NOTES

- The purpose of this plan is to construct a 608 square foot building with two service bays.
- All boundary information shown hereon are the results of a boundary retracement survey performed by ACT ONE & Associates on April 28, 2022.
- Contours are based on Pennsylvania Department of Conservation and Natural Resources (DCNR) high resolution light detection and ranging (LIDAR) data with supplemental field survey. All data is in units of feet, NAVD88 vertical datum (http://www.pamap.dcnr.state.pa.us/pamap/data source.aspx).
- According to the FEMA Flood Insurance Rate Map Number: 42043C0340D, effective Date: August 2, 2012, no portion of the property, as shown hereon, is located in the 100-year flood plain.
- No wetlands were observed on, or directly adjacent to this parcel as defined in accordance with the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Eastern Mountains and Piedmont Region (hereafter called the Corps Manual). This Regional Supplement is designed for use with the current version of the Corps Manual (Environmental Laboratory 1987) and all subsequent versions. In accordance with the U.S. Fish & Wildlife Service, National Wetlands Inventory mapper, no wetlands have been designated on, or directly adjacent to this parcel (https://www.fws.gov/wetlands/Data/Mapper.html)
- All existing utilities shall be contacted and the contractor must field verify their exact location, All utilities shown hereon are approximate. Contractor shall be required to contact the Pennsylvania One Call System in accordance with Act 287 Dial 811, or 1-800-242-1776 to place a dig notification.
- 7. There are no existing or proposed protective covenants running with this land.
- 8. Monuments and markers shown hereon are existing, no proposed monuments and markers are to be set after plan approval.
- 9. This plan does not propose any new sewage flow.
- 10. The applicant shall comply with all township regulations in effect at the time of the filing of the preliminary/final plan.
- 11. No additional right-of-way area is proposed to be dedicated as part of this plan.
- 12. All known existing improvements and structures are shown hereon. All existing utilities shall be contacted and the contractor must field verify their exact location. All utilities shown hereon are approximate. Proposed utilities shall be installed underground unless conditions require otherwise.
- 13. The buildings, shown hereon, are serviced by public water & sewer.
- PennDOT Highway Occupancy Permit (HOP) Number _____ has been issued for the work within PennDOT's Right-of-way, with Susquehanna Township as the applicant.
- 15. The total limit of disturbance (LOD) will be 4,900 square feet (0.11 acres). The entire site is mapped as Berks shaly silt loam (BkB2), 3-8% Slope, Depth to Restrictive Feature is 20 to 40 Inches; Well Drained; Runoff Class: Low; Depth to Water Table is More Than 80 Inches; Hydrologic Soil Group (HSG) B.

WAIVER REQUEST

Susquehanna Township Subdivision and Land Development Ordinance

- Section 22-404 Preliminary Plan Procedure 1 Approved by Susquehanna Township Board of Commissioners _, 20___
- Section 22-1102 Monuments & Markers Approved by Susquehanna Township Board of Commissioners ____, 20____

EXISTING NON-CONFORMITIES Susquehanna Township Zoning Ordinance

- Section 27-1404 The existing building on Lot #1 is over the rear setback line described in the "Bulk and Area Dimensions Table".
- Section 27-1404 Lot #1 is over the maximum lot impervious coverage (90%) as described in the "Bulk and Area Dimensions Table".

FAMILY TIRES CORPORATION 3103 WALNUT STREET

The contractor shall verify all dimensions and existing conditions at the site before construction

The contractor shall comply with the provisions of act 287 notification of utilities before excavation in the project area in order to determine the existence and location of all utilities. prior to any construction, the contractor will be required to contact all utilities and request them to mark their locations in the field. the one call system telephone number is (800) 242-1776

PA One Call Design I.D. #<u>20221260555</u> Date: May 2022

risk. and without liability to ACT ONE & Associates

Commonwealth of Pennsylvania County of

undersigned personally appeared.

On this the day of

20 before me the

Owner(s):

Who being duly sworn according to law, depose and say that they are the owner(s) of the property shown on this plan and that they acknowledge the same to be their act and deed and desire the same to be recorded as such according to law

Witness my hand and Notarial seal the day and the date above written.

SOURCE OF TITLE/APPLICANT Family Tires Corporation Rafymar C. Gonzales Notary Public My Commission 2845 Walnut Street Expires Harrisburg, PA 17103 717 857-6996 danifamilytires@gmail.com It is hereby certified that the undersigned are the owner(s) of the property shown on Tax Parcel Id. 62-037-153 this plat and that all streets or parts thereof, if not previously dedicated, are hereby Instrument #2020003651 tendered for dedication to public use. Parcel area = 0.39 acres This drawing is and shall remain the property of ACT ONE & Associates. Any reuse on project Owner(s): extensions, any other project, or alterations or additions to this project shall be at the user's sole

: PATH: \\ACTONESERVER\COMPANY BACKUP\2022\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA DAUPHIN\DRAWING\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA TWP.DWG IT SAVED: 8/24/2023 1:33 PM PLOTTED: 8/24/2023 2:02 PM PLOTTED BY: A0A-5

20								
The by t	The following sections of the zoning ordinance were granted variances by the Zoning Hearing Board in the decision dated <u>July 5, 2023</u> .							
1.	§27-2305.6.A -	Variance of the requirement of parking in the required 15' front setback setback reduced to 3' to allow parallel parking off of North Alley.						
2.	§27-2305.6.B -	Variance of all parking behind the building setback line. Parking stalls 1-2 reduced to 0' and parking stalls 3-14 reduced to 5' to allow parking along North Alley and Laurel Street.						
3.	§27-1405 -	Variance for first 15' be occupied by streetscape has been reduced to 5' along Laurel Street and no streetscape along the west side of North Alley.						

ZONING VADIANCES

SPECIAL EXCEPTION:

A request for a Special Exception for §27-2204.2 to allow the expansion of a non-conforming use by less than 25%. The request was approved on July 5, 2023 with the following recommendations:

- 1.1. Materials associated with the operation of the automotive / retail uses shall only be stored outside in accordance with §27-2109 Unenclosed storage, of the Zoning Ordinance. Stockpiling of any materials shall not be permitted to occur on site.
- 1.2. All hazardous waste shall be disposed of properly and records of such shall be provided to the Township.
- 1.3. A 24-hour contact person responsible for the operation of the uses shall be provided to the Township.
- 1.4. Hours of operation are not to exceed 7 am. 9 pm. daily.

DRAWING INDEX

- 1 of 7 Cover Sheet
- 2 of 7 Existing / Proposed Conditions Plan
- to be recorded
 - 3 of 7 Site Layout Plan 4 of 7 ADA Curb Ramp Design Plan
 - 5 of 7 Landscaping Plan
 - 6 of 7 Erosion and Sediment Pollution Control Plan
 - 7 of 7 Details

FINAL LAND DEVELOPMENT PLAN FOR

SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY COMMONWEALTH OF PENNSYLVANIA

I hereby certify this plan to be correct as shown.

Robert E. Shaffer, Jr., P.E. 4701 North Front Street Harrisburg, PA 17110 robshaffer@actoneassociates.com

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Susquehanna Township Subdivision and Land Development Ordinance.

Professional Land Surveyor

Scott A. Strauser, PLS 4701 North Front Street Harrisburg, PA 17110 sstrauser@actoneassociates.com

This plan reviewed by the Dauphin County Planning Commission this _____ day of _____ 20___

Chairperson:

Secretary:

This plan reviewed by the Susquehanna Township Engineer this ____day of _____ 20____

Township Engineer:

This plan recommended for approval by the Susquehanna Township Planning Commission this day of 20

President:

Secretary:

This plan approved by the Susquehanna Township Board of Commissioners, and all conditions imposed with respect to such approval were completed on this _____ day of _____ 20___.

President:

Secretary:

This plan recorded in the office of the recorder of deeds in and for Dauphin County this _____ day of _____ 20____

Instrument Number:_____

inch = 1.000 fee LOCATION MAP

Zoning Data: "MU-1" Mixed Use Corridor - High Density District							
Regulation		Description			Required		
Width Regulation	s	Minin	nur	n Lot Width	25 feet		
	N	Minimum I	Frc	nt Yard Setback		15 feet	
Yard Regulations	s N	Minimum	Sic (e	le Yard Setback each)	5 feet		
	Ν	Minimum	Re	ar Yard Setback		55 feet	
		Minimum	Ve	egetative Cover		10%	
Coverage Regulation	ons Ma	aximum lı	mp	ervious Coverage		90%	
	Ν	Maximum	Вι	uilding Coverage		70%	
Height Regulation	IS	Principal Use				45 feet	
(iviaximum)		Detached Accessory Use			N/A		
Area Pogulations		Minimum Lot Area		No minimum lot area			
	ς Γ	Maximum Lot Area			16,000 ft ²		
Parking Requirements		Commercial: Automotive repair, maintenance and gasoline stations			2 spaces for each service bay area plus one additional space for each full-time employee on the largest shift but in no event less than 1 space for each 400 sq. ft. of gross floor area.		
		Commercial: Retail stores and shops			1 space for ea area; and for shopping carts lot by custome cart return mu storage, colled without blockin aisles in the pa	ach 250 square each retail esta which may be t rs, 1 space enc ist be placed in ction and return g other parking irking lot serving	feet of gross floor blishment utilizing aken to the parking losed for shopping the parking lot for of shopping carts spaces for every 3 g the establishment
		Residential: Single- and multiple-family dwellings			2 spaces per dwelling unit		
Impervious Covera	ige Tat	bulation			Site Data		
Component Coverage (ft ²)					Existing	Proposed	•

Component	Coverage (ft ²)		Lat	Existing	Proposed		
Building	2.500		Lot #1		Lot #1		
Parking Lot /	11.874		Use	Commercial or Office	Commercial or Office		
Access Lanes	,			0.3912 acres	0.3912 acres		
Gravel	1,374		Area	17,042 ft ²	17,042 ft ²		
Concrete Pad	736			16,660 ft ²	15,047 ft ²		
Sidewalk	176			97.8%	88.3%		
Existing Total	16,660		Vegetative Cover	382 ft²	1,995 ft²		
Proposed Building	608		vegetative Cover	2.2%	11.7%		
Paving Removed	2 221		Water Service	Public	Public		
or Overlapped	2,221		Sewer Service	Public	Public		
Total Impervious	15.047		Parking	10 Spaces	18 Spaces		
Cover	10,047		Parking Space Calculation				

Farking Space Calculation

4 Service Bays (2 spaces for each service bay) = 8 spaces 4 Full-time Employees (1 space for each full-time employee) = 4 spaces 144 ft² gross area retail (1 space per 250 ft² of gross floor area) = 1 spaces 2 Residential Units (2 spaces per dwelling unit) = 4 spaces

8 + 4 + 1 + 4 = 17 required parking spaces						
Current Uses	Description					
Commercial -	The existing building has two service bays, used for automotive maintenance and repair. The purpose of this project is to construct an 608 square foot					
Automotive Repair,	building with an additional two service bays. This use is not permitted in the					
Maintenance, and	MU-1 Zoning District. The project is proposing to increase this non-conforming					
Gasoline Stations	use by less than 25% for reasons described herein.					
Commercial -	The property currently has a gross area of retail of 144 square feet. The retail space is located on the bottom floor of the existing two-story building. This					
Retail Stores and	project does not propose to increase the gross area of retail. This use is not					
Shops	permitted in the MU-1 Zoning District.					
Residential -	The property has two existing apartments above the existing garage. The					
Cingle and	project does not propose an increase to the number of apartments. This use is					
Single- and Multiple femily	<u>permitted</u> in the MO-1 Zoning District. Mixed use structures - commercial on the					
Nulliple-lamily	first noor with residential on the second noor - are also permitted					
Dweilings						

FINAL LAND DEVELOPMENT PLAN FOR

FAMILY TIRES CORPORATION **3103 WALNUT STREET**



7-5-23 7-19-23

CHECKED BY: RES

JOB NO.: 22-064

SCALE: As Shown

SHEET 1 OF 7

% Increase of Existing Non-Conforming Use Existing Non- Building Area = 2,500 ft Proposed Building Area = 608 ft²

Expansion of Existing Non-Conforming Use = $608 \text{ ft}^2 / 2,500 \text{ ft}^2 = 24.3\%$

GENERAL PLAN/REPORT DATA

STATEMENT OF ACCURACY





PROPOSED LEGEND

—2" Iron Pipe Found

– PpI25282 S34716

EXISTING LEGEND



PROPOSED FEATURE LABELING USES UPPER CASE STRAIGHT TEXT **BUILDING FOOTPRINT** --- LOD ---- LOD ---- LIMITS OF DISTURBANCE SIGN SHADE TREE

Existing Feature Labeling	Uses Lower Case Slanted Text
	Boundary Line
	Centerline
	Right-of-Way
360	Contours
	Edge of Paving
	Curb
	Minimum Building Setbacks
	Sign
$\not \sim$	Utility Pole w/ Guy Wire
	Light Standard
	Fire Hydrant
\mathbb{X}	Water Valve
+	Tree
\otimes	Gas Meter
G	Gas Valve
X	Electric Meter
\blacklozenge	Benchmark



EXISTING LEGEND

Existing Feature Labeling	Uses Lower Case Slanted Text
1.8%	Slope & Flow Direction
505.00	Elevation
	Boundary Line
	Centerline
	Right-of-Way
360	Contours
	Edge of Paving
	Curb
	Minimum Building Setbacks
<u> </u>	Sign
$\not \sim$	Utility Pole w/ Guy Wire
÷.	Light Standard
	Fire Hydrant
$\stackrel{\mathbb{W}}{\bowtie}$	Water Valve
	Tree
\otimes	Gas Meter
G	Gas Valve
X	Electric Meter
¢	Benchmark

PROPOSED LEGEND LARELING LISES LIPPER CASE STRAIGHT TEX

1.8%	SLOPE & FLOW DIRECTION
505.00	ELEVATION
	CURBING
	EDGE OF SIDEWALK
	SIGN
*	TECHNICALLY INFEASIBLE (TIF)
BC	BOTTOM OF CURB
ТС	TOP OF CURB
000000000000000000000000000000000000000	DETECTABLE WARNING SURFACE (DWS)
	CONCRETE
· · · · · · · · · · · · · · · · · · ·	TRANSITION AREA
	DEPRESSED CURB
V V V V V V V V V V	GRASS
+	SHADE TREE

ILE PATH: \\ACTONESERVER\COMPANY BACKUP\2022\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA DAUPHIN\DRAWING\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA TWP.DWG AST SAVED: 8/24/2023 1:33 PM PLOTTED: 8/24/2023 2:02 PM PLOTTED BY: A0A-5

TC 503.41 BC 502.74

(9)

TC 503.79

R.S.

Street

(8)

KANDSCADING,

-503.36

-503.91

TC 503.75_ BC 503.75

Lourel

TC 503.23 BC 502.56

TC 503.81 BC 503.31 TC 503.87 BC 503.37

—— E —— E

TC 503.98 BC 503.48

TC 502.70_ BC 502.51





	Landscaping Schedule		
LOCATIONS	SYMBOL	PROPOSED QUANTITIES	TYPES
STREETSCAPE			
§27-1405.1.A. Design Requirements Shade trees shall be provided along the street frontage. Shade trees shall have a minimum caliper of three to 3 1/2 inches and a maximum spacing of 30 feet on center. Species of trees shall be in accordance with the Subdivision and L and Development Ordinance		5	Redbud, <i>Cercis Canadensis</i> these trees shall be at least 3 to 3 1/2 inches in caliper.
All areas identified as "Landscaping" shall be prepa	ared in accordance with the "Permanent S	eeding Specificat	ions" provided on Sheet 7.
		A PLANTING HEIGHT SH	 15% OF BRANCHES MAX. 1/2" LD. RUBBER HOSE 12 GA. GUY WIRE FASTEN TO ALLOW SOME MOVEMENT OF TRUNK 2"x2"x10' HARDWOOD STAKES TOP OF BALL SHALL BE SLIGHTLY HIGHER THAN SURROUNDING FINISHED GRADE 3" MULCH SETTLED DEPTH PLANTING BACKFILL MIX FINISHED GRADE CUT AND REMOVE BURLAP FROM UPPER 1/3 OF ROOTBALL IF PLASTIC WRAP, REMOVE COMPLETELY. REMOVE TOP RING OF WIRE BASKET STRIP SOD/LOOSEN SOIL TO DEPTH OF 1'-0" PLACE ROOTBALL ON UNDISTURBED SUBGRADE
		NOT TO SCALE	DETAIL
	EXISTI Existing Feature Lab	NG LEG Deling Uses Lower C Boundar Centerlin Right-c Contours Edge of	END Case Stanted Text ry Line ne nf-Way s f Pavina
		— Euge of — Curb — Minimun Sign	n Building Setbacks
	\swarrow	Utility F Light Se	Pole w/ Guy Wire tandard
2" Iron Pine	W	Fire Hyd	drant
Found		Water V	alve
Pp125282		Tree	
<i>S34716</i>	\otimes	Gas Mei	ter
γ	G	Gas Val	Ve
N	\mathcal{C}	Electric	Meter
) ⁿ	\bullet	Benchm	ark
	PROPOSED FEATURE LABE	SED LEC LING USES UPPER CA BUILDING COMPOS LIMITS O SIGN SHADE T LANDSC	GEND SE STRAIGHT TEXT GFOOTPRINT ST FILTER SOCK F DISTURBANCE REE APING
	FINA	L LAND DEVEL	OPMENT PLAN
	FAMILY 310	Y TIRES C 3 WALNU SUSQUEHANNA DAUPHIN CO	ORPORATION T STREET
	ACT C	NE &	Associates ers & Surveyors
	470 Email: acc@cat	1 N. Front Street, Ha (717) 236-7500, fax	arrisburg, PA 17110 (717) 236-3314 Website: actoneassociates.com
	DATE: September 6, 202 SCALE: As Shown SHEET 5 OF 7	22 REVISIONS: 5-25-2 7-5-23 7-19-2	3 3 3 3 3 3 3 3 3 3 3 3 3 3

SEQUENCE OF CONSTRUCTION

All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed and immediately stabilized before any following stage is initiated. Clearing, grubbing, and topsoil stripping shall be limited to those areas on the plan drawings and per each stage (if applicable). Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate Best Management Practices (BMPs) to eliminate the potential for accelerated erosion and/or sediment pollution.

Earthmoving operations shall be completed during a period in which no precipitation is forecast. In the event of a non-forecast precipitation event, the disturbed areas shall be graded to drain into the work area and all runoff, should be given to their impact on nearby vegetation and surface and ground water which accumulates, should be pumped to a facility for removing sediment from pumped water. Excess material only be used in conformance with applicable anti-pollution laws. If attempts to clea resulting from earth moving operations shall be temporarily stockpiled upslope of the basin.

- Contact the Dauphin County Conservation District (DCCD) and the Township 72 hours prior to beginning construction along with contact information. The DCCD and the Township must approve final stabilization. Any changes to this plan must be approved by DCCD. All disturbed areas must be permanently stabilized within one (1) year from date of issuance of permit coverage, unless otherwise extended by the DCCD.
- If sediment laden runoff enters the waters of the commonwealth and/or crosses property lines, the permittee(s) may face costly fines and/or litigation from the Department of Environmental Protection (DEP) or neighboring property owners.
- Install the compost filter socks along the downslope perimeter of the disturbance prior to any earth disturbance. Move BMP's as necessary throughout project. Immediately stabilize the BMP's and the areas disturbed by their installation per the permanent stabilization specifications.
- All off-site waste and borrow areas shall have an E&SPC plan approved by the local county conservation district or the Department fully implemented prior to being activated.
- Proceed with building construction and site improvements.
- Close entrances along Walnut Street and Laurel Street by installing curbing, sidewalks, and the ADA curb ramp as per plan and details.
- Final grading and installation of the parking lot asphalt as per details.
- 3. Install all landscaping trees as per plans and details.
- Immediately stabilize any area disturbed per the Permanent Seeding Specifications.
- 10. Immediately after earth disturbance activities cease, the operator/permittee shall stabilize the disturbed areas. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are at finished grade and which will be re-disturbed within one year must be stabilized in accordance 3. At least 3 days prior starting any earth disturbance activities, or expanding into with the temporary vegetative stabilization specifications. Disturbed areas which are at final grade or which will not be re-disturbed within one year must be stabilized in accordance with the permanent vegetative stabilization specifications.
- 1. During favorable growing conditions finish grade, replace a minimum uniform 6" of topsoil, and immediately apply lime, fertilize, seed, straw-mulch, and tackifier per the permanent stabilization specifications or soil test recommendations. Do not disturb outside the limit of disturbance shown on the drawings.
- 12. Maintain and repair all BMP's immediately after every runoff event and on a weekly basis throughout construction and until all disturbed areas are permanently stabilized (i.e. at least a uniform 70%, well-established, perennial vegetative cover). Critical areas, erodible soils, within 50 feet of a surface water, 5. Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove etc. should be blanketed. Temporary erosion control BMPs that were installed for the earthmoving phase of the project must remain in place and be maintained in working order until permanent stabilization is achieved. NOTE: Areas that do not receive sufficient sunlight to support vegetation (e.g. under bridge decks) should be stabilized by some means other than vegetation.
- 13. Upon completion of all earth disturbance activities, removal of all temporary BMPs, and permanent stabilization of all disturbed areas, the owner and/operators shall contact the Dauphin County Conservation District for a final inspection. Permanent stabilization must remain in place after construction activities have been completed (DEP Standard Note 32).

Maintenance Program

Until the site is stabilized, all erosion and sediment control BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including cleanout, repair, replacement, re-grading, reseeding, re-mulching, and re-netting must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's or modifications of those installed will be required.

The permittee and co-permittee must insure that visual site inspections are conducted weekly, and after each measurable precipitation event by gualified personnel, trained and experienced in erosion and sediment control, to ascertain that the Erosion and Sediment Control (E & S) BMP's are operational and effective in preventing pollution to the waters of the Commonwealth. A written report of each inspection shall be kept, and include: 1) a summary of the site conditions, E & S BMP's, compliance; and

2) the date, time, and name of the person conducting the inspection.

Any sediment removed from BMP's during construction will be returned to upland areas on site and incorporated into the site grading.

Compost Filter Sock

Sock fabric shall meet standards of Table 4.1 of the PA DEP Erosion and Sediment Pollution Control Program Manual. Compost shall meet the standards of Table 4.2 of the PA DEP Erosion and Sediment Pollution Control Program Manual. Compost filter sock shall be placed at existing level grade. Both ends of the barrier shall be extended at least 8 feet up slope at 45 degrees to the main barrier alignment. Maximum slope length above any barrier shall not exceed that specified for the size of the sock and the slope of its tributary area. Traffic shall not be permitted to cross compost filter socks. Accumulated sediment shall be removed when it reaches 1/2 the above ground height of the barrier and disposed in the manner described above and below. Compost filter socks shall be inspected weekly and after each runoff event. Damaged socks shall be repaired according to manufacturer's specifications or replaced within 24 hours of inspection. Biodegradable compost filter socks shall 14. All vehicles and equipment must enter directly and exit directly from the site. be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to manufacturer's recommendations. Upon final stabilization of the area tributary to the sock, stakes shall be removed. The sock shall be left in place and vegetated as a water quality BMP.

Rock Construction Entrance

RCE's are to be maintained daily with adequate thickness per plan detail (8") and a minimum of 20' wide and 50' long. Rock (AASHTO No. 1) is to be stockpiled on-site and added as necessary to prevent silt and materials from leading off-site and onto public roads creating a safety hazard or pollution problem. Any drag-out material is to be cleaned up with a shovel and swept clear (and placed back on the site). Washing with water is prohibited as it will likely lead to a silt pollution problem.

Erosion Control Mats

Erosion control blankets or mats are to be used in steep slope areas that silt fencing or silt socks cannot suffice due to the uphill slopes being too great. They are to be installed during dry weather and tacked or pinned down per the manufacturer's instructions. Seeding and spreading a thin layer of soil into the mat is advisable for proper germination and growth. These mats should be inspected after each rain event to look for signs of erosion.

Pumped Water Filter Bags

When used, bags shall be replaced when they become one half full. Spare bags shall be kept available for replacement of those that have failed or are filled. Bags shall be located in well-vegetated (grassy) area, and discharge onto stable, erosion resistant areas. Where this is not possible, a geotextile flow path shall be provided. Bags shall not be placed on slopes greater than 5%.

Topsoil Stockpile

Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the finished grading of all exposed areas that are be stabilized by vegetation. Each stockpile shall be protected in the manner shown on the plan drawings. Stockpile heights shall 20. All fills shall be compacted as required to reduce erosion, slippage, settlement not exceed 35 feet. Stockpile side slopes shall be 2H:1V or flatter.

This drawing is and shall remain the property of ACT ONE & Associates. Any reuse on project extensions, any other project, or alterations or additions to this project shall be at the user's sole risk, and without liability to ACT ONE & Associates

: PATH: \\ACTONESERVER\COMPANY BACKUP\2022\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA DAUPHIN\DRAWING\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA TWP.DWG IT SAVED: 8/24/2023 1:33 PM PLOTTED: 8/24/2023 2:02 PM PLOTTED BY: A0A-5

Stormwater Pipes and Underdrains

Maintenance & repair of the Stormwater Pipes and Underdrain not located within a responsibility of the individual lot owners. An underdrain is a perforated pipe that ca Typically the perforated pipe is laid in a trench and then backfilled with an open-gra maintenance concern associated with these systems is blockage of the pipe outlets sediment within pipes. If routine inspections suggest the possibility of reduced effic system, the network should be flushed with large quantities of clean water. Suction pumps, and powered rotary cleaners may be required to clean out sections of pipe with roots and sediment. Herbicides may be considered for use in controlling root g unsuccessful, damaged pipes must be removed, cleaned, or replaced. Use of filter when replacing underdrains. Stormwater pipes are subject to abrasion and corrosic pipes should be inspected periodically (at least once a year) to determine if deterior taken place. If the deterioration prevents the pipe from functioning as designed, the

Material Disposal

Sediments from all control devices will be removed by spreading and drying on site within a short period of time (silt fence within 24 hours; sediment ponds and sedim preferably, it will be added to the topsoil pile and mixed and used as a soil amendn measures and facilities should be inspected weekly and after every runoff event. of excess materials is preferred, rather than disposal. Materials that qualify for "Cle definition can be used as fill material without a permit from the agency. This is prov waters of the commonwealth (including wetlands). "Clean Fill" by definition is unco stone, soil, clay, concrete, or asphalt. Due Diligence is required to ensure the mate definition. This may involve research into past land uses and practices, and mater Any other waste materials encountered will be disposed of according to the Solid V July 7, 1980, P.L. 380, No. 97, 35 P.S. Section 6018.610) and pertinent 25 Pa Cod

APPENDIX C - Standard E & S Notes

- 1. All earth disturbances, including clearing and grubbing as well as cuts and fills with the approved E&S plan. A copy of the approved drawings (stamped, sign reviewing agency) must be available at the project site at all times. The review of any changes to the approved plan prior to implementation of those changes require a written submittal of those changes for review and approval at its disc
- 2. At least 7 days prior starting any earth disturbance activities, including clearing and/or operator shall invite all contractors, the landowner, all appropriate muni and sedimentation control plan preparer, the PCSM plan preparer, the license for oversight of critical stages of implementation of the PCSM plan, and a repr conservation district to an on-site pre-construction meeting.
- unmarked, the Pennsylvania One Call System Incorporated, shall be notified location of existing underground utilities.
- 4. All earth disturbance activities shall proceed in accordance with the sequence drawings. Each stage shall be completed and immediately stabilized before ar Clearing, grubbing and topsoil stripping shall be limited only to those areas des Deviation from that sequence must be approved in writing from the local count the Department prior to implementation.
- other objectionable material.
- 6. Clearing, grubbing, and topsoil stripping shall be limited to those areas describ sequence. General site clearing, grubbing and topsoil stripping may not comm of the project until the E&S BMPs specified by the BMP sequence for that stag installed and are functioning as described in this E&S plan.
- At no time shall construction vehicles be allowed to enter areas outside the lin shown on the plan maps. These areas must be clearly marked and fenced off operations begin.
- 8. Topsoil required for the establishment of vegetation shall be stockpiled at the map(s) in the amount necessary to complete the finished grading of all expos stabilized by vegetation. Each stockpile shall be protected in the manner show Stockpile heights shall not exceed 35 feet. Stockpile side slopes shall be 2H:
- 9. Immediately upon discovering unforeseen circumstances posing the potential and/or sediment pollution, the operator shall implement appropriate best mana minimize the potential for erosion and/or sediment pollution and notify the local and/or the regional office of the Department.
- 10. All building materials and wastes shall be removed from the site and recycled with the Department's Solid Waste Management Regulations at 25 Pa Code 287.1 et seq. No building materials or wastes or unused building materials sh dumped, or discharged at the site.
- 11. All off-site waste and borrow areas shall have an E&S plan approved by the lo district or the Department fully implemented prior to being activated.
- 12. The contractor is responsible for ensuring that any material brought on site is a be retained by the property owner for any fill material affected by a spill or rele by qualifying as clean fill due to analytical testing.
- 13. All pumping of water from any work area shall be done according to the proceed over undisturbed vegetated areas.
- 15. Until the site is stabilized, all erosion and sedimentation control BMPs shall be Maintenance shall include inspections of all erosion and sedimentation control event and on a weekly basis. All preventative and remedial maintenance work replacement, re-grading, reseeding, re-mulching and re-netting shall be perfor and sediment control BMPs fail to perform as expected, replacement BMPs of installed will be required.
- 16. A log showing dates that E&S BMPs were inspected as well as any deficience were corrected shall be maintained on the site and be made available to regul time of inspection.
- 17. Sediment tracked onto any public roadway or sidewalk shall be returned to the of each work day disposed in the manner described in this plan. In no case sh shoveled, or swept into any roadside ditch, storm sewer, or surface water.
- 18. All sediment removed from BMPs shall be disposed of in the manner describe
- 19. Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 3 compacted soils.....prior to placement of topsoil. Areas to be vegetated shall h topsoil in place prior to seeding and mulching. Fill outslopes shall have a minir
- problems. Fill intended to support buildings, structures and conduits, etc. shall accordance with local requirements or codes.
- 21. All earthen fill shall be placed in compacted layers not to exceed 9 inches in the
- 22. Fill material shall be free of frozen particles, brush, roots, sod, or other foreign that would interfere with or prevent construction of satisfactory fills.

a public right-of-way is the	23.	Frozen ma	aterials or soft, muc	ky, or highly compre	essible materials sh	all not be incorporate	ed into fills.			
arries collected water. aded aggregate. The primary is and accumulation of	24.	Fill shall n	ot be placed on sate	urated or frozen sur	faces.					
ciency for the underdrain n pumps, high pressure that have become clogged	25.	Seeps or specificati	springs encountered on for subsurface d	d during constructio rain or other approv	n shall be handled i /ed method.	n accordance with th	e standard and			/
growth, but special attention er sources. Herbicides can an the system are er cloth should be considered	26.	All graded competen as otherw	l areas shall be perr t bedrock and rock ise shown on the pl	manently stabilized fills need not be veg an drawings, shall b	immediately upon r getated. Seeded are be blanketed accord	eaching finished grad eas within 50 feet of a ling to the standards	de. Cut slopes in a surface water, or of this plan.		/	
ion, as stated above. These pration of the inverts has ne pipe should be replaced.	27.	Immediate stabilize a applied as	ely after earth distur Il disturbed areas. I described in the pl	bance activities cea During non-germina an. Areas which are	ase in any area or su ting months, mulch e not at finished gra	ubarea of the project or protective blanket de and which will be	, the operator shall ing shall be reactivated within			(S.R.
e and stabilizing by seeding ent traps within 36 hours); or ment. All temporary control Whenever possible, recycling		1 year ma areas whi accordanc	y be stabilized in ac ch are at final grade ce with the permane	ccordance with the t or which will not be ent vegetative stabil	emporary vegetative reactivated within ization specification	e stabilization specifi 1 year shall be stabil s.	cations. Those lized in	/	t Street	503
lean Fill" under the DEP ovided it is not placed in ontaminated block, brick, rerial meets the Clean Fill	28.	Permaner permanen slopes sha	nt stabilization is def it non-vegetative co all be capable of res	fined as a minimum ver with a density s sisting failure due to	uniform 70% peren ufficient to resist ac slumping, sliding, o	nial vegetative cover celerated surface erc or other movements.	or other osion. Cut and fill		Walnut	
rial inspection and testing. Waste Management Act (of de DEP regulations.	29.	E&S BMP until they a Departme	S shall remain func are replaced by anc nt.	tional as such until other BMP approved	all areas tributary to by the local county	them are permanen conservation distric	tly stabilized or t or the			A CARACTER STATE
s shall be done in accordance	30.	Upon com owner and removal/c	pletion of all earth o d/or operators shall onversion of the E&	disturbance activitie contact the local co S BMPs.	s and permanent st unty conservation c	abilization of all distu listrict for an inspection	rbed areas, the on prior to the	ADA CURB RAMI (SEE SHEET 4		
ving agency shall be notified s. The reviewing agency may cretion.	31.	After final converted or convers disturbed	site stabilization ha to permanent post sion of the BMPs sh areas, such remova	is been achieved, te construction stormv nall be stabilized imr al/conversion are to	emporary erosion ar water management nediately. In order t done only during th	nd sediment BMPs sh BMPs. Areas disturb o ensure rapid reveg e germinating seaso	nall be removed or ed during removal letation of n		Stop Sign	
ig and grubbing, the owner nicipal officials, the erosion ed professional responsible resentative of the local county	32.	Upon com owner and	pletion of all earth o d/or operators shall	disturbance activitie contact the local co	s and permanent st unty conservation c	abilization of all distu listrict to schedule a	irbed areas, the final inspection.	Pp125258 \$34715	14	Pp/25265
o an area previously	33.	Failure to site, or fai	correctly install E&S lure to take immedia	S BMPs, failure to p ate corrective actior	revent sediment-lac n to resolve failure c	len runoff from leavir f E&S BMPs may re	ng the construction sult in			
at 1 800 242 1776 for the		of the Per civil penal penalties f	ative, civil, and/or cr insylvania Clean Str ties, up to \$10,000 for each violation.	iminal penalties bei reams Law. The Cle in summary crimina	ng instituted by the ean Streams Law pi I penalties, and up	Department as definer ovides for up to \$10, to \$25,000 in misden	ed in Section 602 000 per day in neanor criminal			
iny following stage is initiated. escribed in each stage. ity conservation district or by	34.	Clean Fill term inclu	is defined as: Unco des soil, rock, stone lition activities that i	ntaminated, non-wa e, dredged material, is senarate from oth	ater soluble, non-de used asphalt, brick per waste and is rec	composable, inert, so , block, or concrete f	olid material. The rom construction		4	
e trees, vegetation, roots and		include ma otherwise processed	aterial placed in or o authorized (the ter for re-use).	on Waters of the Co m "used asphalt" do	ommonwealth (or we bes not include mille	etlands and floodway ed asphalt or asphalt	s) unless that has been		-	N10001554 Hill 037 1201 10:strument #201
bed in each stage of the nence in any stage or phase ge or phase have been	35.	Environme qualify as limited to, of property	ental due diligence i clean fill. Environm visual property insp v use history. Sanbo	must be performed nental due diligence pections, electronic orn maps, environm	to determine if the f is defined as: Invest database searches nental questionnaire	ill materials associate stigative techniques, review of property o s. transaction screer	ed with the project including, but not wnership, review is, analytical			800
mit of disturbance boundaries f before clearing and grubbing		testing, er unless vis subjected a regulate performed	nvironmental assess ual inspection and/o to a spill or release of substance, it mus l in accordance with	sments or audits. A or review of past lar of a regulated subs of be tested to deter a Appendix A of the	nalytical testing is r id use of the proper stance. If the fill has mine if it qualifies as Department's policy	not a required part of ty indicates that the f s been affected by a s clean fill. Testing s y "Management of Cl	due diligence ill may have been spill or release of hould be ean Fill".			
location(s) shown on the plan ed areas that are be	36.	Concrete allowed to	wash water shall be enter any surface v	e handled in the mai waters or groundwa	nner described on t tter systems.	ne plan drawings. In	no case shall it be			
wn on the plan drawings. 1V or flatter. for accelerated erosion	37.	All channe accumulat mowed ar	els shall be kept free ted sediment, exces nd/or free of all wee	e of obstructions inc ss vegetation and c dy, brushy or woody	cluding but not limite onstruction material y growth.	ed to fill, rocks, leave /wastes. Channels sl	s, woody debris, nould be kept			
agement practices to al county conservation district	38.	Undergrou channel(s be convey	und utilities cutting t) restored to its orig red past the work ar	hrough any active c inal cross-section a rea in the manner d	hannel(s) shall be i nd protective lining. escribed in this plar	mmediately back-fille Any base flow withir until such restoratio	ed and the n the channel shall ns is complete.			
l or disposed of in accordance 260.1 et seq., 271.1, and nall be burned, buried,	39.	Erosion co surface wa	ontrol blanketing sha aters and on all othe	all be installed on al er disturbed areas s	Il disturbed slopes 3 specified on the plar	H:1V or steeper with maps and/or detail	in 50 feet of sheets.			
ocal county conservation	40.	Fill materia stones, ar layered lift	al for the embankme nd other objectionab ts at 90% density.	ents shall be free of ble materials. The e	f roots, or other woo mbankment shall be	dy vegetation, organ compacted in maxir	ic material, large num 8 inch			
clean fill. Form FP-001 shall ease of a regulated substance										
edure described in this plan,										
e maintained properly.										
I BMPs after each runoff k, including cleanout, repair, rmed immediately. If erosion r modifications of those										
ies found and the date they			1		Taken from S	Dil Survey of York County	Limitations & , and the Erosion and Sed	Resolutions	ogram Manual, March I	1 2012
latory agency officials at the		Soil Name and Map Symbol	Depth to Water Table	Supply at Field Capacity 0 to 9.8 Inches	Sha ll ow Excavation	Dwellings Without Basements	Dwellings With Basements	Small Commercial Buildings	Local Roads an Streets	d Drought
e construction site by the end nall the sediment be washed,		BkB2 Berks	Greater Than 80 Inches Flooding Frequency: None	0 to 60 Inches	Very Limited Severe: Depth to Hard Bedrock	Somewhat Limited Severe: Slope Moderate: Depth to Hard Bedrock	Somewhat Limited Severe: Depth to Hard Bedrock Severe: Depth to	Somewhat Limited Moderate: Slope Low: Depth to	Somewhat Limited Low: Depth to	Drou
ed on the plan drawings. 5 inches6 to 12 inches on					Low: Dusty	Low: Depth to Saturated Zone	Saturated Zone	Hard Bedrock	Hard Bedrock	
nave a minimum 4 inches of imum of 2 inches of topsoil.		Son Resolu Slope - Ma Depth to W (see detail	y require extensive /ater Table - Its not 3-16).	grading, Straw and anticipated that a h	hay mulch should l igh water table will l	be anchored or tackif be encountered durir	ied and erosion contr ng excavation. If a hig	ol blankets are require ר water table is encou	ed on slopes 33% intered in an exca	and greater. vation it shal
nt, subsidence or other related Il be compacted in		Depth to be Frost action Lawns - Tw preserved	edrock - May require <u>n</u> - May require rem vo thirds of Pennsyl and stored for later	e special excavation loval of unsuitable s lvania soils are poor use in restoration. S	n equipment with "te coil and deeper footi r sources of topsoil Soil tests are strong	eeth" for ripping and/o ngs and importing su and may require imp ly recommended to o	or blasting litable soil orting suitable topsoil. determine the proper a	Wherever soils that a application of soil ame	are fair or good so endments to prom	ources of tops
hickness.		should also Not limited that are mo	o address the prope indicates that the s oderately favorable	er moisture content t oil has features that for the specified use	for the proposed ve t are very favorable e. The limitations ca	getative cover. Apply for the specified use in be overcome or m	ing mulch at the prop . Good performance a inimized by special pl	er rate, and dependin and very low maintena anning, design or ins	g on the time of y ance can be expe tallation. Fair perf	ear, watering cted. Somew ormance and
n or objectionable materials		limited indi	cates that the soil h procedures. Poor p	as one or more feat	tures that are unfav gh maintenance car	orable for the specific be expected	ed use. The limitations	s generally cannot be	overcome withou	t major soil re



		TABLE 11. 2012 Erosion and S	6 - Mulch App Sediment Pollution	Dication Rates				
	Appl	ication Rate (Mini	mum)					
Mulch Type	Per Acre	Per 1,000 ft ²	Per 1,000 yd	2	Notes			
Straw	3 Tons	140 lb.	1,240 lb.	Either wheat or of chopped or finely	Either wheat or oat straw, free of weeds, not chopped or finely broken			
Hay	3 Tons	140 lb.	1,240 lb.	Timothy, mixed of forage grasses	clover and timothy or other native			
Wood Chips	4-6 Tons	185-275 lb.	1,650-2,500 lt	o. May prevent ger	mination of grasses and legumes			
Hydromulch 1 Tons 47 lb. 415 lb. See limitations above								
Straw and hay mulch s "crimp" the straw or ha the contour. <u>Note</u> : Crir place with netting. Ligh	should be anchored or t ay into the soil about nping of hay or straw b ntweight plastic, fiber, o	ackified immediately a 3 inches. This method / running over it with t r paper nets may be s	after application to pro- should be limited to racked machinery is stapled over the mulc	event being windblown. A t slopes no steeper than 3H not recommended. Mulch h according to manufacture	tractor-drawn implement may be used to :1V. The machinery should be operated on on slopes of 8% or steeper should be held in er's recommendations.			
Polymeric and gum tac windy days. A 24-hour areas and at crests of mulch is spread or spr	ckifiers mixed and appli curing period and a so ridges and banks to pre ayed into the mulch as	ed according to manu il temperature higher event loss by wind. Th it is being blown onto	facturer's recommen- than 45° F are typica e remainder of the ar the soil. Applying stra	dations may be used to tac Ily required. Application sh rea should have binder app aw and binder together is g	ck mulch. Avoid application during rain and on ould generally be heaviest at edges of seeded blied uniformly. Binders may be applied after generally more effective.			
Synthetic binders, or c show they are non-tox	hemical binders, may b ic to native plant and a	e used as recommen himal species.	ded by the manufactu	urer to anchor mulch provid	ded sufficient documentation is provided to			
Shredded paper hydro used. The application	mulch should not be us rate for any hydromulch	ed on slopes steeper should be 2,000 lb/a	than 5%. Wood fiber cre at a minimum.	hydromulch may be applie	ed on steeper slopes provided a tackifier is			
			TABLE 4.	1				
	С	ompost Sock	Fabric Minim	um Specificatio	ns			
Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (MFPP)	Heavy Duty Multi-Filament Polypropylene (HDMFPP)			
Material Characteristics	Photo- degradable	Photo- degradable	Bio- degradable	Photo- degradable	Photo- degradable			
Sock Diameters	, 12" , 18"	12" 18" 24"	12" 18" 24"	12" 18" 24"	12" 18" 24"			
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"			
Tensile Strength	1	26 psi	26 psi	44 psi	202 psi			
Ultraviolet Stabilit % Original Streng (ASTM G-155)	ty th 23% at 1,000 hr.	23% at 1,000 hr.		100% at 1,000 hr.	100% at 1,000 hr.			
Minimum Functior Longevity	nal 6 months	9 months	6 months	1 year	2 years			
			Two-ply Syste	ms				
				HDPE bi	iaxial net			
Inno	r Containmont Not	ina		Continuou	isly wound			
IIIIe	r containment Net	ung		Fusion-weld	ed junctures			
				3/4" X 3/4" Max	x. aperture size			
Composite Polypropylene Fabric Outer Filtration Mesh (Woven layer and non-woven fleece mechanically fused via needle								
3/16" Max. aperture size								
	Sock fabrics of	composed of burla	ap may be used o	on projects lasting 6 n	nonths or less.			
Compost S	tandards	Sedimen	I ABLE 4.2	∠ rogram Manual	2012 Erosion and			
Org	ganic Matter Conte	nt		80%-100% (dr	y weight basis)			
	Organic Portion			Fibrous and	d elongated			
	nH		5500					

Moisture Content 35%-55% 98% pass through 1" screen Particle Size 5.0 dS/m (mmhos/cm) Maximun Soluble Salt Concentration ompost should be a well decomposed, weed-free organic matter derived from agriculture, food, stump grindings, and yard or wood/bark organic matter ources. The compost should be aerobically composted. The compost should possess no objectionable odors and should be reasonably free (<1% by dry weight) of man-made foreign matter. The compost product should not resemble the raw material from which it was derived. Wood and bark chips, ground struction debris or reprocessed wood products are not acceptable as the organic component of the mix The physical parameters of the compost should comply with the standards in Table 4.2. The standards contained in the PennDOT Publication 408 are an acceptable alternative.



NOTES

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD				
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN				
GRAB TENSILE	ASTM D-4632	205 LB				
PUNCTURE	ASTM D-4833	110 LB				
MULLEN BURST	ASTM D-3786	350 PSI				
UV RESISTANCE	ASTM D-4355	70%				
AOS % RETAINED	ASTM D-4751	80 SIEVE				

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSA PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG NOT TO SCALE

This drawing is and shall remain the property of ACT ONE & Associates. Any reuse on project extensions, any other project, or alterations or additions to this project shall be at the user's sole risk, and without liability to ACT ONE & Associates <u>Stabilization specifications</u> 1. Permanent stabilization is defined as "a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements".

- 2. Immediately after earth disturbance activities cease, the operator shall stabilize the disturbed areas. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finish grade and which will not be redisturbed within one year must be stabilized in accordance with the permanent vegetative stabilization specifications
- 3. Topsoil must be placed a minimum of 6" on all disturbed areas to be revegetated. 4. Straw and hay mulch should be anchored immediately after application to prevent being windblown. A tractor-drawn implement may be used to "crimp" the straw or hay into the soil. This method is limited to slopes
- no steeper than 3:1. The machinery should be operated on the contour. (note: crimping of hay or straw by running over it with tracked machinery is not recommended). A wood cellulose fiber may be spread over the straw mulch at a rate of 1,500 lb./acre. 5. Erosion control blankets must be installed on all disturbed slopes 3:1 and greater.
- 6. Tracking slopes is required by running tracked machinery up and down the slope, leaving tread marks parallel to the contour. (note: if a bulldozer is used, the blade shall be up). Care should be exercised on soils having a high clay content to avoid over compaction.

Temporary cover for erosion control on construction sites and other sediment-producing areas where additional soil disturbance is anticipated. Species For spring seeding (up to June 15th Annual ryegrass or spring oats, 96 (3 bu) or spring oats plus ryegrass 64 oats (2 bu) plus 20 lb annual or perennial ryegrass or winter wheat, 180 (3 bu) 168 (3 bu) or winter rye For late spring and summer seeding (up to June 16th to August 15th Annual ryegrass or Japanese or foxtail millet. or sudangrass, or spring oats, 96 (3 bu) 180 (3 bu) or winter wheat. 168 (3 bu) or winter rye For late summer and fall seeding (August 16th and later) Annual ryegrass 168 (3 bu) or winter rye, 180 (3 bu)

or spring oats, (can be used but winter kills

or winter wheat.

Site preparation Apply 1 ton of agricultural-grade limestone per acre, and work in where possible. Secure a soil test before making a permanent seeding.

96 (3 bu)

Material may be wheat or oats straw. Binder may be an asphalt emulsion. Binder may also be a chemical mulch binder consisting of a polymer synthetic resin, polypectate or other material which gives similar properties as asphalt emulsion. Mulch seeded areas at the rate of 3 tons per acre. Take precautions to stabilize the mulch using asphalt emulsion at a rate of 100 gallons per acre or chemical binder mulch as approved. Mulch within 48 hours of seeding (lime rate should be 6 ton/acre). Seeding

All disturbed areas shall be seeded with the specified seed mix at a rate of 48 lbs./acre of pure live seed (1.10 lbs./1000 S.F.). Seeding shall only be done during periods deemed suitable for seeding by the landscape architect or by the project engineer, (temporary seeding shall be applied from March to September).

Fertilizers are not recommended, however if used shall be a composite commercial type and shall bear the manufacturer's guaranteed statement of analysis. A minimum of 35% of the total nitrogen content shall be guaranteed to be water insoluble nitrogen. Apply at 1,000 lbs per acre 5-5-5 (23 lbs per 1,000 ft²) Any areas failing to establish a stand shall be re-seeded and re-mulched as directed by the landscape architect or by the project engineer. Immediately repair any damage to the work areas resulting from erosion and/or equipment.

Permanent seeding specifications

Amendments

Limestone - raw, ground agricultural limestone containing a minimum 90% carbonates, 240 pounds per 1.000 ft². Commercial fertilizer - 25 pounds 10-10-20 per 1,000 ft² mixed into the seedbed prior to seeding, or mixed with the seed if hydroseeding

Mulch - clean oats or wheat straw, free of mature seed-bearing stalks or roots of prohibited or noxious weeds as defined by the Pennsylvania Seed Act of 1947. Mulches absorb rainfall impact, increase the rate of infiltration, reduce soil moisture loss due to evaporation. moderate soil temperatures, provide a suitable environment for germination, and protect the seedling from intense sunlight. All seeded areas should be mulched or blanketed to minimize the potential for failure to establish an adequate vegetative cover. Mulching may also be used as a temporary stabilization of some disturbed areas in non-germinating seasons. See Table 11.6 for application rates and methods of anchoring.

Permanent seed mixture	Proportion by weight	Minimum purity	Minimum germination
Tall fescue	60 lb. / ac.	95%	80%
Plus fine fescue	35 lb. / ac.	95%	80%
Or perennial ryegrass	15 lb. / ac.	95%	85%

Preparation of seed bed

Grade as necessary to bring subgrade to a true smooth slope parallel to and six (6) inches below finished grade. Place topsoil over area to a depth sufficient to obtain six (6) inches after settlement and light rolling. The completed work will conform to lines, grades and elevations shown or specified. Fertilizer and lime shall be thoroughly incorporated into the soil by rototilling or other method to the minimum depth of four (4) inches. The entire surface shall be seeded in two (2) separate operations. The second seeding shall be done immediately after the first and at right angles to the first seeding, and lightly raked into the soil. Mulch all areas immediately after seeding.

*seed mixture shall bear a guaranteed statement of analysis. All information taken from the Pennsylvania Agronomy Guide.



SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PI AN

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED.

THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT. Standard E&S Workshoot #1

Standard E&S Worksheet #1 Compost Filter Socks Table				
Sock No.	Diameter (in)	Location	Slope (%)	Slope Length Above Barrier (ft)
CFS-1	12	Downslope of site	2	80

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

NOT TO SCALE

LE PATH: \\ACTONESERVER\COMPANY BACKUP\2022\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA DAUPHIN\DRAWING\22-064 3103 WALNUT ST POCASANGRE SUSQUEHANNA TWP.DWG \ST SAVED: 8/24/2023 2:43 PM PLOTTED: 8/24/2023 3:20 PM PLOTTED BY: A0A-5



SHEET 7 OF 7

JOB NO.: 22-064