAIN THE MINIMUM ORGANIC CONTENT. THE ORGANIC CONTENT SHALL NOT EXCEED 8% BY WEIGHT AND SHALL BE SAMPLED IN ACCORDANCE WITH THE ASSOCIATION OF AGRICULTURAL CHEMISTS.
- GRADATION/PARTICLE SIZE. PROVIDE TOPSOIL CONFORMING TO THE PARTICLE SIZE REQUIREMENTS IN TABLE 917.01-2 1.5. AND THAT HAS NO MORE THAN 20 PERCENT RETAINED ON A NO. 10 SIEVE WHEN MECHANICALLY GRADED. THE DEPARTMENT WILL DETERMINE THE PARTICLE SIZE DISTRIBUTION FOR THE PORTION OF THE TOPSOIL PASSING THE NO. 10 SIEVE USING HYDROMETER ANALYSIS ACCORDING TO AASHTO T 88. SAND (2.0 MM TO 0.05 MM) 40 - 80% COMPOSITION. SILT (0.05 MM TO 0.005 MM) 0 - 30% COMPOSITION. CLAY (0.005 MM AND SMALLER) 10 - 30% COMPOSITION.
- PREPARATION OF SUBGRADE:
- HOLLOWS, DEPRESSIONS, AND GULLIES SHALL BE FILLED WITH ACCEPTABLE SANDY LOAM AS OUTLINED ABOVE OR SOIL AS 2.1. DESCRIBED HEREON: SOIL TO BE ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL
- 2.2. LOOSEN SUBSOIL BY SCARIFYING, RIPPING OR TILLING USING DISKS, HARROWS OR OTHER SUITABLE EQUIPMENT TO A DEPTH OF 4"-6" IMMEDIATELY BEFORE PLACING ANY TOPSOIL. REPEAT IN AREAS WHERE SEED OR PLANTINGS ARE PROPOSED AND THERE HAS BEEN COMPACTED SOIL.
- 3. TESTING AND APPROVAL OF SOILS:
- THE CONTRACTOR SHALL SUBMIT A CERTIFIED REPORT SHOWING THE ANALYSIS OF REPRESENTATIVE SAMPLES OF 3.1. TOPSOIL. TESTING SHALL BE PERFORMED BY RUTGERS COOPERATIVE RESEARCH & EXTENSION TESTING LABORATORIES OR EQUIVALENT AS APPROVED BY STATE AND LOCAL REGULATIONS. PRICE BID SHALL INCLUDE ALL INSPECTION AND LABORATORY FEES.

LAND-GENL-PLNT-NOTE

10/14/2021

# D. PLANTING PROCEDURES

I. PLANTING BEDS:

4. PLANTING METHODS:

- 1.1. PROVIDE PLANTING PITS AS INDICATED ON PLANTING DETAILS. BACKFILL PLANTING PITS WITH SOILS AS OUTLINED IN SECTION C PRIOR. BACKFILL SOIL TO BE AT MINIMUM ONE PART EACH OF TOPSOIL, MOISTENED PEAT MOSS, AND PARENT MATERIAL.
- 1.2. PLANTING BEDS SHALL RECEIVE FOUR (4) INCHES OF DOUBLE SHREDDED HARDWOOD MULCH AND TREATED WITH A PRE-EMERGENT HERBICIDE. NO MULCH SHALL COME IN DIRECT CONTACT WITH ROOT FLARE/COLLAR; UNDER NO CIRCUMSTANCES SHALL THE ROOT CROWN BE BURIED. 1.3. SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS.
- PLANT LOCATIONS: THE LOCATION OF ALL PLANT MATERIAL INDICATED ON THE LANDSCAPE PLANS ARE APPROXIMATE. THE FINAL LOCATION OF ALL PLANT MATERIAL AND PLANTING BEDLINES SHALL BE DETERMINED IN THE FIELD AT THE TIME OF INSTALLATION FOLLOWING THE BASIC INTENT OF THE APPROVED PLANS, UNLESS THERE IS A SPECIFIC DIMENSION OR LOCATION SHOWN.
- PLANTING DATES: PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICES. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 15 AND SEPT 15 THROUGH NOV 15. PLANTING IS ACCEPTABLE DURING THE WINTER MONTHS IF WEATHER PERMITS AND THE GROUND IS NOT FROZEN, AND IN THE SUMMER IF SUPPLEMENTAL WATERING IS PROVIDED. SOIL MUST BE FROST FREE, FRIABLE, AND NOT MUDDY AT TIME OF PLANTING.
- 4.1. LOCAL ORDINANCETREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED, AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS.
- STAKES SHALL BE EIGHT TO TEN FEET LONG, OF SOUND, DURABLE UNFINISHED LUMBER CAPABLE OF WITHSTANDING 4.1.1. ABOVEGROUND AND UNDERGROUND CONDITIONS DURING THE PERIOD OF GUARANTEE WITH TOP AND BOTTOM DIMENSIONS OF TWO INCHES BY TWO INCHES IN DIAMETER
- 4.1.2. THREE STAKES SHALL BE EQUALLY SPACED ABOUT THE TREE IN A TRIANGULAR FASHION AND SHALL BE DRIVEN VERTICALLY INTO THE GROUND 2  $\frac{1}{2}$  TO 3 FEET IN A MANNER THAT DOES NOT INJURE THE ROOT BALL.
- 4.1.3. TREES SHALL BE FASTENED TO EACH STAKE AT A HEIGHT OF FIVE FEET BY MEANS OF ARBOR TIE TREE TIE  $\left(\frac{7}{16}\right)$  WIDE RECOMMENDED FOR TREES UP TO  $2\frac{1}{2}$  INCHES IN CALIPER). 4.2. SET PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT AFTER SETTLEMENT A NORMAL OR NATURAL RELATIONSHIP
- TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANTS IN CENTER OF PIT.
- AT TIME OF INSTALLATION, THE CONTRACTOR SHALL WATER NEWLY INSTALLED PLANT MATERIAL. THE CONTRACTOR 4.3. SHALL PROVIDE REGULAR WATERING TO ENSURE THE ESTABLISHMENT, GROWTH, AND SURVIVAL OF ALL PLANTS. 4.4. B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOTBALL ONLY. PLANTS WITH BROKEN, SPLIT, OR DAMAGED ROOTBALLS SHALL BE REJECTED.
- 4.5. CORD BINDING OF ALL B&B PLANTS SHALL BE CUT AND REMOVED, ALONG WITH THE BURLAP OF THE UPPER 1/3 OF THE ROOT BALL. ALL WIRE BASKETS ARE TO BE REMOVED PRIOR TO BACKFILLING PLANTING PIT.

### E. MAINTENANCE PRUNING:

- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH AMERICAN STANDARD FOR NURSERY STOCK TO 1.1. PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN OR BADLY BRUISED BRANCHES SHALL BE REMOVED. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- SHADE TREES PLANTED NEAR PEDESTRIAN OR VEHICULAR ACCESS SHOULD NOT BE BRANCHED LOWER THAN 7'-0" ABOVE 1.2. GRADE. PLANT MATERIAL LOCATED WITHIN SIGHT TRIANGLE EASEMENTS SHALL NOT EXCEED A MATURE HEIGHT OF 30" ABOVE THE ELEVATION OF THE ADJACENT CURB. STREET TREES PLANTED IN SIGHT TRIANGLE EASEMENTS SHALL BE PRUNED TO NOT TO HAVE BRANCHES BELOW 7'-0".
- 1.3. THE CENTRAL LEADER SHALL NOT BE CUT OR DAMAGED.

## 2. LAWN AREAS:

DAMAGED, OR DISEASED BRANCHES.

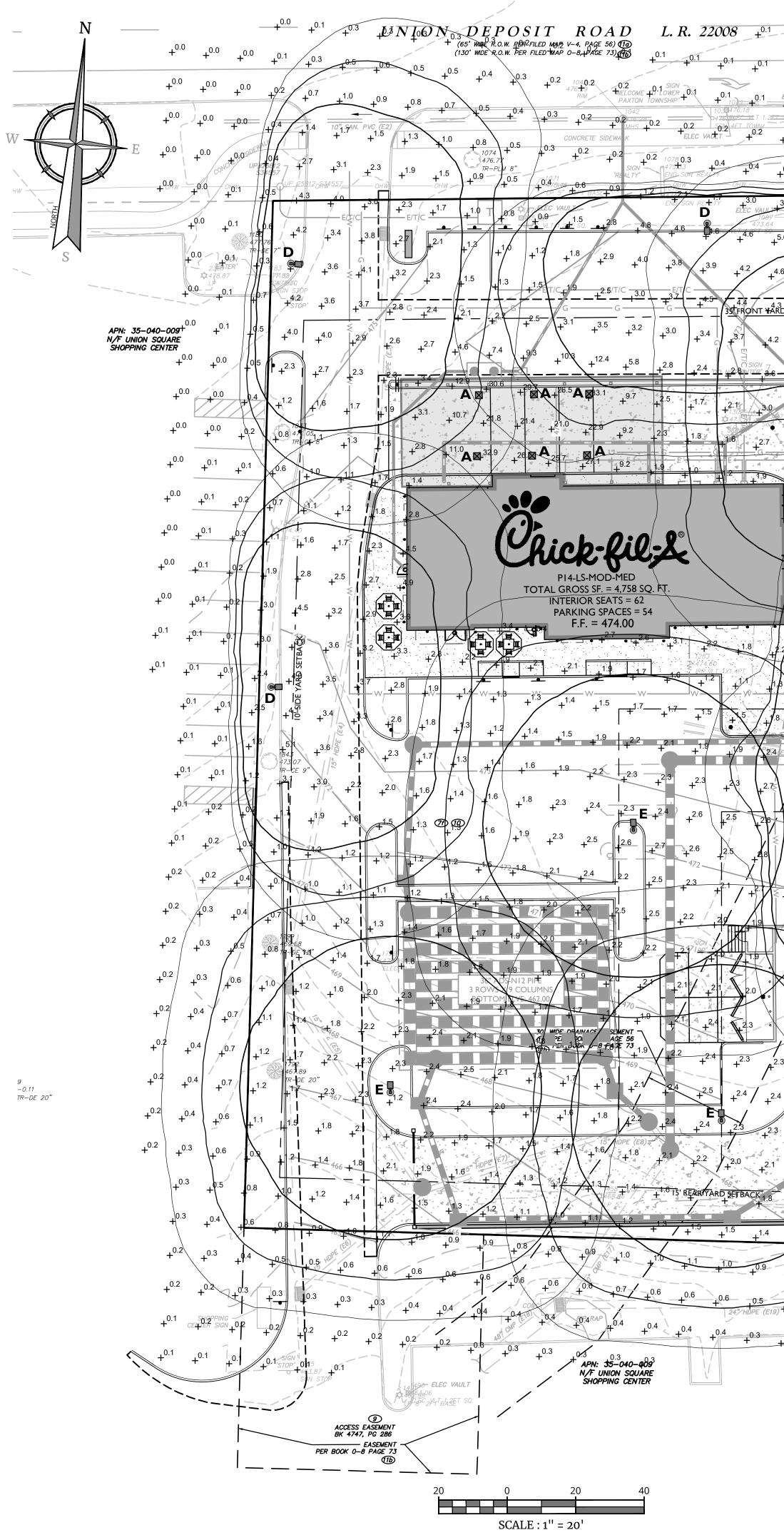
- 2.1. THE LANDSCAPE CONTRACTOR SHALL TEST THE SOIL TO CONFIRM SUITABILITY FOR THE PROPOSED SEED MIX AND SUPPLEMENT AS REQUIRED TO MEET THE REQUIRED PH & NUTRIENT LEVELS. 2.2. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLANS. SEED
- SHALL BE IN ACCORDANCE WITH THE LAWN SEED MIX NOTES AND THE SOIL EROSION AND SEDIMENT CONTROL DISTRICT'S SEED SPECIFICATIONS AS NOTED ON THE SOIL EROSION AND SEDIMENT CONTROL DETAILS SHEET. SOD, IF SPECIFIED, SHALL CONSIST OF A STATE CERTIFIED MIXTURE. ALL DISTURBED AREAS INDICATED AS LAWN OR SOD 2.3.
- SHALL BE TOPSOILED, LIMED, AND FERTILIZED & FINE GRADED PRIOR TO LAWN INSTALLATION. EXISTING VEGETATION: EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING, OR CLEARING. EXISTING VEGETATION BEING PRESERVED AND LOCATED AT THE EDGE OF THE NEW TREELINE SHALL BE PRUNED AND TRIMMED TO REMOVE ALL DEAD,
- SITE CLEANUP: PLANTING DEBRIS (WIRE, TWINE, RUBBERHOSE, BACKFILL, ETC.) SHALL BE REMOVED FROM THE SITE AFTER PLANTING IS COMPLETE. THE PROPERTY IS TO BE LEFT IN A NEAT, ORDERLY CONDITION IN ACCORDANCE WITH ACCEPTED PLANTING PRACTICES.



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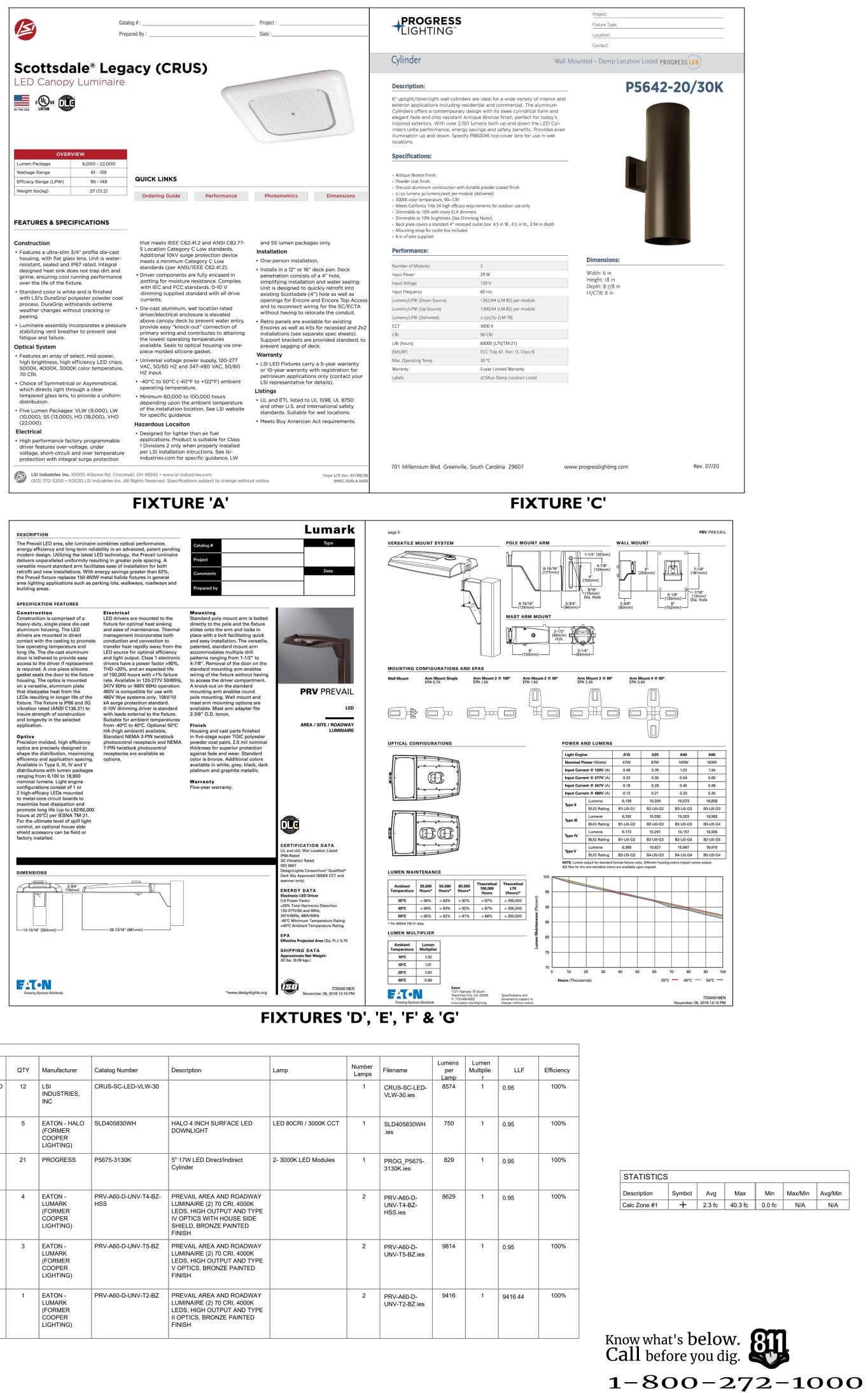


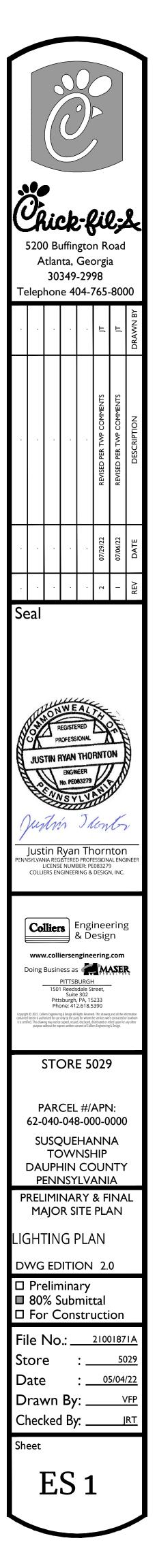
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	40.3		/+ <b>1</b> 4-)	) ∃ <sup>3.9</sup>	+ <sup>1.0</sup>	0.4	+ + <sup>0.2</sup>
+	+27.3	ARDSET	22.2	+4,6	+ <sup>1.2</sup>	+ <sup>0.5</sup>	+ + <sup>0.2</sup>
	-32.3	• <b>A</b> 34;3 + ○	28.7 694	5.0	+ <sup>1.3</sup>		+ + <sup>0.2</sup>
+A	30.3 ⊠ / +	33.5 A 4		+4.7	1.1	17	0.2
	4.3 +	16.7 +	1211	2.9	0.9 <del>-</del>		0.2
	5 40 +	.8 +2	7 +	1.3	.6 +		/
.3 2.3	+2.	0 +1.	5	.8 - +0	5 + <sup>0</sup>		
4 +2.3	+ <sup>1.8</sup> +	+1.3	+0.	7 + <sup>0.4</sup>	+ <sup>0.1</sup>	1	
+ <sup>2.2</sup>	+ <sup>1.6</sup>	11.2	+0.6	+0.4	+0.2		
+17	1.4 +		+ <sup>0.6</sup>	+0.3	+ <sup>0.2</sup>	+ <sup>0.1</sup>	
74 +	+1.2	+0.9	0.5	+03	0.2 <b>APN:</b>	<b>35₽</b> 75-0	<b>30</b> + <sup>0.1</sup>
+1.2	1.0	+0.8	40.5	+0.3	N/F UI	NION SQUA PING CENT + <sup>0.1</sup>	ARE
	+ <sup>0.7</sup>	× <sup>0.5</sup>	+0.4	40.3	+0.2	+ <sup>0.1</sup>	+ <sup>0.1</sup>
	0 ZFT 1		+0.3	+ <sup>0.2</sup>	+ <sup>0.2</sup>	+ <sup>0.1</sup> /	+ <sup>0.1</sup>
0.3 + +	<del>0.3</del> -	0.2	+ <sup>02</sup>	+ <sup>0.2</sup>	+ <sup>0.1</sup>	+ <sup>0.1</sup>	

SCHEDULE	Ξ							
Symbol	Label	Mounting Height	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps
X	A	9'-8" at OMD 9'-0" at OP	12	LSI INDUSTRIES, INC	CRUS-SC-LED-VLW-30			1
Ð	В	9.67 ft	5	EATON - HALO (FORMER COOPER LIGHTING)	SLD405830WH	HALO 4 INCH SURFACE LED DOWNLIGHT	LED 80CRI / 3000K CCT	1
•	С	9.67 ft	21	PROGRESS	P5675-3130K	5" 17W LED Direct/Indirect Cylinder	2- 3000K LED Modules	1
Ð	D	20 ft	4	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-A60-D-UNV-T4-BZ- HSS	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LEDS, HIGH OUTPUT AND TYPE IV OPTICS WITH HOUSE SIDE SHIELD, BRONZE PAINTED FINISH		2
Ð	E	20 ft	3	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-A60-D-UNV-T5-BZ	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LEDS, HIGH OUTPUT AND TYPE V OPTICS, BRONZE PAINTED FINISH		2
	F	20 ft	1	EATON - LUMARK (FORMER COOPER LIGHTING)	PRV-A60-D-UNV-T2-BZ	PREVAIL AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 4000K LEDS, HIGH OUTPUT AND TYPE II OPTICS, BRONZE PAINTED FINISH		2





					DASHED WHITE LINE	(TYP)	
			_				U
						SOLID WHITE LINE	
						10" SAN. P	- VC (E2)
					CONCRETE SIDEWALK / UP#25812 7		<u> </u>
			4WOH	иони	сон <sup>0СRE</sup> UP#25812 7 534557 7 	258120534557	/{12
				7" DECIDUOUS, TREI	6	Е/Ţ/С -	
					$\sim$ $\int_{1}^{1}$		
					SIGN -		
					INV.	RIM: 474.35 (IN): 471.17 UT): 471.17	
				APN: 35-040-009	SAN. C	C/O SA-3   M: 474.40	ATS
				N/F UNION SQUARE SHOPPING CENTER	INV.(OUT	N): 471.21 T): 471.21	E (E3)
				/		×	15" HDF
				S	AN. C/O SA-4 RIM: 474.40		
				IN INV.(	IV.(IN): 471.65 (OUT): 471.65	• <u>28</u>	
							$\backslash$
				RI INV.(II	C/O SA-5 IM: 473.97 N): 472.44	ATA	
				INV.(OU	T): 472.44	×	
					SAN	. C/O SA-6	
					INV.(OU	JT): 472.52 ≤	
					4	73	
				BENCHMARK #1 MAG NAIL SET IN SW ELE: 473.32			
					G	X	-w-
				/		1 and 1	
				9" CEL	DAR TREE		
						AT	Ļ
						-47,	
						470	
				18" QEJCID	UOUS TREE		
<u>1G</u>	LEGEND	PROPOSED					
<u>£</u> 13+00	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	<u> </u>		× 7	'C' I/ILET	769	
	RIGHT OF WAY LINE PROPERTY LINE			INV.(IN) # INV.(UT) #	4: 468.51 66.51(E4) 65.56(E5)	15	
	EDGE OF PAVEMENT			20" DECIL	puols tree	468	
	CURB DEPRESSED CURB	ВАСК			(DEED)	7/	
	SIDEWALK					467	
- X	FENCES	YY			× 300.00		
~~~~	TREELINE				25°49*'	8" DEAD TR 26	+
	ROADWAY SIGNS	<b>エ ㅠ</b> ㅜ			(3) N02'25'49"W		
•••	WETLAND LINE MUNICIPA'B <b>BIQUEN</b> DARY LINE						
	'E' INLET			REBAR FLAT		465	
	STORM MANHOLE	$\bigcirc$		REB FL	BAR FND	15" HOI	
J	SANITARY MANHOLE	S					
	HEADWALL			SHO. CENTER	PPING		
	HYDRANT POLE MOUNTED LIGHT	у» С			(dut) 461.2/66) _SIGN ( R: 463.66) _SIGN ( *STOP)		
	CABLE TV CONDUIT	CATV			REBAR FND FLAT END	/	
	WATER MAIN	w			70.00'	400F00 F	9 ASEMEN
	GAS MAIN TELEPHONE CONDUIT	G т			Mu22.22.50	ACCESS E BK 4747, E PER BOOK 0–8	EASEMEN PAGE 7
	ELECTRIC CONDUIT	———— E ————			°°∼		(1b
	SANITARY PIPE STORM PIPE						

EXISTING

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FACE

BACK 

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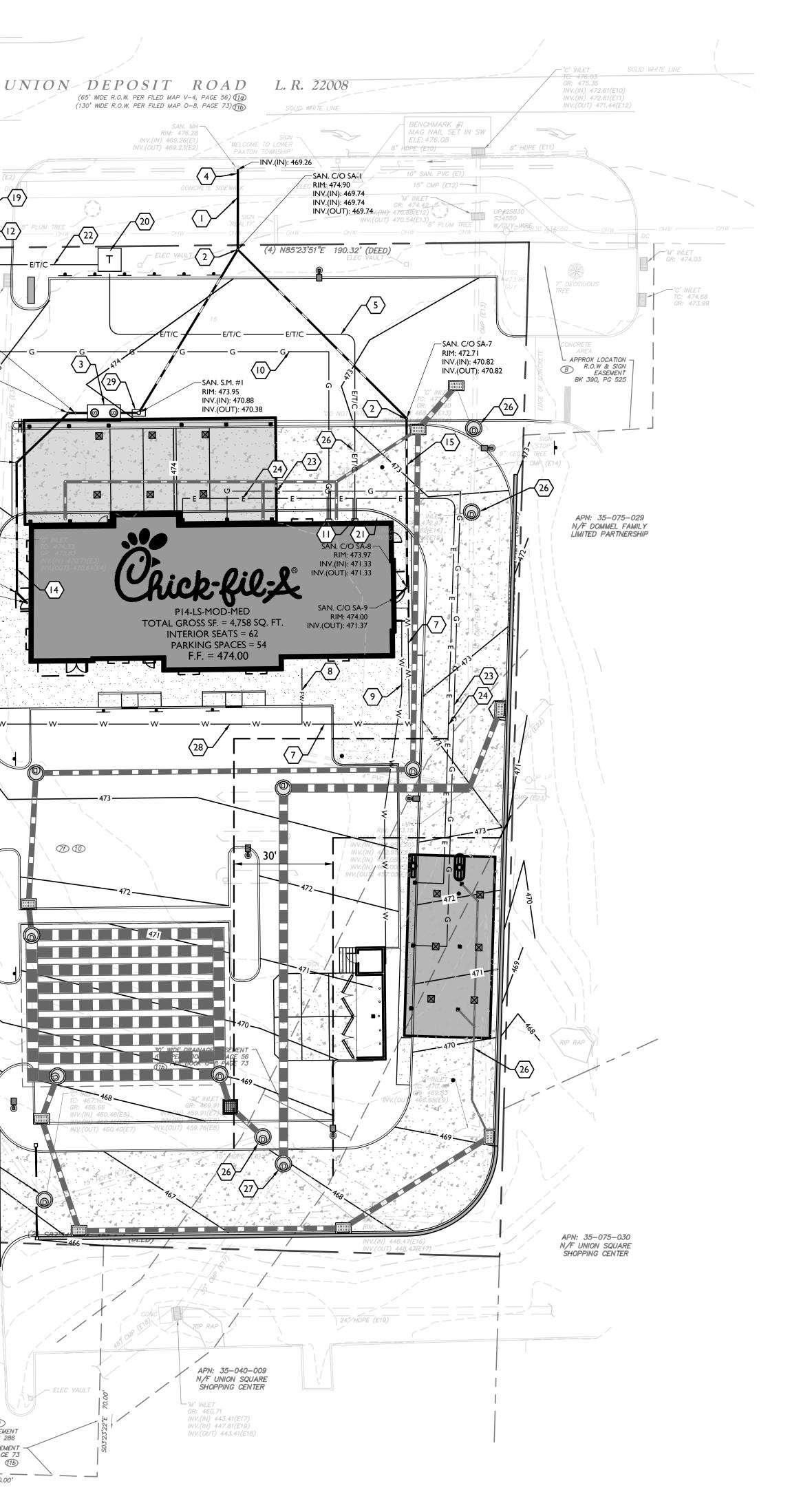
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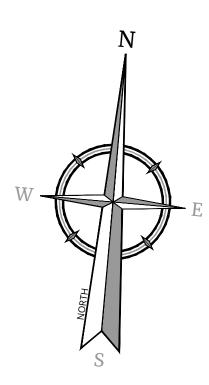
— E —

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RIGHT OF WAY LINE

2+00





UTILITIES PLAN LEGEND
PROPOSED 6" PVC SDR 35 SAN LATERAL @ 2% MIN SLOPE
2 PROPOSED CLEAN-OUT (TYP.)
$\langle \underline{3} \rangle$ proposed exterior 1,500 gal. grease trap
$\langle \underline{4} \rangle$ connect to exist sanitary line
5 PROPOSED UNDERGROUND PRIMARY ELECTRIC/ TELEPHONE SERVICE
6 CONNECT TO EXISTING ELEC/TELE SERVICE
$\langle 7 \rangle$ proposed 2" type K copper domestic line
8 PROPOSED 6" DIP FIRE LINE
$\langle \overline{9} \rangle$ proposed 3/4" cw to dumpster post hydrant
$\langle \overline{12} \rangle$ connect to existing gas line
3 proposed 4" SCH 40 PVC CONDUIT
4 PROP. 4" PVC SDR 35 KITCHEN WASTE LINE @ 2% MIN
5 PROP. 4" PVC SDR 35 RESTROOM WASTE LINE@ 2% MIN
6 PROPOSED 8" HDPE @ 1.0 % ROOF DRAIN (TYP.)
T> proposed 3" vent line
(8) PROPOSED WO-WAY CLEAN-OUT (TYP.)
$\langle 9 \rangle$ connect to existing water service
21 PROPOSED ELECTRIC PANEL
FOR SECONDARY ELECTRIC SERVICE. TWO (2) 4" PVC CONDUITS WITH PULL STRINGS
FOR TELEPHONE SERVICE. ONE (1) 3" PVC CONDUIT WITH PULL STRING FOR
CABLE SERVICE.
23 PROPOSED CANOPY GAS LINE
5 PROPOSED 4" PVC CANOPY DRAIN @ 1% (TYP.)
26 REPLACE EXISTING STORM INLET WITH STORM MANHOLE & RECONNECT ALL EXISTING PIPES
27 EXISTING STORM MANHOLE TO REMAIN

- 29 proposed sanitary sampling manhole
- SANITARY SEWER NOTE:
- I. ALL MATERIALS USED AND CONSTRUCTION METHODS EMPLOYED ARE TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE SUSQUEHANNA TOWNSHIP AUTHORITY.
- 2. FOR SEWER DETAIL DRAWINGS REFERENCE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS, SUSQUEHANNA TOWNSHIP AUTHORITY.
- 3. CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITY CROSSINGS PRIOR TO INSTALLING ANY SANITARY SEWER PIPE TO VERIFY EXISTING HORIZONTAL AND VERTICAL ELEVATIONS TO ASSURE NO CONFLICT WITH NEW SEWER.
- 4. NO TREES, LANDSCAPE WALLS, ETC. SHALL BE INSTALLED WITHIN LIMITS EASEMENT IN ACCORDANCE WITH THE AUTHORITY'S STANDARD DEED OF DEDICATION.

