

NOTES

- 1. The purpose of this plan is to construct a 608 square foot building with two service bays.
2. All boundary information shown hereon are the results of a boundary retracement survey performed by ACT ONE & Associates on April 28, 2022.
3. Contours are based on Pennsylvania Department of Conservation and Natural Resources (DCNR) high resolution light detection and ranging (LIDAR) data with supplemental field survey.
4. According to the FEMA Flood Insurance Rate Map Number: 42043C0340D, effective Date: August 2, 2012, no portion of the property, as shown hereon, is located in the 100-year flood plain.
5. No wetlands were observed on, or directly adjacent to this parcel as defined in accordance with the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Eastern Mountains and Piedmont Region (hereafter called the Corps Manual).
6. All existing utilities shall be contacted and the contractor must field verify their exact location.
7. There are no existing or proposed protective covenants running with this land.
8. Monuments and markers shown hereon are existing, no proposed monuments and markers are to be set after plan approval.
9. This plan does not propose any new sewage flow.
10. The applicant shall comply with all township regulations in effect at the time of the filing of the preliminary/final plan.
11. No additional right-of-way area is proposed to be dedicated as part of this plan.
12. All known existing improvements and structures are shown hereon.
13. The buildings, shown hereon, are serviced by public water & sewer.
14. PennDOT Highway Occupancy Permit (HOP) Number _____ has been issued for the work within PennDOT's Right-of-way, with Susquehanna Township as the applicant.
15. The total limit of disturbance (LOD) will be 4,900 square feet (0.11 acres).

WAIVER REQUEST

- Susquehanna Township Subdivision and Land Development Ordinance
Section 22-404 - Preliminary Plan Procedure Approved by Susquehanna Township Board of Commissioners, 20__
Section 22-1102 - Monuments & Markers Approved by Susquehanna Township Board of Commissioners, 20__

EXISTING NON-CONFORMITIES

- Susquehanna Township Zoning Ordinance
Section 27-1404 - The existing building on Lot #1 is over the rear setback line described in the "Bulk and Area Dimensions Table".
Section 27-1404 - Lot #1 is over the maximum lot impervious coverage (90%) as described in the "Bulk and Area Dimensions Table".

ZONING VARIANCES:

- The following sections of the zoning ordinance were granted variances by the Zoning Hearing Board in the decision dated July 5, 2023.
1. §27-2305.6.A - Variance of the requirement of parking in the required 15' front setback reduced to 3' to allow parallel parking off of North Alley.
2. §27-2305.6.B - Variance of all parking behind the building setback line.
3. §27-1405 - Variance for first 15' be occupied by streetscape.

SPECIAL EXCEPTION:

- A request for a Special Exception for §27-2204.2 to allow the expansion of a non-conforming use by less than 25%.
1.1. Materials associated with the operation of the automotive / retail uses shall only be stored outside in accordance with §27-2109 Unenclosed storage, of the Zoning Ordinance.
1.2. All hazardous waste shall be disposed of properly and records of such shall be provided to the Township.
1.3. A 24-hour contact person responsible for the operation of the uses shall be provided to the Township.
1.4. Hours of operation are not to exceed 7 am. - 9 pm. daily.

DRAWING INDEX

- 1 of 7 Cover Sheet
2 of 7 Existing / Proposed Conditions Plan
3 of 7 Site Layout Plan
4 of 7 ADA Curb Ramp Design Plan
5 of 7 Landscaping Plan
6 of 7 Erosion and Sediment Pollution Control Plan
7 of 7 Details

to be recorded

FINAL LAND DEVELOPMENT PLAN FOR FAMILY TIRES CORPORATION 3103 WALNUT STREET

SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY COMMONWEALTH OF PENNSYLVANIA

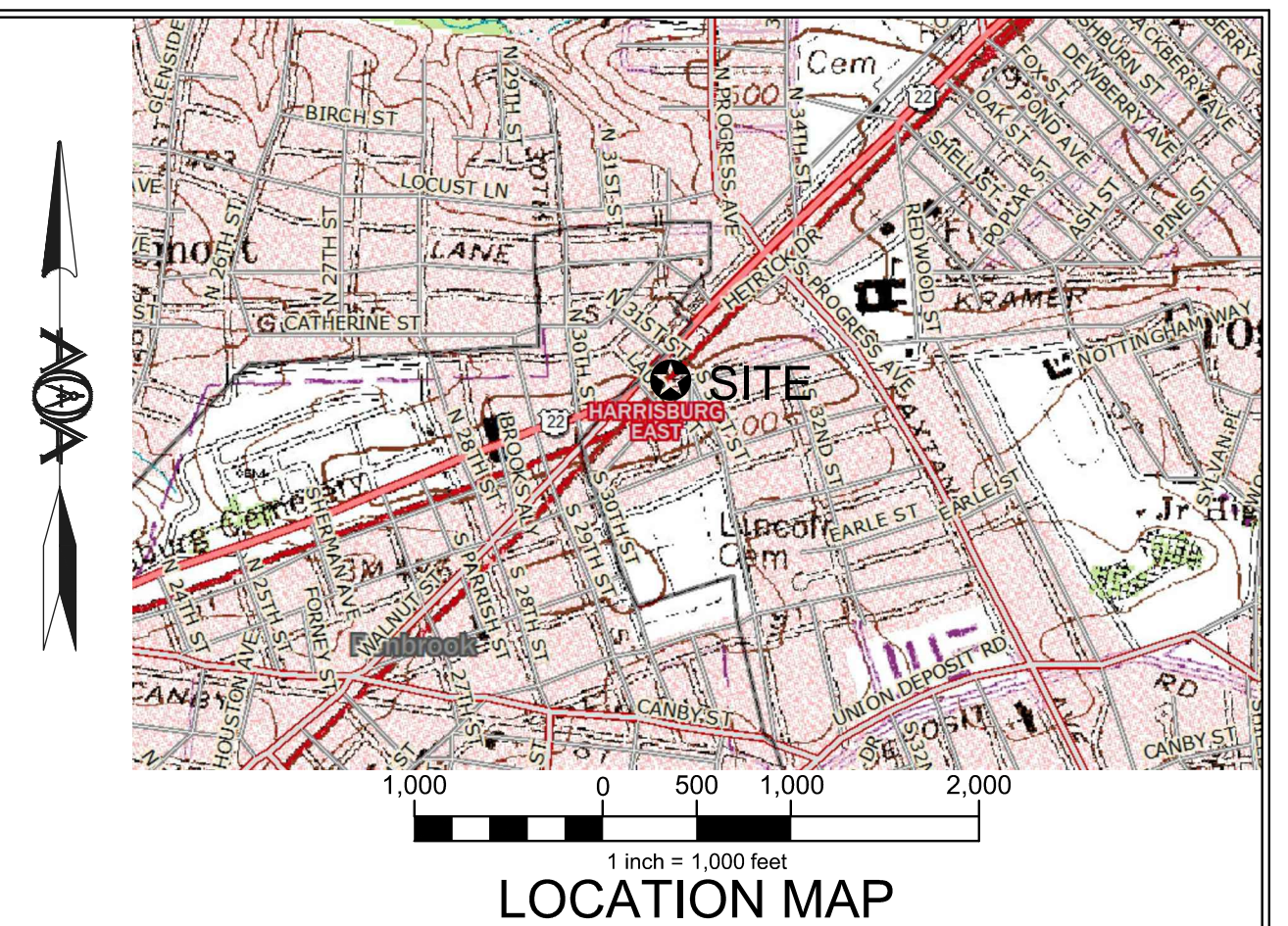


Table with 3 columns: Regulation, Description, Required. Includes Zoning Data for MU-1 Mixed Use Corridor, Yard Regulations, Coverage Regulations, Height Regulations, Area Regulations, and Parking Requirements.

Table with 2 columns: Component, Coverage (ft²). Lists impervious coverage for building, parking, gravel, concrete, sidewalk, and existing total.

Table with 3 columns: Site Data, Existing, Proposed. Lists lot area, use, area, impervious area, vegetative cover, water service, and sewer service.

% Increase of Existing Non-Conforming Use
Existing Non- Building Area = 2,500 ft²
Proposed Building Area = 608 ft²
Expansion of Existing Non-Conforming Use = 608 ft² / 2,500 ft² = 24.3%

Parking Space Calculation
4 Service Bays (2 spaces for each service bay) = 8 spaces
4 Full-time Employees (1 space for each full-time employee) = 4 spaces
144 ft² gross area retail (1 space per 250 ft² of gross floor area) = 1 spaces
2 Residential Units (2 spaces per dwelling unit) = 4 spaces
8 + 4 + 1 + 4 = 17 required parking spaces

Table with 2 columns: Current Uses, Description. Lists Commercial, Automotive Repair, Commercial, Retail Stores and Shops, Residential, and Single- and Multiple-family Dwellings.

GENERAL PLAN/REPORT DATA

I hereby certify this plan to be correct as shown.

Robert E. Shaffer, Jr., P.E.
4701 North Front Street
Harrisburg, PA 17110
robshaffer@actoneassociates.com

STATEMENT OF ACCURACY

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Susquehanna Township Subdivision and Land Development Ordinance.

Professional Land Surveyor

Scott A. Strauser, PLS
4701 North Front Street
Harrisburg, PA 17110
sstrausera@actoneassociates.com

This plan approved by the Susquehanna Township Board of Commissioners, and all conditions imposed with respect to such approval were completed on this ___ day of ___, 20__.

President: _____

Secretary: _____

This plan recorded in the office of the recorder of deeds in and for Dauphin County this ___ day of ___, 20__.

Instrument Number: _____

This plan reviewed by the Dauphin County Planning Commission this ___ day of ___, 20__.

Chairperson: _____

Secretary: _____

This plan reviewed by the Susquehanna Township Engineer this ___ day of ___, 20__.

Township Engineer: _____

This plan recommended for approval by the Susquehanna Township Planning Commission this ___ day of ___, 20__.

President: _____

Secretary: _____

Commonwealth of Pennsylvania
County of _____

On this the ___ day of ___, 20__ before me the undersigned personally appeared.

Owner(s): _____

Who being duly sworn according to law, depose and say that they are the owner(s) of the property shown on this plan and that they acknowledge the same to be their act and deed and desire the same to be recorded as such according to law.

Witness my hand and Notarial seal the day and the date above written.

Notary Public My Commission Expires _____

It is hereby certified that the undersigned are the owner(s) of the property shown on this plat and that all streets or parts thereof, if not previously dedicated, are hereby tendered for dedication to public use.

Owner(s): _____



The contractor shall verify all dimensions and existing conditions at the site before construction. The contractor shall comply with the provisions of act 287 notification of utilities before excavation in the project area in order to determine the existence and location of all utilities. prior to any construction, the contractor will be required to contact all utilities and request them to mark their locations in the field. the one call system telephone number is (800) 242-1776

PA One Call Design I.D. # 20221260555 Date: May 2022

SOURCE OF TITLE/APPLICANT

Family Tires Corporation
Rafymar C. Gonzales
2845 Walnut Street
Harrisburg, PA 17103
717 857-6996
danifamilytires@gmail.com
Tax Parcel Id. 62-037-153
Instrument #20200036517
Parcel area = 0.39 acres

This drawing is and shall remain the property of ACT ONE & Associates. Any reuse on project extensions, any other project, or alterations or additions to this project shall be at the user's sole risk, and without liability to ACT ONE & Associates.

FINAL LAND DEVELOPMENT PLAN FOR FAMILY TIRES CORPORATION 3103 WALNUT STREET SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY COMMONWEALTH OF PENNSYLVANIA ACT ONE & Associates Consulting Engineers & Surveyors

Table with 3 columns: DATE, SCALE, SHEET, REVISIONS, DRAWN BY, CHECKED BY, JOB NO.



PROPOSED LEGEND

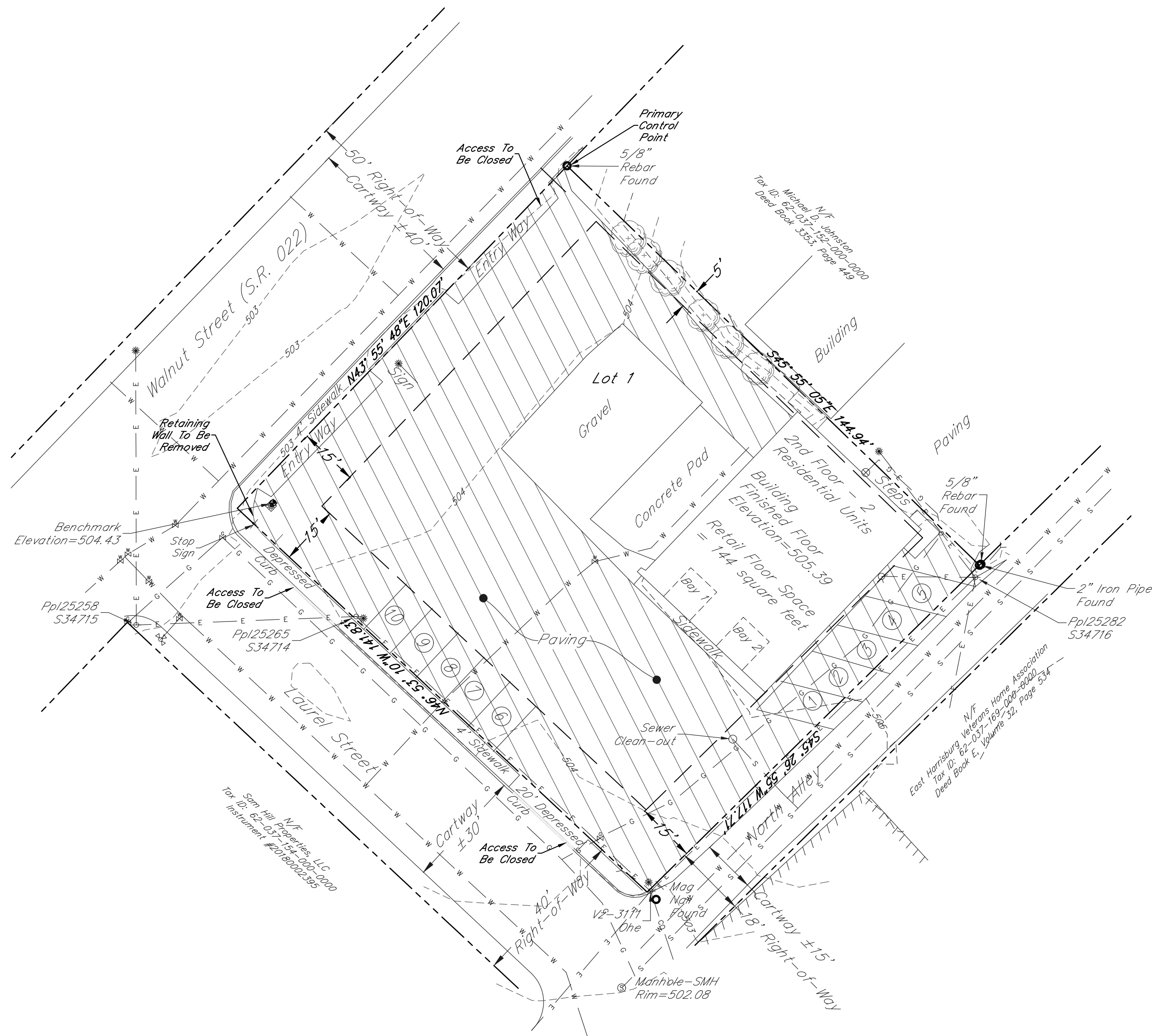
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- BUILDING FOOTPRINT
- COMPOST FILTER SOCK
- LIMITS OF DISTURBANCE
- SIGN
- SHADE TREE

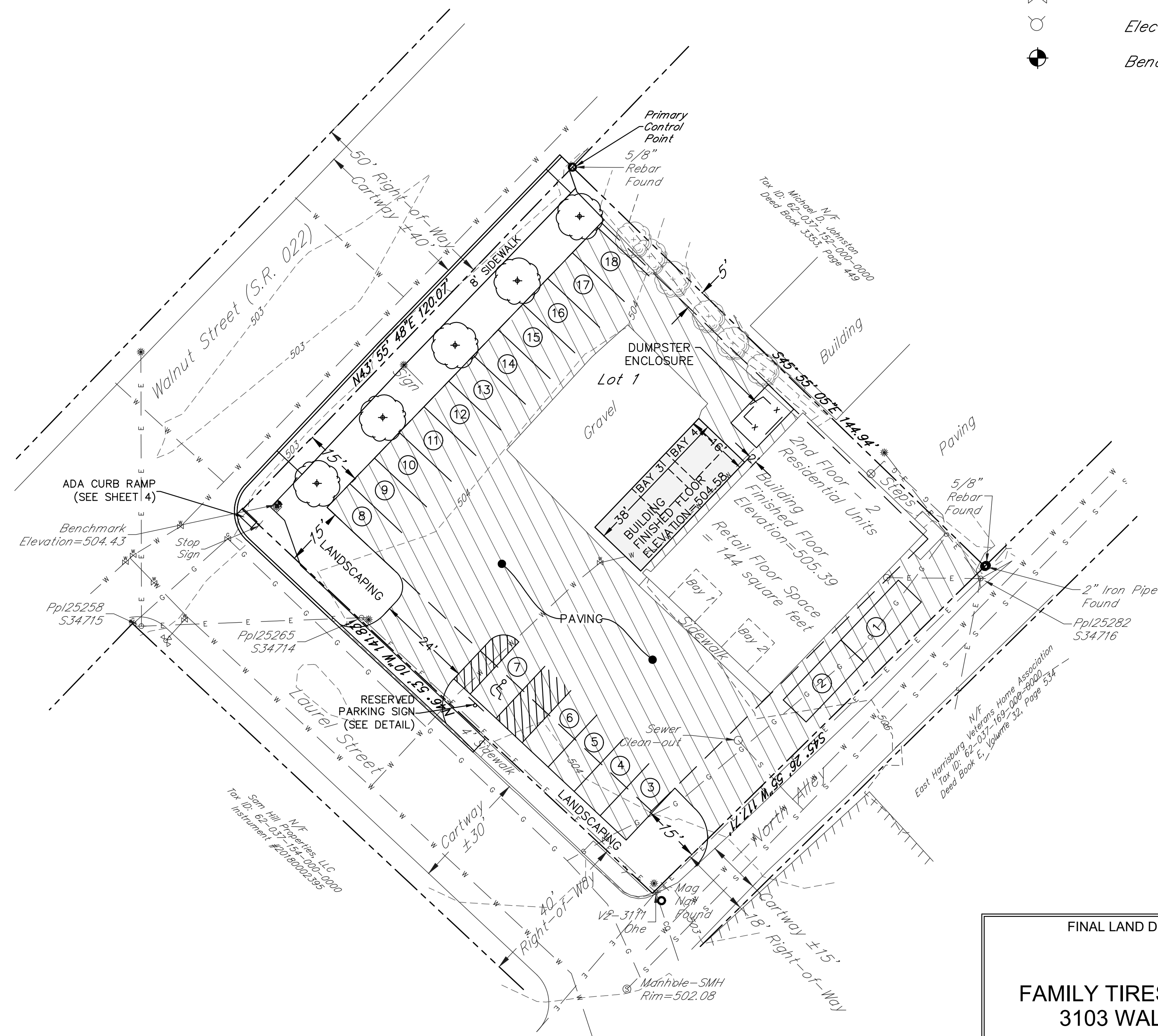
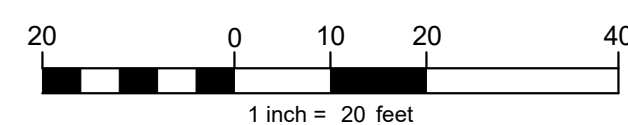
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EXISTING FEATURE LABELING USES LOWER CASE SLANTED TEXT

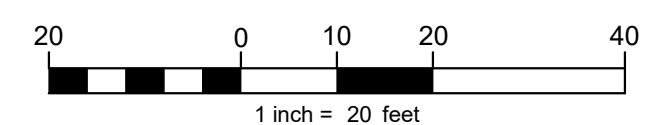
- Boundary Line
- Centerline
- Right-of-Way
- Contours
- Edge of Paving
- Curb
- Minimum Building Setbacks
- Sign
- Utility Pole w/ Guy Wire
- Light Standard
- Fire Hydrant
- Water Valve
- Tree
- Gas Meter
- Gas Valve
- Electric Meter
- Benchmark



EXISTING CONDITIONS PLAN



PROPOSED CONDITIONS PLAN



FINAL LAND DEVELOPMENT PLAN FOR

FAMILY TIRES CORPORATION
3103 WALNUT STREET

SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY
COMMONWEALTH OF PENNSYLVANIA



ACT ONE & Associates
Consulting Engineers & Surveyors

4701 N. Front Street, Harrisburg, PA 17110
(717) 236-7500, fax (717) 236-3314
Email: aoa@actoneassociates.com, Website: actoneassociates.com

DATE: September 6, 2022	REVISIONS: 5-25-23	DRAWN BY: MLN
SCALE: As Shown	7-5-23	CHECKED BY: RES
SHEET 2 of 7	7-19-23	JOB NO.: 22-064

This drawing is and shall remain the property of ACT ONE & Associates. Any reuse on project extensions, any other project, or alterations or additions to this project shall be at the user's sole risk, and without liability to ACT ONE & Associates.

FILE PATH: \\ACTONE\SERVER\COMPANY BACKUP\2022\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA DAUPHIN\DRAWING\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA TWP.DWG
LAST SAVED: 8/24/2022 1:33 PM PLOTTED: 8/24/2022 3:39 PM PLOTTED BY: AOA-S



PROPOSED LEGEND

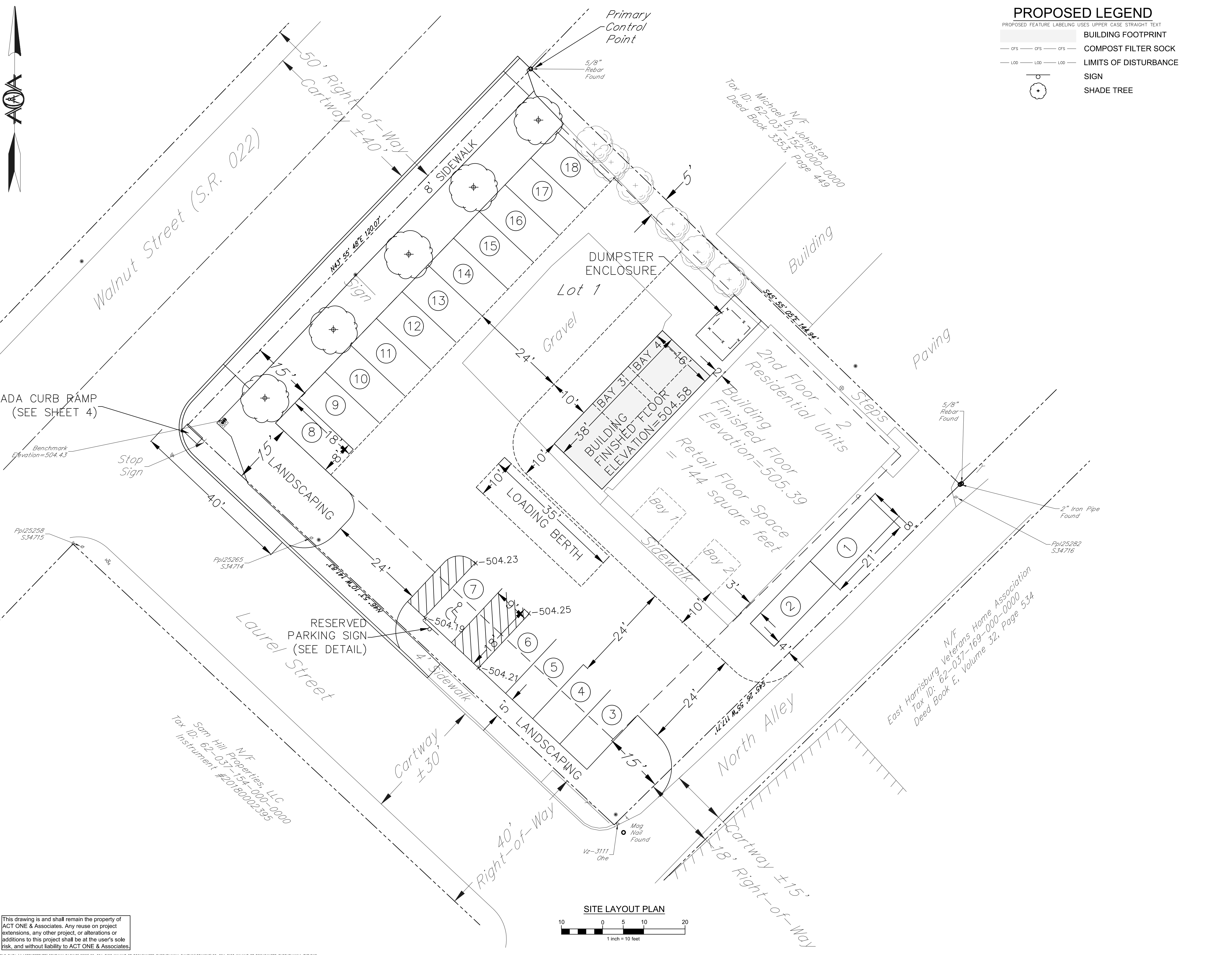
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- BUILDING FOOTPRINT
- COMPOST FILTER SOCK
- LIMITS OF DISTURBANCE
- SIGN
- SHADE TREE

EXISTING LEGEND

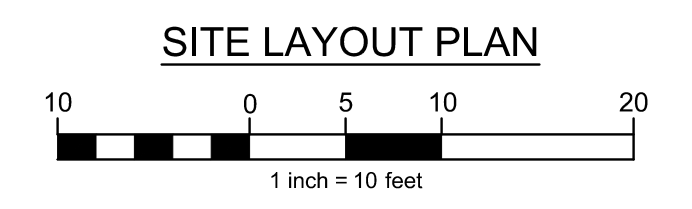
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- Minimum Building Setbacks
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 LAST SAVED: 8/24/2022 1:33 PM PLOTTED: 8/24/2022 3:03 PM PLOTTED BY: AOA-S



FINAL LAND DEVELOPMENT PLAN FOR

FAMILY TIRES CORPORATION
 3103 WALNUT STREET

SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY
 COMMONWEALTH OF PENNSYLVANIA

AOA
ACT ONE & Associates
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DATE: September 6, 2022	REVISIONS: 5-25-23 7-5-23 7-19-23	DRAWN BY: MLN
SCALE: As Shown	CHECKED BY: RES	
SHEET 3 of 7	JOB NO.: 22-064	

EXISTING LEGEND

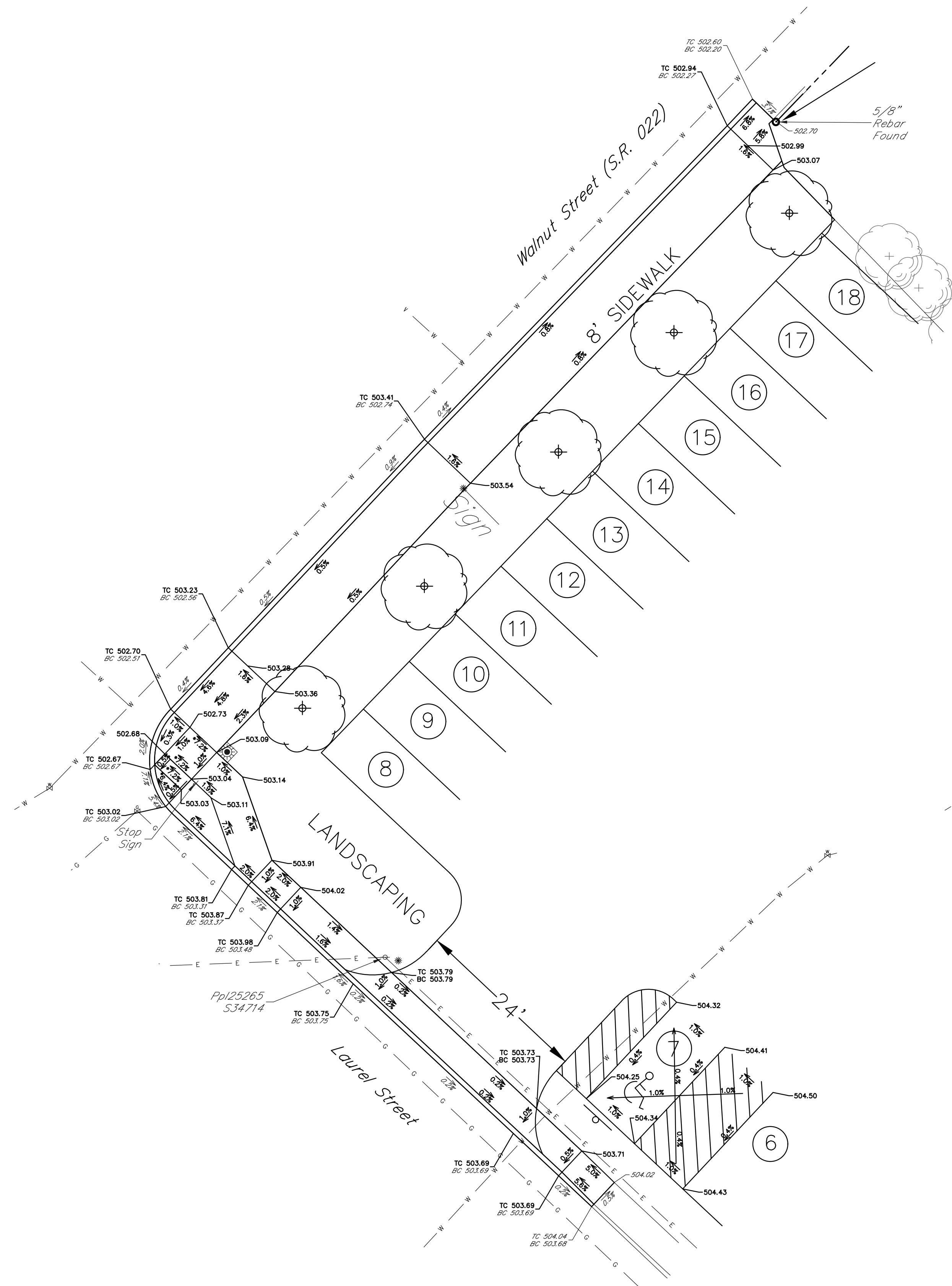
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- 1.8% Slope & Flow Direction
- 505.00 Elevation
- Boundary Line
- Centerline
- Right-of-Way
- Contours
- 360 Edge of Paving
- Curb
- Minimum Building Setbacks
- Sign
- Utility Pole w/ Guy Wire
- Light Standard
- Fire Hydrant
- Water Valve
- Tree
- Gas Meter
- Gas Valve
- Electric Meter
- Benchmark

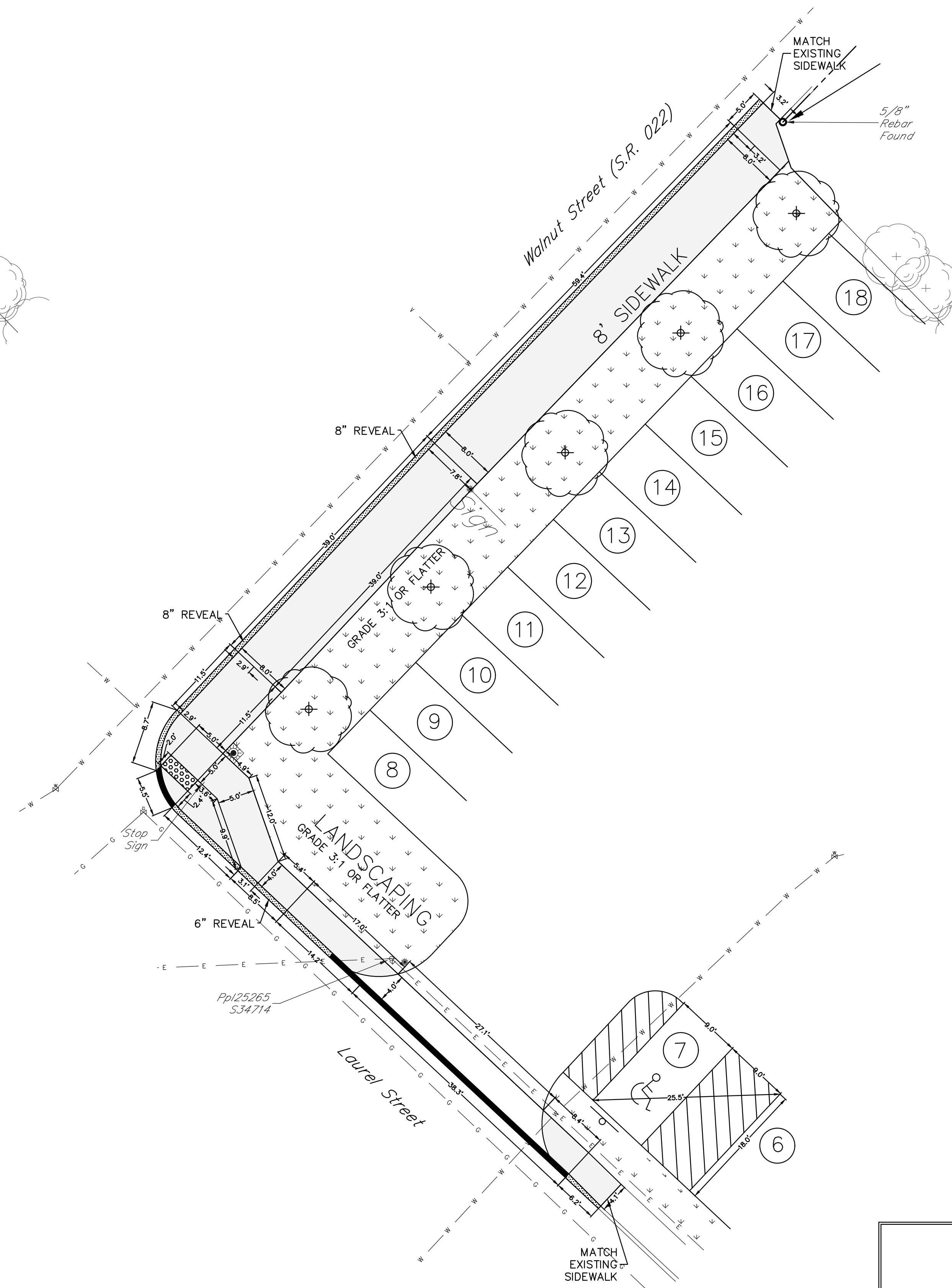
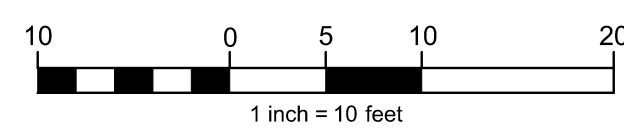
PROPOSED LEGEND

PROPOSED FEATURE LABELING USES UPPER CASE STRAIGHT TEXT

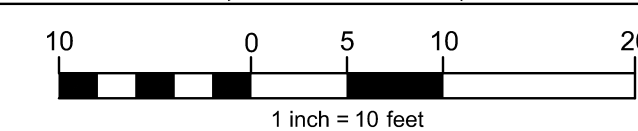
- 1.8% SLOPE & FLOW DIRECTION
- 505.00 ELEVATION
- CURBING
- EDGE OF SIDEWALK
- SIGN
- * TECHNICALLY INFEASIBLE (TIF)
- BC BOTTOM OF CURB
- TC TOP OF CURB
- DETECTABLE WARNING SURFACE (DWS)
- CONCRETE
- TRANSITION AREA
- DEPRESSED CURB
- GRASS
- SHADE TREE



ADA CURB RAMP DESIGN PLAN
ELEVATIONS AND SLOPES



ADA CURB RAMP DESIGN PLAN
DIMENSIONS, HATCHING, AND NOTES



FINAL LAND DEVELOPMENT PLAN
FOR

FAMILY TIRES CORPORATION
3103 WALNUT STREET

SUSQUEHANNA TOWNSHIP
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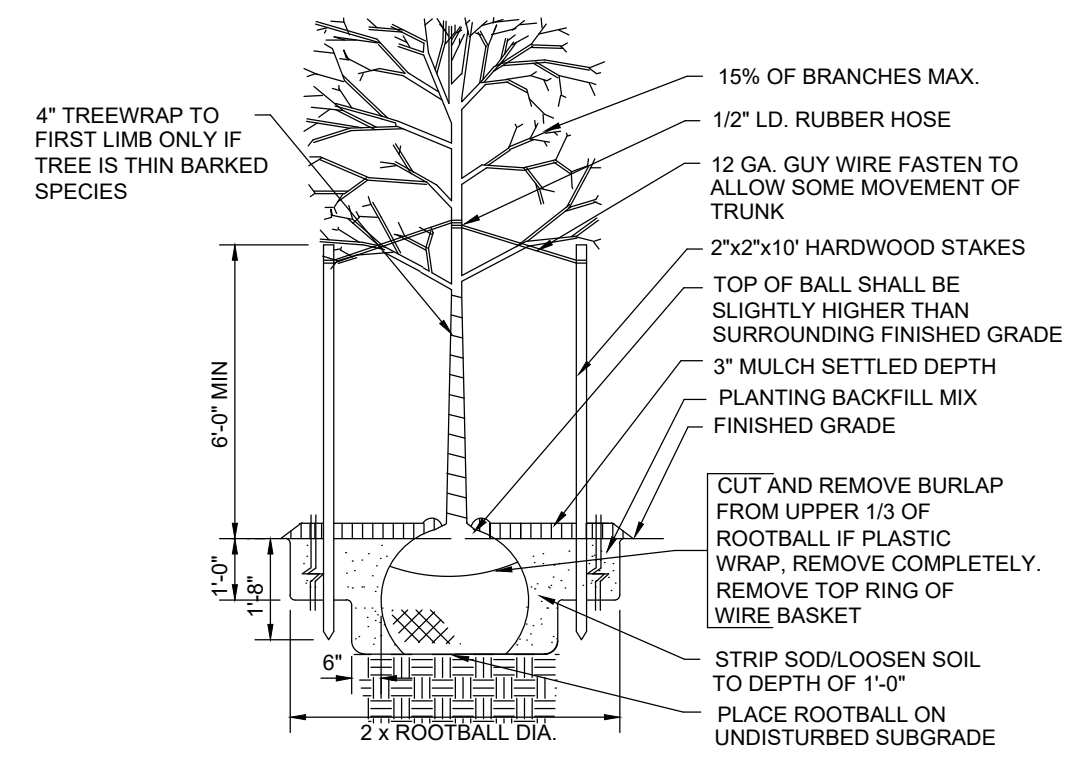
DATE: September 6, 2022	REVISIONS: 5-25-23	DRAWN BY: MLN
SCALE: As Shown	7-5-23	CHECKED BY: RES
SHEET: 4 of 7	7-19-23	JOB NO.: 22-064

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Landscaping Schedule			
LOCATIONS	SYMBOL	PROPOSED QUANTITIES	TYPES
STREETSCAPE §27-1405.1 A. Design Requirements Shade trees shall be provided along the street frontage. Shade trees shall have a minimum caliper of three to 3 1/2 inches and a maximum spacing of 30 feet on center. Species of trees shall be in accordance with the Subdivision and Land Development Ordinance. All areas identified as "Landscaping" shall be prepared in accordance with the "Permanent Seeding Specifications" provided on Sheet 7.		5	Redbud, <i>Cercis Canadensis</i> these trees shall be at least 3 to 3 1/2 inches in caliper.



* NOTE: MINIMUM PLANTING HEIGHT SHALL BE 6 FEET

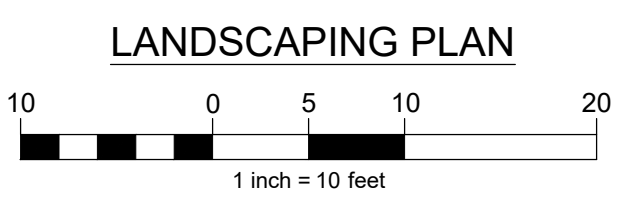
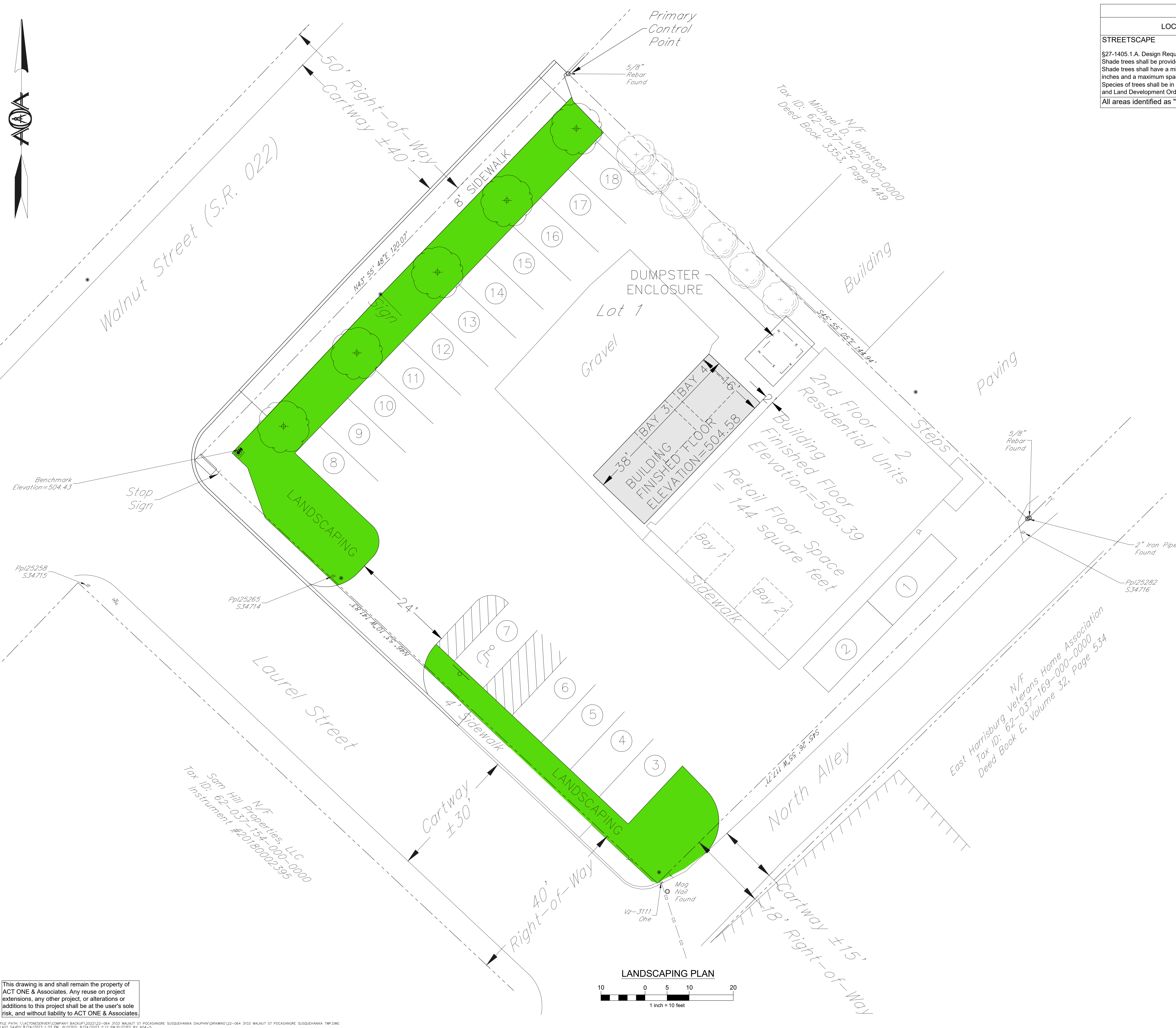
TREE PLANTING DETAIL
NOT TO SCALE

EXISTING LEGEND
EXISTING FEATURE LABELING USES LOWER CASE SLANTED TEXT

- Boundary Line
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- Light Standard
- Fire Hydrant
- Water Valve
- Tree
- Gas Meter
- Gas Valve
- Electric Meter
- Benchmark

PROPOSED LEGEND
PROPOSED FEATURE LABELING USES UPPER CASE STRAIGHT TEXT

- BUILDING FOOTPRINT
- COMPOST FILTER SOCK
- LIMITS OF DISTURBANCE
- SIGN
- SHADE TREE
- LANDSCAPING



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FINAL LAND DEVELOPMENT PLAN
FOR

FAMILY TIRES CORPORATION
3103 WALNUT STREET

SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY
COMMONWEALTH OF PENNSYLVANIA

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SCALE: As Shown	7-5-23	CHECKED BY: RES
SHEET 5 OF 7	7-19-23	JOB NO.: 22-064

SEQUENCE OF CONSTRUCTION

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed and immediately stabilized before any following stage is initiated.

Earthmoving operations shall be completed during a period in which no precipitation is forecast. In the event of a non-forecast precipitation event, the disturbed areas shall be graded to drain into the work area and all runoff, which accumulates, should be pumped to a facility for removing sediment from pumped water.

- 1. Contact the Dauphin County Conservation District (DCCD) and the Township 72 hours prior to beginning construction along with contact information.
2. If sediment laden runoff enters the waters of the commonwealth and/or crosses property lines, the permittee(s) may face costly fines and/or litigation...

Stormwater Pipes and Underdrains

Maintenance & repair of the Stormwater Pipes and Underdrain not located within a public right-of-way is the responsibility of the individual lot owners. An underdrain is a perforated pipe that carries collected water.

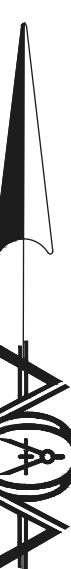
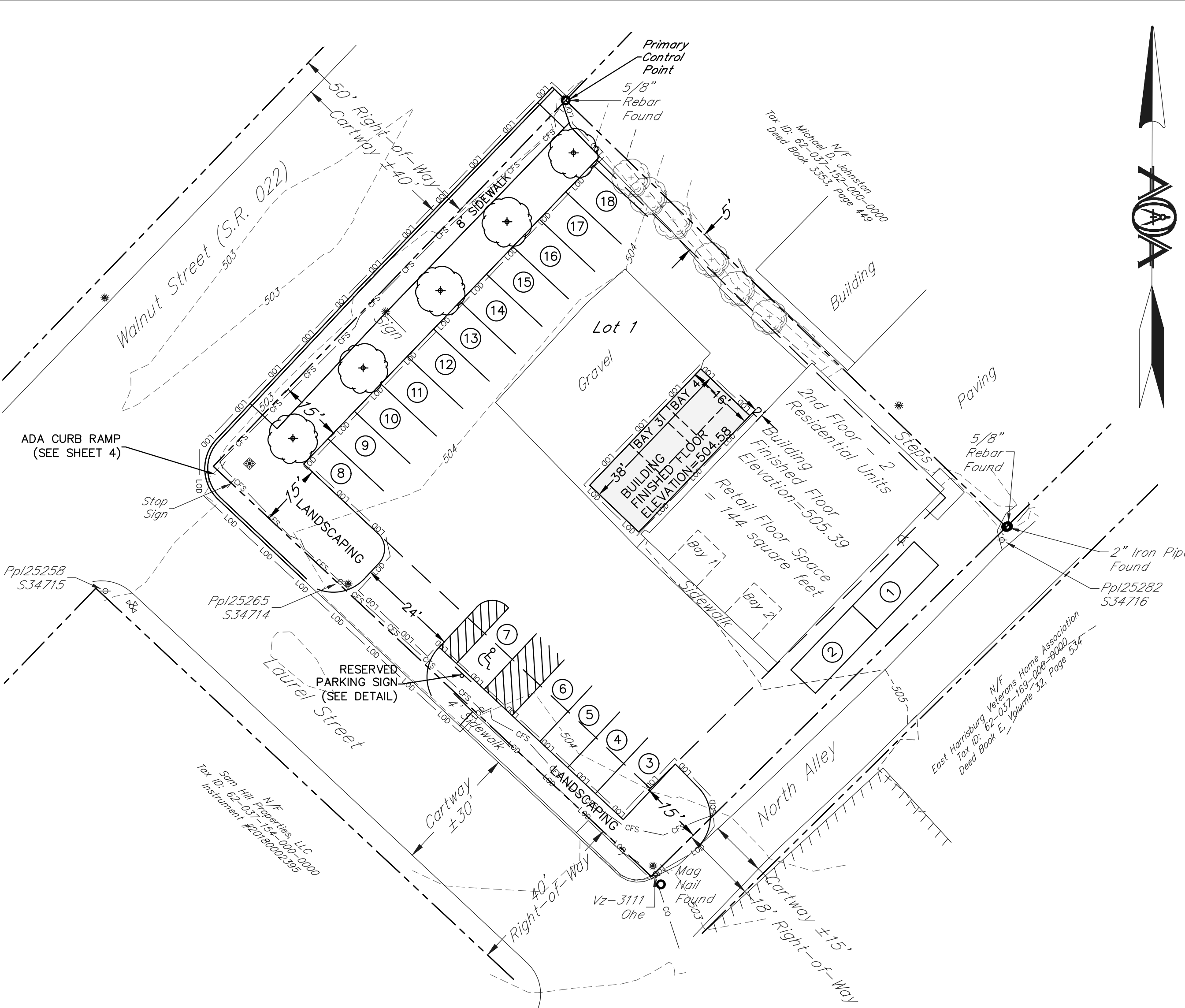
Material Disposal

Sediments from all control devices will be removed by spreading and drying on site and stabilizing by seeding within a short period of time (silt fence within 24 hours; sediment ponds and sediment traps within 36 hours).

APPENDIX C - Standard E & S Notes

- 1. All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan.
2. At least 7 days prior starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all contractors, the landowner, all appropriate municipal officials...

- 23. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
24. Fill shall not be placed on saturated or frozen surfaces.
25. Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.



Maintenance Program

Until the site is stabilized, all erosion and sediment control BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis.

- 1) a summary of the site conditions, E & S BMP's, compliance; and
2) the date, time, and name of the person conducting the inspection.

Any sediment removed from BMP's during construction will be returned to upland areas on site and incorporated into the site grading.

Compost Filter Sock

Sock fabric shall meet standards of Table 4.1 of the PA DEP Erosion and Sediment Pollution Control Program Manual. Compost shall meet the standards of Table 4.2 of the PA DEP Erosion and Sediment Pollution Control Program Manual.

Rock Construction Entrance

RCE's are to be maintained daily with adequate thickness per plan detail (8") and a minimum of 20' wide and 50' long. Rock (AASHTO No. 1) is to be stockpiled on-site and added as necessary to prevent silt and materials from leading off-site and onto public roads creating a safety hazard or pollution problem.

Erosion Control Mats

Erosion control blankets or mats are to be used in steep slope areas that silt fencing or silt socks cannot suffice due to the uphill slopes being too great. They are to be installed during dry weather and tacked or pinned down per the manufacturer's instructions.

Pumped Water Filter Bags

When used, bags shall be replaced when they become one half full. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be located in well-vegetated (grassy) area, and discharge onto stable, erosion resistant areas.

Topsoil Stockpile

Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finished grading of all exposed areas that are stabilized by vegetation.

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Soil Limitations & Resolutions

Table with 10 columns: Soil Name and Map Symbol, Depth to Water Table, Available Water Supply at Field Capacity, Shallow Excavation, Dwellings Without Basements, Dwellings With Basements, Small Commercial Buildings, Local Roads and Streets, Drought Vulnerable Soils, and Lawns and Landscaping.

Soil Resolutions
Slope - May require extensive grading. Straw and hay mulch should be anchored or tackified and erosion control blankets are required on slopes 33% and greater.
Depth to Water Table - Its not anticipated that a high water table will be encountered during excavation.

EXISTING LEGEND

- Existing Feature Labeling Uses Lower Case Slanted Text
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Centerline
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Light Standard
Fire Hydrant
Water Valve
Tree
Gas Meter
Gas Valve
Electric Meter
Benchmark

EROSION AND SEDIMENT POLLUTION CONTROL PLAN



PROPOSED LEGEND

- PROPOSED FEATURE LABELING USES UPPER CASE STRAIGHT TEXT
BUILDING FOOTPRINT
COMPOST FILTER SOCK
LIMITS OF DISTURBANCE
SIGN
SHADE TREE

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