

PRELIMINARY/FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN

FOR

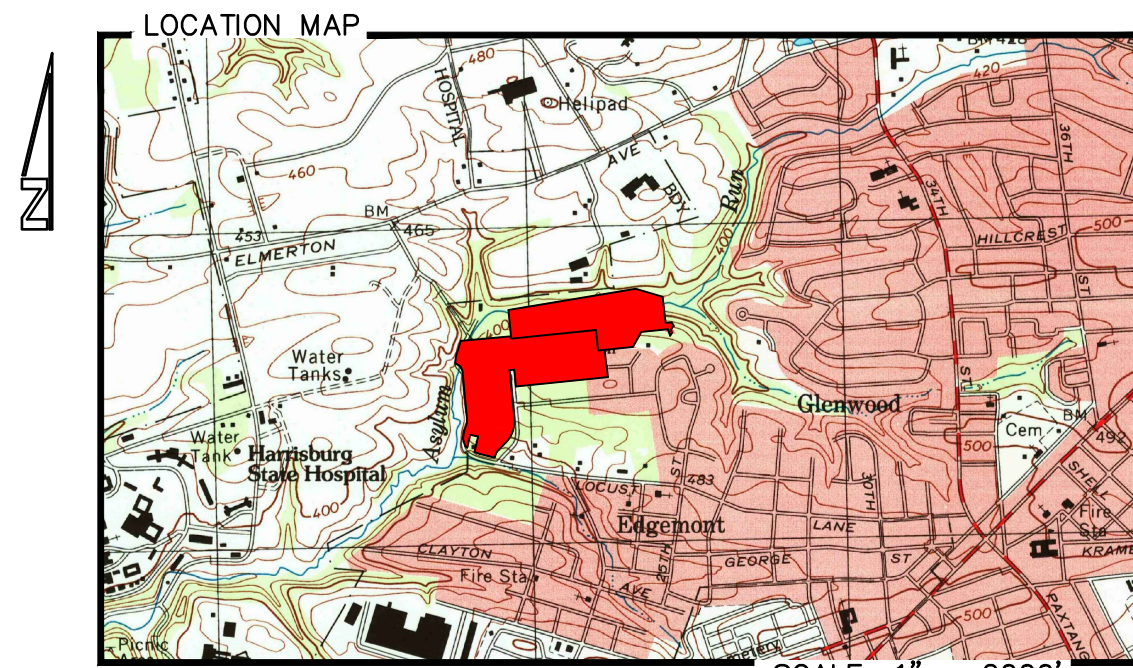
COVENANT CHRISTIAN ACADEMY

SUSQUEHANNA TOWNSHIP

DAUPHIN COUNTY, PENNSYLVANIA

GENERAL NOTES :

- THE PURPOSE OF THIS PLAN IS THE LAND DEVELOPMENT OF A SOCCER FIELD AND MODIFICATIONS OF THE EXISTING PARKING LOT TO PROVIDE A BETTER AND SAFER TRAFFIC CIRCULATION, SECURITY TO THE SCHOOL AND ADDITIONAL PARKING (EXPANSION OF EXISTING PARKING). THE LOT CONSOLIDATION PLAN PROPOSES TO CONSOLIDATE TWO LOTS INTO ONE. THIS PROJECT DOES NOT PROPOSE ANY PUBLIC IMPROVEMENTS.
- THE EXISTING FEATURES AND BOUNDARY ARE DEPICTED PER FIELD SURVEY PERFORMED BY ALPHA CONSULTING ENGINEERS, INC., CONCLUDING MAY 13, 2021. CONTOURS OUTSIDE THE AREA OF TOPOGRAPHIC SURVEY ARE DEPICTED PER PASDA DIGITAL IMAGERY.
- ALL UNDERGROUND UTILITIES ARE SHOWN PER THE FIELD SURVEY, THE AFOREMENTIONED PLANS, AND PER PA ONE-CALL #20210571983. ALL UNDERGROUND UTILITY LOCATIONS ARE CONSIDERED TO BE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO EXCAVATION.
- ALL EXISTING ONSITE DRAINAGE EASEMENTS DEPICTED ON THIS 'EXISTING FEATURES PLAN' SHALL BE ABANDONED/REMOVED AS PART OF THIS PLAN. PLEASE REFER TO THE 'SITE PLAN' FOR THE PROPOSED/REVISED DRAINAGE EASEMENTS.
- ALPHA CONSULTING ENGINEERS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF THE PUBLIC OR THE CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE PUBLIC UTILITIES 72 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES.
- AN NPDES GENERAL PERMIT IS REQUIRED WITH THIS PROJECT, AND AN EROSION AND SEDIMENTATION CONTROL PLAN/REPORT AND POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN/REPORT SHALL BE SUBMITTED TO THE DAUPHIN COUNTY CONSERVATION DISTRICT FOR APPROVAL. CERTIFICATION OF APPROVAL BY THE CONSERVATION DISTRICT SHALL BE PROVIDED TO THE TOWNSHIP PRIOR TO COMMENCING EARTH-MOVING ACTIVITIES. UNDER THE RULES AND REGULATIONS, CHAPTER 102, EROSION CONTROL, P.L. 1987, JUNE 22, 1937, AS AMENDED.
- ALL STORMWATER AND TEMPORARY/PERMANENT EROSION CONTROL MEASURES SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER. ALL STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY SUSQUEHANNA TOWNSHIP.
- THE STORMWATER OPERATION AND MAINTENANCE (O&M) AGREEMENT SHALL BE CONSIDERED PART OF THE STORMWATER SITE PLAN, AND SHALL BE RECORDED WITH THE STORMWATER MANAGEMENT SITE PLAN OR PRELIMINARY/FINAL PLAN.
- RECORD DRAWINGS SHALL BE PROVIDED TO THE TOWNSHIP FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF FINANCIAL SECURITY.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
- ALL STORMWATER MANAGEMENT FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER. THE MAINTENANCE INCLUDES AN ANNUAL INSPECTION AND AN INSPECTION AFTER SIGNIFICANT RAINFALL EVENTS. MAINTENANCE INCLUDES KEEPING THE FACILITIES FREE OF SILT AND OTHER DEBRIS, STABILIZATION OF ANY ERODED AREAS, ETC. IN RECORDING THIS PLAN THE APPLICANT RECOGNIZES THE TOWNSHIP'S RIGHT TO INSPECT SAID FACILITIES AT ANY TIME. IN THE EVENT THAT SAID FACILITIES ARE NOT MAINTAINED IN ACCORDANCE WITH THE TOWNSHIP'S REQUIREMENTS, THE TOWNSHIP SHALL HAVE LEGAL RIGHTS TO ACCESS THE PROPERTY AND APPLY CORRECTIVE MEASURES AS NEEDED. THE TOWNSHIP FURTHER HAS THE RIGHT TO ASSESS PENALTIES AND COSTS FOR SUCH REPAIRS TO THE OWNER.
- PARKING FACILITIES SHALL CONFORM WITH BOTH THE AMERICANS WITH DISABILITIES ACT, ACCESSIBILITY GUIDELINES AND THE INTERNATIONAL BUILDING CODE REQUIREMENTS FOR ACCESSIBLE PARKING AND PASSENGER LOADING FACILITIES IN ACCORDANCE WITH THE PENNSYLVANIA UNIFORM CONSTRUCTION CODE AS ADOPTED BY THE TOWNSHIP.
- THERE WAS NO OBSERVED EVIDENCE OF WETLANDS ON THE SUBJECT PROPERTY WITHIN THE LIMITS OF DISTURBANCE.
- ALL KNOWN COVENANTS ASSOCIATED WITH THE PROPERTY ARE DEPICTED ON THE PLAN.
- THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM OF 48-HOUR NOTICE AND TO COORDINATE WITH THE TOWNSHIP/TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
- ALL CONSTRUCTION, INCLUDING STORM SEWER CONSTRUCTION, SHALL CONFORM TO PENNDOT PUBLICATION 408 AND 72M STANDARDS, (LATEST EDITION) AND ALL SUSQUEHANNA TOWNSHIP ORDINANCES.
- THE STREET ADDRESS SHALL BE DISPLAYED, DEPENDING ON USE, AND IN CONFORMANCE WITH TOWNSHIP ORDINANCE SECTION 22-1112.4.
- SUSQUEHANNA TOWNSHIP SHALL BE GRANTED ACCESS TO THE DRAINAGE EASEMENTS VIA THE NEAREST PUBLIC RIGHT-OF-WAY.
- ALL NEW PLAYGROUND AREAS/STRUCTURES WILL INCLUDE A MEANS FOR PROVIDING SHADE COVERAGE.



INDEX OF DRAWINGS :

- COVER SHEET
- EXISTING FEATURES PLAN
- LOT CONSOLIDATION PLAN
- OVERALL CAMPUS PLAN
- SITE PLAN
- LANDSCAPE PLAN
- GRADING AND UTILITY PLAN
- STORMWATER PROFILE
- DETAILS

UTILITY LISTING FOR SUSQUEHANNA TOWNSHIP

CABLE	COMCAST CABLE COMMUNICATIONS INC. 4601 SMITH STREET HARRISBURG, PA 17109 TEL: 717-651-1915 CONTACT: DAVE McCLUCKIE EMAIL: dave_mccluckie@cable.comcast.com	FRONTIER COMMUNICATIONS 3950 CHAMBERS HILL ROAD HARRISBURG, PA 17111 TEL: 1-800-921-8101
ELECTRIC	PPL ELECTRIC UTILITIES CUSTOMER SERVICE DEPARTMENT 1801 BROOKWOOD STREET HARRISBURG, PA 17104 TEL: 717-930-0223 CONTACT: JOANNE ARCHFIELD	
GAS	UGI CENTRAL PENN GAS, INC. 1301 AIP DRIVE MIDDLETOWN, PA 17057-5987 TEL: 717-930-0223 CONTACT: JOANNE ARCHFIELD	
SANITARY SEWER	SUSQUEHANNA TOWNSHIP SEWER AUTHORITY 1900 LINGLESTOWN ROAD HARRISBURG, PA 17110 TEL: 717-545-0116	
TELEPHONE	COMCAST CABLE COMMUNICATIONS INC. 4601 SMITH STREET HARRISBURG, PA 17109 TEL: 717-651-1915 CONTACT: DAVE McCLUCKIE EMAIL: dave_mccluckie@cable.comcast.com	
WATER SERVICE	SUEZ WATER PENNSYLVANIA 8189 ADAMS DRIVE MUMMELSTOWN, PA 17036 TEL: 717-960-6064	

ZONING REQUIREMENTS

ZONE:	R-2 MEDIUM DENSITY RESIDENTIAL	C - CONSERVATION DISTRICT
MINIMUM LOT AREA:	10,000 S.F.	MINIMUM LOT AREA: 1 ACRE
MINIMUM LOT WIDTH:	75 FT.	MINIMUM LOT WIDTH: 100 FT.
MAXIMUM LOT IMPERVIOUS COVERAGE:	40%	MAXIMUM LOT IMPERVIOUS COVERAGE: 30%
MAXIMUM BUILDING HEIGHT:	30 FEET.	MAXIMUM BUILDING HEIGHT: 50 FEET.
MINIMUM YARD SETBACK:	FRONT: 30 FT. SIDE: 8 FT. REAR: 30 FT.	MINIMUM YARD SETBACK: FRONT: 50 FT. SIDE: 40 FT. REAR: 50 FT.

SITE DATA

EXISTING LOT AREA:	PARCEL 62-026-013: 1,051,590 S.F. / 24.14 Ac. PARCEL 62-026-018: 665,820 S.F. / 15.29 Ac.
LOT AREA AFTER CONSOLIDATION:	1,717,410 S.F. / 39.43 Ac.
EXISTING LOT WIDTH:	500 FT. (+) ALONG CARTER DRIVE
BLDG. COVERAGE:	2.30% (39,500 S.F.)
EXISTING IMPERVIOUS LOT COVERAGE:	6.16% (105,850 S.F.)
PROPOSED LOT COVERAGE:	7.48% (128,502 S.F.)
EXISTING VEG. COVERAGE:	93.84% (1,611,664 S.F.)
PROPOSED VEG. COVERAGE:	92.52% (1,588,994 S.F.)
BUILDING HEIGHT:	< 30 FEET
REQUIRED PARKING INCREASE:	OUTDOOR RECREATIONAL FACILITY: 1 SPACE FOR EACH 3.5 SEATS = NO PROPOSED SEATS
MINIMUM REQUIRED ACCESSIBLE PARKING:	PER ADA 2010 MANUAL-201 TO 300 PARKING SPACES REQUIRES 7 ACCESSIBLE PARKING SPACES (INCL. 2 VAN ACCESSIBLE)
EXISTING PARKING PROVIDED:	185 SPACES (INCLUDING 10 ACCESSIBLE SPACES)
PROPOSED PARKING PROVIDED:	219 SPACES (INCLUDING 07 ACCESSIBLE SPACES)
WATER SERVICE:	SUEZ WATER PENNSYLVANIA
SANITARY SEWER:	SUSQUEHANNA TOWNSHIP SEWER AUTHORITY

WAIVER REQUESTS:

1. SEC. 22-404 - PRELIMINARY PLAN PROCEDURE - REQUIREMENT TO SUBMIT A PRELIMINARY PLAN	RECOMMENDATION BY PLANNING COMMISSION _____ DATE: _____	ACTION BY BOARD OF COMMISSIONERS _____ DATE: _____
2. SEC. 22-1107 - REQUIREMENT TO CONSTRUCT SIDEWALK ON CARTER AND STATE FARM DRIVE	RECOMMENDATION BY PLANNING COMMISSION _____ DATE: _____	ACTION BY BOARD OF COMMISSIONERS _____ DATE: _____

DATE :
MARCH 3, 2023
REVISED APRIL 7, 2023

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF DAUPHIN

ON THIS, THE ____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED OWNER(S) _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE. HE UNDERSIGNED PERSONALLY APPEARED

OWNER(S) _____

I THE OWNER ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY SUSQUEHANNA TOWNSHIP

OWNER(S) _____

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION
THIS _____ DAY OF, _____ 2023.

CHAIRMAN _____
SECRETARY _____

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION
THIS _____ DAY OF, _____ 2023.

CHAIRMAN _____
SECRETARY _____

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON

THIS _____ DAY OF, _____ 2023.

PRESIDENT _____
SECRETARY _____

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER
THIS _____ DAY OF, _____ 2023.

TOWNSHIP ENGINEER _____

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR DAUPHIN COUNTY
THIS _____ DAY OF, _____ 2023.

RECORDED IN INSTRUMENT # _____

SURVEY DATA CERTIFICATE :

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

JOHN K. MURPHY, PLS, PE (DATE) _____ (SEAL)

STORMWATER MANAGEMENT SITE PLAN CERTIFICATE :

I, JOHN K. MURPHY, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.

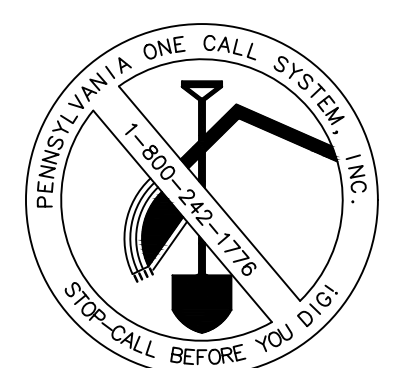
WETLANDS CERTIFICATE :

I, JOHN K. MURPHY, HEREBY CERTIFY THAT THERE ARE NO WETLANDS WITHIN THE LIMIT OF DISTURBANCE OF THE SUBJECT PROPERTY. THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS, AND PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

ENGINEER DATA CERTIFICATE :

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.

JOHN K. MURPHY, PLS, PE (DATE) _____ (SEAL)



PA ONE-CALL FOR THIS PROJECT:
SERIAL NUMBER: 20210571983

OWNER
COVENANT CHRISTIAN ACADEMY
1982 LOCUST LANE
HARRISBURG, PA 17109
(717) 540-7176

ALPHA
ALPHA CONSULTING ENGINEERS, INC.
PLANNING • ENGINEERING • SURVEYING
115 LIMEKILN RD., P.O. BOX 'G'
NEW CUMBERLAND, PA 17070
PHONE: (717) 770 - 2500
FAX: (717) 770 - 2400
WWW.ALPHACEI.COM

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING CURB
- EXISTING EDGE OF PAVE
- EXISTING STRUCTURE (TYP.)
- INFILTRATION TEST PIT LOCATIONS (2012)
- EXISTING TREE LINE
- EXISTING ELECTRIC LINE AND POLE
- EXISTING GAS LINE AND GAS VALVE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE AND MANHOLE
- EXISTING STORM SEWER PIPE AND INLET
- EXISTING LIGHT STANDARD
- SLOPE 15% TO 25%
- SLOPE GREATER THAN 25%
- SOILS BOUNDARY

- GENERAL NOTES**
- EXISTING FEATURES DEPICTED HEREON WERE ESTABLISHED BY FIELD SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE SEARCH BY ALPHA CONSULTING ENGINEERS, INC., COMPLETED MAY 15, 2021.
 - TOPOGRAPHIC FEATURES SHOWN OUTSIDE OF "LIMIT OF TOPOGRAPHIC SURVEY" ARE DEPICTED PER PASDA.
 - PENNSYLVANIA ONE CALL SERIAL NUMBER: PRELIMINARY DESIGN, 20210571983.
 - GROSS LAND AREA: T.P. 62-026-013: 1,051,590 SQUARE FEET / 24.14 ACRES. T.P. 62-026-018: 665,820 SQUARE FEET / 15.29 ACRES.
 - VERTICAL DATUM (NAVD88) WAS ESTABLISHED BY GPS OBSERVATION. HORIZONTAL DATUM WAS ESTABLISHED BY PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD83), SOUTH ZONE 3702.
 - NO PORTION OF THE SITE LIES WITHIN THE 100 YEAR FLOOD PLAIN (ZONE "X"), AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY TAKEN FROM FLOOD INSURANCE RATE MAP PANEL 340 OF 501, MAP NUMBER 4204330340D, BEARING AN EFFECTIVE DATE OF AUGUST 2, 2012.
 - THE LOCATIONS OF EXISTING UTILITIES SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR FOR THE PROJECT IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR VERIFICATION OF SERVICE LOCATIONS PRIOR TO EXCAVATING.
 - ALPHA CONSULTING ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY ANY CONTRACTOR, NOR FOR THE SAFETY OF THE PUBLIC OR THE CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - STREET ADDRESS: T.P. 62-026-013: 1982 LOCUST LANE, HARRISBURG T.P. 62-026-018: GLENSIDE DRIVE LD, HARRISBURG

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	188.51'	325.00'	S10°56'19"W	185.88'
C2	79.19'	275.00'	S35°48'18"W	78.92'
C3	66.18'	125.00'	S28°53'52"W	65.41'
C4	80.32'	50.00'	S15°14'21"W	71.96'

LINE TABLE

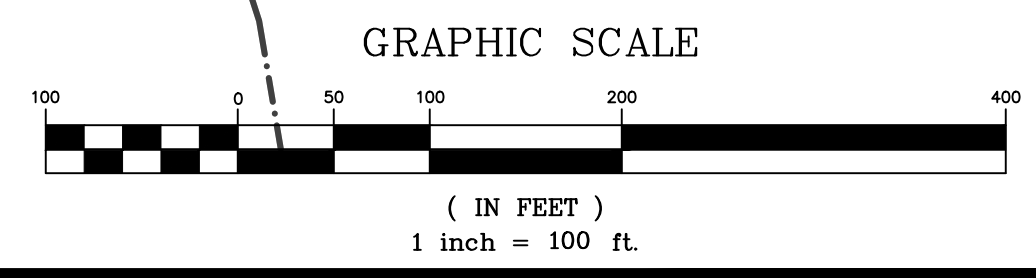
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L1	160.08'	N75°49'10"W
L2	58.95'	N70°16'55"W
L3	84.00'	N78°18'55"W
L4	26.92'	N51°29'55"W
L5	80.22'	N172°2'55"W
L6	81.74'	N09°21'05"E
L7	87.93'	N18°44'05"E
L8	59.93'	N00°06'55"W
L9	50.00'	N24°46'55"W
L10	64.18'	N60°01'55"W
L11	68.62'	N06°27'05"E
L12	23.55'	S05°38'39"E
L13	69.84'	N84°09'10"E
L14	3.99'	N84°09'10"E
L15	50.00'	S84°21'21"W
L16	20.35'	S13°33'54"W
L17	65.00'	N84°13'16"E
L18	44.00'	S28°44'26"E
L19	38.33'	S31°52'42"W
L20	72.26'	N16°36'33"W



- Tax Parcel 62-048-052
- N/F Donna M. Holtan Record Book 1703, Page 58 Lot 62, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-068
- N/F Tyler T. Wanders Instrument # 20170023680 Lot 3, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-053
- N/F Rebecca J. Balovart Instrument # 20200034294 Lot 63, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-067
- N/F Hannah B. Hackman & Isaiah Varisano Instrument # 20190030215 Lot 64, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-066
- N/F Daniel R. Mahoney Inst. #20160021466 P.B. X, Vol. 5, Pg. 75 (Lot 14) Tax Parcel: 62-048-076
- N/F Joyce & Kenneth McMurray Inst. #20190027217 Pl. Inst. 20150021722 (Lot 1) Tax Parcel: 62-026-015
- N/F Douglas L. Zook Parcel A, Record Book 6152, Page 001 Tax Parcel 62-026-044
- N/F Adam Rahman Abdul Record Book 525, Page 302 Lot 66, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-064
- N/F Glenda M. Ware Instrument # 20110029883 Lot 67, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-063
- N/F Ruslan Batayants Instrument # 20080045583 Lot 68, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-062
- N/F Shoa T. Frasso Instrument # 2018000829 Lot 5, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-051
- N/F Canton A. & Maritza Burns Instrument # 20160026109 Lot 4, Plan Book W, Volume 2, Page 53

SOILS BOUNDARY

BhC2 = BERKS CHANNERY SILT LOAM 8%-15% SLOPES
BkB2 = BERKS SHALY SILT LOAM 3%-8% SLOPES
BkD2 = BERKS CHANNERY SILT LOAM 15%-25% SLOPES
WeE2 = WEIKERT SHALY SILT LOAM 25%-40% SLOPES



DESIGN :	GLM		
DRAWN :	BKK		
CHECKED :	RAC		
DATE :	03/03/2023		
NO.	DATE	DESCRIPTION	BY
4/7/2023		PER REVIEW COMMENTS	BKK

PLANNING ENGINEERING & SURVEYING
 115 LIMEKILN RD. P.O. BOX 193
 NEW GUMBERLAND, PA 17070
 PHONE: (717) 770-2500
 FAX: (717) 770-2400
 WWW.ALPHA-CE.COM

ALPHA
 ALPHA CONSULTING ENGINEERS, INC.

FINAL LAND DEVELOPMENT PLAN
 EXISTING FEATURES PLAN
COVENANT CHRISTIAN ACADEMY
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

PROJECT NO.
321518

SURVEY BOOK :
2: Volume 2021, 321518.dwg

SCALE : 1" = 100'

DWG FILE

SHEET **2** of **9**

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	EXISTING CURB
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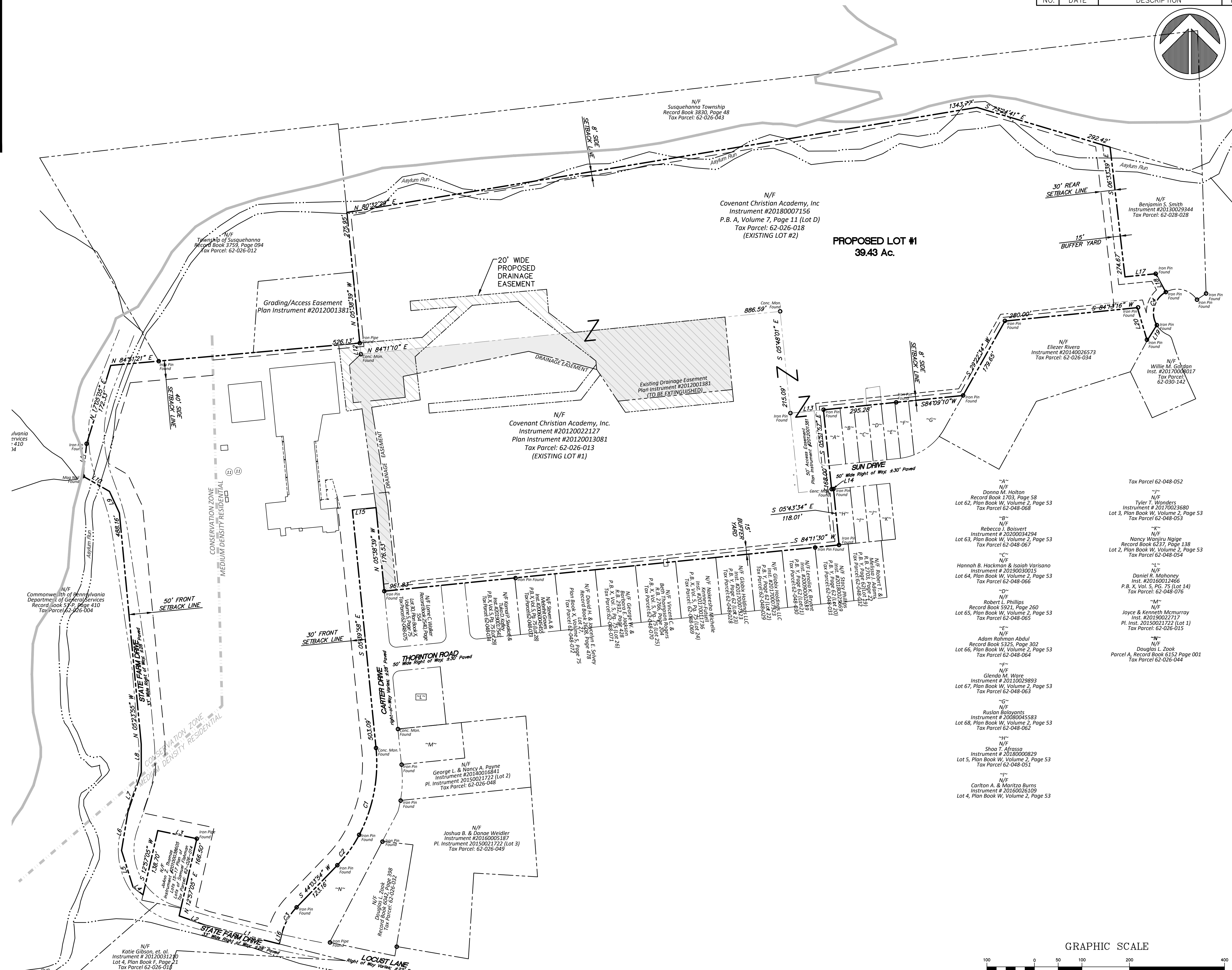
GENERAL NOTES

THE PURPOSE OF THIS PLAN SHEET IS TO COMBINE EXISTING LOT #1 (T.P. 62-026-013: 1,051,590 SQUARE FEET / 24.14 ACRES) AND EXISTING LOT #2 (T.P. 62-026-018: 665,820 SQUARE FEET / 15.29 ACRES) INTO ONE CONTIGUOUS LOT OF 1,717,410 SQUARE FEET / 39.43 AC.

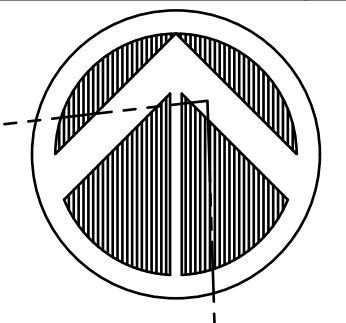
ALSO, THIS PLAN SHEET DEPICTS AN EXISTING DRAINAGE EASEMENT THAT WILL BE EXTINGUISHED AND REPLACED WITH A NEW DRAINAGE EASEMENT TO ACCOMMODATE A MODIFIED AND/OR NEW STORMWATER DRAINAGE SYSTEM.

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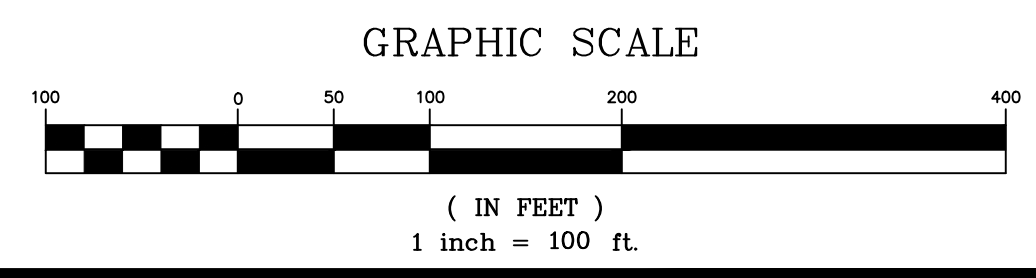
ALPHA
 ALPHA CONSULTING ENGINEERS, INC.

SEAL

SEAL

FINAL LAND DEVELOPMENT PLAN
 LOT CONSOLIDATION PLAN
COVENANT CHRISTIAN ACADEMY
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

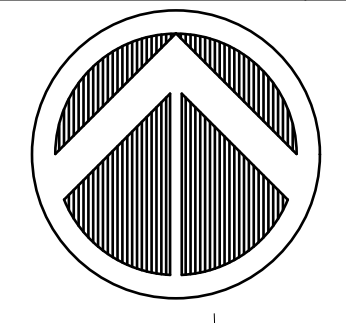
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- F- N/F Joyce & Kenneth Mcmurray Pl. Inst. 20150021722 (Lot 1) Tax Parcel 62-026-015
- G- N/F Douglas L. Zook Parcel A, Record Book 6152 Page 001 Tax Parcel 62-026-044
- H- N/F Adam Rahman Abdul Record Book 5215, Page 302 Lot 66, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-064
- I- N/F Glenda M. Ware Instrument # 20110029883 Lot 67, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-063
- J- N/F Ruslan Batayants Instrument # 20080045383 Lot 68, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-062
- K- N/F Shoa T. Frasso Instrument # 20180000829 Lot 5, Plan Book W, Volume 2, Page 53 Tax Parcel 62-048-051
- L- N/F Carlton A. & Maritza Burns Instrument # 20160026109 Lot 4, Plan Book W, Volume 2, Page 53
- M- N/F Joshua B. & Danae Weidler Instrument # 20160005317 Pl. Instrument 20150021722 (Lot 3) Tax Parcel 62-026-049
- N- N/F George L. & Nancy A. Payne Instrument # 20140016841 Pl. Instrument 20150021722 (Lot 2) Tax Parcel 62-026-048
- O- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- P- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- Q- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- R- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- S- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- T- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- U- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- V- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- W- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- X- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- Y- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076
- Z- N/F N/F Robert T. & N/F Susan M. Page 219 P.B. X, Vol. 5, PG. 75 (Lot 14) Tax Parcel 62-048-076



PROJECT NO.	321518
SURVEY BOOK :	2:Surveyor,2023,321518.dwg
SCALE :	1" = 100'
DWG FILE	
SHEET	3 of 9

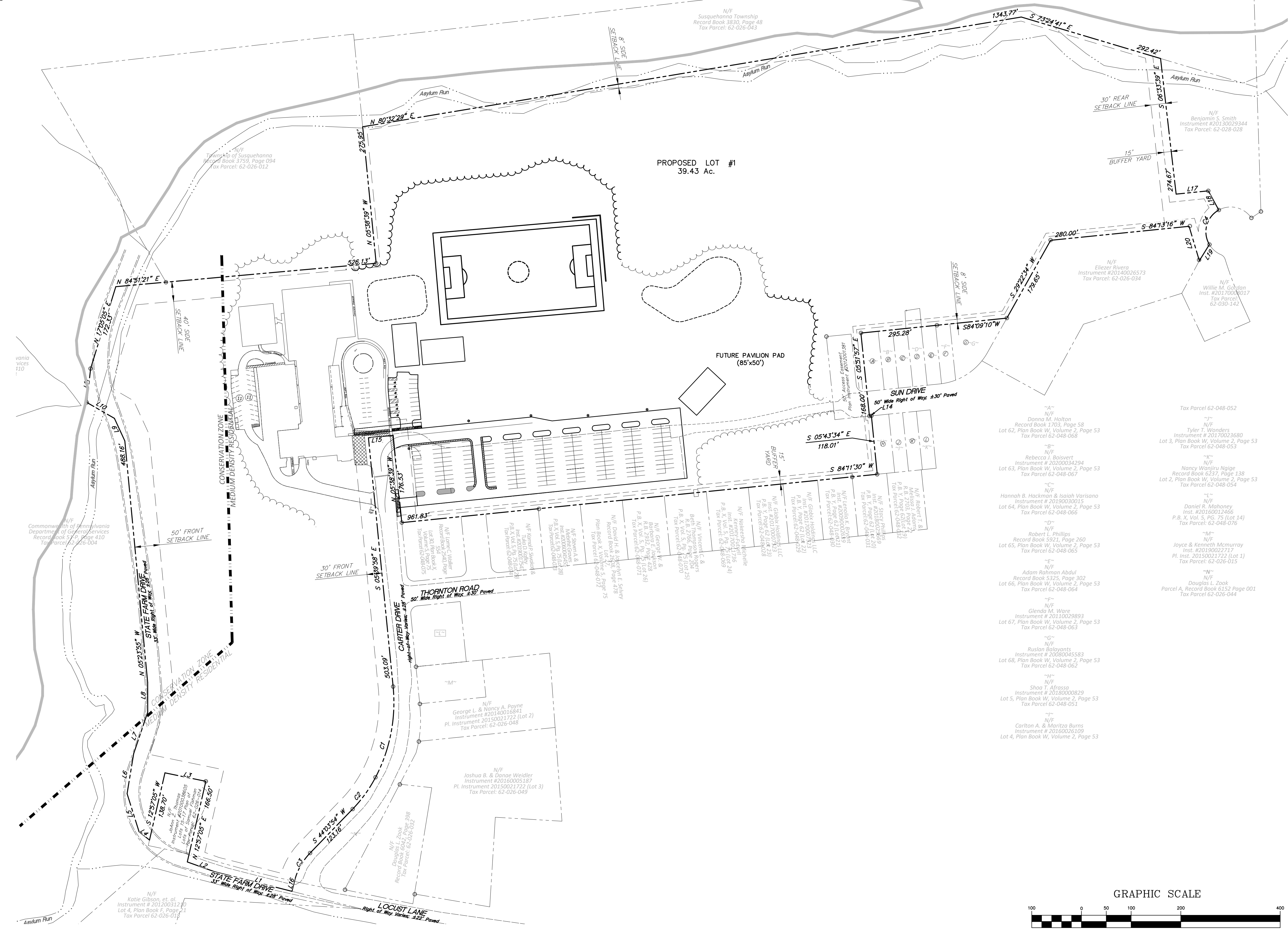
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	PROPERTY LINE
	EXISTING CONTOUR
	EXISTING CURB
	EXISTING EDGE OF PAVE
	EXISTING STRUCTURE (TYP.)
	EXISTING TREE LINE
	EXISTING ELECTRIC LINE AND POLE
	EXISTING GAS LINE AND GAS VALVE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE AND MANHOLE
	EXISTING STORM SEWER PIPE AND INLET
	EXISTING LIGHT STANDARD

NO.	DATE	DESCRIPTION	BY
	4/7/2023	PER REVIEW COMMENTS	BKK



CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	188.51'	325.00'	S10°56'19"W	185.88'
C2	79.19'	275.00'	S35°48'18"W	78.92'
C3	66.18'	125.00'	S28°53'52"W	65.41'
C4	80.32'	50.00'	S15°14'21"W	71.96'

LINE TABLE		
LINE	LENGTH	BEARING
L1	160.08'	N75°49'10"W
L2	58.95'	N70°16'55"W
L3	84.00'	N78°18'55"W
L4	26.92'	N51°29'55"W
L5	80.22'	N17°27'55"W
L6	81.74'	N09°21'05"E
L7	87.93'	N18°44'05"E
L8	59.93'	N00°06'55"W
L9	50.00'	N24°46'55"W
L10	64.18'	N60°01'55"W
L11	68.62'	N06°27'05"E
L12	23.55'	S05°38'39"E
L13	69.84'	N84°09'10"E
L14	3.99'	N84°09'10"E
L15	50.00'	S84°21'21"W
L16	20.35'	S13°43'54"W
L17	65.00'	N84°13'16"E
L18	44.00'	S28°44'26"E
L19	38.33'	S31°52'42"W
L20	72.26'	N16°36'33"W



- N- Donna M. Holton
Record Book 1703, Page 58
Lot 62, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-068
- N- Rebecca J. Bissert
Instrument # 20200034294
Lot 63, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-067
- N- Hannah B. Hackman & Isiah Varisano
Instrument # 20180020015
Lot 64, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-066
- N- Robert L. Phillips
Record Book 9911, Page 260
Lot 65, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-065
- N- Adam Rahman Abdul
Record Book 5225, Page 302
Lot 66, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-064
- N- Glenda M. Ware
Instrument # 20110029893
Lot 67, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-063
- N- Rustan Batayants
Instrument # 20080045583
Lot 68, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-062
- N- Shoa T. Frasso
Instrument # 20180000829
Lot 5, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-051
- N- Carlton A. & Maritza Burns
Instrument # 20160026109
Lot 4, Plan Book W, Volume 2, Page 53
- N- Daniel R. Mahoney
Inst. #20160012466
P.B. X, Vol. 5, PG. 75 (Lot 14)
Tax Parcel 62-048-076
- N- Joyce & Kenneth McMurray
Inst. #20190022717
Pl. Inst. 20150021722 (Lot 1)
Tax Parcel 62-026-015
- N- Douglas L. Zoak
Parcel A, Record Book 6152 Page 001
Tax Parcel 62-026-044
- N- Tyler T. Wonders
Instrument # 20170023680
Lot 3, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-053
- N- Nancy Wanjau Ngige
Record Book 6237, Page 138
Lot 2, Plan Book W, Volume 2, Page 53
Tax Parcel 62-048-054
- N- Eleazer Rivera
Instrument #20140026573
Tax Parcel: 62-026-034
- N- William M. Gordan
Inst. #20170008017
Tax Parcel: 62-030-142
- N- Benjamin S. Smith
Instrument #20130029344
Tax Parcel: 62-026-028
- N- Susquehanna Township
Record Book 3830, Page 48
Tax Parcel: 62-026-043
- N- N/F
Tax Parcel 62-048-052
- N- N/F
Tax Parcel 62-048-051
- N- N/F
Tax Parcel 62-048-050
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Tax Parcel 62-048-049
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Tax Parcel 62-048-005
- N- N/F
Tax Parcel 62-048-004
- N- N/F
Tax Parcel 62-048-003
- N- N/F
Tax Parcel 62-048-002
- N- N/F
Tax Parcel 62-048-001

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FINAL LAND DEVELOPMENT PLAN
OVERALL SITE PLAN

SEAL

COVENANT CHRISTIAN ACADEMY

SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

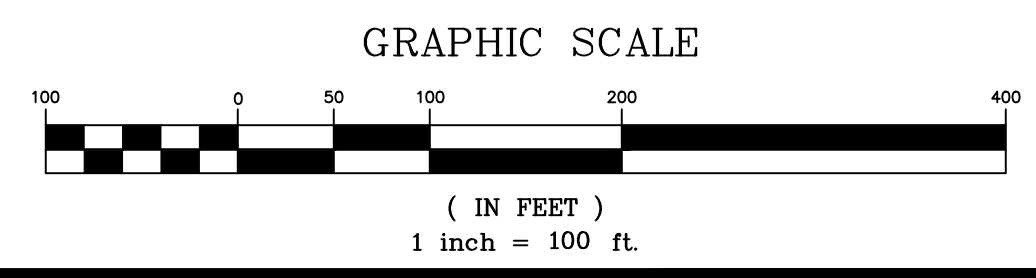
PROJECT NO.
321518

SURVEY BOOK :
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SCALE : 1" = 100'

DWG FILE

SHEET 4 of 9



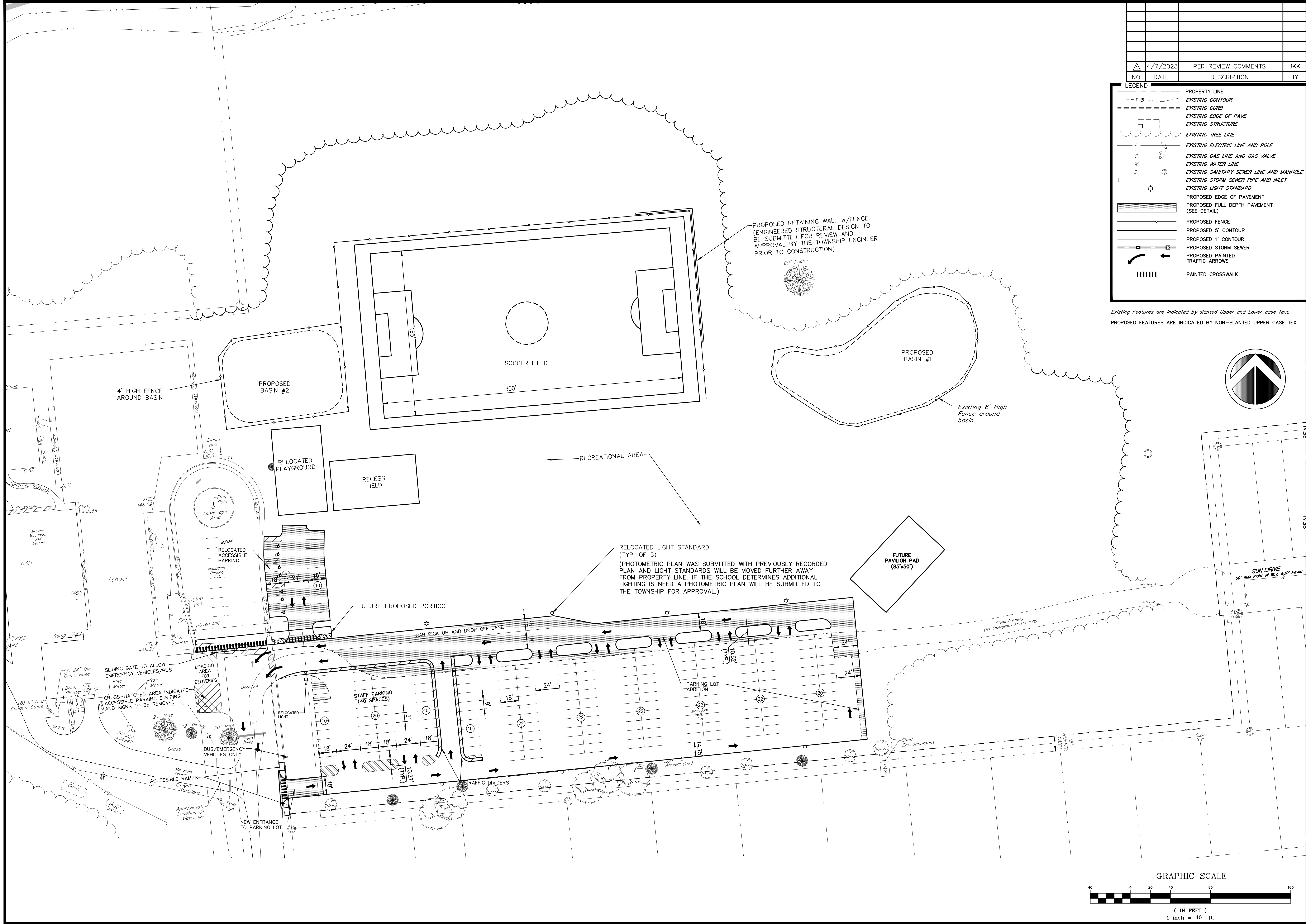
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CHECKED :	RAC		
DATE :	03/03/2023		
NO.	DATE	DESCRIPTION	BY
4/7/2023	PER REVIEW COMMENTS	BKK	

LEGEND	
	PROPERTY LINE
	EXISTING CONTOUR
	EXISTING CURB
	EXISTING EDGE OF PAVE
	EXISTING STRUCTURE
	EXISTING TREE LINE
	EXISTING ELECTRIC LINE AND POLE
	EXISTING GAS LINE AND GAS VALVE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE AND MANHOLE
	EXISTING STORM SEWER PIPE AND INLET
	EXISTING LIGHT STANDARD
	PROPOSED EDGE OF PAVEMENT
	PROPOSED FULL DEPTH PAVEMENT (SEE DETAIL)
	PROPOSED FENCE
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED STORM SEWER
	PROPOSED PAINTED TRAFFIC ARROWS
	PAINTED CROSSWALK

Existing Features are indicated by slanted Upper and Lower case text.
 PROPOSED FEATURES ARE INDICATED BY NON-SLANTED UPPER CASE TEXT.

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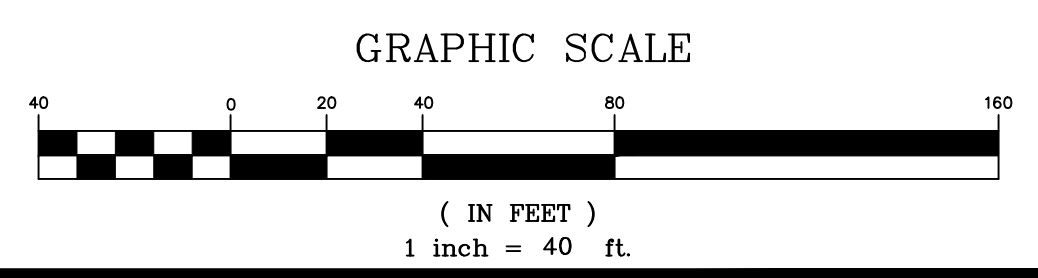
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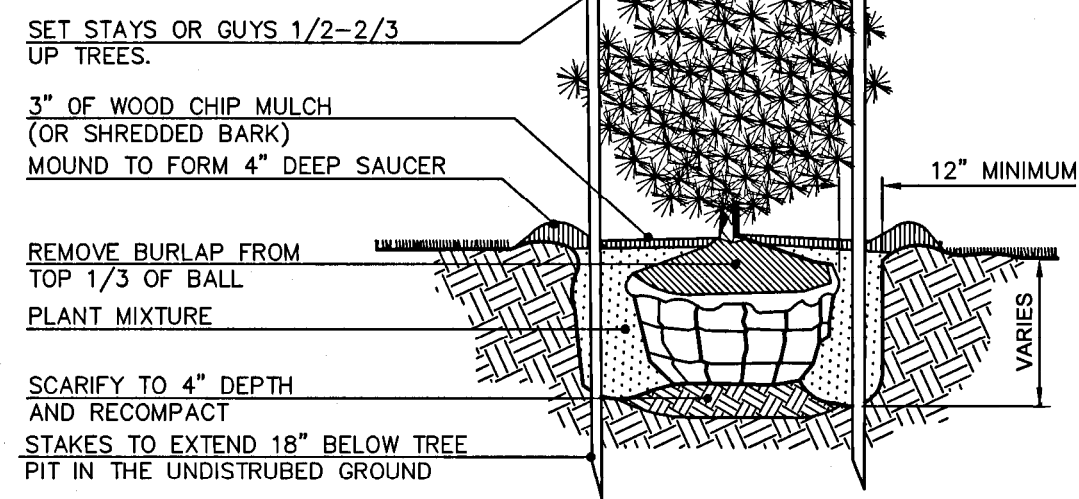
SEAL

FINAL LAND DEVELOPMENT PLAN
 SITE PLAN
COVENANT CHRISTIAN ACADEMY
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

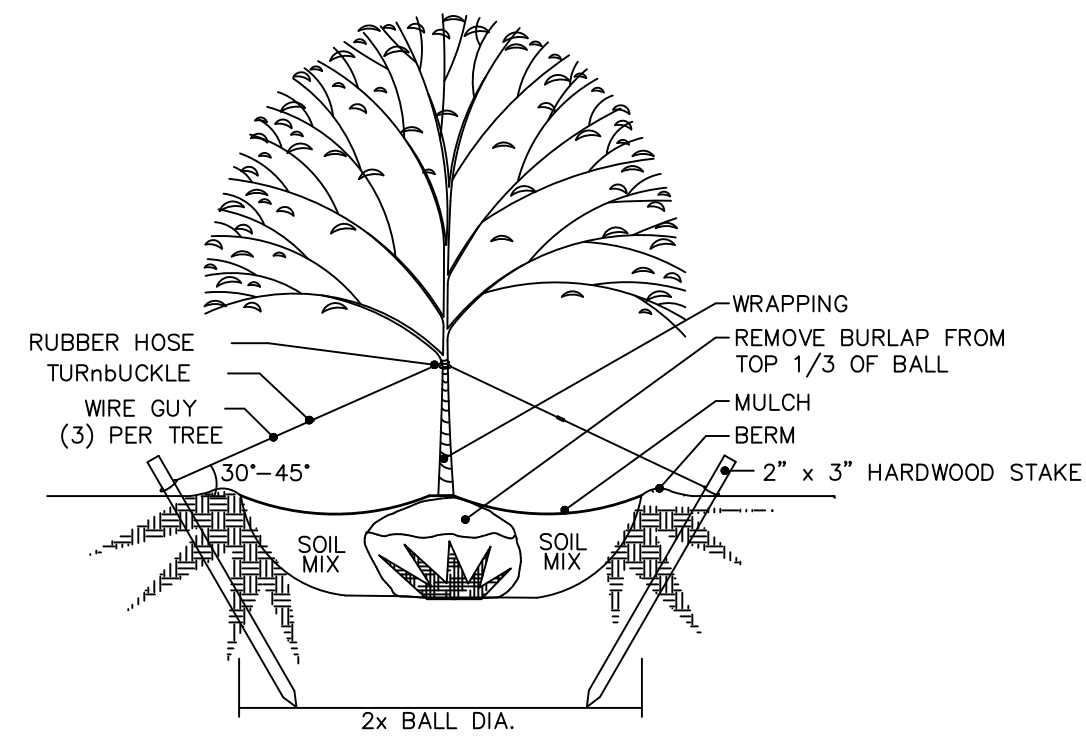
PROJECT NO.	321518
SURVEY BOOK :	2:\Survey\2023\321518.txd
SCALE :	1" = 40'
DWG FILE	
SHEET	5 of 9



- NOTES:
1. STAKE ALL EVERGREEN TREES UNDER 12' GUY TREES 12' AND OVER. FOR DECIDUOUS TREES.
 2. TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE.
 3. NEVER CUT LEADERS.
 4. PRUNE ONLY TO REMOVE DAMAGED OR BROKEN BRANCHES.



EVERGREEN TREE PLANTING DETAIL
NO SCALE



DECIDUOUS TREE PLANTING DETAIL
NTS

LANDSCAPE LEGEND				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER OR SIZE AT PLANTING / COMMENTS
	10	<i>Nyssa sylvatica</i> 'Green Gable' or 'Wildfire'	Black Gum	2"-2.5" Caliper (shade tree)
	11	<i>Pinus strobus</i>	White Pine	6' high (evergreen tree)

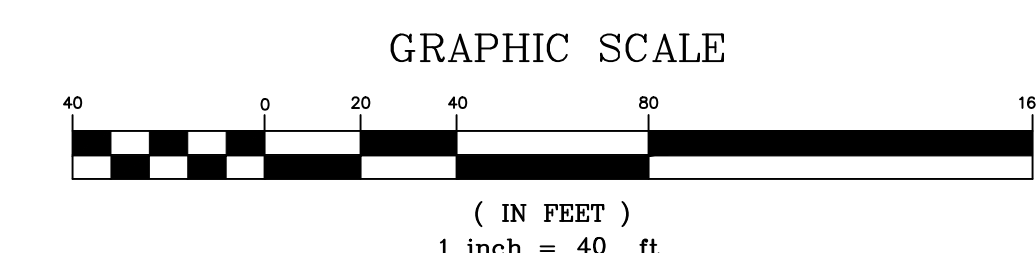
ALL PLANTINGS SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AS AMENDED.

NO.	DATE	DESCRIPTION	BY
4/7/2023		PER REVIEW COMMENTS	BKK

LEGEND	DESCRIPTION
	PROPERTY LINE
	EXISTING CONTOUR
	EXISTING CURB
	EXISTING EDGE OF PAVE
	EXISTING STRUCTURE
	EXISTING TREE LINE
	EXISTING ELECTRIC LINE AND POLE
	EXISTING GAS LINE AND GAS VALVE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE AND MANHOLE
	EXISTING STORM SEWER PIPE AND INLET
	EXISTING LIGHT STANDARD
	PROPOSED EDGE OF PAVEMENT
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED STORM SEWER



- REQUIRED TYPE 1 BUFFER PLANTINGS:**
1. 1 SHADE TREE PER 50 LINEAR FEET = 12 TREES REQUIRED. THERE ARE MORE THAN 8 EXISTING SHADE TREES TO REMAIN.
 1. 1 EVERGREEN TREE PER 40 LINEAR FEET = 15 TREES REQUIRED. THERE ARE 4 EXISTING EVERGREEN TREES TO REMAIN. ELEVEN (11) WHITE PINE TREES ARE PROPOSED FOR A TOTAL OF 15 EVERGREEN TREES PROVIDED.



DESIGN : GLM
DRAWN : BKK
CHECKED : RAC
DATE : 03/03/2023

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FINAL LAND DEVELOPMENT PLAN
LANDSCAPE PLAN
COVENANT CHRISTIAN ACADEMY
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

PROJECT NO.
321518
SURVEY BOOK :
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SCALE : 1" = 40'
DWG
FILE

SHEET **6** of **9**

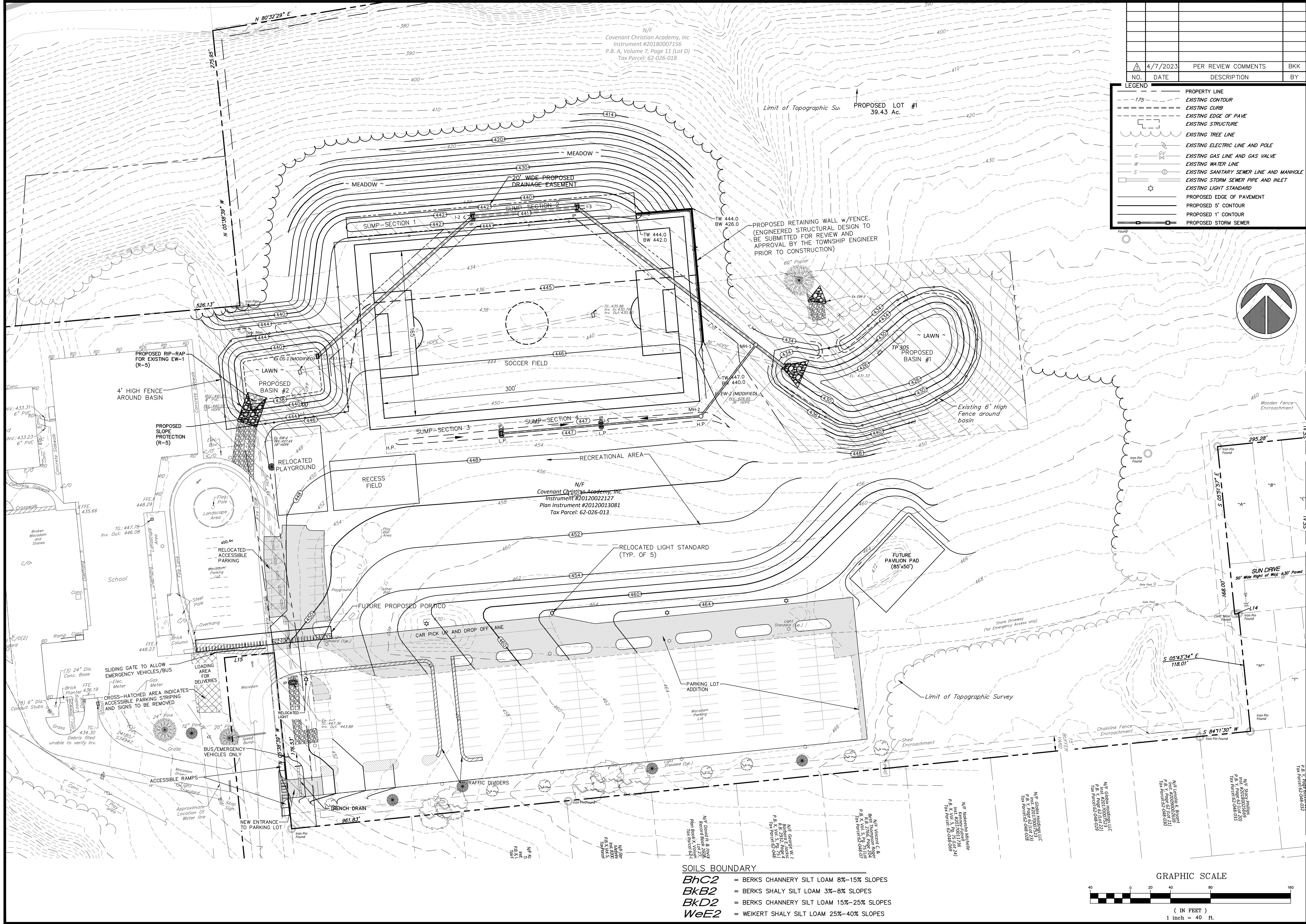
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DATE :	03/03/2023

NO.	DATE	DESCRIPTION	BY
1	4/7/2023	PER REVIEW COMMENTS	BKK

LEGEND	
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	EXISTING CONTOUR
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING STRUCTURE
	EXISTING TREE LINE
	EXISTING ELECTRIC LINE AND POLE
	EXISTING GAS LINE AND GAS VALVE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE AND MANHOLE
	EXISTING STORM SEWER PIPE AND INLET
	EXISTING LIGHT STANDARD
	PROPOSED EDGE OF PAVEMENT
	PROPOSED 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED STORM SEWER

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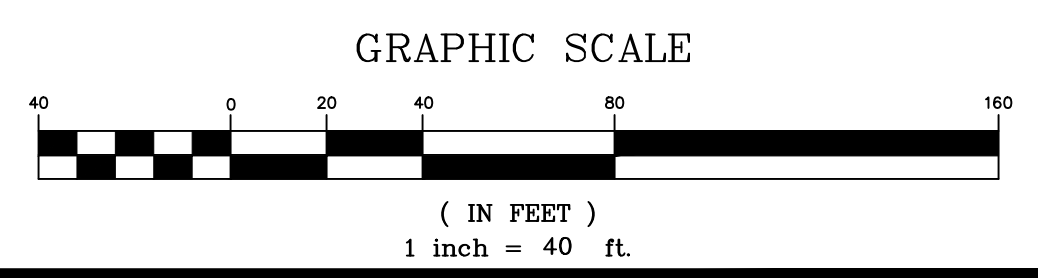
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 Covenant Christian Academy, Inc.
 Instrument #20180007156
 P.B. A, Volume 7, Page 11 (Lot D)
 Tax Parcel: 62-026-018

N/F
 Covenant Christian Academy, Inc.
 Instrument #20120022127
 Plan Instrument #20120013081
 Tax Parcel: 62-026-013

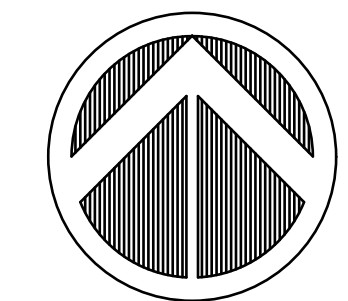
FINAL LAND DEVELOPMENT PLAN
 GRADING AND UTILITY PLAN
COVENANT CHRISTIAN ACADEMY
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

PROJECT NO.	321518
SURVEY BOOK :	2: Surveyor's 2021/321518.txd
SCALE :	1" = 40'
DWG FILE	
SHEET	7 of 9

- SOILS BOUNDARY**
- BhC2** = BERKS CHANNERY SILT LOAM 8%-15% SLOPES
 - BkB2** = BERKS SHALY SILT LOAM 3%-8% SLOPES
 - BkD2** = BERKS CHANNERY SILT LOAM 15%-25% SLOPES
 - WeE2** = WEIKERT SHALY SILT LOAM 25%-40% SLOPES

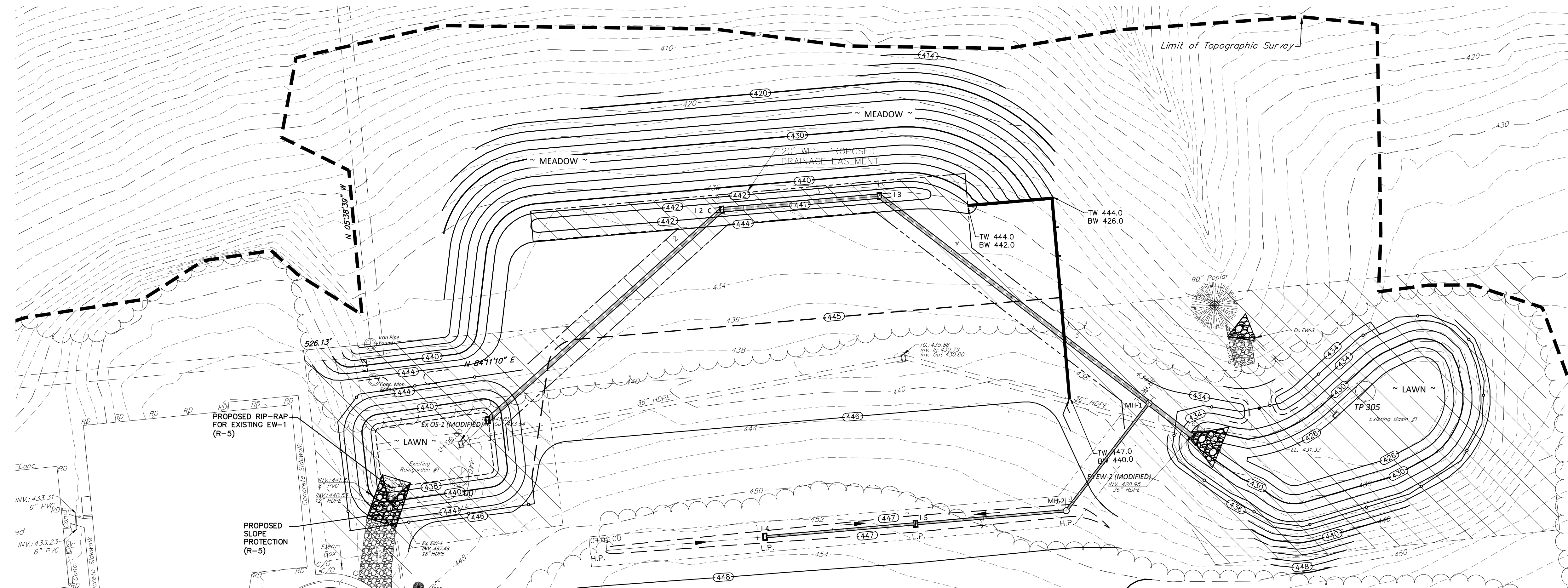


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NO.	DATE	DESCRIPTION	BY
4/7/2023		PER REVIEW COMMENTS	BKK

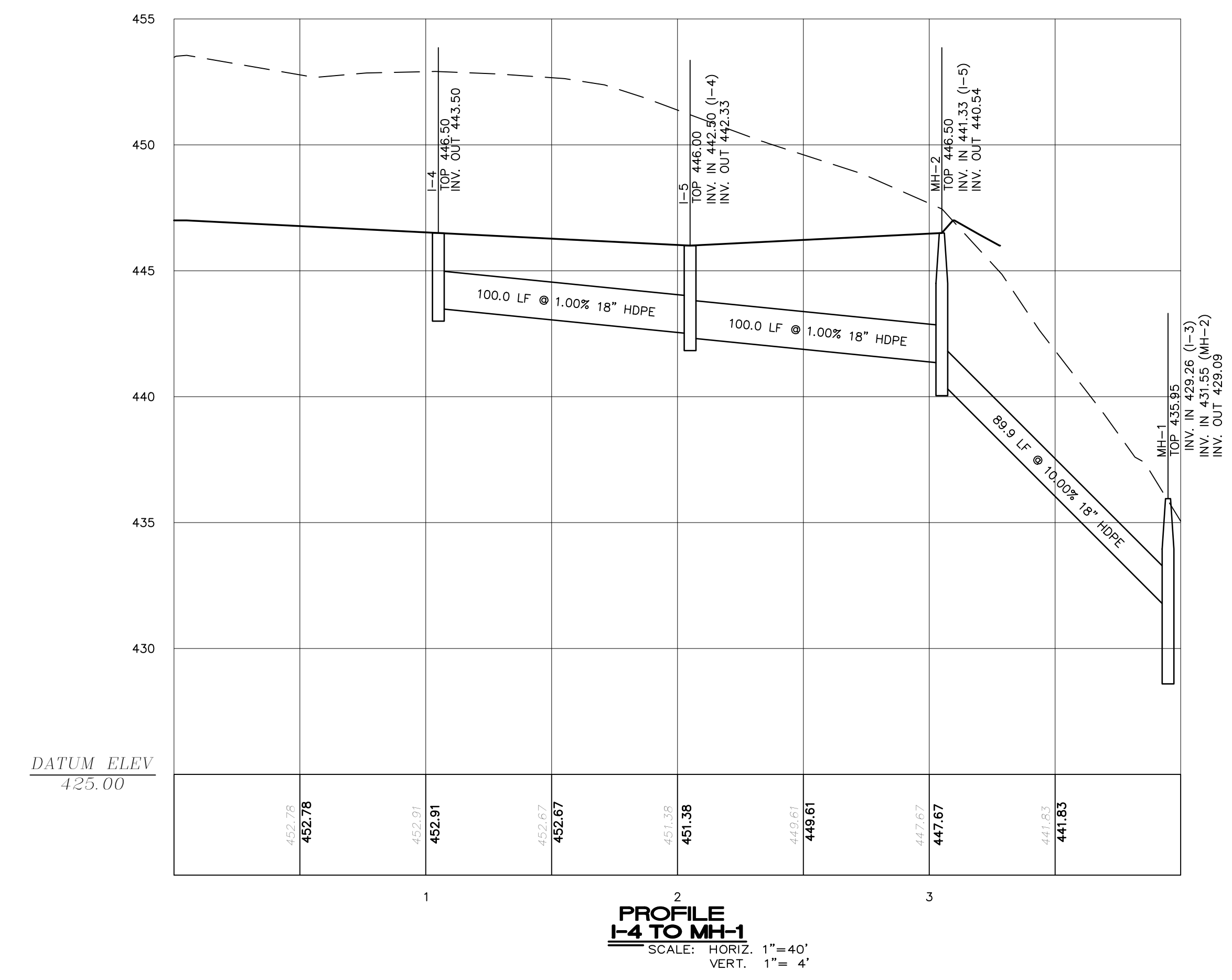
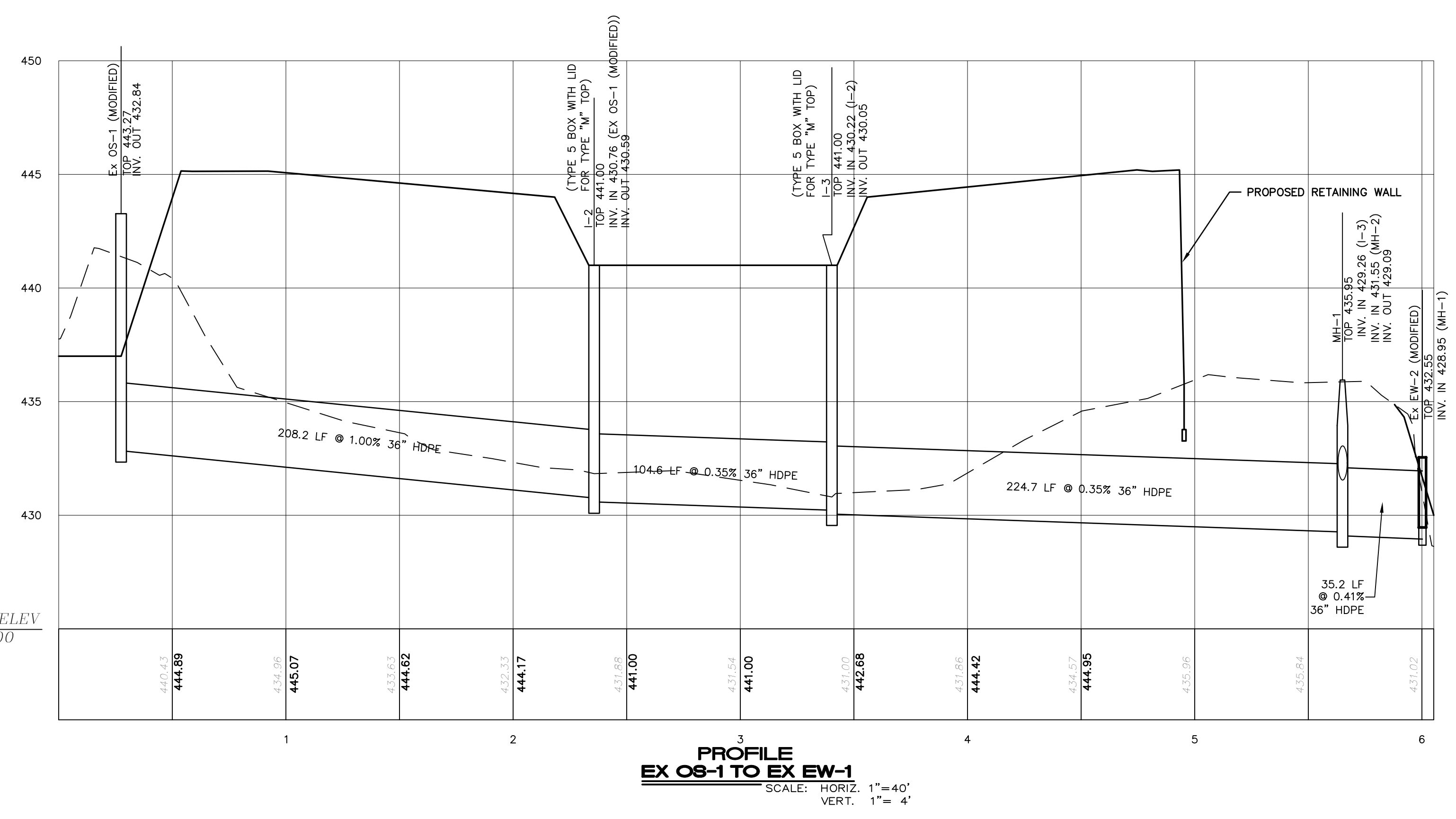


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PLAN VIEW
 SCALE: 1"=40'



DATUM ELEV
425.00

DATUM ELEV
425.00

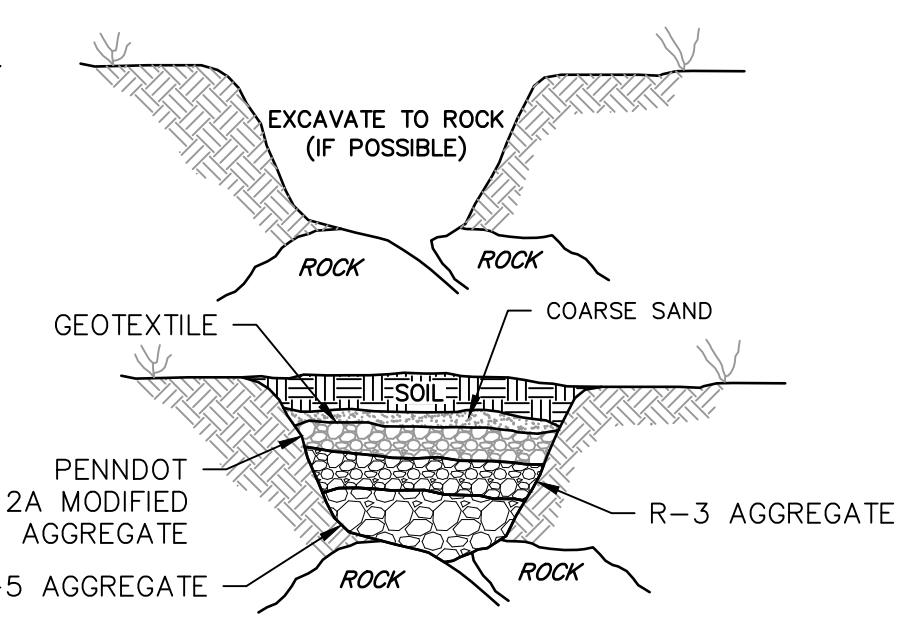
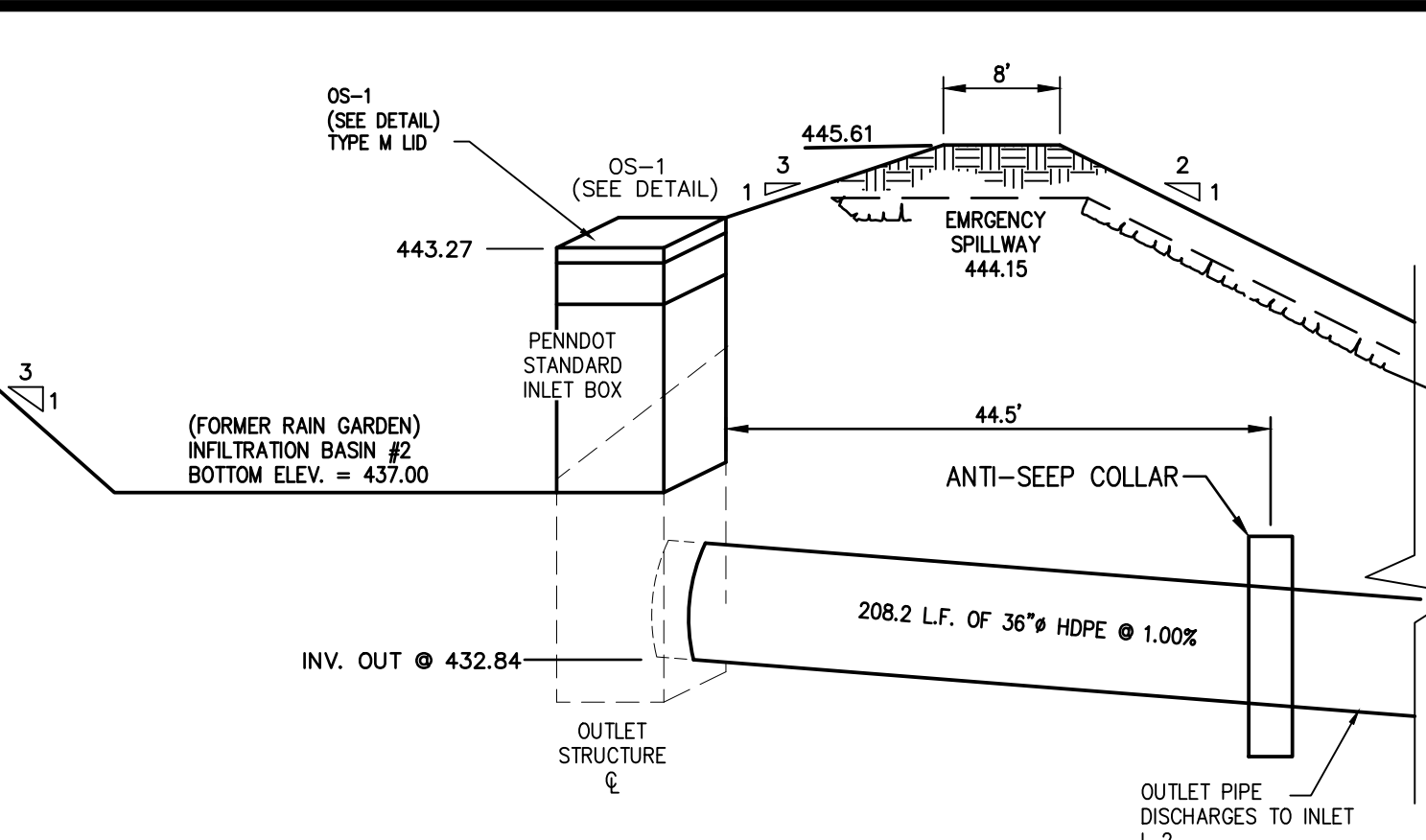
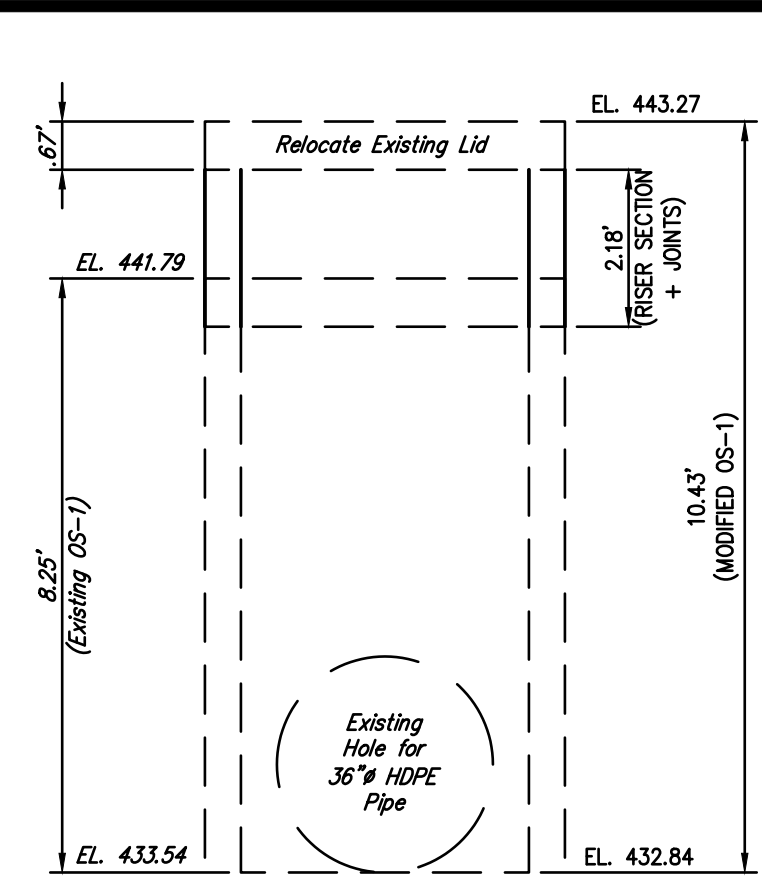
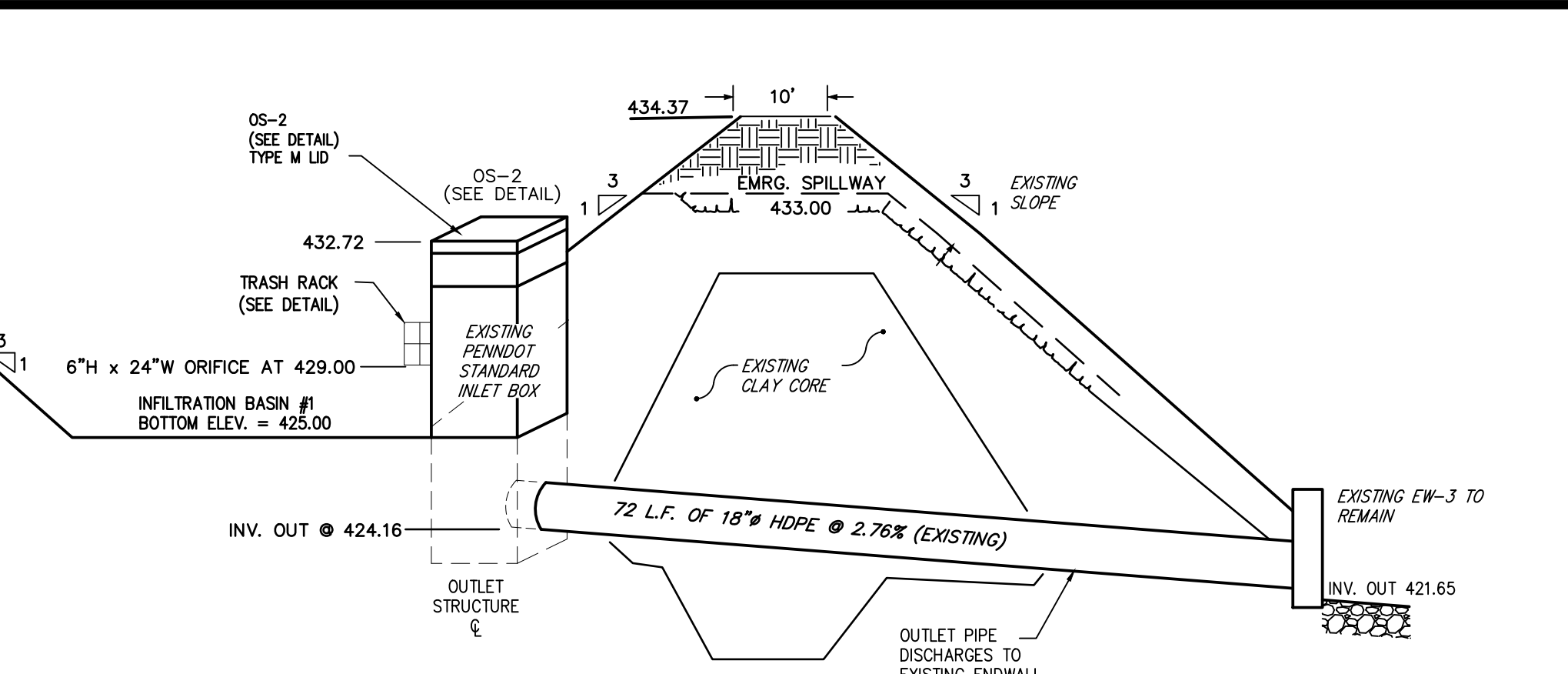
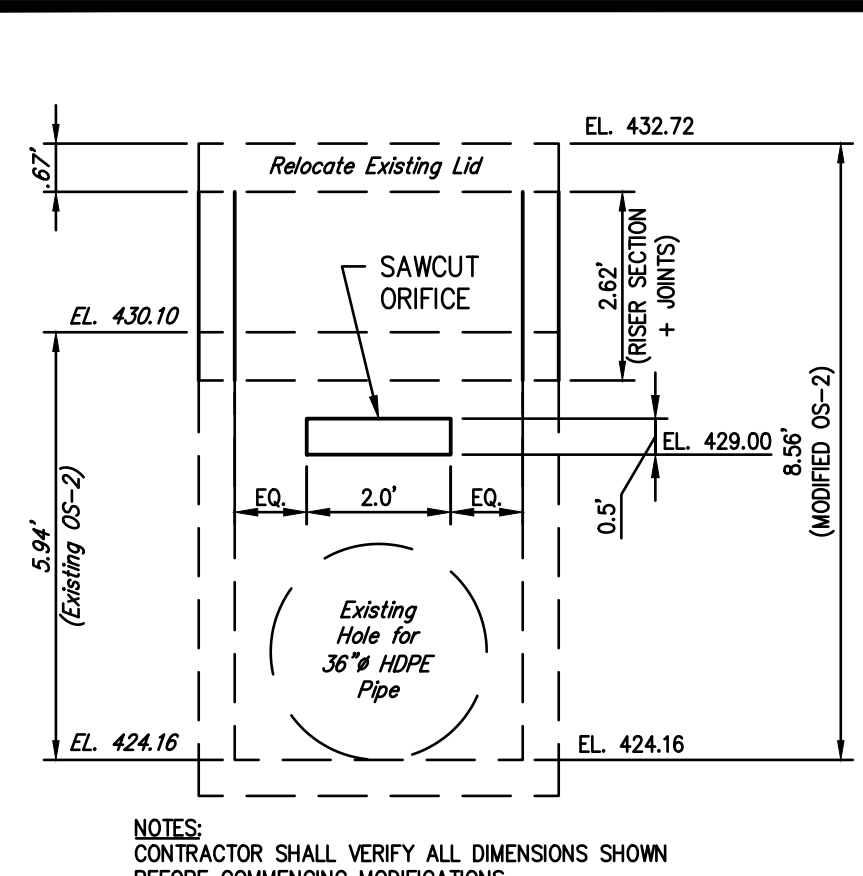
SEAL

SEAL

FINAL LAND DEVELOPMENT PLAN
 STORMWATER PROFILES
COVENANT CHRISTIAN ACADEMY
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

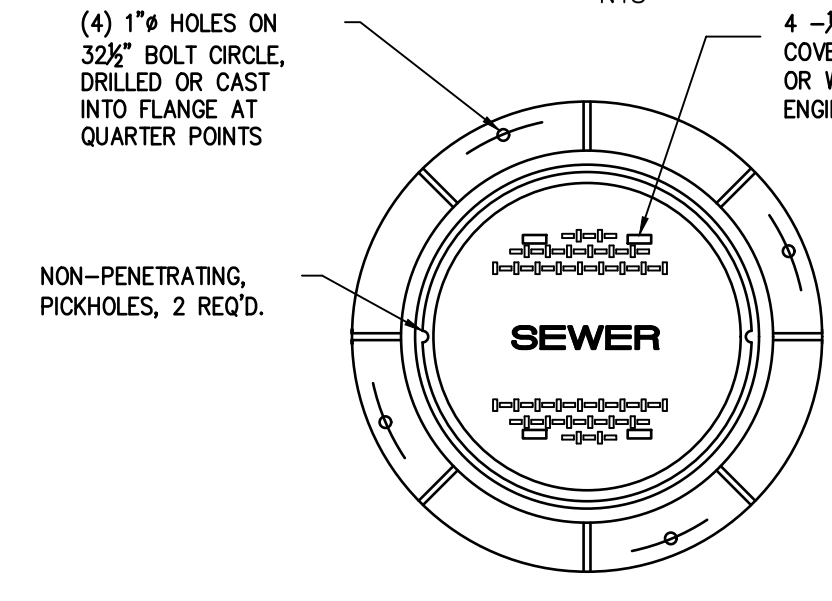
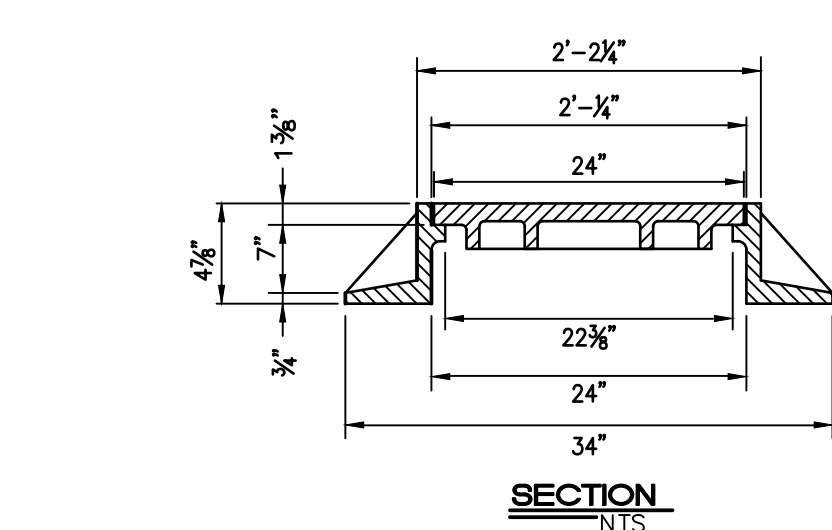
PROJECT NO.
321518
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 SCALE : AS SHOWN
 DWG FILE
 SHEET **8** of **9**

NO.	DATE	DESCRIPTION	BY
4/7/2023		PER REVIEW COMMENTS	BKK



- SINK HOLE REPAIR NOTES :**
- A GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED IF SINKHOLE ENCOUNTERED.
 - EXCAVATE THE SINKHOLE DOWN TO ROCK IF POSSIBLE.
 - 1ST LAYER IS R-5 AGGREGATE.
 - 2ND LAYER IS R-3 AGGREGATE.
 - 3RD LAYER IS PENNDOT MODIFIED 2A AGGREGATE.
 - 4TH LAYER IS GEOTEXTILE FABRIC ON TOP OF 2A AGGREGATE TO PREVENT SAND FROM BEING LOST THROUGH LAYERS OF AGGREGATE BELOW.
 - 5TH LAYER IS COARSE SAND.
 - FILL THE REMAINDER OF THE EXCAVATED HOLE WITH SOIL LAYERED TO MATCH THE EXISTING SOIL PROFILE.

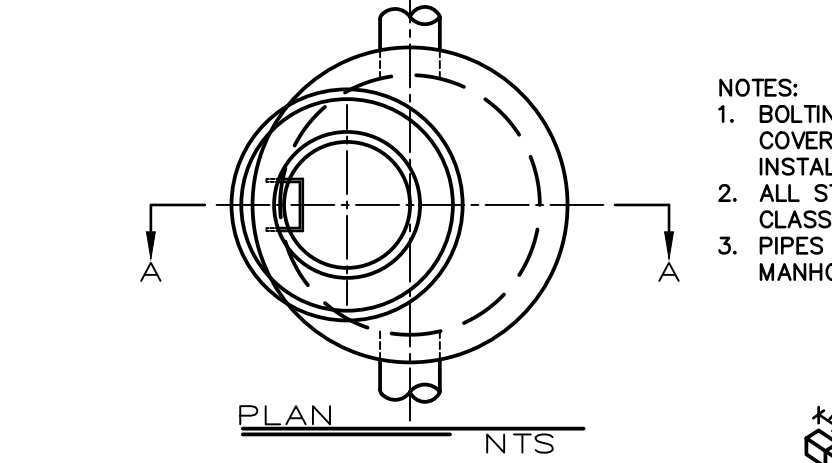
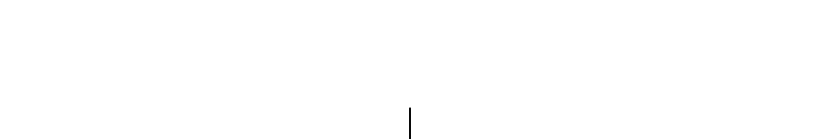
MODIFICATIONS TO OUTLET STRUCTURE OS-2
 NTS



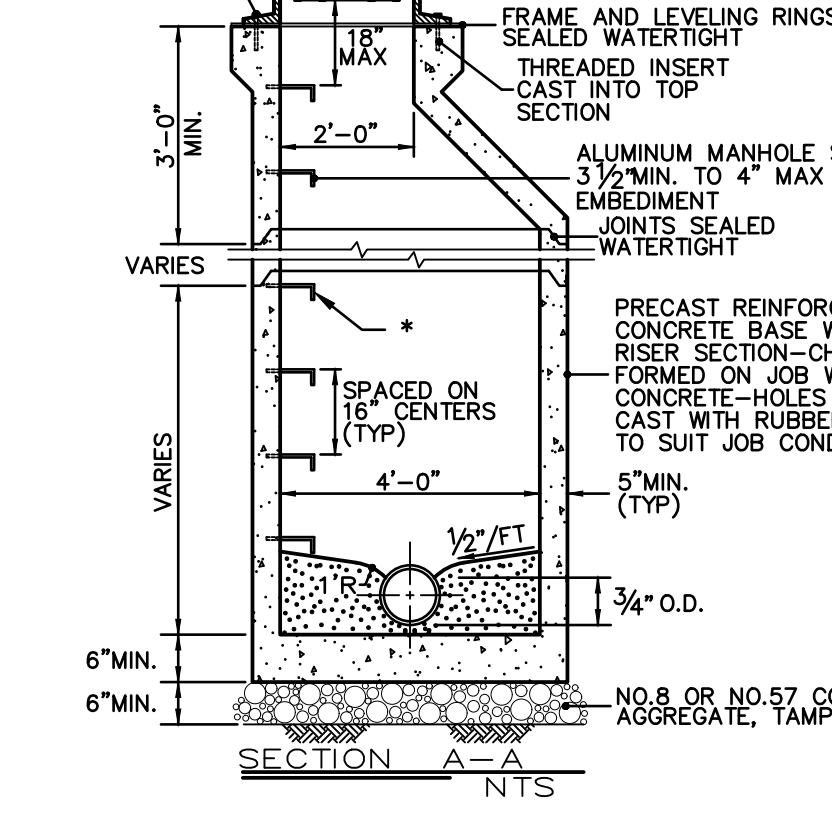
*STORM SEWER TO BE CAST IN MANHOLE COVERS IN 2" RAISED LETTERS.

MANHOLE FRAME AND COVER
 NTS

SEAL JOINTS WHERE CONCRETE MEETS PAVING WITH AC-20 TO 6" WIDTH



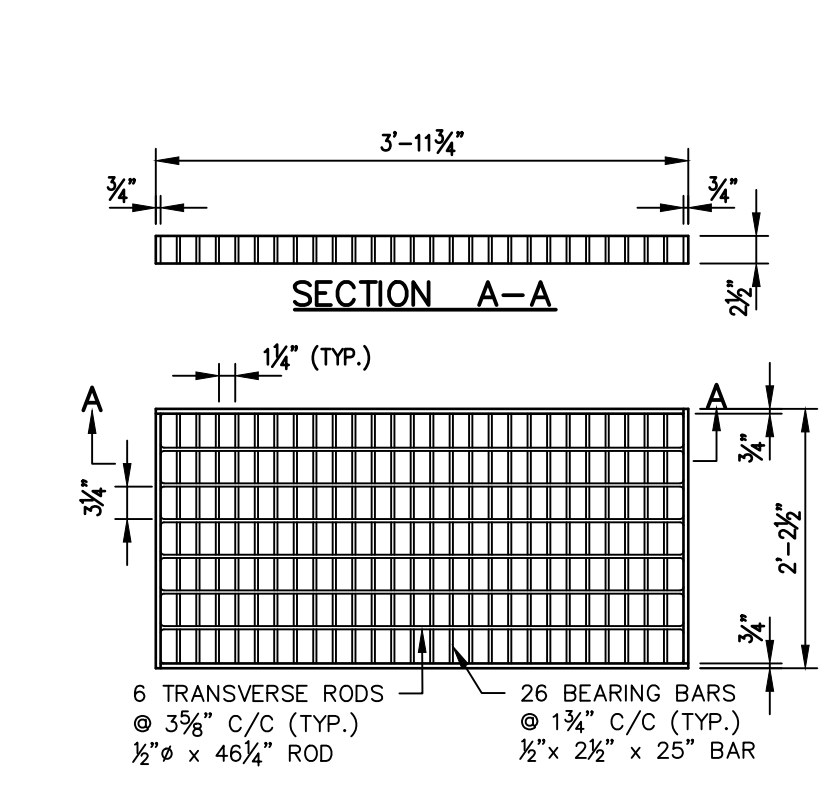
NOTES:
 1. BOLTING OF MANHOLE FRAME AND COVER NOT REQUIRED FOR MANHOLES INSTALLED IN PAVED SURFACES.
 2. ALL STONE GRADATIONS ARE AASHTO CLASSIFICATION.
 3. PIPES SHALL PROTRUDE 2" INSIDE MANHOLE WALL



* LADDER RUNGS REQUIRED FOR MANHOLE DIMENSIONS GREATER THAT 5' HIGH.

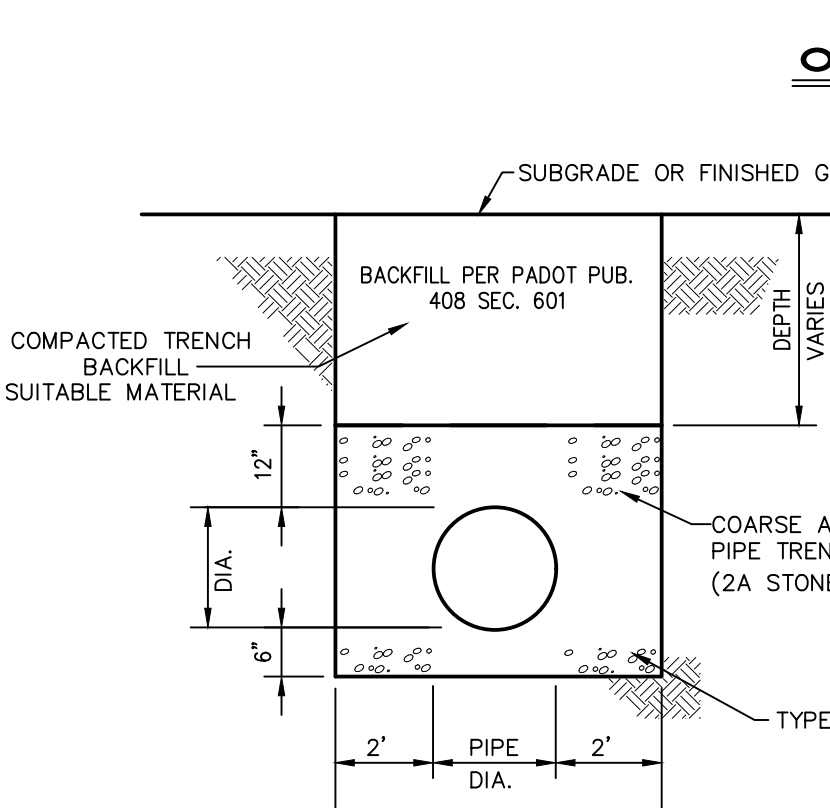
PRECAST CONCRETE MANHOLE
 NTS

INFLTRATION BASIN #1
 NTS



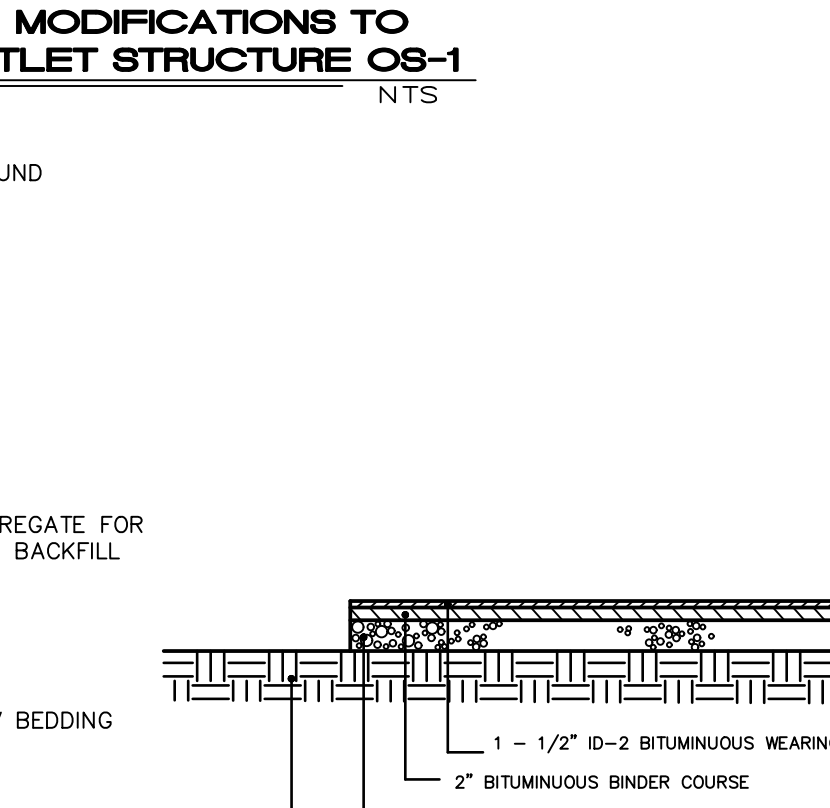
BICYCLE SAFE STEEL GRATE
 NTS

MODIFICATIONS TO OUTLET STRUCTURE OS-1
 NTS



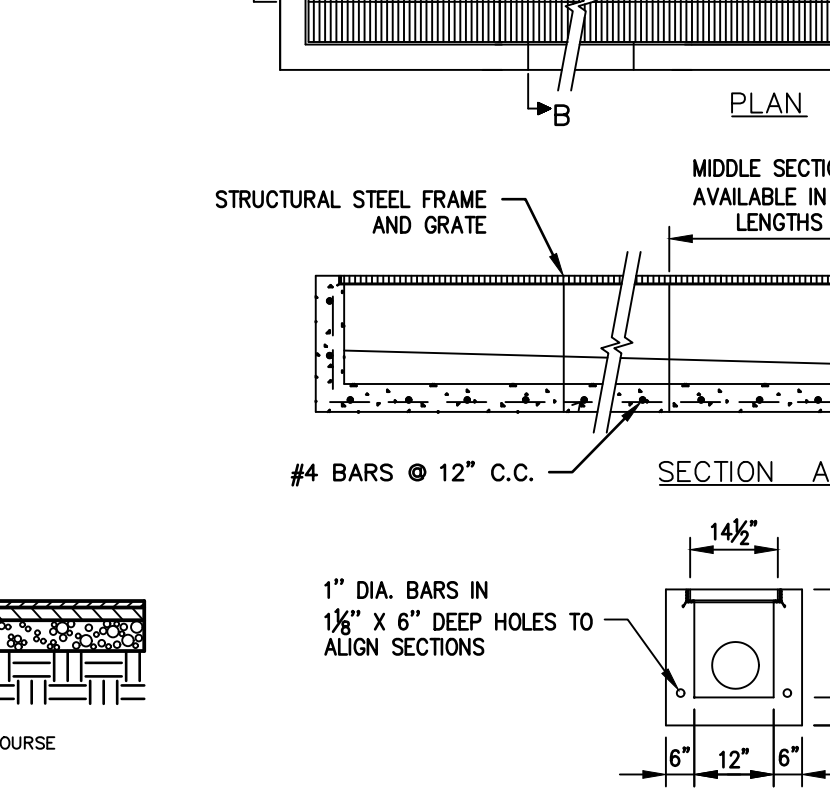
STORM PIPE TRENCH
 NTS

MODIFICATIONS TO OUTLET STRUCTURE OS-1
 NTS



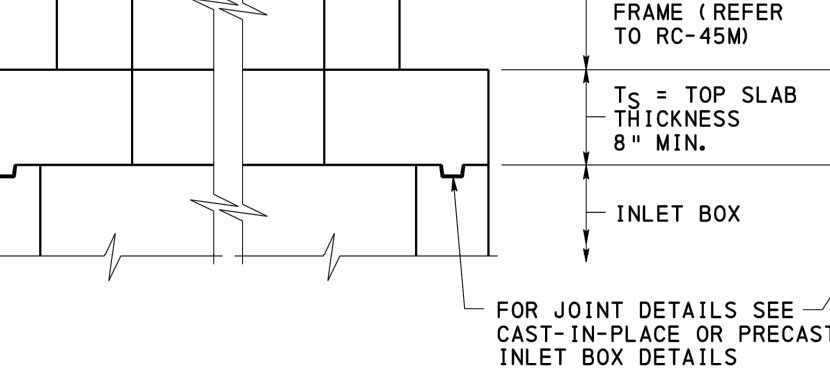
STANDARD PAVEMENT SECTION
 NTS

INFLTRATION BASIN #2 (FORMER RAIN GARDEN)
 NTS

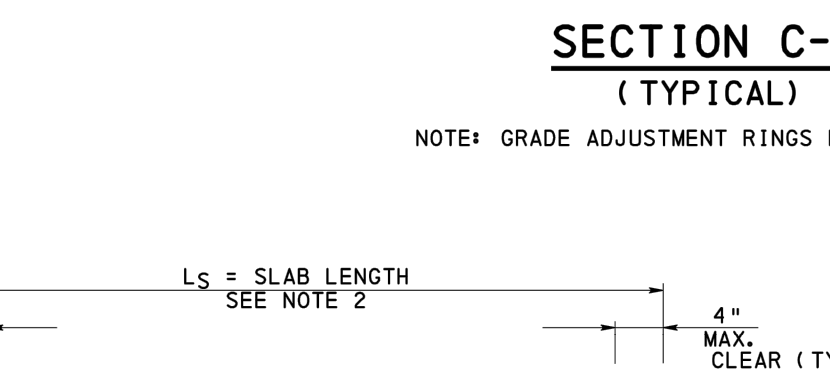


PRECAST CONCRETE TRENCH DRAIN
 NTS

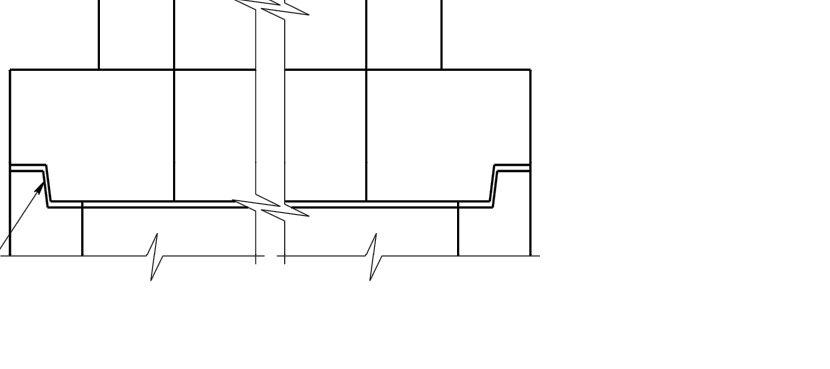
TOP SLAB WITH KEYED JOINT



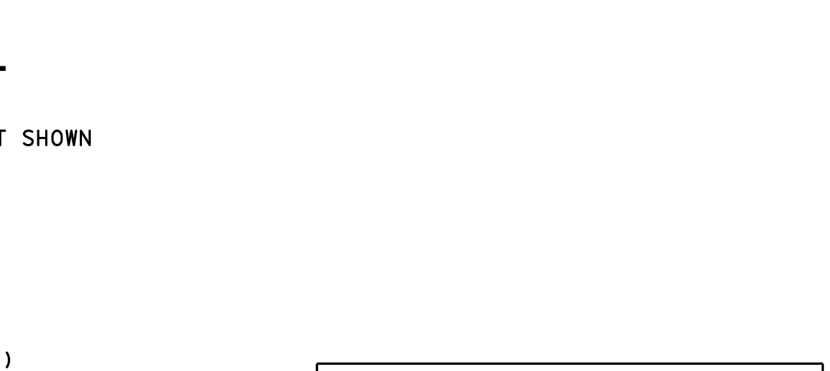
TOP SLAB WITH SHIPLAP JOINT (PRECAST ONLY)



TOP SLAB WITH KEYED JOINT



TOP SLAB WITH SHIPLAP JOINT (PRECAST ONLY)



TOP SLAB CAST-IN-PLACE CONCRETE

INLET BOX TYPE	T _S (IN.)	S1 (BAR SIZE)
STANDARD	8	#6
TYPE 4	12	#7
TYPE 5	14	#8
TYPE 6	14	#8
TYPE 7	14	#9
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9

TOP SLAB PRECAST CONCRETE

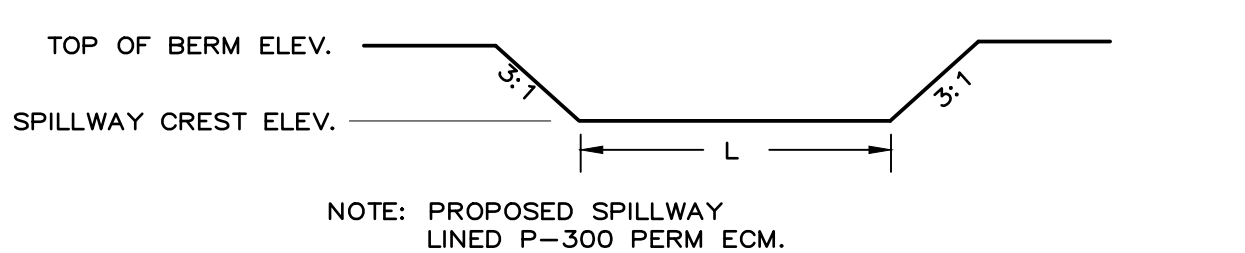
INLET BOX TYPE	T _S (IN.)	S1 (BAR SIZE)
STANDARD	8	#6
TYPE 4	10	#8
TYPE 5	12	#9
TYPE 6	12	#9
TYPE 7	14	#9
TYPE 8	14	#9
TYPE 9	14	#9
TYPE 10	14	#9

SECTION D-D
 (ADDITIONAL REINFORCEMENT NOT SHOWN)



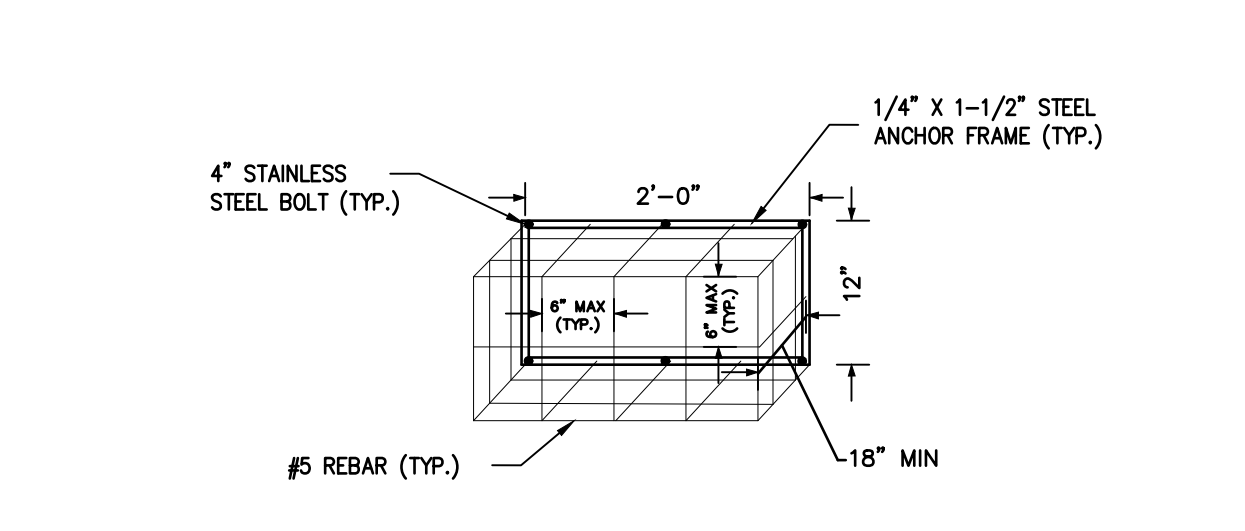
APRON	LENGTH	WIDTH	PIPE DIA.	RIP RAP
Existing EW-1	15'	19.5'	18"	R-5
Existing EW-2	20'	29'	36"	R-5
Existing EW-3	15'	19.5'	18"	R-5

OUTLET PROTECTION
 NTS



SPILLWAY	FREEBOARD	TOTAL FAILURE WSEL	TOP OF BERM ELEV.	CREST ELEV.	LENGTH (L)
BASIN-1	0.99	433.38	434.37	433.00	12'
BASIN-2	0.99	444.62	445.61	444.15	25'

SPILLWAY DETAIL
 NTS



- NOTES:
 1. ALL REBAR CROSSINGS SHALL BE WELDED.
 2. TRASH RACK TO BE MOUNTED TO OUTLET STRUCTURE WITH 4" BOLTS WITH CONCRETE ANCHORS AT A MAXIMUM OF 12" SPACING.
 3. ALL HARDWARE IS TO BE STAINLESS STEEL.
 4. TRASH RACK TO BE TRIPLE COATED WITH A RUST PROHIBITIVE COATING.

TRASH RACK DETAIL
 NTS