

**LIST OF UTILITIES**

**Bell Atlantic Pennsylvania**  
2825 Appleton Street  
Camp Hill, PA 17011  
(717) 777-5075

**Pennsylvania Power and Light**  
1030 McClay Street  
Harrisburg, PA 17111  
(717) 238-4380

**United Water of Pennsylvania**  
4211 East Park Circle  
P.O. Box 4151  
Harrisburg, PA 17111  
(717) 561-1103

**Next Link Pennsylvania**  
925 Berkshire Boulevard  
Worthington, PA 19610  
(800) 242-1776

**Susquehanna Township**  
1900 Lindestown Road  
Harrisburg, PA 17110  
(717) 909-9225

**USG**  
PO Box 3565  
Harrisburg, PA 17105-3565  
(717) 234-5551

**West Communications**  
(800) 242-1776  
Verizon Wireless  
(800) 242-1776

**AT&T**  
4251 Chambers Hill Road  
Harrisburg, PA 17111  
(717) 558-1332

**Comcast Communications**  
4601 Smith Street  
Harrisburg, PA 17109  
(717) 651-1913

**Commonwealth Telecom Services**  
15 East Broad Street  
Eliotestown, PA 17023-0073  
(717) 302-8046

**Buckeye Pipeline**  
P.O. Box 368  
Eminus, PA 18049-0368  
(610) 770-4000

**Before You Dig Anywhere**  
Call 1-800-242-1776  
PA Lic. requires 3 working days before the start  
PA One Call System, Inc.  
One Call Center #: 2012310216



# PRELIMINARY SUBDIVISION & LAND DEVELOPMENT PLAN FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS

LOCATED IN  
**SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

**TAX PARCEL NUMBERS:**

LOT #1 \_\_\_\_\_  
LOT #2 \_\_\_\_\_  
LOT #3 \_\_\_\_\_  
LOT #R-1 \_\_\_\_\_

**WETLAND CERTIFICATION**

I HEREBY CERTIFY THAT THERE ARE WETLANDS AND ARE WATERCOURSES ON THE SUBJECT PROPERTY. THE PROPOSED PROJECT WILL NOT IMPACT ON-SITE AND WILL IMPACT OFF-SITE WETLANDS. THE PROPOSED PROJECT WILL IMPACT WATERCOURSE AND PERMITS ARE REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

**VORTEX ENVIRONMENTAL, INC.**  
521 BEAVER VALLEY PIKE  
LANCASTER, PA 17602  
PHONE: (717) 468-4949

BRADLY J. GOCHNAUER \_\_\_\_\_ DATE \_\_\_\_\_

**GENERAL NOTES:**

- The intent of this plan is to subdivide the collective existing 7 tracts which contain 223,084 acres into 4 lots, and create a Land Development Plan for Lots 1 and 2 with associated improvements which contain 18 buildings and 270 dwelling units.
- Source of Title: Deed Book 903, Page 461 (Tract 4, Parcel N, and a portion of Parcel J) and Deed Book 3621, Page 254. Said deeds being recorded at the Dauphin County Recorder of Deeds.
- The existing tract boundary is per a plan prepared by Dauphin Engineering Company dated June 29, 2006. This plan was prepared for Union Deposit Corporation and the plan was certified by Charles R. Cook, P.L.S. This survey was performed on March 3, 2006. A portion of the tract boundary adjacent to Waverly Woods and Margaret's Grove was modified by R.J. Fisher & Associates Inc.
- The tract boundary and proposed lot line bearings are relative to the PA SPCS, South Zone, NAD83(2011).
- The vertical datum is relative to NGS KW1233 ELEV=522.29 NGVD. This NGS benchmark will be used as the site benchmark. It is a standard USGS reference mark disk set in the top of a 10" concrete monument. The concrete monument is located along the eastern side of US Route 230 and 0.2 miles south of the junction of US Route 22 and U.S. 230.
- There are no existing easements within this site.
- There are no FEMA defined flood hazard zones within this site. The 100 year floodplain shown hereon is per a HEC-RAS study performed by R.J. Fisher and Associates.
- The contractor shall contact PA One Call before any construction begins.
- The locations of the underground public water, electric and communications facilities shown on this plan are based on a combination of field survey and utility company plans.
- Water supply laterals and connections shall meet the requirements of United Water of PA.
- A portion of land will be offered for dedication to Susquehanna Township which includes the proposed Oakhurst Blvd. and Continental Dr. Extensions (Collector Streets). The remaining streets; Hollis Court, Wallace Court, North Wallace Court, Elizabeth Court, and East Elizabeth Court will remain private.
- Lot #3 will be reserved for future development.
- Wetland investigation was performed by Vortex Environmental, Inc. Spring of 2012.
- Retaining wall design plans must be submitted to Susquehanna Township prior to construction.
- All construction shall conform to PennDOT Publications 408 and 72 Standards, and shall conform to Susquehanna Township ordinances.
- The developer / contractor shall be responsible to provide a minimum of 48 - hours notice and to coordinate with the Township / Township Engineer in regards to all municipal inspection work required on the project site.
- Construction drawings on the proposed retaining walls shall be provided prior to construction.
- Retaining walls shall be owned and maintained by the property owner.
- There are no existing covenants.
- The Township staff may access drainage easements from the nearest right-of-way.
- All inlets, junction boxes and manholes with a depth greater than 5' require ladder rungs.
- The Operation and Maintenance (O&M) Agreement is part of the stormwater management site plan.
- Record Drawings must be provided for all stormwater management facilities prior to occupancy, or the release of financial security.
- Concrete slope anchors must be installed for all pipes greater than 15%.
- All materials used and construction methods employed are to be in accordance with the latest standards of the Susquehanna Township Authority.
- For sanitary sewer details reference the Standard Construction and Material Specifications, Susquehanna Township Authority.
- Contractor to test pit all existing utility crossings prior to installing any sanitary sewer pipe to verify existing horizontal and vertical elevations to assure no conflicts with new sewer.
- No buildings are proposed to have basement sanitary sewer service.
- When sewer is installed through Authority's right-of-way including planter islands, no trees, landscape walls, etc. shall be installed within limits of the easement in accordance with the Authority's Standard of Dedication.
- An observation cleanout shall be placed on each lateral within the proposed easement. The detail for placement of the casting in paved areas is found in the Authority's specifications.
- Fill areas must be compacted to 95% proctor.
- Sewer laterals in fill areas for Buildings 3 and 4 shall be DIP.
- Sidewalks must be constructed when ground South of Continental Drive and East of Oakhurst Boulevard are developed.
- Each unit will maintain the minimum habitable floor area as required by the Susquehanna Zoning Ordinance.
- All roof top mounted appliances shall be screened from view.
- The applicant shall pay a fee-in-lieu of recreation land at the time of the final plan for each phase.
- Access to the State street is authorized by a state occupancy permit. No building construction or work within the state street right-of-way may commence without said permit.

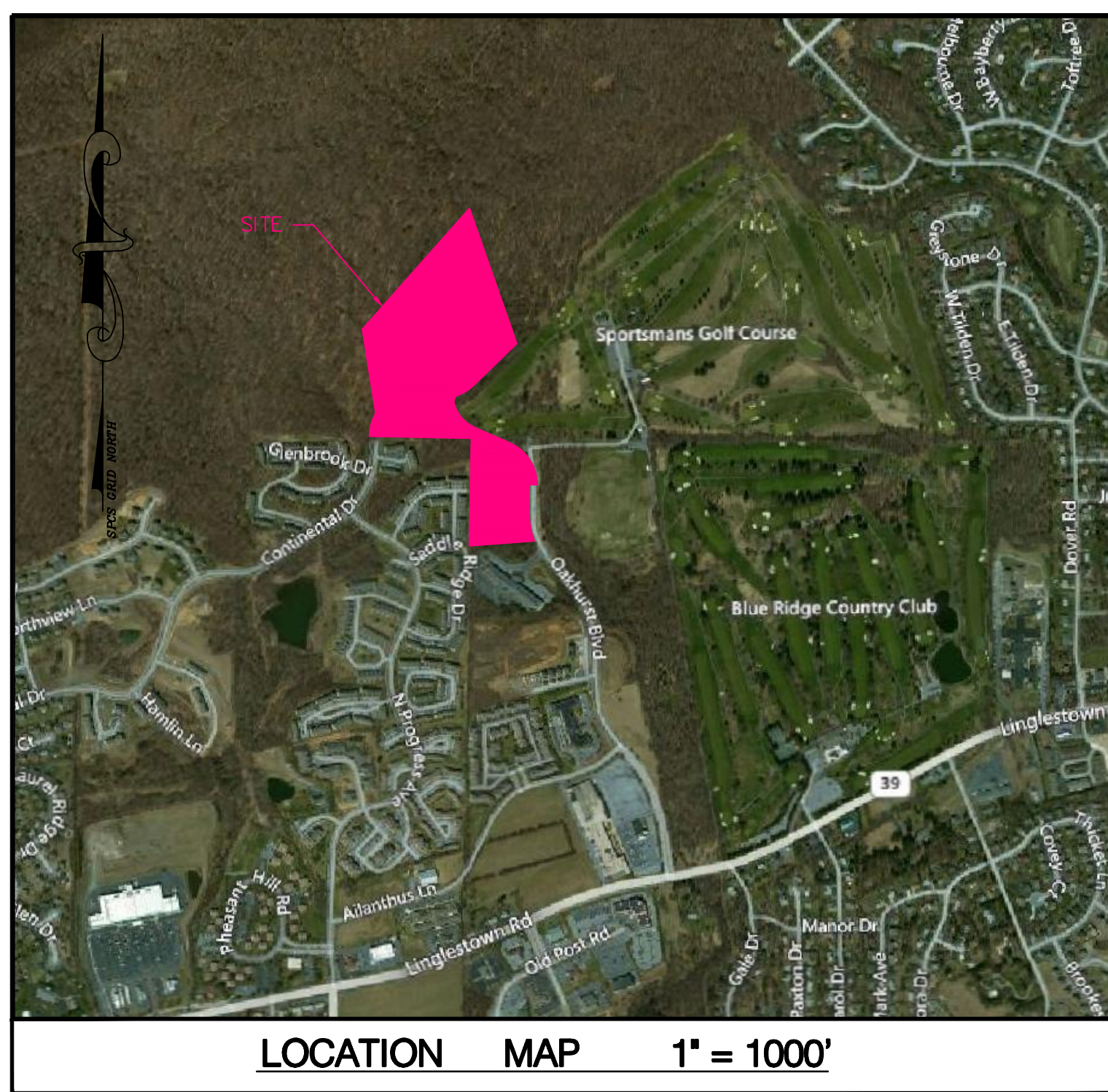
**ZONING REQUIREMENTS**

- The proposed development site is zoned Residential Urban District (R-4). Following are zoning requirements for multi-family dwellings only.
- Minimum development area: 40,000 square feet.
  - Maximum building coverage: 20%
  - Proposed building coverage: 13%
  - Maximum lot impervious coverage: 45%
  - Proposed lot impervious coverage: 36%
  - Minimum vegetative coverage: 55%
  - Proposed vegetative coverage: 64%
  - Minimum front yard: 25 feet
  - Minimum side yard: 20 feet
  - Minimum rear yard: 25 feet
  - Maximum principal building height: 30 feet
  - Maximum proposed building height: 30 feet (Garage 15 feet)
  - Maximum density: 12 units per acre (u.p.a.)
  - Proposed density: 9.96 u.p.a. (Lot 1), 8.93 u.p.a. (Lot 2)
  - Required parking: 2 parking spaces per dwelling unit, 540 spaces required.
  - Proposed parking: 187 spaces (Lot 1), 358 spaces (Lot 2) 545 spaces total (2.03 spaces per unit) (including 25 ADA spaces)
- A portion of this site is zoned Conservation District (C). Following are zoning requirements for Conservation District.
- Maximum residential density: 0.50 units per acre
  - Minimum lot area: 1 acre
  - Minimum lot width: 100 feet
  - Minimum front yard: 50 feet
  - Minimum side yard: 40 feet
  - Minimum rear yard: 50 feet
  - Maximum lot impervious coverage: 30%
  - Maximum principal building height: 30 feet

**PHASING SCHEDULE:**

PHASE NUMBER	DEADLINE FOR FINAL PLAN SUBMISSION	COMPLETION OF CONSTRUCTION
Phase 1	December 2027	Three Years After Final Plan Approval
Phase 2	December 2032	Three Years After Final Plan Approval

The portion of the proposed development site located within Lower Paxton Township is zoned Residential Institutional (IN).



**Drawing Index**

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5	EXISTING CONDITIONS & DEMOLITION PLAN
6	EXISTING CONDITIONS & DEMOLITION PLAN
7	OVERALL SUBDIVISION PLAN
8	OVERALL SUBDIVISION PLAN
9	SUBDIVISION PLAN
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16	ADA PLAN
17	ADA PLAN
18	LANDSCAPE PLAN
19	LANDSCAPE PLAN
20	LANDSCAPE PLAN
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22	EROSION AND SEDIMENT CONTROL PLAN
23	EROSION AND SEDIMENT CONTROL PLAN

**Drawing Index**

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25	LIGHTING PLAN
26	LIGHTING PLAN
27	FIRE TRUCK TURNING PLAN
28	PLAN & PROFILE OF OAKHURST BOULEVARD
29	PLAN & PROFILE OF CONTINENTAL DRIVE
30	PLAN & PROFILE OF CONTINENTAL DRIVE
31	PLAN & PROFILE OF WALLACE COURT
32	PLAN & PROFILE OF ELIZABETH COURT
33	PLAN & PROFILE OF ELIZABETH COURT & NORTH WALLACE COURT
34	PLAN & PROFILE OF HOLLIS COURT
35	PLAN & PROFILE OF MISC. STORM SEWERS & E. ELIZABETH CT
36	PLAN & PROFILE OF MISC. STORM SEWERS
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38	PLAN & PROFILE OF MISC. STORM SEWERS
39	JOINT PERMIT
40	CONSTRUCTION DETAILS
41	CONSTRUCTION DETAILS
42	CONSTRUCTION DETAILS
43	SANITARY SEWER INDEX MAP
44	STORMWATER MANAGEMENT SITE PLAN
45	E & S DETAILS
46	E & S DETAILS
47	E & S DETAILS

**REQUESTED WAIVERS**

From the Susquehanna Township Subdivision and Land Development Ordinance:

WAIVER SECTION	REQUIREMENT	DATE OF WAIVER APPROVAL
1107	PERTAINING TO INSTALLATION OF SIDEWALK ON BOTH SIDES OF THE STREET	

**PLAN APPROVAL BLOCKS**

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014

CHAIRMAN \_\_\_\_\_  
SECRETARY \_\_\_\_\_

THE PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014

TOWNSHIP ENGINEER \_\_\_\_\_

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014

CHAIRMAN \_\_\_\_\_  
SECRETARY \_\_\_\_\_

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014

PRESIDENT \_\_\_\_\_  
SECRETARY \_\_\_\_\_

REVIEWED BY THE LOWER PAXTON TOWNSHIP ENGINEER  
REVIEWED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014

ENGINEER \_\_\_\_\_

**OWNER CERTIFICATION**

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DAUPHIN

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014 BEFORE ME  
THE UNDERSIGNED PERSONALLY APPEARED.

OWNER: \_\_\_\_\_

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC \_\_\_\_\_ DATE \_\_\_\_\_

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

REVIEWED BY THE PLANNING COMMISSION OF LOWER PAXTON TOWNSHIP DAUPHIN COUNTY, PA  
RECOMMENDED FOR APPROVAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014

CHAIRMAN \_\_\_\_\_ SECRETARY \_\_\_\_\_

APPROVED BY LOWER PAXTON TOWNSHIP BOARD OF SUPERVISORS  
DAUPHIN COUNTY, PA  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014

CHAIRMAN \_\_\_\_\_ ATTEST \_\_\_\_\_ SECRETARY \_\_\_\_\_

ALL STORMWATER BMPs ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY SUSQUEHANNA TOWNSHIP.

OWNER \_\_\_\_\_

**APPLICANT**

UNION DEPOSIT CORPORATION  
CONTACT: BILL BROWN & PETER GEMORA  
750 EAST PARK DRIVE  
HARRISBURG, PA 17111  
(717) 564-0832

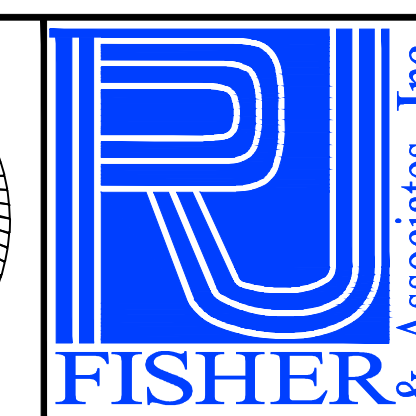
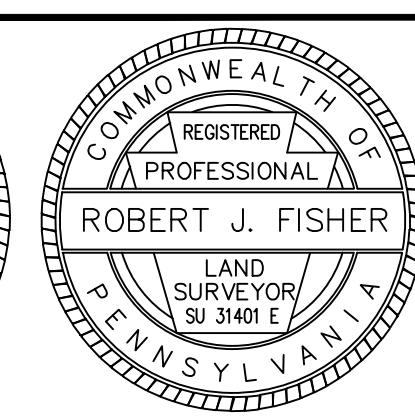
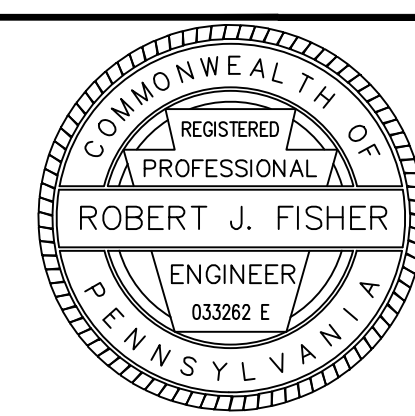
**DESIGN ENGINEER**

R.J. FISHER & ASSOCIATES, INC.  
1546 BRIDGE STREET  
NEW CUMBERLAND, PA 17070  
PHONE: (717) 774-7534  
E-MAIL: RJF@RJFISHERENGINEERING.COM

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP AND LOWER PAXTON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.

ROBERT J. FISHER, P.L.S., P.E. DATE \_\_\_\_\_



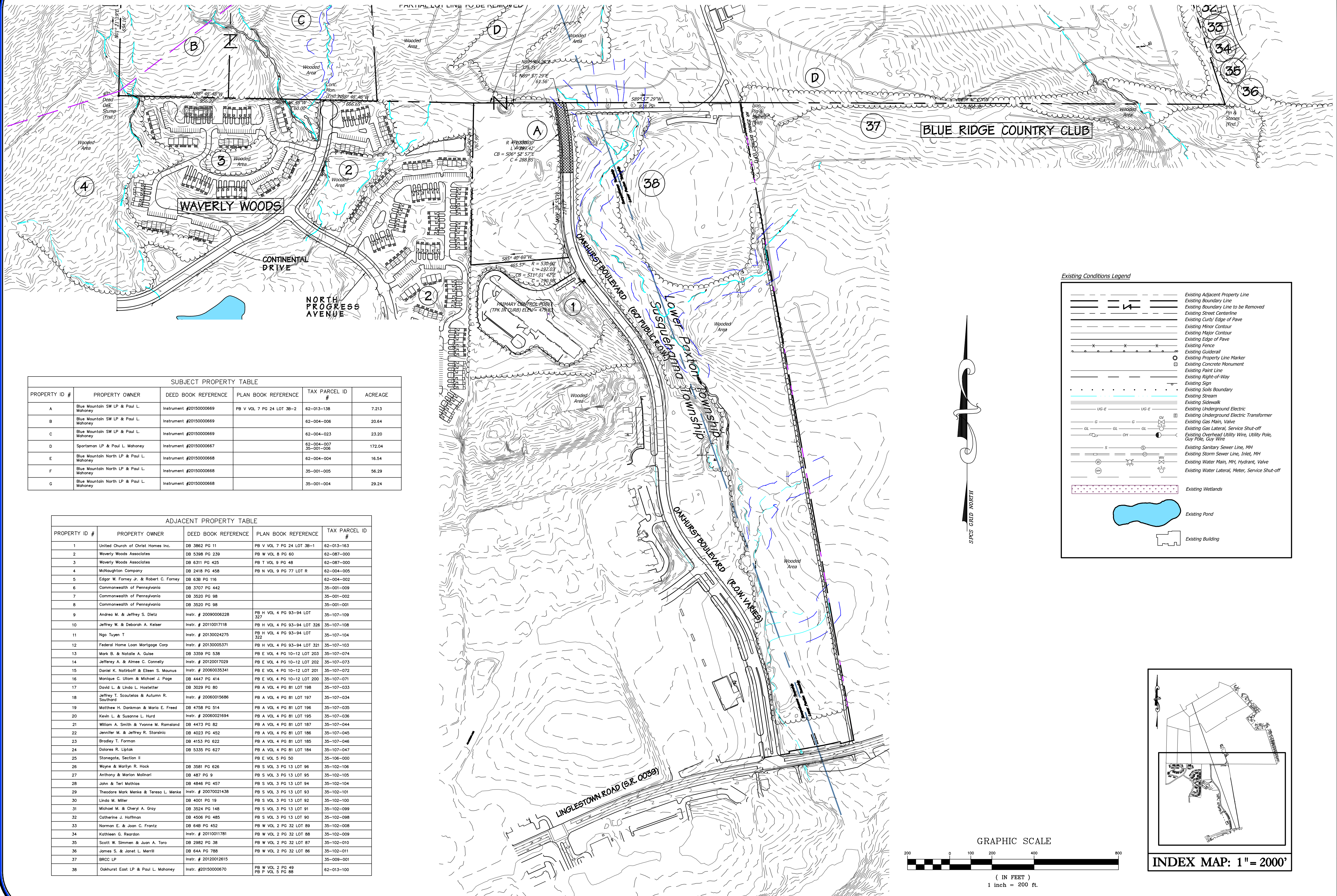
**R. J. FISHER & ASSOCIATES, INC.**  
□ SITE PLANNING □ CIVIL ENGINEERING □ LAND SURVEYS  
1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
PHONE: (717) 774-7534 FAX: (717) 774-7190  
WWW.RJFISHERENGINEERING.COM

No.	REVISION	DATE	DRAWING ID
1	TOWNSHIP COMMENTS	03/13/23	213008-COV
2	----	----	
3	----	----	DATE: 01/23/23
4	----	----	

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SHEET 1 OF 47

SEE SHEET #3 FOR CONTINUATION

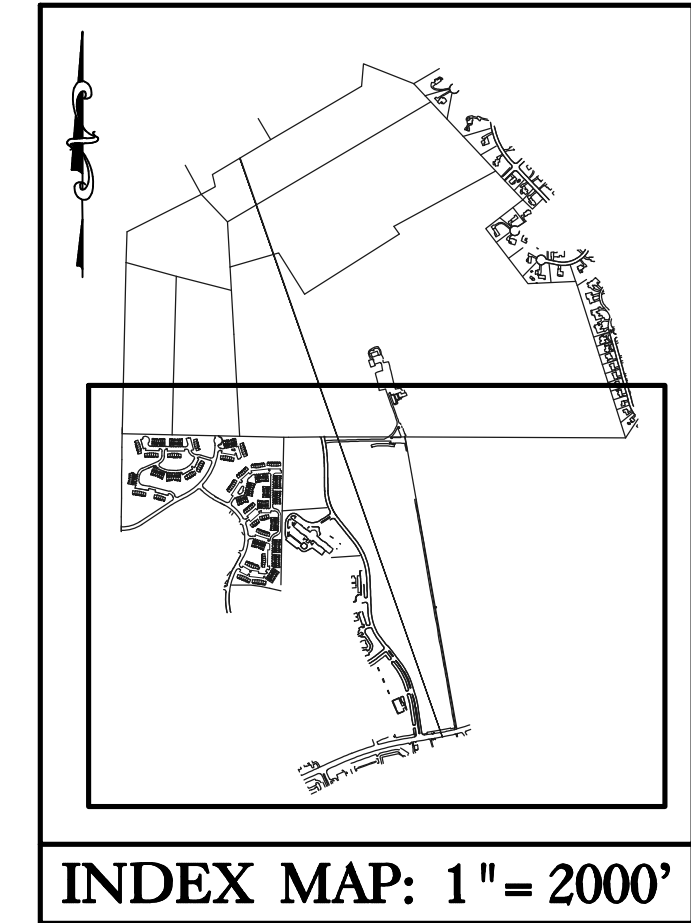
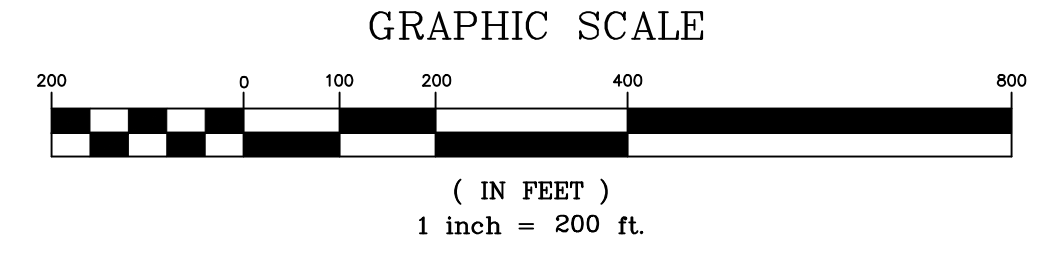
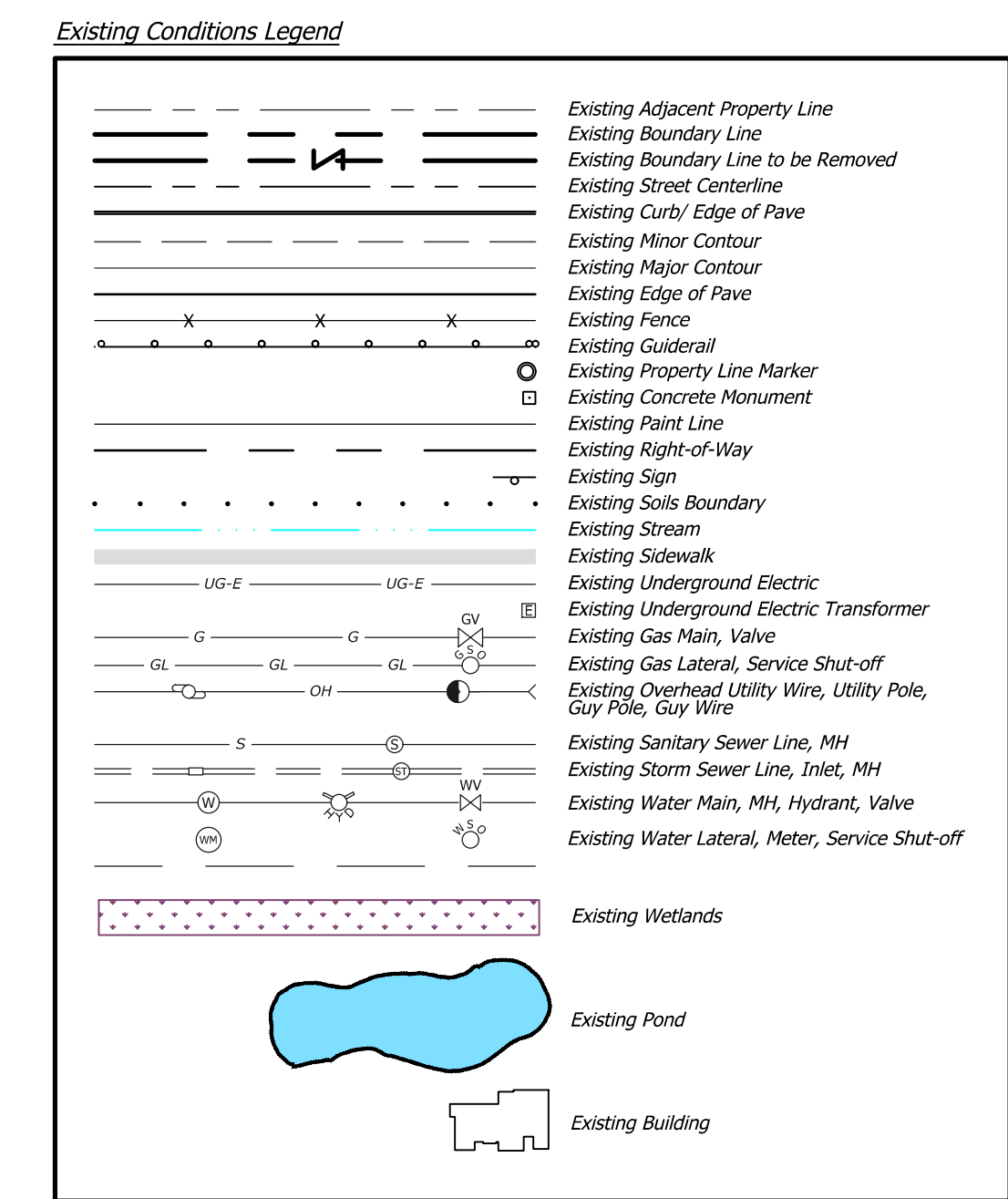


SUBJECT PROPERTY TABLE

PROPERTY ID #	PROPERTY OWNER	DEED BOOK REFERENCE	PLAN BOOK REFERENCE	TAX PARCEL ID #	ACREAGE
A	Blue Mountain SW LP & Paul L. Mahoney	Instrument #2015000669	PB V VOL 7 PG 24 LOT 38-2	62-013-138	7.213
B	Blue Mountain SW LP & Paul L. Mahoney	Instrument #2015000669		62-004-006	20.64
C	Blue Mountain SW LP & Paul L. Mahoney	Instrument #2015000669		62-004-023	23.20
D	Sportsman LP & Paul L. Mahoney	Instrument #2015000667		62-004-007 35-001-006	172.04
E	Blue Mountain North LP & Paul L. Mahoney	Instrument #2015000668		62-004-004	16.54
F	Blue Mountain North LP & Paul L. Mahoney	Instrument #2015000668		35-001-005	56.29
G	Blue Mountain North LP & Paul L. Mahoney	Instrument #2015000668		35-001-004	29.24

ADJACENT PROPERTY TABLE

PROPERTY ID #	PROPERTY OWNER	DEED BOOK REFERENCE	PLAN BOOK REFERENCE	TAX PARCEL ID #
1	United Church of Christ Homes Inc.	DB 3862 PG 11	PB V VOL 7 PG 24 LOT 38-1	62-013-163
2	Waverly Woods Associates	DB 5398 PG 239	PB W VOL 8 PG 60	62-087-000
3	Waverly Woods Associates	DB 6311 PG 425	PB T VOL 9 PG 48	62-087-000
4	McNaughton Company	DB 2418 PG 458	PB N VOL 9 PG 77 LOT R	62-004-005
5	Edgar W. Forney Jr. & Robert C. Forney	DB 638 PG 116		62-004-002
6	Commonwealth of Pennsylvania	DB 3707 PG 442		35-001-009
7	Commonwealth of Pennsylvania	DB 3520 PG 98		35-001-002
8	Commonwealth of Pennsylvania	DB 3520 PG 98		35-001-001
9	Andrea M. & Jeffrey S. Dietz	Instr. # 20090006228	PB H VOL 4 PG 93-94 LOT 327	35-107-109
10	Jeffrey W. & Deborah A. Keiser	Instr. # 20110017118	PB H VOL 4 PG 93-94 LOT 326	35-107-108
11	Ngo Tuyen T	Instr. # 20130024275	PB H VOL 4 PG 93-94 LOT 322	35-107-104
12	Federal Home Loan Mortgage Corp	Instr. # 20130005371	PB H VOL 4 PG 93-94 LOT 321	35-107-103
13	Mark B. & Natalie A. Guise	DB 3359 PG 538	PB E VOL 4 PG 10-12 LOT 203	35-107-074
14	Jeffrey A. & Aimee C. Connelly	Instr. # 20120017029	PB E VOL 4 PG 10-12 LOT 202	35-107-073
15	Daniel K. Nollhoff & Eileen S. Mausus	Instr. # 20060035341	PB E VOL 4 PG 10-12 LOT 201	35-107-072
16	Monique C. Ulom & Michael J. Page	DB 4447 PG 414	PB E VOL 4 PG 10-12 LOT 200	35-107-071
17	David L. & Linda L. Hostetter	DB 3029 PG 80	PB A VOL 4 PG 81 LOT 198	35-107-033
18	Jeffrey T. Scouteles & Autumn R. Southard	Instr. # 20060015686	PB A VOL 4 PG 81 LOT 197	35-107-034
19	Matthew H. Dankman & Maria E. Freed	DB 4758 PG 514	PB A VOL 4 PG 81 LOT 196	35-107-035
20	Kevin L. & Susanne L. Hurd	Instr. # 20060021694	PB A VOL 4 PG 81 LOT 195	35-107-036
21	William A. Smith & Yvonne M. Ramland	DB 4473 PG 82	PB A VOL 4 PG 81 LOT 187	35-107-044
22	Jennifer M. & Jeffrey R. Staranic	DB 4023 PG 452	PB A VOL 4 PG 81 LOT 186	35-107-045
23	Bradley T. Forman	DB 4153 PG 622	PB A VOL 4 PG 81 LOT 185	35-107-046
24	Dolores R. Lipstok	DB 5335 PG 627	PB A VOL 4 PG 81 LOT 184	35-107-047
25	Stonegate, Section II		PB E VOL 5 PG 50	35-106-000
26	Wayne & Marilyn R. Hock	DB 3581 PG 626	PB S VOL 3 PG 13 LOT 96	35-102-106
27	Anthony & Marion Molinari	DB 487 PG 9	PB S VOL 3 PG 13 LOT 95	35-102-105
28	John & Teri Mathias	DB 4846 PG 457	PB S VOL 3 PG 13 LOT 94	35-102-104
29	Theodore Mark Menke & Teresa L. Menke	Instr. # 20070021438	PB S VOL 3 PG 13 LOT 93	35-102-101
30	Linda M. Miller	DB 4001 PG 19	PB S VOL 3 PG 13 LOT 92	35-102-100
31	Michael M. & Cheryl A. Gray	DB 3524 PG 148	PB S VOL 3 PG 13 LOT 91	35-102-099
32	Catherine J. Hoffman	DB 4506 PG 485	PB S VOL 3 PG 13 LOT 90	35-102-098
33	Norman E. & Joan C. Frantz	DB 648 PG 452	PB W VOL 2 PG 32 LOT 89	35-102-008
34	Kathleen G. Reardon	Instr. # 20110011781	PB W VOL 2 PG 32 LOT 88	35-102-009
35	Scott W. Simmen & Juan A. Toro	DB 2982 PG 38	PB W VOL 2 PG 32 LOT 87	35-102-010
36	James S. & Janet L. Merrill	DB 644 PG 788	PB W VOL 2 PG 32 LOT 86	35-102-011
37	BRC LP	Instr. # 20120012615		35-009-001
38	Oakhurst East LP & Paul L. Mahoney	Instr. #20150000670	PB W VOL 2 PG 49 PB P VOL 5 PG 88	62-013-100



**R. J. FISHER & ASSOCIATES, INC.**  
 CIVIL ENGINEERING & LAND SURVEYS  
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**FISHER & ASSOCIATES, INC.**

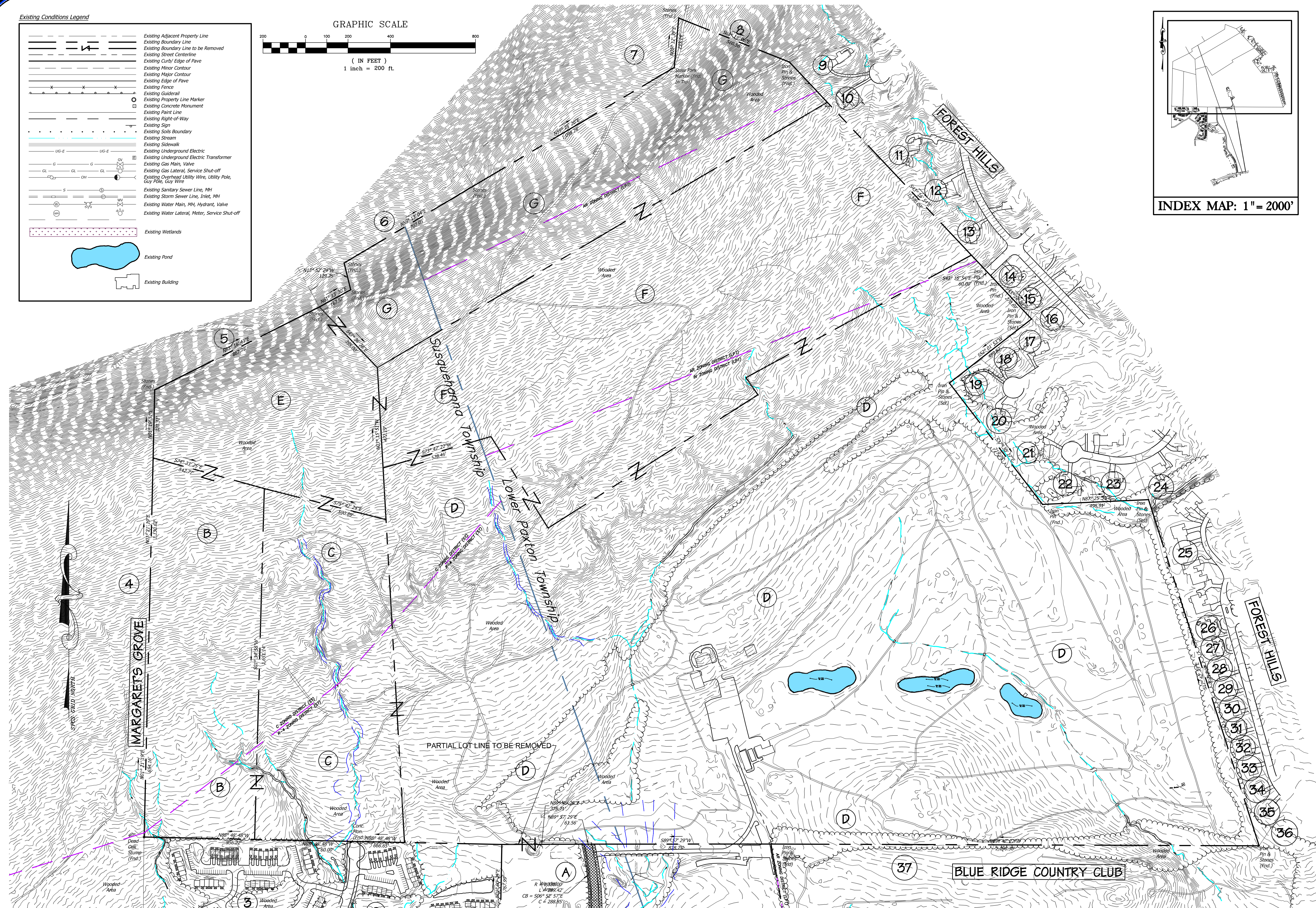
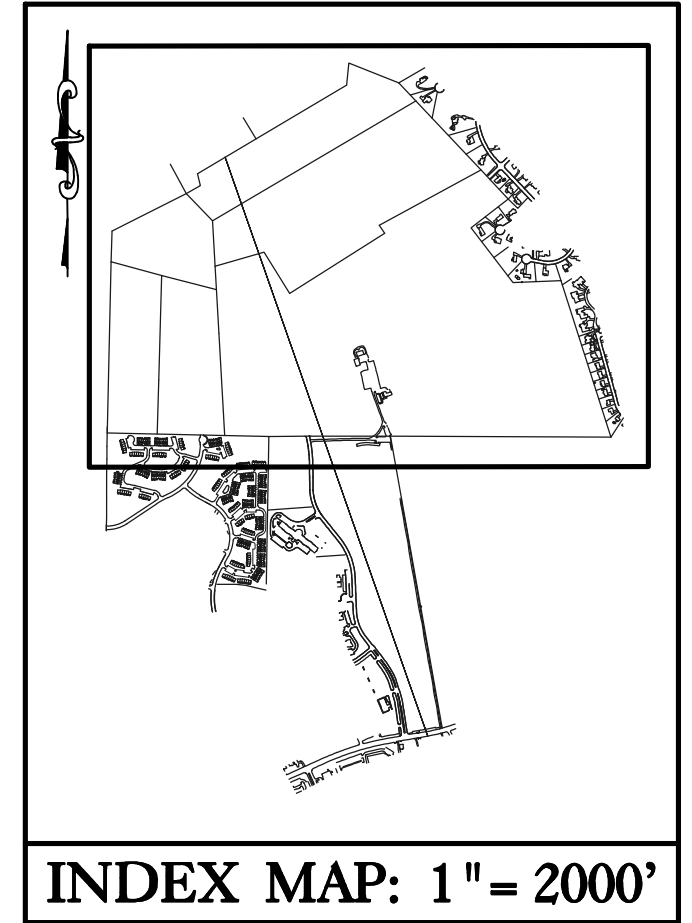
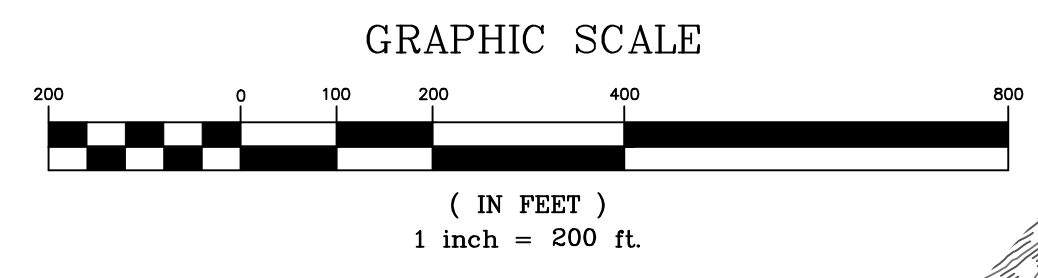
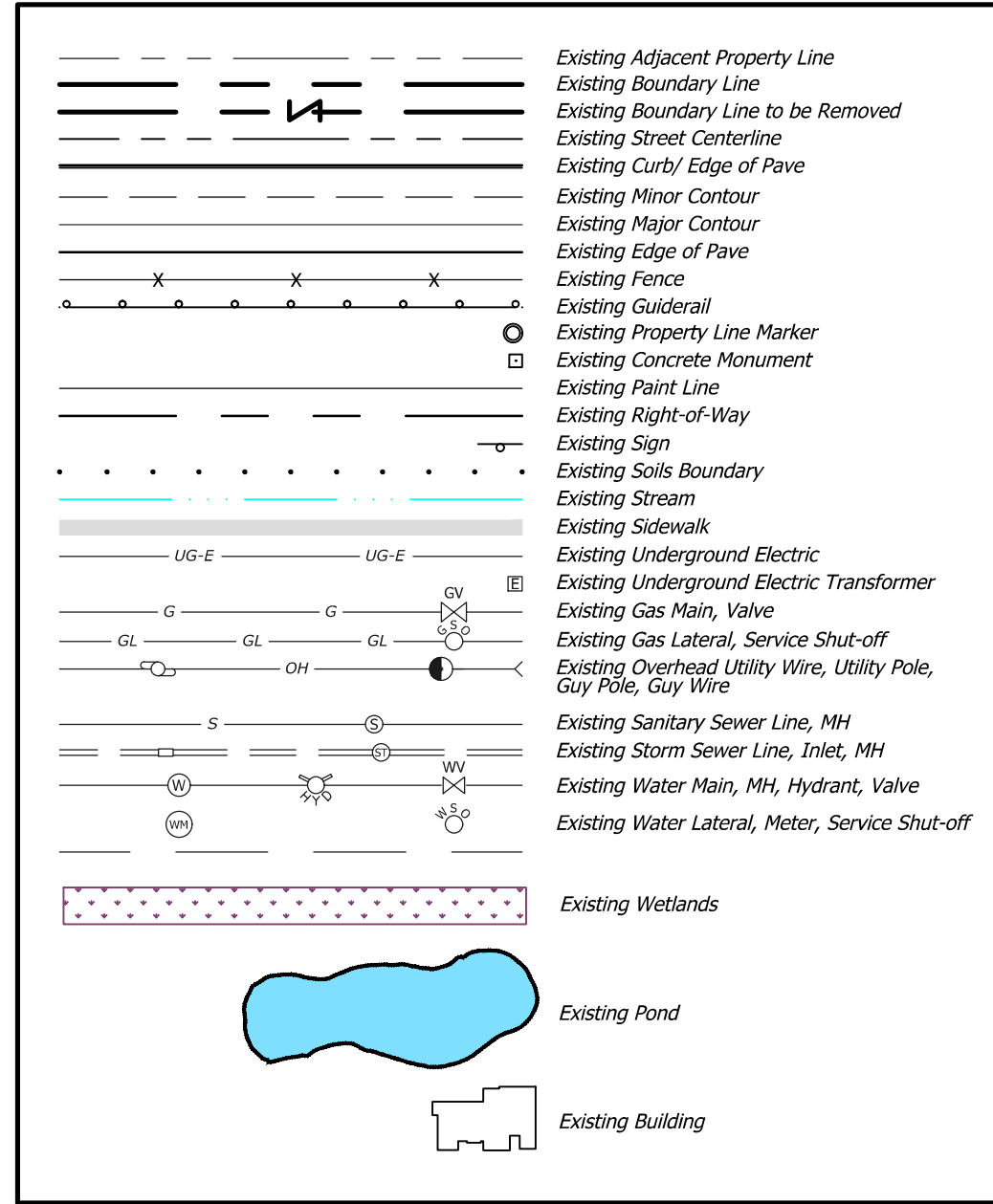
**OVERALL EXISTING CONDITIONS & LOT CONSOLIDATION PLAN FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS LOCATED IN SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

No.	REVISION	COMMENTS	DATE
1		TOWNSHIP COMMENTS	09/19/23
2			
3			
4			

DRAWING ID: 213008-EXC OVR  
 DATE: 01/23/23  
 SHEET 2 OF 47

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Existing Conditions Legend



SEE SHEET #2 FOR CONTINUATION

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

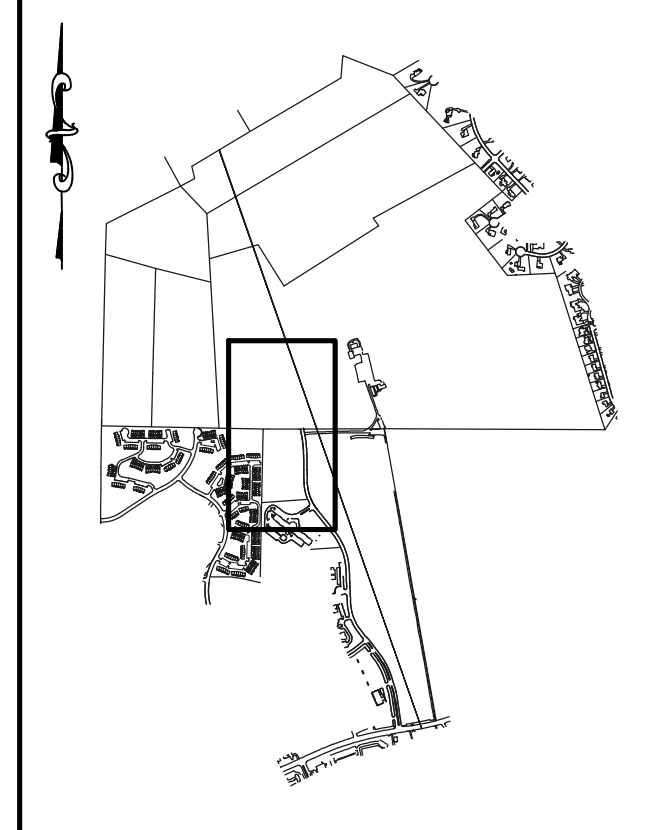
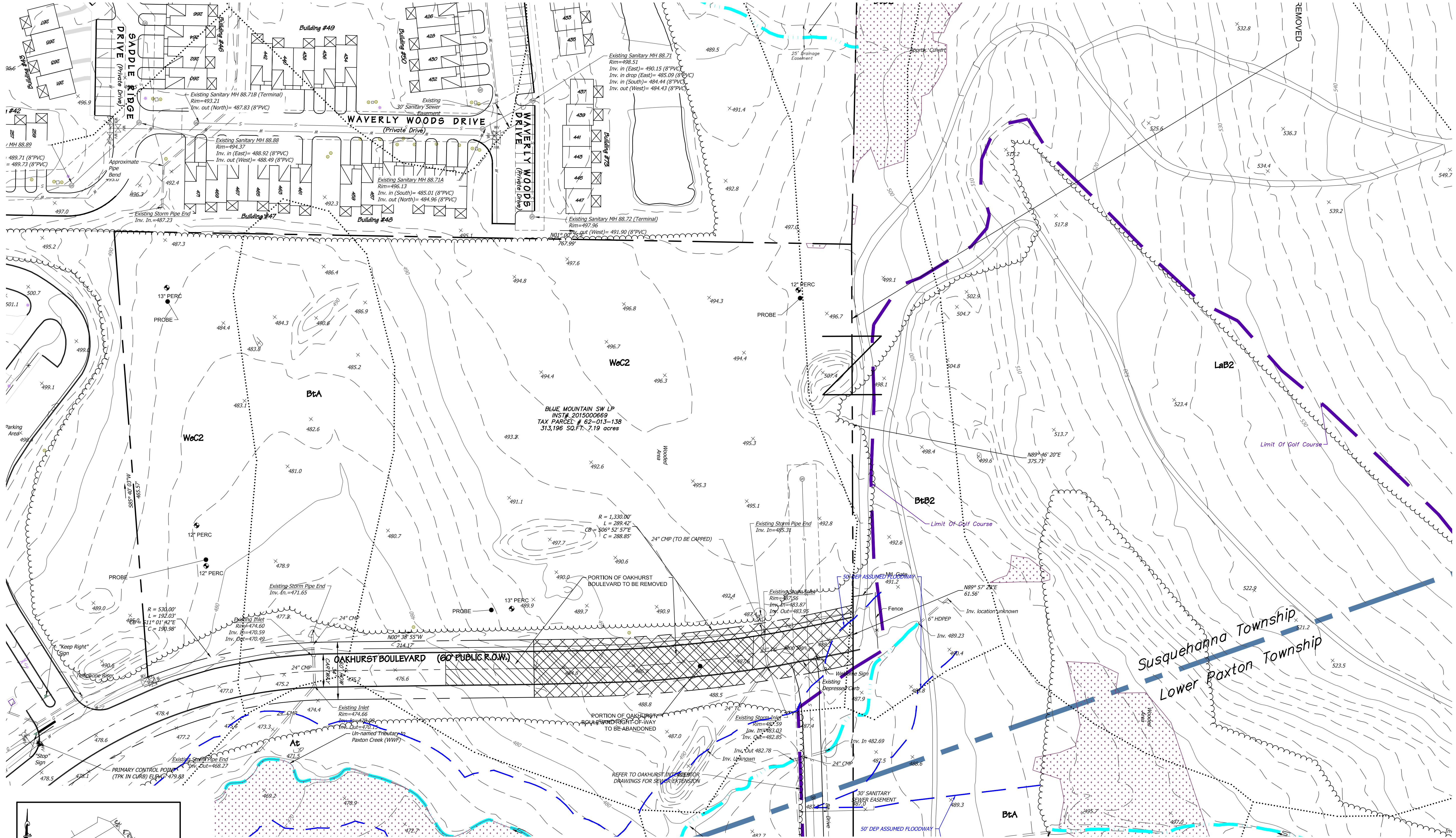
**R. J. FISHER & ASSOCIATES, INC.**  
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 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 FAX: (717) 774-7190  
 WWW.RJFISHERENGINEERING.COM

**FISHER & ASSOCIATES, INC.**

**OVERALL EXISTING CONDITIONS & LOT CONSOLIDATION PLAN FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS LOCATED IN SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

DRAWING ID: 213008-EXC OVR  
 DATE: 01/23/23  
 SHEET 3 OF 47

SEE SHEET #5 FOR CONTINUATION

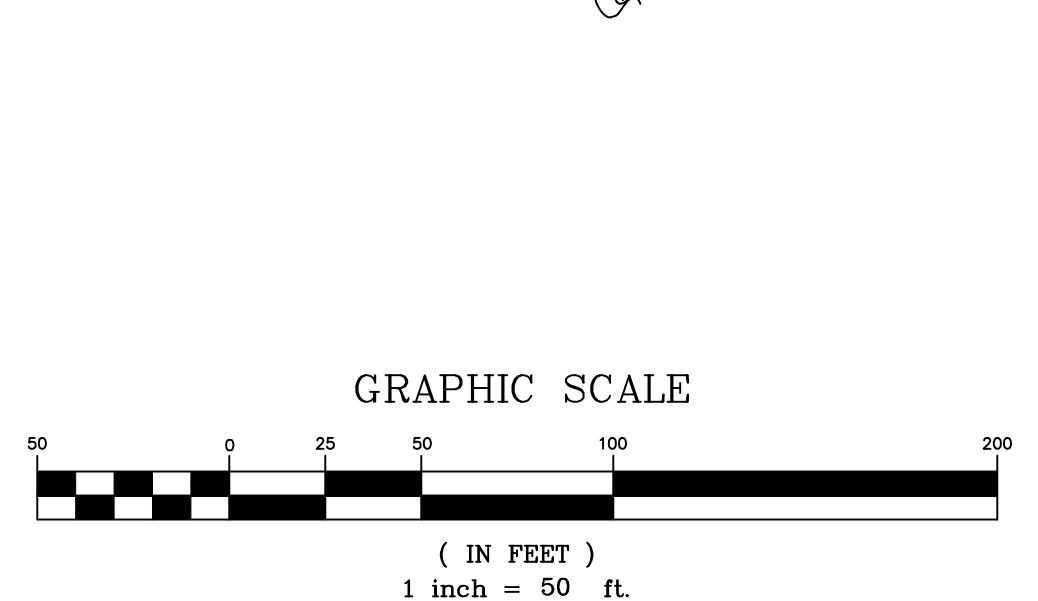


**SOILS TABLE**

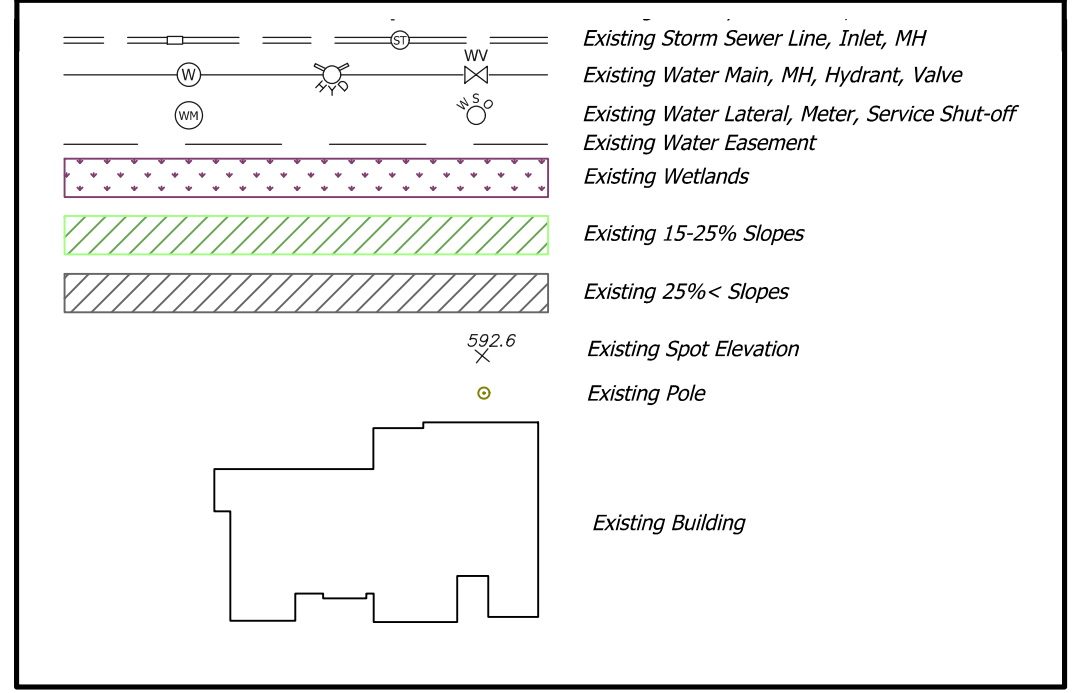
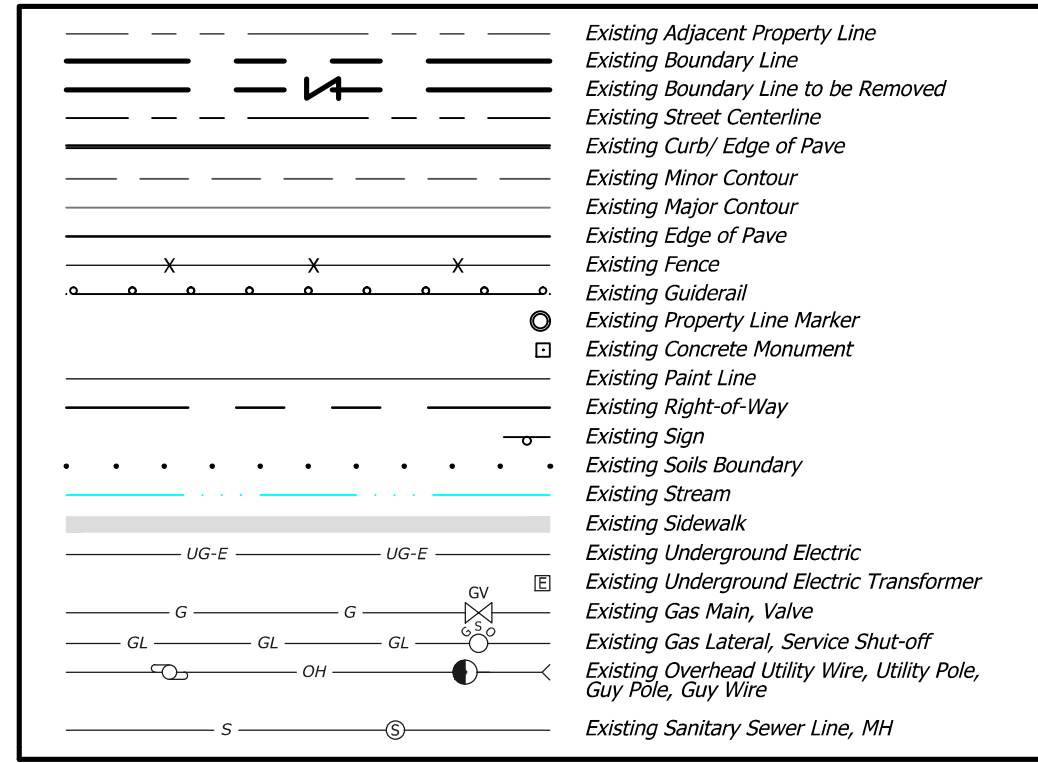
SOIL SYMBOL	SOIL DESCRIPTION	HYDROLOGIC SOIL GROUP	DEPTH TO BEDROCK* (CENTIMETERS)	DEPTH TO WATER TABLE* (CENTIMETERS)
AcB	Andover very stony loam, 0 to 8 percent slopes	D	46	8
At	Atkins Silt Loam	D	202	15
BtA	Brinkerton and Armagh silt loams, 0 to 3 percent slopes	D	76	8
BB2	Brinkerton and Armagh silt loams, 3 to 8 percent slopes, moderately eroded	D	76	8
DID	DeKalb and Lehigh very stony sandy loams, 8 to 25 percent slopes	C	81	>200
DIF	DeKalb and Lehigh very stony sandy loams, 25 to 80 percent slopes	C	81	>200
LaB2	Laidig gravelly loam, 3 to 8 percent slopes, moderately eroded	C	84	95
LdB	Laidig very stony loam, 0 to 8 percent slopes	C	81	99
LdD	Laidig very stony loam, 8 to 25 percent slopes	C	81	99
VsF	Very stony land, steep	A	107	>200
WeC2	Weikert shaly silt loam, 5 to 15 percent slopes, moderately eroded	C	43	>200

\* PER SOIL SURVEY

SPCS GRID NORTH



**Existing Conditions Legend**



SEE SHEET #5 CONTINUATION

**EXISTING CONDITIONS & DEMOLITION PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
**SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

DRAWING ID: 213008-EXC  
 DATE: 01/23/23  
 SHEET 4 OF 47

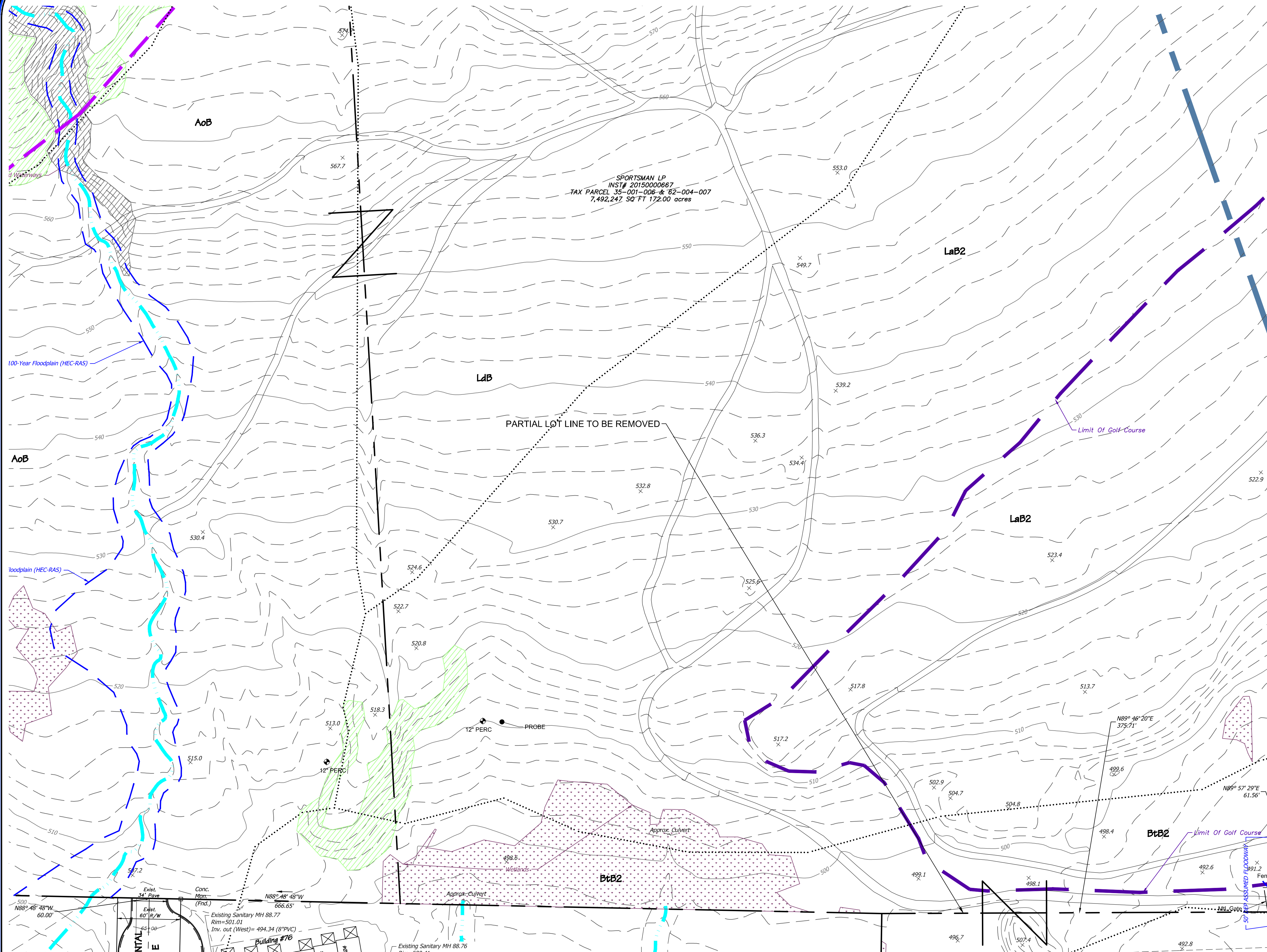


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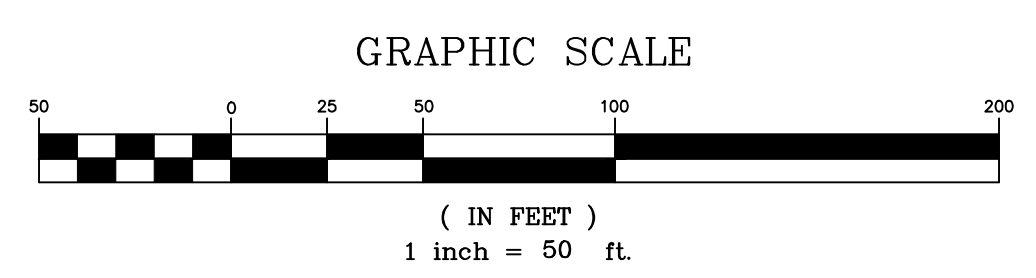
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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SEE SHEET #6 FOR CONTINUATION

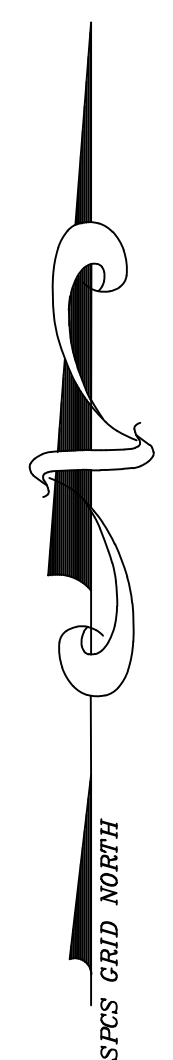
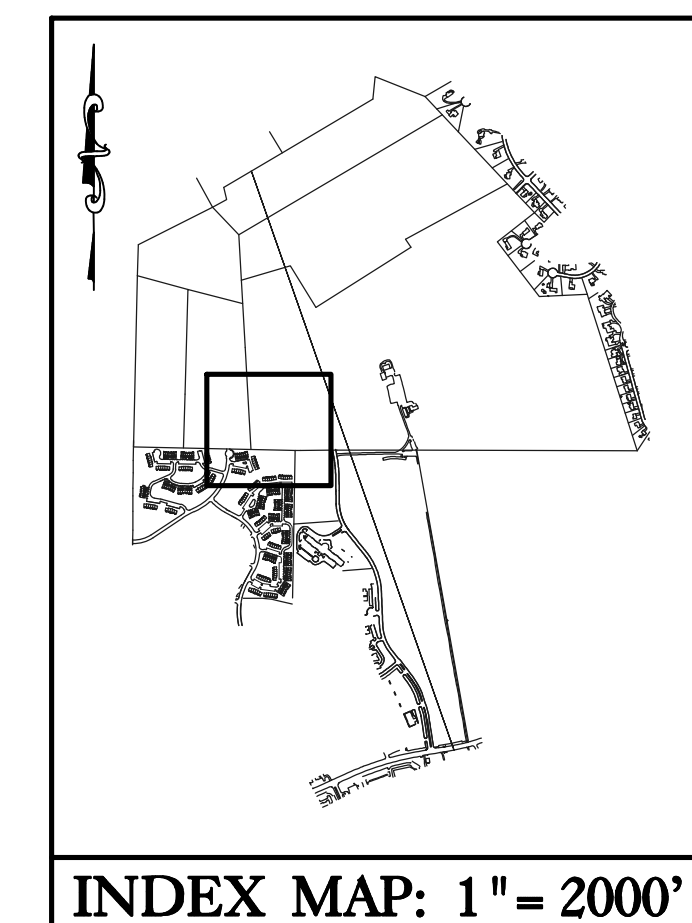


SEE SHEET #4 FOR CONTINUATION



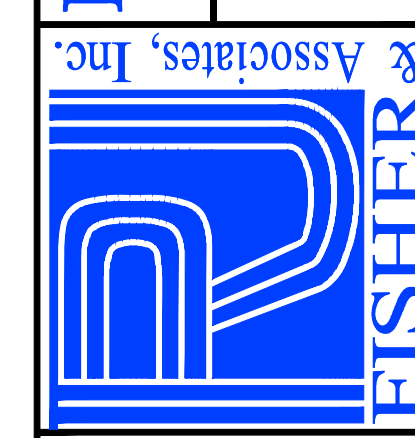
Existing Conditions Legend

	Existing Adjacent Property Line
	Existing Boundary Line
	Existing Boundary Line to be Removed
	Existing Street Centerline
	Existing Curb/Edge of Pavement
	Existing Minor Contour
	Existing Major Contour
	Existing Edge of Pavement
	Existing Fence
	Existing Guideline
	Existing Property Line Marker
	Existing Concrete Monument
	Existing Paint Line
	Existing Right-of-Way
	Existing Sign
	Existing Soils Boundary
	Existing Stream
	Existing Sidewalk
	Existing Underground Electric
	Existing Underground Electric Transformer
	Existing Gas Main, Valve
	Existing Gas Lateral, Service Shut-off
	Existing Overhead Utility Wires, Utility Pole, Guy Pole, Guy Wire
	Existing Sanitary Sewer Line, MH
	Existing Storm Sewer Line, Inlet, MH
	Existing Water Main, MH, Hydrant, Valve
	Existing Water Lateral, Meter, Service Shut-off
	Existing Water Easement
	Existing Wetlands
	Existing 15-25% Slopes
	Existing 25%+ Slopes
	Existing Spot Elevation
	Existing Pole
	Existing Building



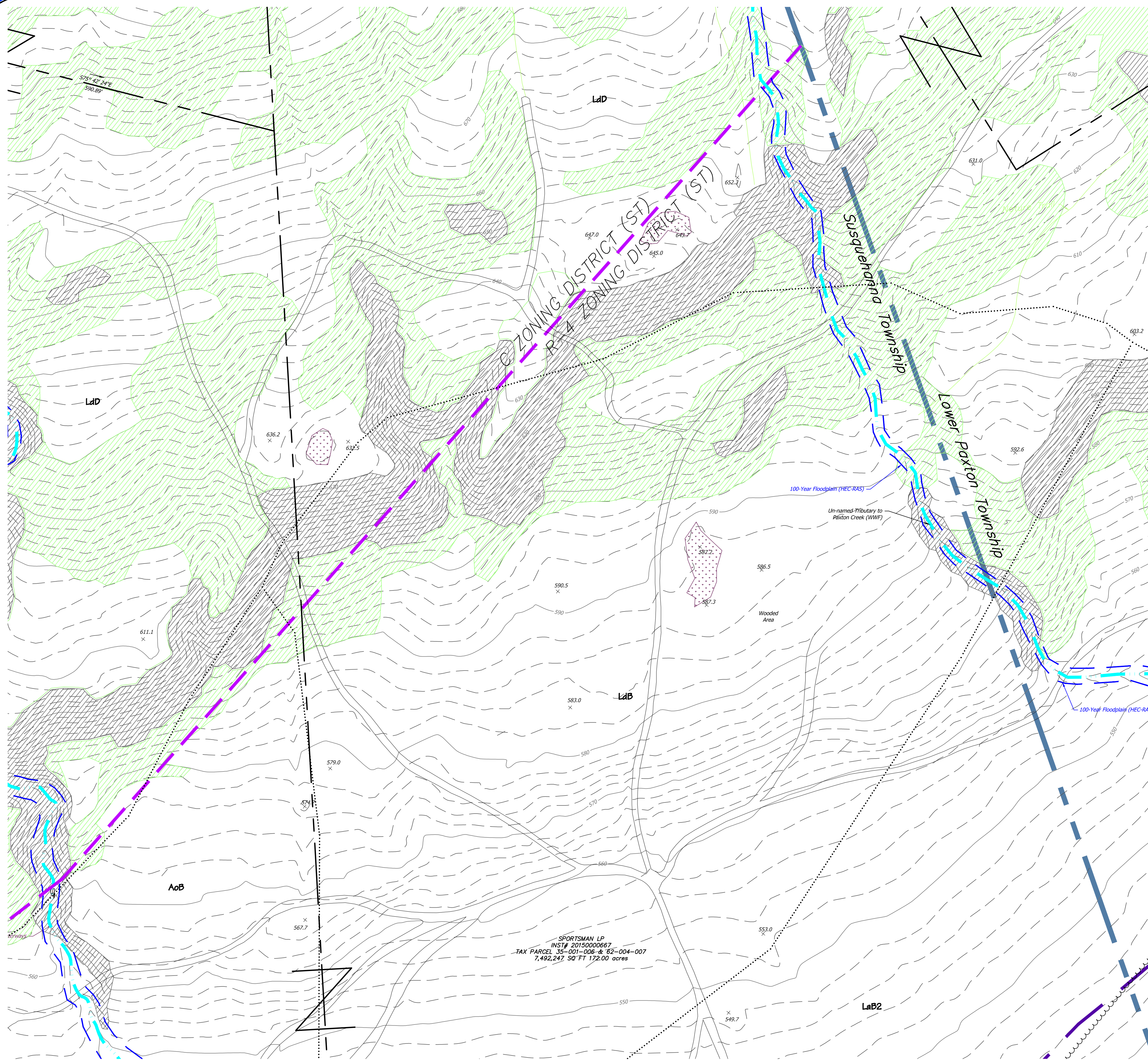
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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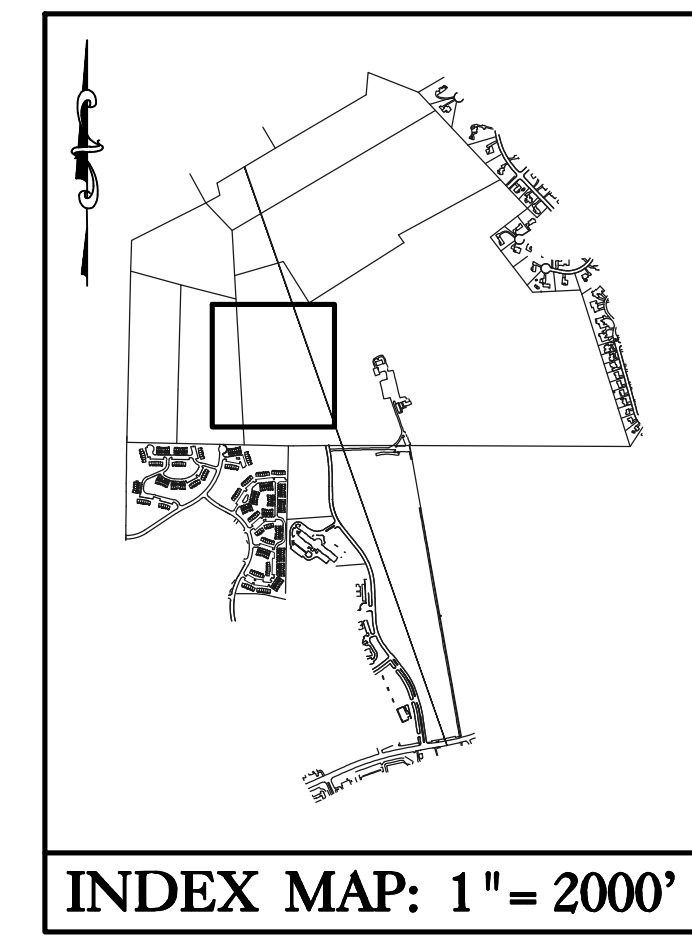


**EXISTING CONDITIONS & DEMOLITION PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-EXC  
 DATE: 01/23/23  
 SHEET 5 OF 47

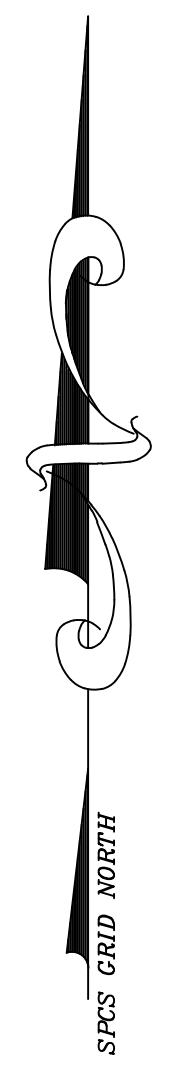
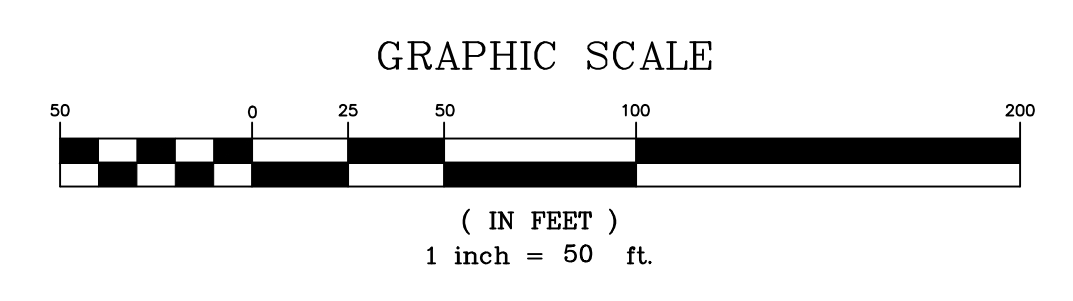


SEE SHEET #5 FOR CONTINUATION



Existing Conditions Legend

	Existing Adjacent Property Line
	Existing Boundary Line
	Existing Boundary Line to be Removed
	Existing Street Centerline
	Existing Curb Edge of Pave
	Existing Minor Contour
	Existing Major Contour
	Existing Edge of Pave
	Existing Fence
	Existing Guideline
	Existing Property Line Marker
	Existing Concrete Monument
	Existing Paint Line
	Existing Right-of-Way
	Existing Sign
	Existing Soils Boundary
	Existing Stream
	Existing Sidewalk
	Existing Underground Electric
	Existing Underground Electric Transformer
	Existing Gas Main, Valve
	Existing Gas Lateral, Service Shut-off
	Existing Overhead Utility Wire, Utility Pole, Guy Pole, Guy Wire
	Existing Sanitary Sewer Line, MH
	Existing Storm Sewer Line, Inlet, MH
	Existing Water Main, MH, Hydrant, Valve
	Existing Water Lateral, Meter, Service Shut-off
	Existing Water Easement
	Existing Wetlands
	Existing 15-25% Slopes
	Existing 25%+ Slopes
	Existing Spot Elevation
	Existing Pole
	Existing Building



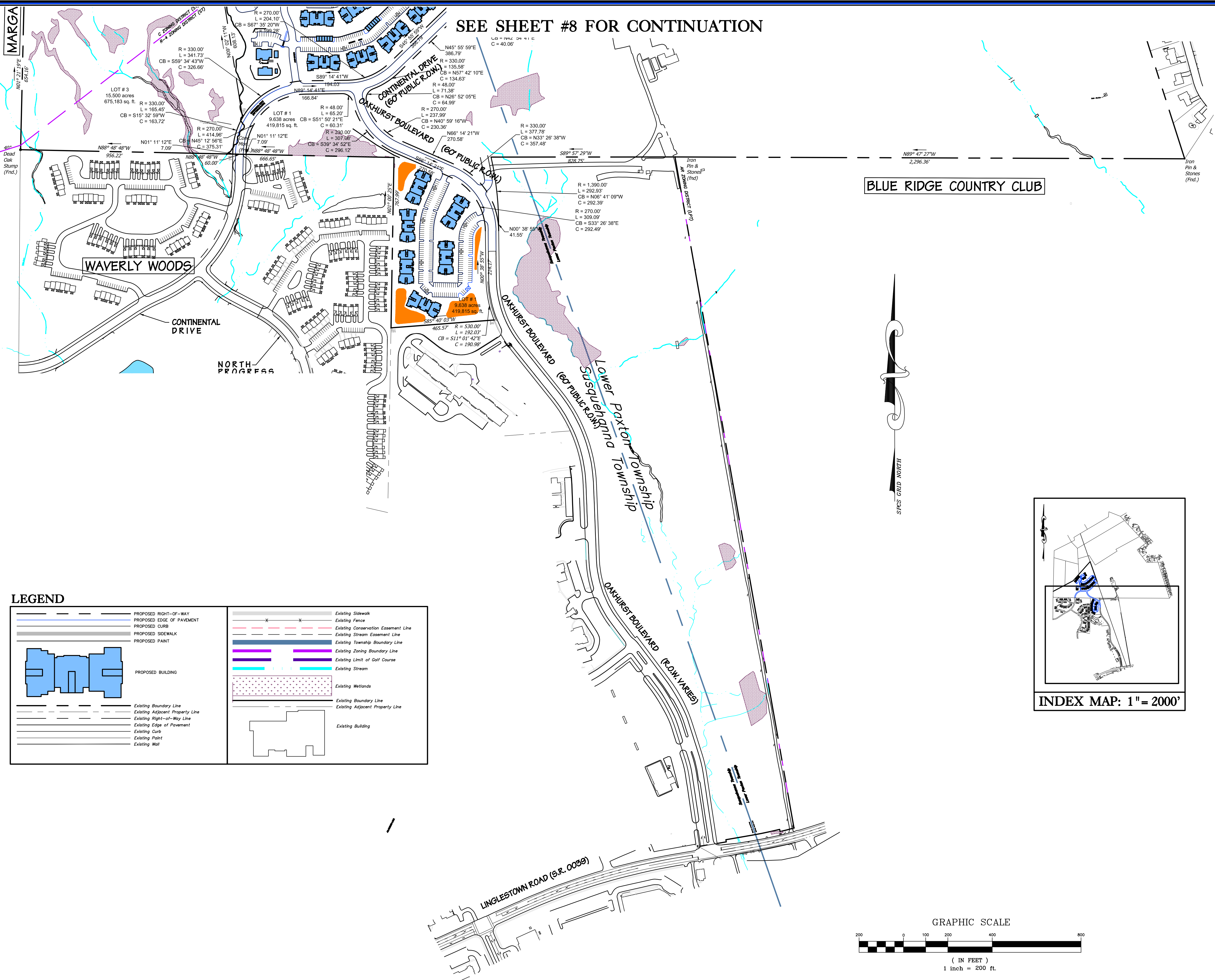
No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

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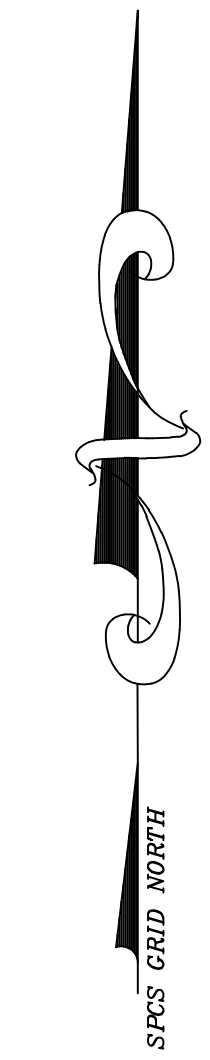
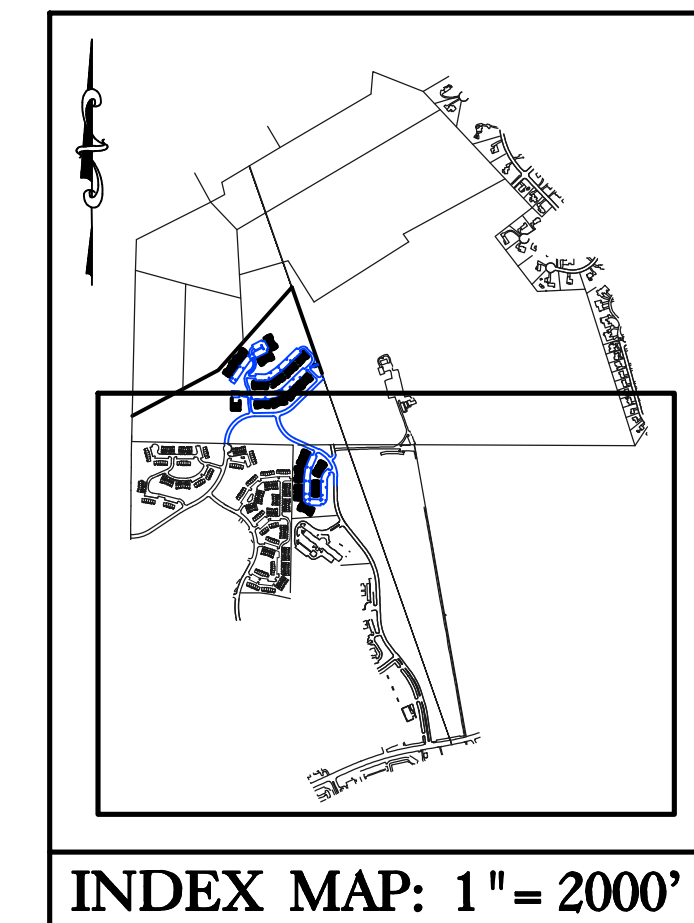
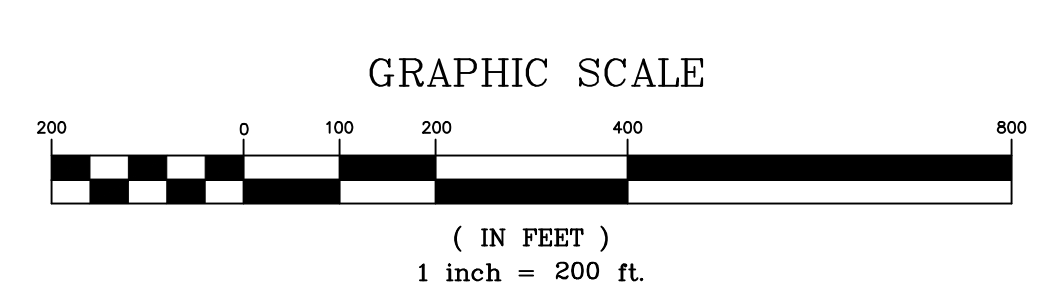
**EXISTING CONDITIONS & DEMOLITION PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

SEE SHEET #8 FOR CONTINUATION



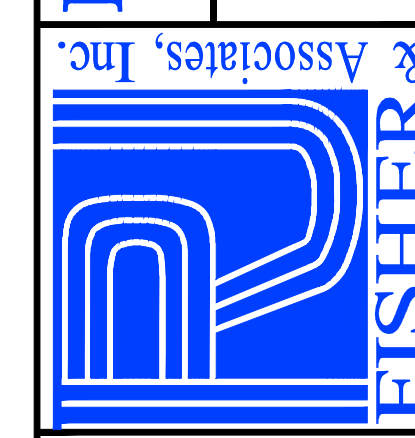
**LEGEND**

	PROPOSED RIGHT-OF-WAY		Existing Slidewalk
	PROPOSED EDGE OF PAVEMENT		Existing Fence
	PROPOSED CURB		Existing Conservation Easement Line
	PROPOSED SIDEWALK		Existing Stream Easement Line
	PROPOSED PAINT		Existing Township Boundary Line
	PROPOSED BUILDING		Existing Zoning Boundary Line
	Existing Boundary Line		Existing Limit of Golf Course
	Existing Adjacent Property Line		Existing Stream
	Existing Right-of-Way Line		Existing Wetlands
	Existing Edge of Pavement		Existing Boundary Line
	Existing Curb		Existing Adjacent Property Line
	Existing Point		Existing Building
	Existing Wall		



NO.	REVISION	COMMENTS	DATE
1		TOWNSHIP COMMENTS	03/19/23
2			
3			
4			

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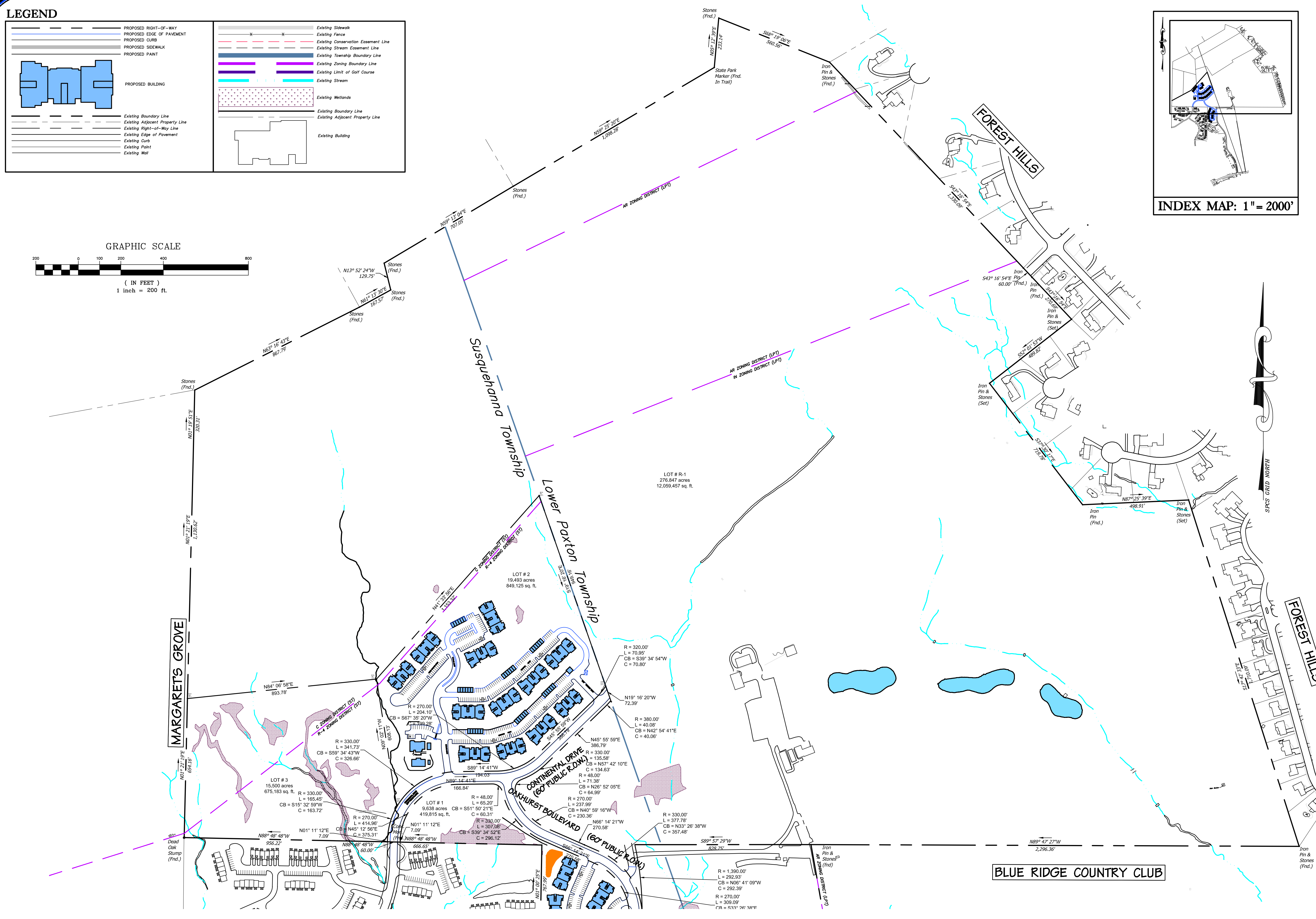
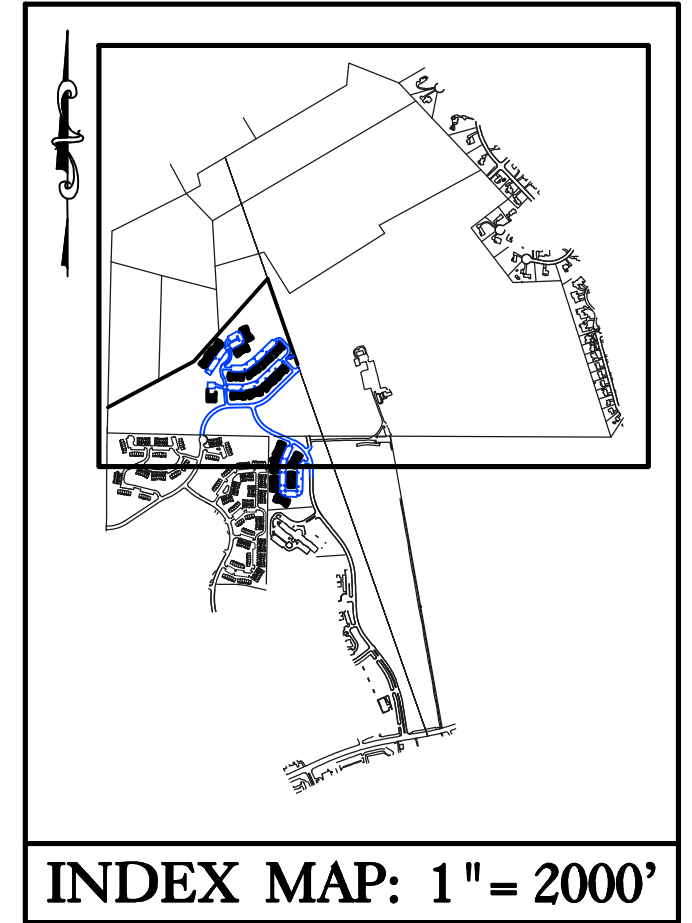
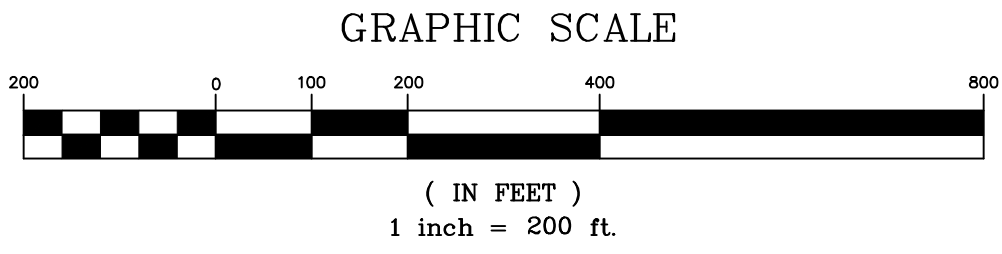
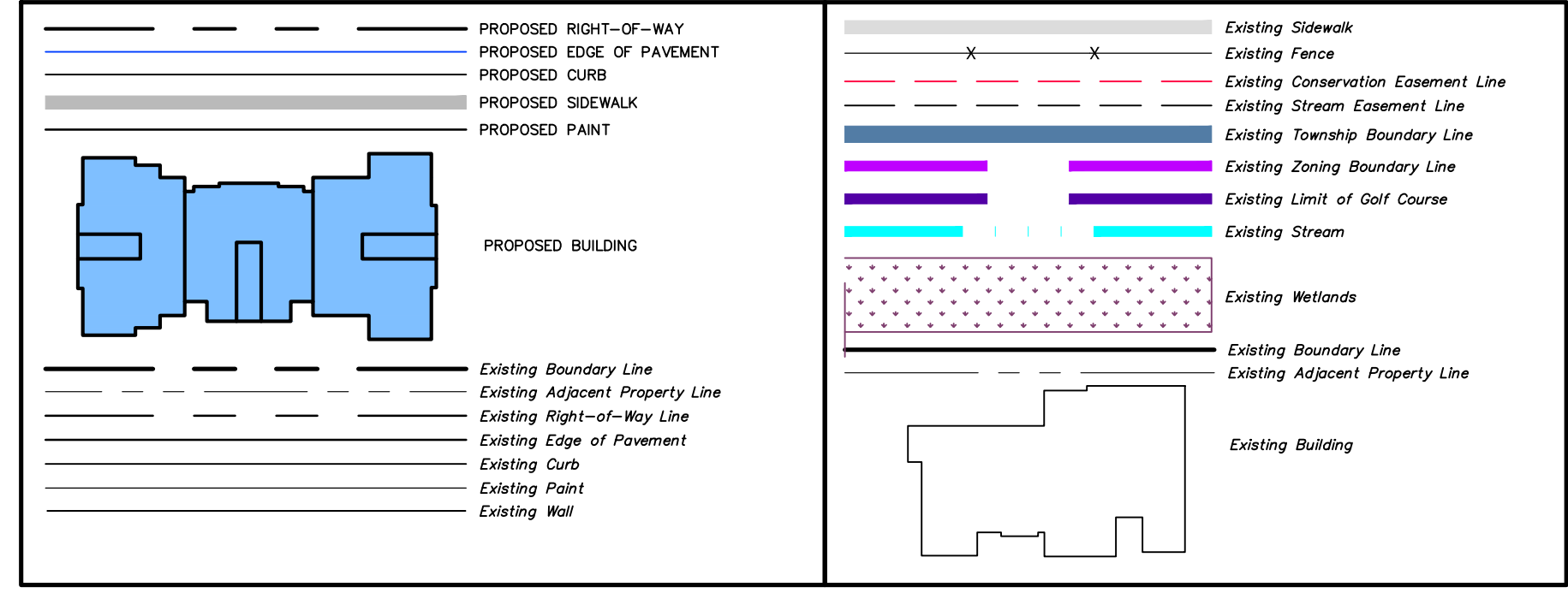


**OVERALL SUBDIVISION PLAN**  
 FOR  
**PHASES 1 & 2 BLUE**  
**MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-SUB OVR  
 DATE: 01/23/23  
 SHEET 7 OF 47

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**LEGEND**



SEE SHEET #7 FOR CONTINUATION

No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

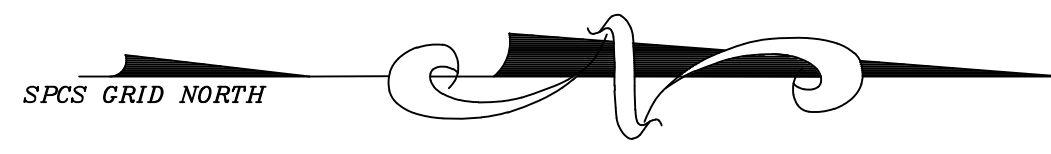
**R. J. FISHER & ASSOCIATES, INC.**  
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PHONE: (717) 774-7534 FAX: (717) 774-7190  
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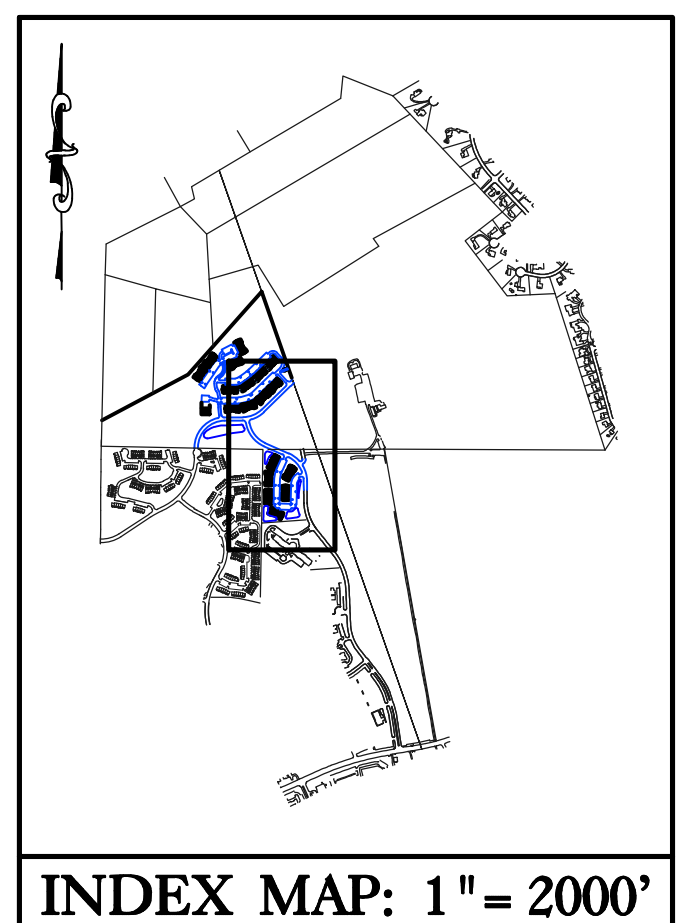
**OVERALL SUBDIVISION PLAN**  
FOR  
**PHASES 1 & 2 BLUE**  
**MOUNTAIN APARTMENTS**  
LOCATED IN  
**SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

DRAWING ID: 213008-SUB OVR  
DATE: 01/23/23  
SHEET 8 OF 47





SEE SHEET #10 FOR CONTINUATION



PLAN SYMBOL	PENNDOT DESIGNATION	SIGN DESCRIPTION	SIZE
	R1-1	STOP	24" X 24"
	-	STANDARD STREETS IDENTIFICATION SIGN	PER TOWNSHIP STANDARDS

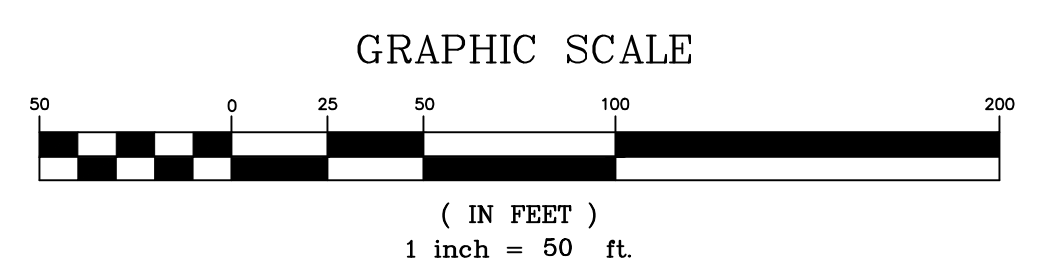
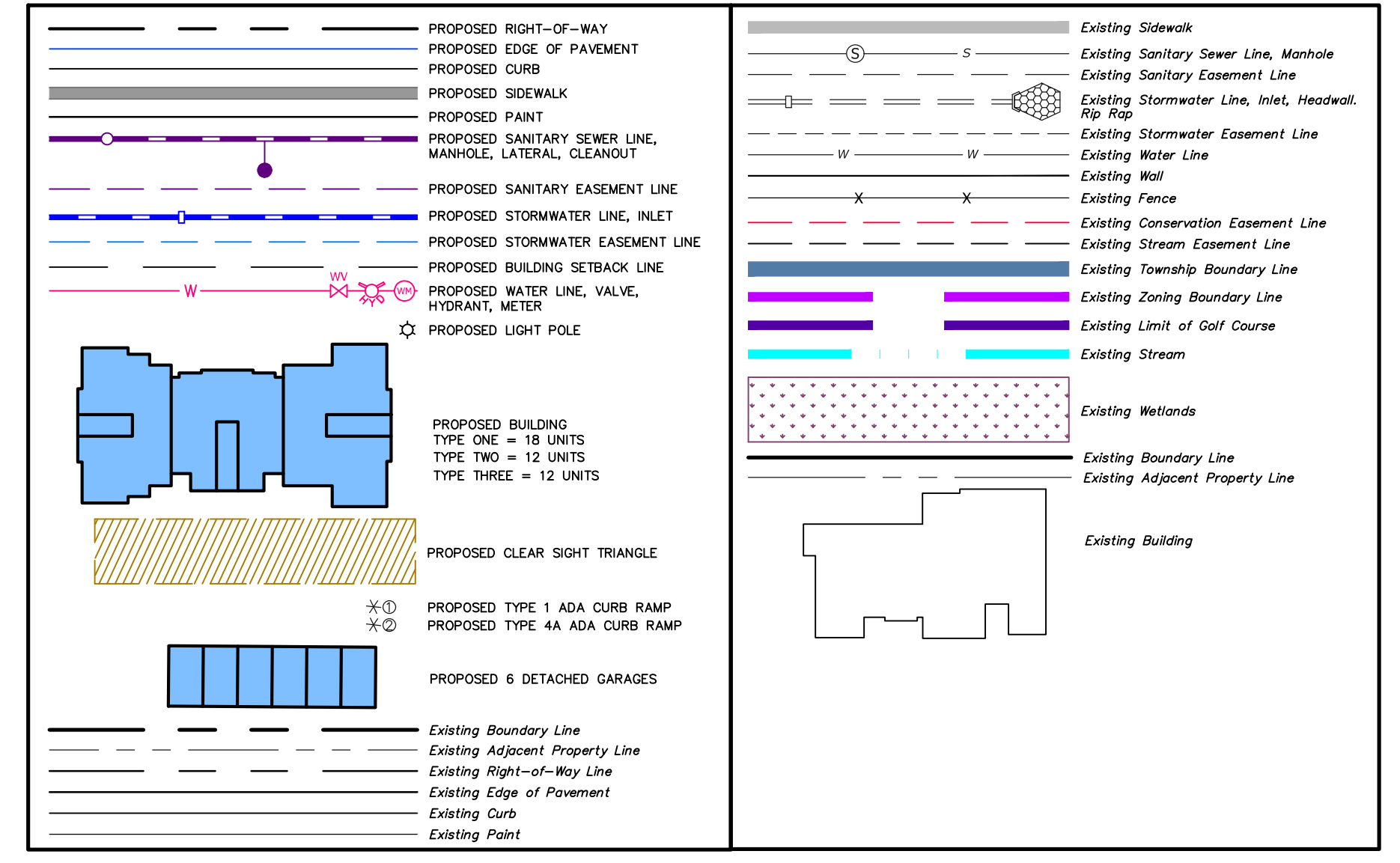
**TRAFFIC SIGN CHART**

Proposed Storm Easement Line Table			Proposed Storm Easement Line Table		
Line #	Direction	Length	Line #	Direction	Length
STE-L54	S81° 05' 38"W	20.48	STE-L76	N37° 10' 31"E	35.30
STE-L55	N00° 54' 22"W	145.44	STE-L77	N10° 57' 59"E	31.05
STE-L56	S30° 54' 24"W	50.57	STE-L78	N20° 54' 10"W	63.13
STE-L57	S18° 01' 03"E	54.17	STE-L79	N26° 12' 18"E	24.71
STE-L58	S79° 50' 07"W	181.56	STE-L80	S15° 57' 59"W	20.69
STE-L59	N84° 46' 27"W	73.86	STE-L81	S08° 50' 23"W	67.74
STE-L60	S84° 24' 10"W	90.71	STE-L82	S10° 32' 36"W	62.41
STE-L61	N01° 29' 08"E	123.44	STE-L83	S03° 27' 12"W	116.54
STE-L62	N81° 04' 18"E	78.93	STE-L84	S44° 28' 44"W	56.49
STE-L63	S28° 55' 42"E	20.00	STE-L85	S67° 21' 00"E	29.49
STE-L64	S61° 04' 18"W	77.42	STE-L86	S88° 54' 24"E	60.20
STE-L65	S00° 02' 41"E	30.65	STE-L87	N08° 54' 22"W	6.44
STE-L66	S16° 29' 49"W	36.15	STE-L88	N85° 54' 07"E	14.21
STE-L67	S67° 16' 50"E	145.95	STE-L89	N39° 23' 05"E	41.14
STE-L68	N61° 09' 08"E	49.32	STE-L90	S50° 36' 55"E	20.00
STE-L69	N18° 53' 31"E	61.21	STE-L91	S39° 23' 05"W	36.87
STE-L70	N87° 11' 19"E	14.16	STE-L92	S66° 14' 21"E	20.26
STE-L71	N44° 21' 46"W	124.35	STE-L93	S03° 06' 30"E	77.32
STE-L72	N45° 38' 14"E	20.00	STE-L94	S29° 14' 27"W	118.20
STE-L73	S44° 21' 46"E	116.30	STE-L95	N00° 33' 48"E	97.48
STE-L74	N44° 26' 44"E	97.75	STE-L96	S77° 05' 20"E	22.40
STE-L75	N00° 47' 23"E	203.99	STE-L97	N33° 01' 42"E	11.56

Proposed Storm Easement Curve Table				
Curve #	Radius	Length	Chord Bearing	Chord
STE-C2	630.00	178.64	S10° 56' 44"E	177.89
STE-C3	32.00	54.65	N30° 54' 32"E	48.25
STE-C4	17.00	28.79	S47° 05' 21"E	25.47
STE-C5	25.40	54.55	S62° 56' 34"W	44.65
STE-C6	20.00	23.84	S53° 02' 25"W	22.45
STE-C7	270.00	92.68	N19° 28' 58"W	92.22
STE-C8	270.00	20.46	N62° 40' 00"W	20.45
STE-C9	15.00	38.62	S75° 05' 52"E	39.07
STE-C10	30.00	53.59	S51° 44' 14"W	48.74

Proposed Sanitary Easement Line Table		
Line #	Direction	Length
SE-L1	S66° 14' 21"E	30.00
SE-L2	S23° 45' 39"W	204.37
SE-L3	S01° 02' 32"W	308.75
SE-L4	N85° 57' 28"W	30.00
SE-L5	N01° 02' 32"E	314.77
SE-L6	N23° 45' 39"E	210.39

**LEGEND**



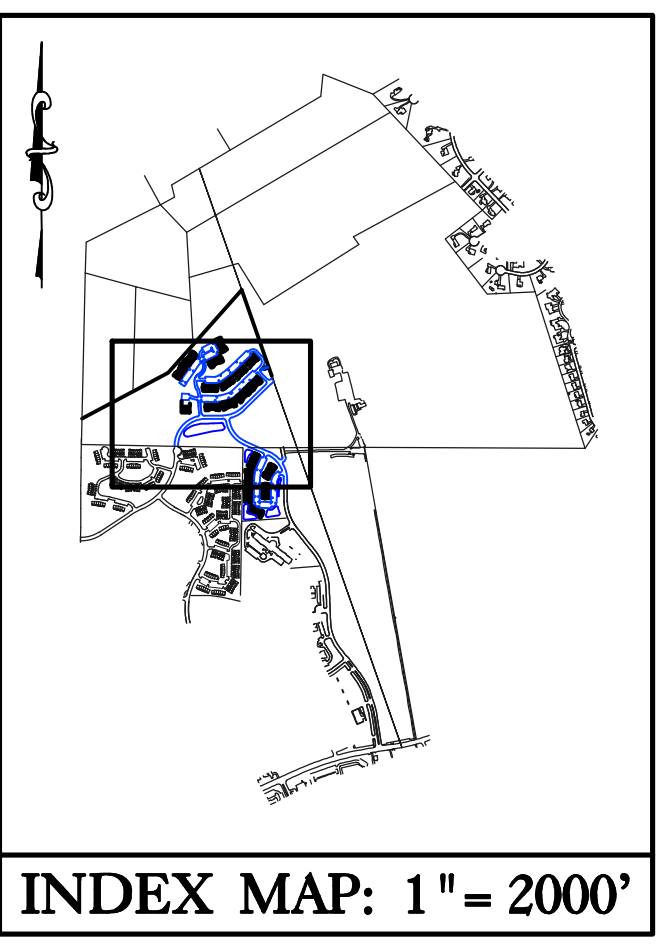
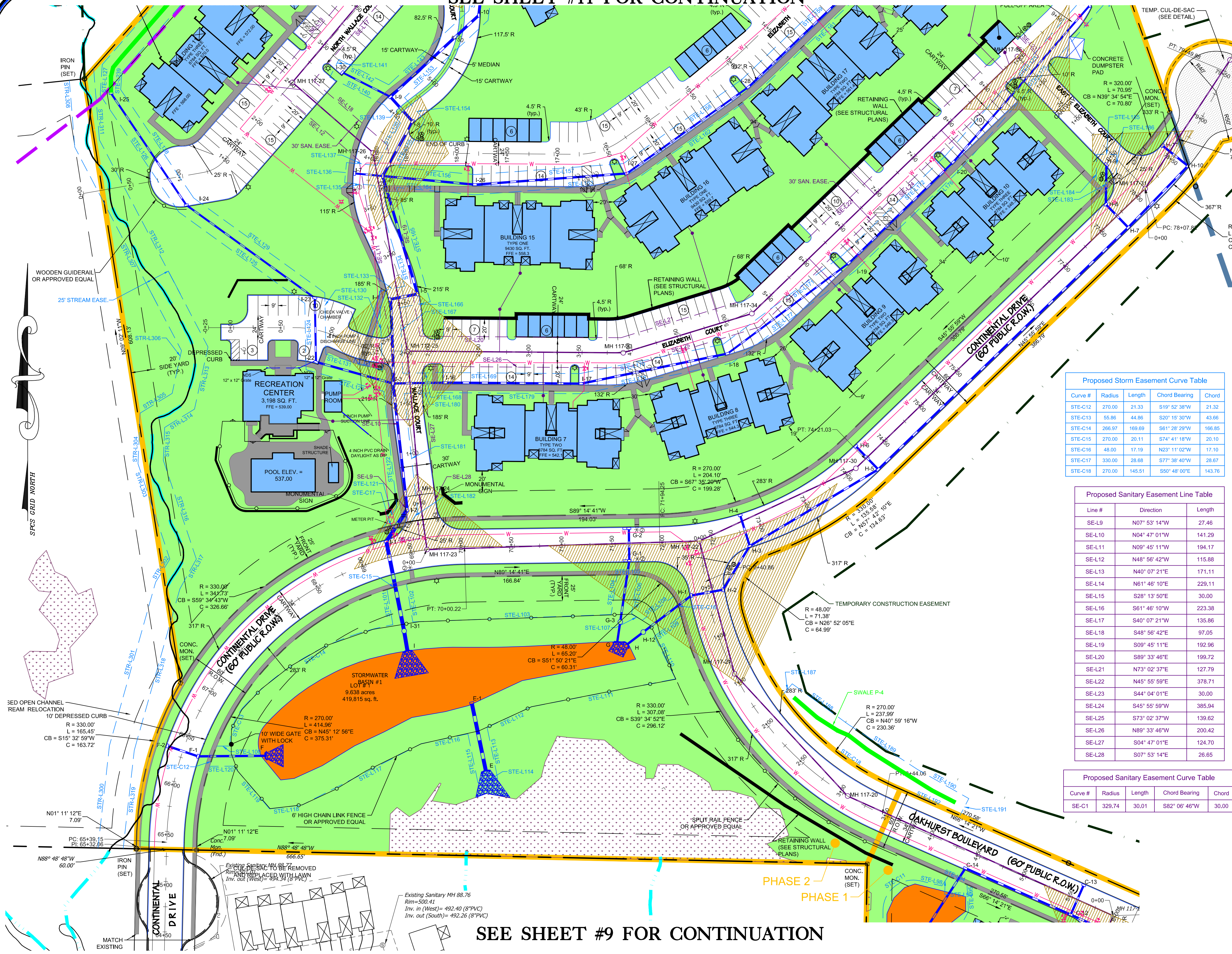
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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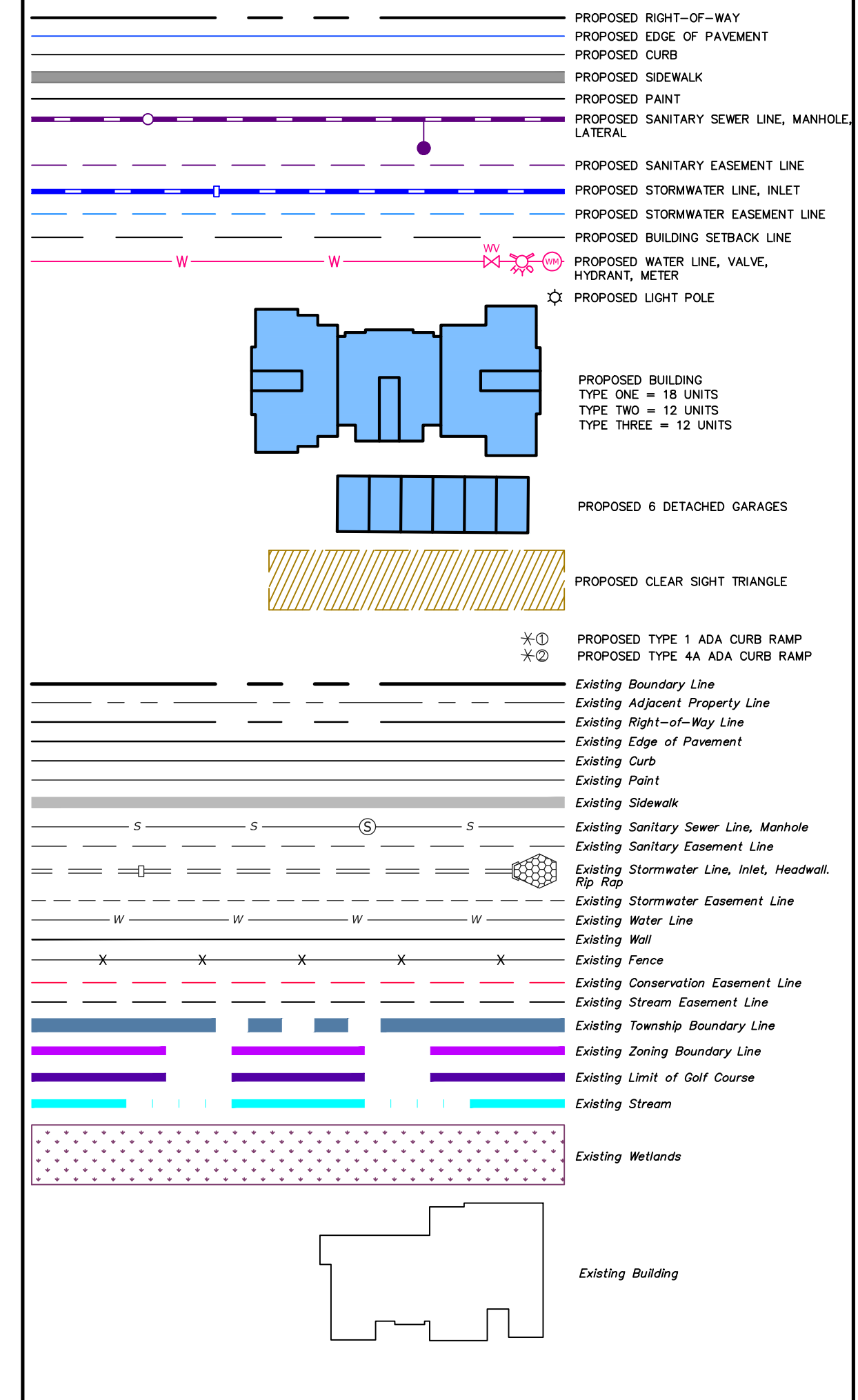


**SUBDIVISION PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

SEE SHEET #11 FOR CONTINUATION



LEGEND



Proposed Storm Easement Curve Table

Curve #	Radius	Length	Chord Bearing	Chord
STE-C12	270.00	21.33	S19° 52' 38"W	21.32
STE-C13	85.86	44.86	S20° 15' 30"W	43.86
STE-C14	266.97	169.69	S61° 28' 29"W	166.85
STE-C15	270.00	20.11	S74° 41' 18"W	20.10
STE-C16	48.00	17.19	N23° 11' 02"W	17.10
STE-C17	330.00	28.88	S77° 38' 40"W	28.87
STE-C18	270.00	145.51	S50° 48' 00"W	143.76

Proposed Sanitary Easement Line Table

Line #	Direction	Length
SE-L9	N07° 53' 14"W	27.46
SE-L10	N04° 47' 01"W	141.29
SE-L11	N09° 45' 11"W	194.17
SE-L12	N48° 56' 42"W	115.88
SE-L13	N40° 07' 21"E	171.11
SE-L14	N61° 46' 10"E	228.11
SE-L15	S28° 13' 50"E	30.00
SE-L16	S61° 46' 10"W	223.38
SE-L17	S40° 07' 21"W	135.86
SE-L18	S48° 56' 42"E	97.05
SE-L19	S09° 45' 11"E	192.96
SE-L20	S89° 33' 46"E	199.72
SE-L21	N73° 02' 37"E	127.79
SE-L22	N45° 55' 59"E	378.71
SE-L23	S44° 04' 01"E	30.00
SE-L24	S45° 55' 59"W	385.94
SE-L25	S73° 02' 37"W	139.62
SE-L26	N89° 33' 46"W	200.42
SE-L27	S04° 47' 01"E	124.70
SE-L28	S07° 53' 14"E	26.65

Proposed Sanitary Easement Curve Table

Curve #	Radius	Length	Chord Bearing	Chord
SE-C1	329.74	30.01	S82° 06' 46"W	30.00

Proposed Stream Easement Line Table

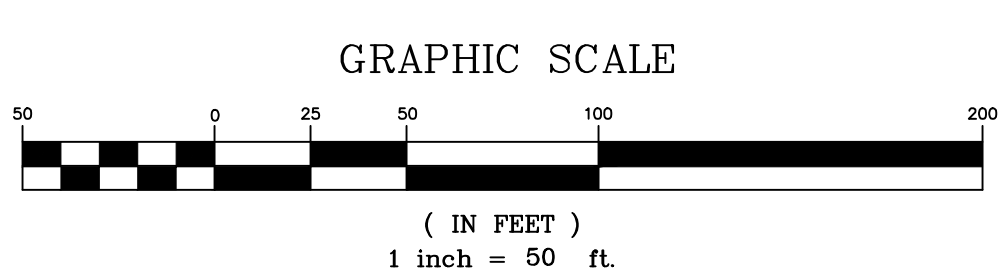
Line #	Direction	Length
STR-L273	S19° 16' 20"E	40.25
STR-L286	N41° 33' 56"E	26.82
STR-L299	N88° 48' 48"W	25.13
STR-L300	N06° 25' 27"E	102.60
STR-L301	N15° 46' 52"E	168.76
STR-L302	N31° 41' 47"E	26.76
STR-L303	N18° 26' 34"W	99.86
STR-L304	N02° 25' 16"E	102.60
STR-L305	N58° 21' 50"E	37.46
STR-L306	N12° 14' 41"E	43.52
STR-L307	N27° 40' 02"W	228.36
STR-L308	N04° 39' 30"W	66.58
STR-L402	N84° 06' 58"E	15.16

Proposed Stream Easement Line Table

Line #	Direction	Length
STR-L310	N41° 33' 56"E	13.63
STR-L311	S04° 39' 30"E	71.25
STR-L312	S27° 40' 02"E	232.35
STR-L313	S12° 14' 41"W	63.24
STR-L314	S68° 21' 50"W	34.80
STR-L315	S02° 20' 16"W	32.55
STR-L316	S18° 26' 34"E	103.59
STR-L317	S28° 53' 32"W	33.82
STR-L318	S15° 46' 52"W	166.71
STR-L319	S06° 25' 27"W	98.26
STR-L400	N57° 40' 19"W	51.26
STR-L401	N40° 15' 38"W	44.90
STR-L402	N26° 10' 43"W	40.23

TRAFFIC SIGN CHART

PLAN SYMBOL	PENNDOT DESIGNATION	SIGN DESCRIPTION	SIZE
(Symbol)	R1-1	STOP	24" X 24"
(Symbol)	-	STANDARD STREETS IDENTIFICATION SIGN	PER TOWNSHIP STANDARDS



Proposed Storm Easement Line Table			Proposed Storm Easement Line Table			Proposed Storm Easement Line Table			Proposed Storm Easement Line Table			Proposed Storm Easement Line Table			Proposed Storm Easement Line Table			Proposed Storm Easement Line Table																							
Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length												
STE-L100	N89° 34' 45"E	13.31	STE-L110	S26° 22' 09"E	47.28	STE-L120	S89° 34' 45"W	23.90	STE-L130	S01° 04' 23"E	61.14	STE-L140	S62° 59' 21"E	60.61	STE-L150	N54° 35' 55"E	151.85	STE-L160	N45° 55' 59"W	142.94	STE-L170	S45° 55' 59"W	142.94	STE-L180	N45° 55' 59"E	142.94	STE-L190	N45° 55' 59"E	142.94	STE-L200	N45° 55' 59"E	142.94									
STE-L101	N09° 29' 45"W	35.58	STE-L111	S79° 02' 16"W	146.34	STE-L121	S33° 24' 18"W	24.35	STE-L131	S74° 23' 15"E	58.36	STE-L141	S27° 09' 39"W	30.90	STE-L151	N85° 45' 33"E	155.04	STE-L161	S41° 03' 40"W	216.10	STE-L171	S00° 55' 59"W	39.80	STE-L181	S89° 04' 01"W	20.00	STE-L191	N00° 55' 59"E	19.80	STE-L201	N00° 55' 59"E	19.80	STE-L210	N00° 55' 59"E	19.80	STE-L220	N00° 55' 59"E	19.80	STE-L230	N00° 55' 59"E	19.80
STE-L102	S09° 29' 45"E	38.15	STE-L112	S64° 51' 30"W	48.17	STE-L122	N02° 27' 27"W	115.83	STE-L132	N02° 11' 48"W	78.55	STE-L142	N02° 59' 21"W	55.53	STE-L152	N16° 26' 48"W	118.48	STE-L162	N45° 55' 59"E	145.06	STE-L172	N45° 55' 59"E	145.06	STE-L182	N45° 55' 59"E	145.06	STE-L192	N45° 55' 59"E	145.06	STE-L202	N45° 55' 59"E	145.06	STE-L212	N45° 55' 59"E	145.06	STE-L222	N45° 55' 59"E	145.06	STE-L232	N45° 55' 59"E	145.06
STE-L103	N87° 52' 06"E	197.30	STE-L113	S11° 42' 33"E	51.97	STE-L123	N74° 23' 15"W	80.13	STE-L133	S78° 55' 20"W	25.58	STE-L143	S47° 16' 32"W	108.48	STE-L153	N16° 26' 48"W	118.48	STE-L163	N45° 55' 59"E	145.06	STE-L173	N45° 55' 59"E	145.06	STE-L183	N45° 55' 59"E	145.06	STE-L193	N45° 55' 59"E	145.06	STE-L203	N45° 55' 59"E	145.06	STE-L213	N45° 55' 59"E	145.06	STE-L223	N45° 55' 59"E	145.06	STE-L233	N45° 55' 59"E	145.06
STE-L104	N08° 32' 34"E	39.82	STE-L114	S78° 17' 27"W	20.00	STE-L124	N01° 04' 23"W	66.05	STE-L134	S16° 26' 48"E	104.51	STE-L144	N47° 16' 32"E	113.02	STE-L154	N16° 26' 48"W	118.48	STE-L164	N45° 55' 59"E	145.06	STE-L174	N45° 55' 59"E	145.06	STE-L184	N45° 55' 59"E	145.06	STE-L194	N45° 55' 59"E	145.06	STE-L204	N45° 55' 59"E	145.06	STE-L214	N45° 55' 59"E	145.06	STE-L224	N45° 55' 59"E	145.06	STE-L234	N45° 55' 59"E	145.06
STE-L105	N89° 14' 41"E	15.46	STE-L115	N11° 42' 33"W	49.63	STE-L125	N54° 05' 44"W	154.48	STE-L135	S84° 42' 24"E	30.21	STE-L145	N41° 59' 18"W	30.21	STE-L155	N02° 11' 48"W	65.29	STE-L165	N02° 11' 48"W	65.29	STE-L175	N02° 11' 48"W	65.29	STE-L185	N02° 11' 48"W	65.29	STE-L195	N02° 11' 48"W	65.29	STE-L205	N02° 11' 48"W	65.29	STE-L215	N02° 11' 48"W	65.29	STE-L225	N02° 11' 48"W	65.29	STE-L235	N02° 11' 48"W	65.29
STE-L106	S08° 32' 34"W	39.55	STE-L116	S78° 05' 37"W	47.38	STE-L126	N33° 57' 06"W	140.10	STE-L136	S05° 17' 36"W	20.00	STE-L146	N08° 47' 48"E	53.69	STE-L156	N08° 47' 48"E	53.69	STE-L166	N08° 47' 48"E	53.69	STE-L176	N08° 47' 48"E	53.69	STE-L186	N08° 47' 48"E	53.69	STE-L196	N08° 47' 48"E	53.69	STE-L206	N08° 47' 48"E	53.69	STE-L216	N08° 47' 48"E	53.69	STE-L226	N08° 47' 48"E	53.69	STE-L236	N08° 47' 48"E	53.69
STE-L107	S80° 16' 04"E	12.15	STE-L117	S62° 45' 39"W	132.95	STE-L127	S03° 47' 50"W	39.59	STE-L137	N84° 42' 24"W	30.44	STE-L147	N84° 42' 24"W	30.44	STE-L157	N84° 42' 24"W	30.44	STE-L167	N84° 42' 24"W	30.44	STE-L177	N84° 42' 24"W	30.44	STE-L187	N84° 42' 24"W	30.44	STE-L197	N84° 42' 24"W	30.44	STE-L207	N84° 42' 24"W	30.44	STE-L217	N84° 42' 24"W	30.44	STE-L227	N84° 42' 24"W	30.44	STE-L237	N84° 42' 24"W	30.44
STE-L108	N52° 43' 40"E	39.25	STE-L118	S83° 02' 11"W	32.80	STE-L128	S33° 57' 06"E	129.71	STE-L138	S28° 47' 40"W	48.16	STE-L148	S28° 47' 40"W	48.16	STE-L158	S28° 47' 40"W	48.16	STE-L168	S28° 47' 40"W	48.16	STE-L178	S28° 47' 40"W	48.16	STE-L188	S28° 47' 40"W	48.16	STE-L198	S28° 47' 40"W	48.16	STE-L208	S28° 47' 40"W	48.16	STE-L218	S28° 47' 40"W	48.16	STE-L228	S28° 47' 40"W	48.16	STE-L238	S28° 47' 40"W	48.16
STE-L109	S52° 43' 40"W	33.54	STE-L119	N40° 09' 33"W	55.59	STE-L129	S54° 09' 44"E	160.90	STE-L139	S41° 59' 18"E	24.04	STE-L149	S54° 39' 55"W	144.81	STE-L159	S54° 39' 55"W	144.81	STE-L169	S54° 39' 55"W	144.81	STE-L179	S54° 39' 55"W	144.81	STE-L189	S54° 39' 55"W	144.81	STE-L199	S54° 39' 55"W	144.81	STE-L209	S54° 39' 55"W	144.81	STE-L219	S54° 39' 55"W	144.81	STE-L229	S54° 39' 55"W	144.81	STE-L239	S54° 39' 55"W	144.81

SEE SHEET #9 FOR CONTINUATION

**R. J. FISHER & ASSOCIATES, INC.**  
 CIVIL ENGINEERING & LAND SURVEYS  
 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 FAX: (717) 774-7190  
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**SUBDIVISION PLAN FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS LOCATED IN SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

DRAWING ID: 213008-SUB  
 DATE: 01/23/23  
 SHEET 10 OF 47

Proposed Storm Easement Line Table			STE-1159			STE-1205			STE-1229		
Line #	Direction	Length	S46° 15' 25"W	154.70	N81° 04' 15"E	90.44	N83° 42' 19"W	46.11			
STE-1159	S46° 15' 25"W	154.70									
STE-1160	N43° 44' 35"W	20.00									
STE-1161	N46° 15' 25"E	156.16									
STE-1162	N54° 35' 55"E	151.85									
STE-1163	N89° 45' 33"E	155.04									
STE-1164	S84° 38' 20"E	78.23									
STE-1165	N16° 28' 48"W	118.48									
STE-1166	S45° 55' 59"W	142.94									
STE-1167	S41° 03' 40"W	216.10									
STE-1168	N48° 56' 20"W	20.00									
STE-1169	N41° 03' 40"E	216.95									
STE-1170	N45° 55' 59"E	145.06									
STE-1171	N45° 55' 59"E	38.28									
STE-1172	S00° 55' 59"W	39.80									
STE-1173	N89° 04' 01"W	20.00									
STE-1174	N00° 55' 59"E	19.80									
STE-1175	S44° 43' 35"W	25.80									
STE-1176	N87° 18' 53"W	11.47									
STE-1177	N87° 18' 53"W	8.77									
STE-1178	N27° 31' 52"W	65.37									
STE-1179	N23° 40' 34"W	57.70									
STE-1180	N17° 43' 57"W	26.96									
STE-1181	N43° 48' 17"W	43.95									
STE-1182	S83° 54' 25"W	53.33									
STE-1183	S66° 02' 22"W	83.77									
STE-1184	S69° 59' 05"W	61.31									
STE-1185	S81° 04' 15"W	102.25									

Proposed Sanitary Easement Line Table		
Line #	Direction	Length
SE-L9	N07° 53' 14"W	27.46
SE-L10	N04° 47' 01"W	141.29
SE-L11	N09° 45' 11"W	194.17
SE-L12	N48° 56' 42"W	115.88
SE-L13	N40° 07' 21"E	171.11
SE-L14	N61° 46' 10"E	228.11
SE-L15	S28° 13' 50"E	30.00
SE-L16	S61° 46' 10"W	223.38
SE-L17	S40° 07' 21"W	135.86
SE-L18	S48° 56' 42"E	97.05
SE-L19	S09° 45' 11"E	192.96
SE-L20	S89° 33' 46"E	199.72
SE-L21	N73° 02' 37"E	127.79
SE-L22	N45° 55' 59"E	378.71
SE-L23	S44° 04' 01"E	30.00
SE-L24	S45° 55' 59"W	385.94
SE-L25	S73° 02' 37"W	139.62
SE-L26	N89° 33' 46"W	200.42
SE-L27	S04° 47' 01"E	124.70
SE-L28	S07° 53' 14"E	26.65

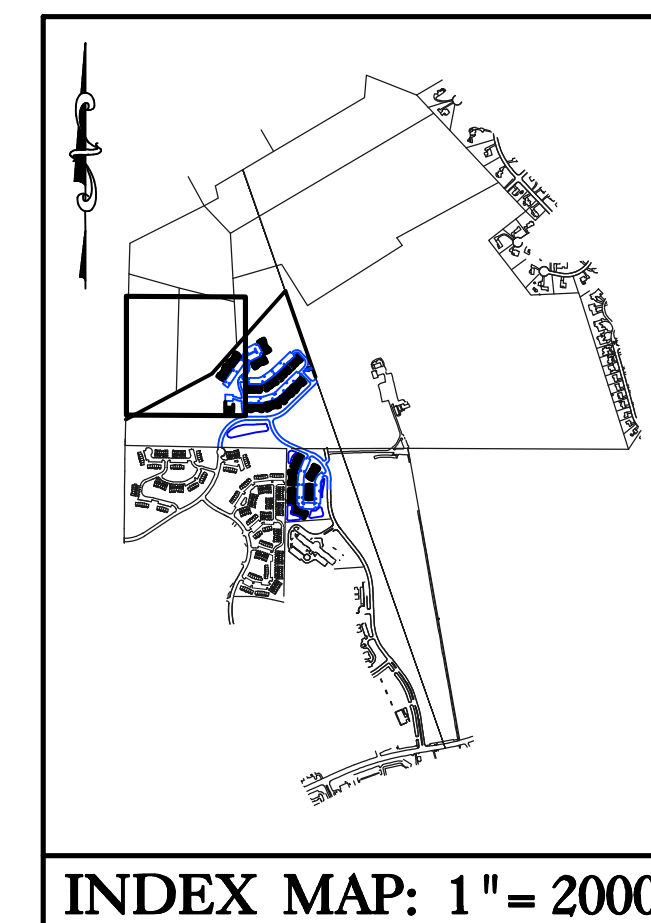
Proposed Sanitary Easement Curve Table				
Curve #	Radius	Length	Chord Bearing	Chord
SE-C1	329.74	30.01	S82° 06' 46"W	30.00

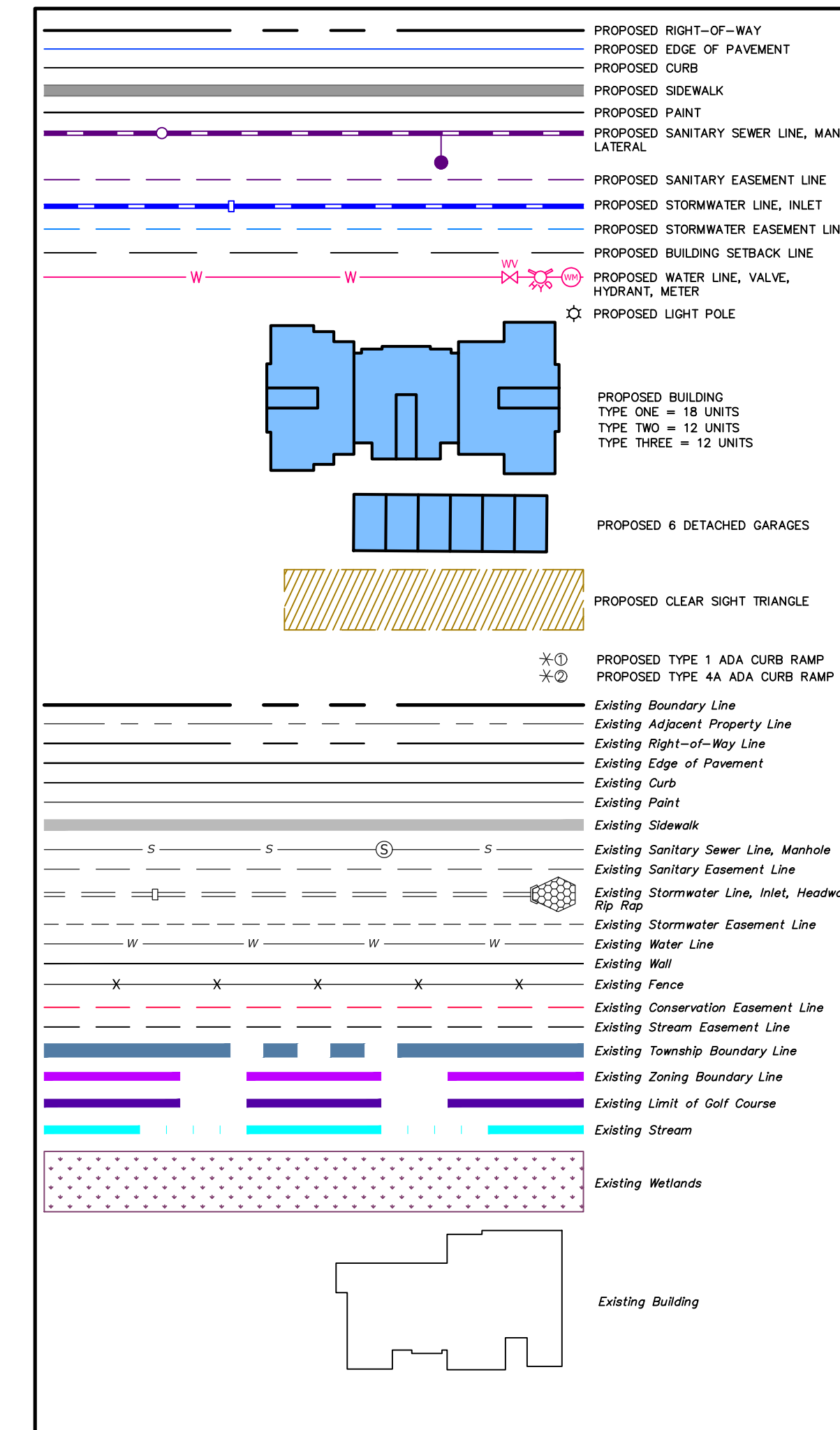
Proposed Stream Easement Line Table		
Line #	Direction	Length
STR-L403	N68° 51' 39"W	30.34
STR-L404	N40° 52' 11"W	57.48
STR-L405	N08° 50' 28"W	47.20
STR-L406	N30° 52' 17"W	56.93
STR-L407	N17° 50' 37"W	80.92
STR-L408	N06° 15' 42"W	51.82
STR-L409	N32° 14' 12"W	68.70
STR-L410	N00° 00' 54"W	54.57
STR-L411	N27° 10' 46"W	40.04
STR-L412	S27° 10' 46"E	55.81
STR-L413	S00° 00' 54"E	53.39
STR-L414	S32° 14' 12"E	67.24
STR-L415	S06° 15' 42"E	55.05

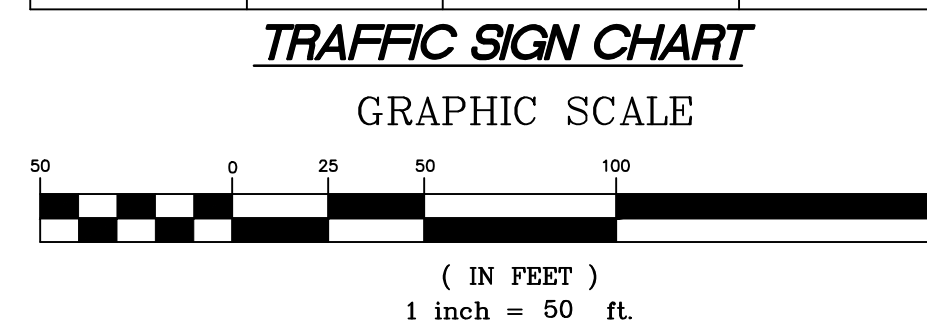
Proposed Stream Easement Line Table		
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STR-L416	S17° 50' 37"E	75.53
STR-L417	S30° 52' 17"E	58.94
STR-L418	S08° 50' 28"E	44.89
STR-L419	S40° 52' 11"E	57.48
STR-L420	S08° 51' 39"E	33.71
STR-L421	S26° 10' 43"E	33.34
STR-L422	S40° 15' 38"E	37.98
STR-L423	S57° 40' 19"E	15.89



**LEGEND**



PLAN SYMBOL	PENNDOT DESIGNATION	SIGN DESCRIPTION	SIZE
⊙	R1-1	STOP	24" X 24"
⊙	-	STANDARD STREETS IDENTIFICATION SIGN	PER TOWNSHIP STANDARDS



SEE SHEET #10 FOR CONTINUATION

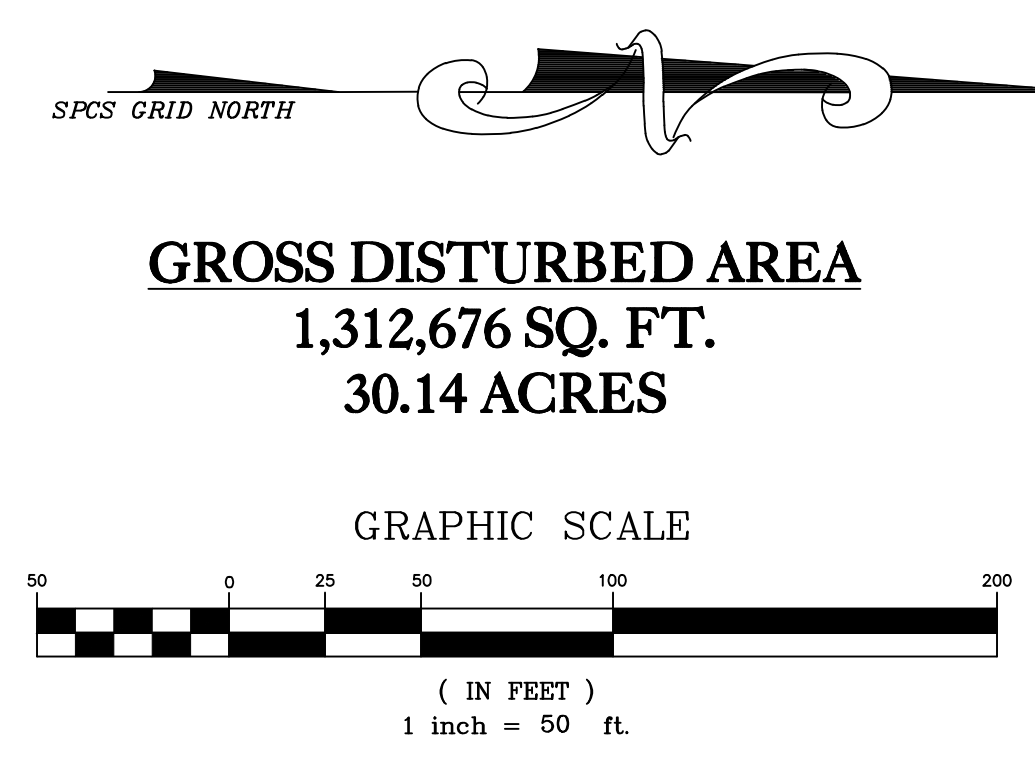
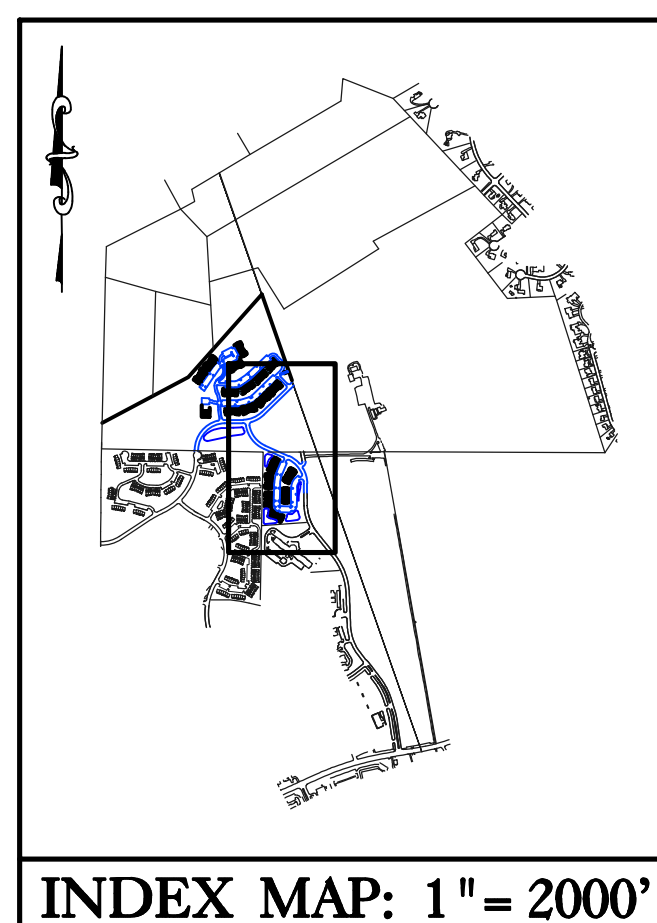
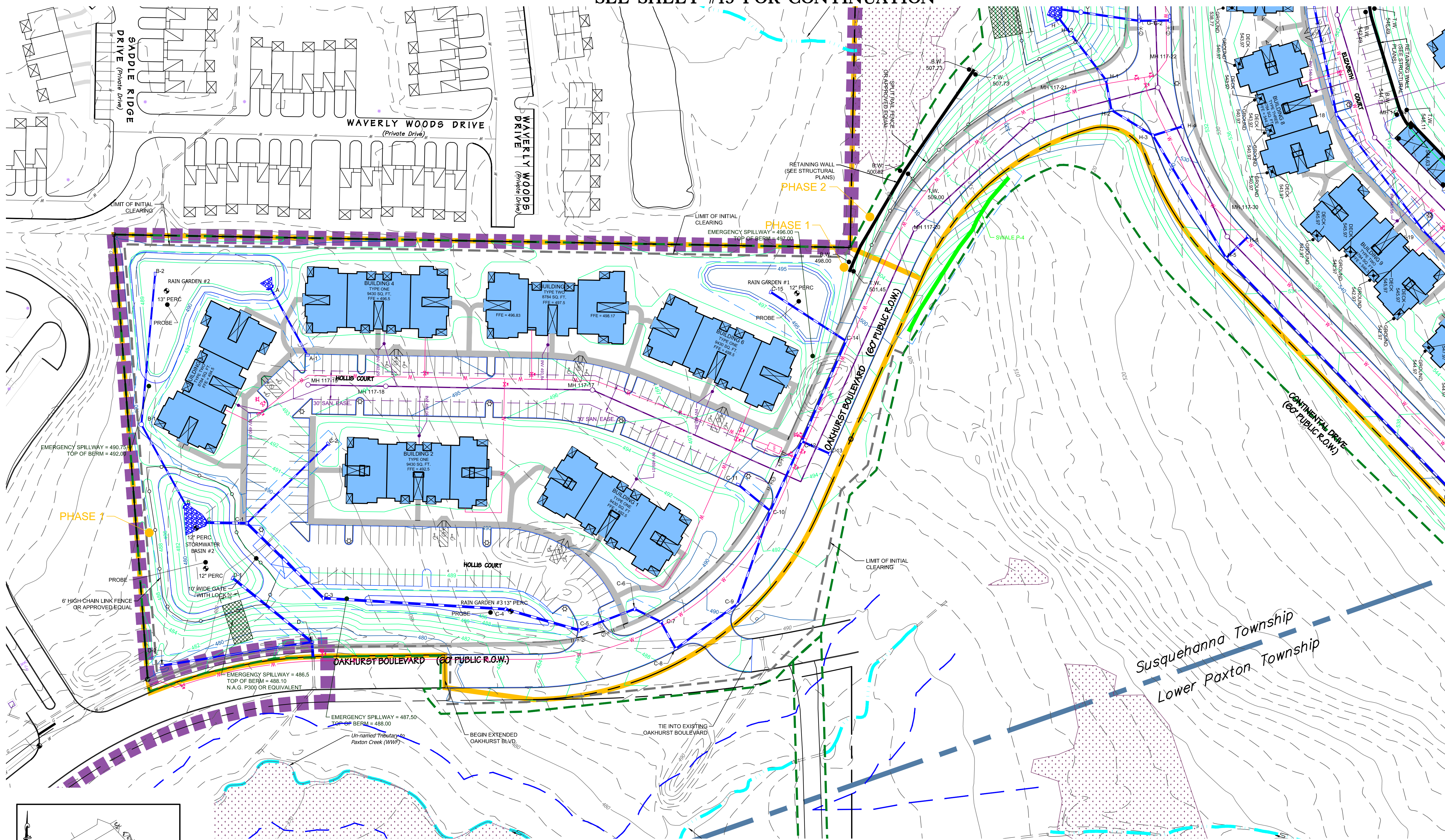
**R. J. FISHER & ASSOCIATES, INC.**  
 CIVIL ENGINEERING & LAND SURVEYS  
 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 FAX: (717) 774-7190  
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**SUBDIVISION PLAN FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS LOCATED IN SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

DRAWING ID: 213008-SUB  
 DATE: 01/23/23  
 SHEET 11 OF 47

SEE SHEET #13 FOR CONTINUATION



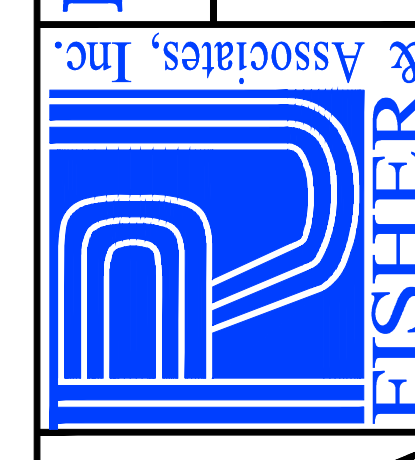
Proposed Conditions Legend

	Proposed Right-of-Way
	Proposed Edge of Pavement
	Proposed Curb
	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Sanitary Sewer Line, MH
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Water Line, Hydrant
	Proposed Minor Contour
	Proposed Major Contour
	Limit of Disturbance/NPDES Boundary
	NPDES Boundary
	Proposed Sign
	Proposed Light
	Proposed Roof Drain
	Proposed Deciduous Tree

SEE SHEET #13 CONTINUATION

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	03/19/23
2		
3		
4		

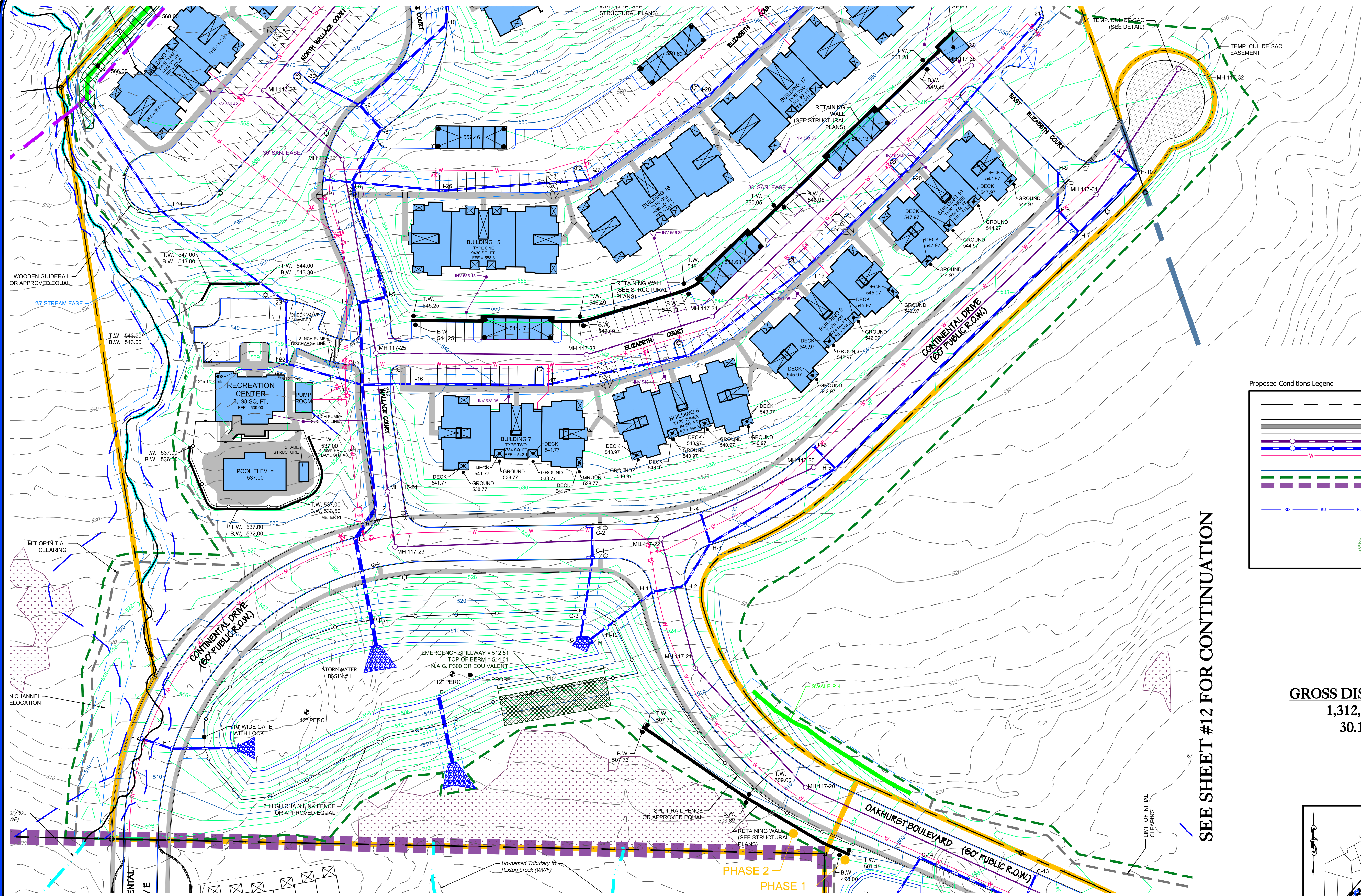
**R.J. FISHER & ASSOCIATES, INC.**  
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 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
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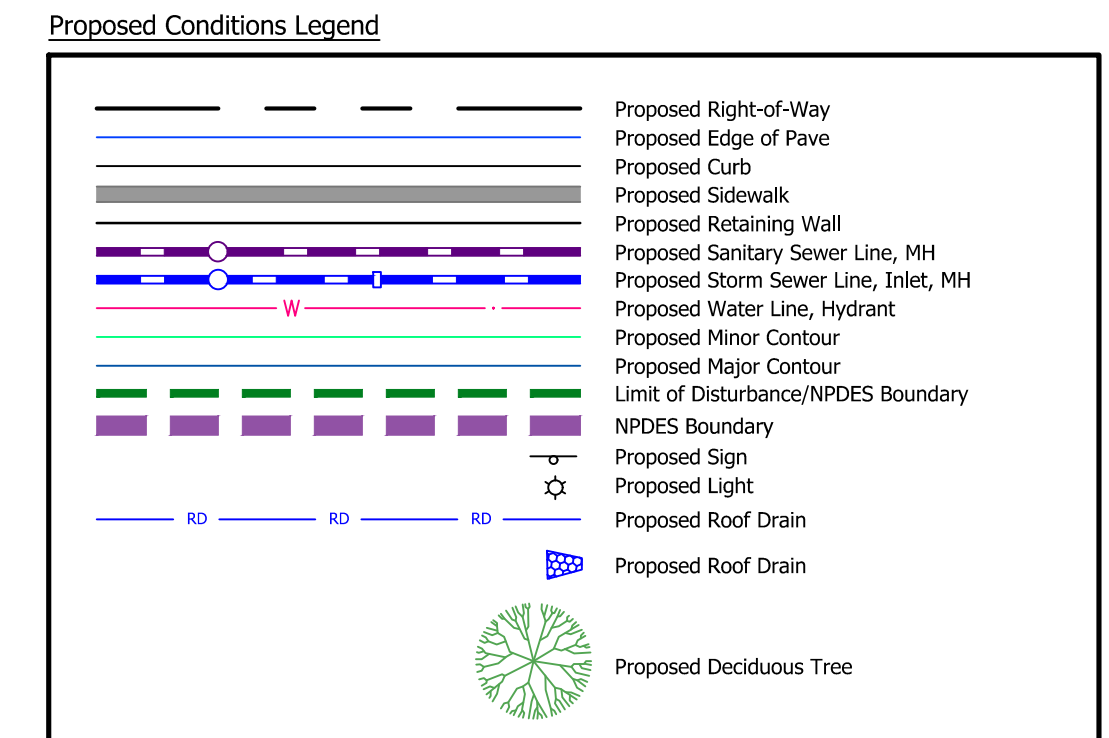
**GRADING PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-GRD  
 DATE: 01/23/23  
 SHEET 12 OF 47

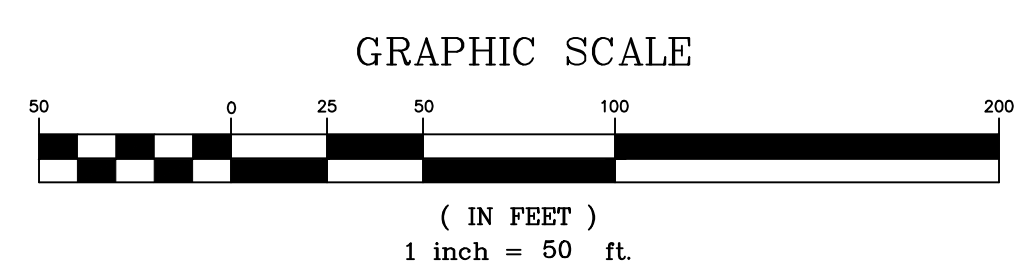
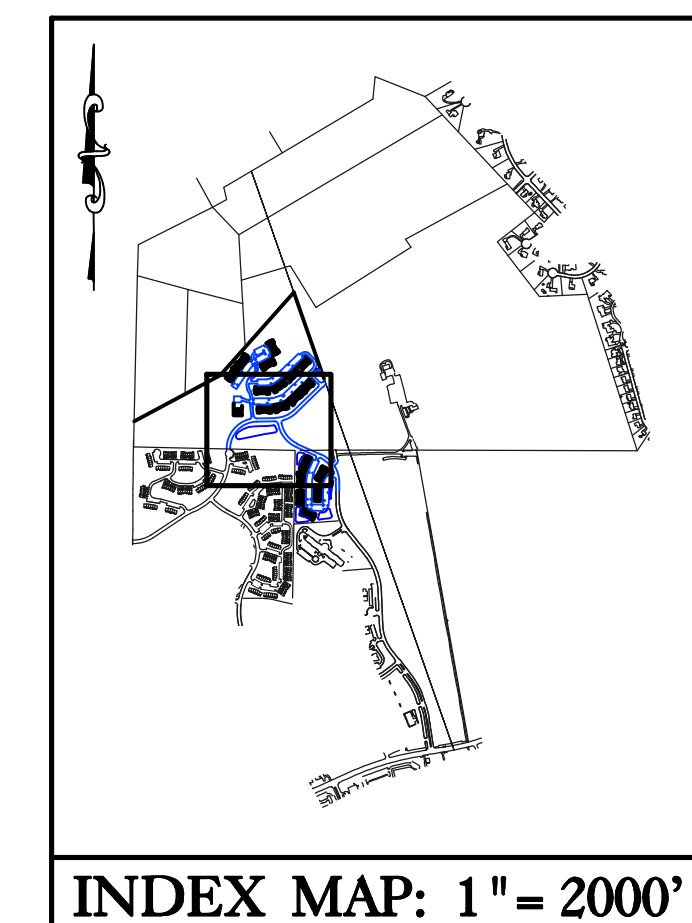
SEE SHEET #14 FOR CONTINUATION



SEE SHEET #12 FOR CONTINUATION



GROSS DISTURBED AREA  
1,312,676 SQ. FT.  
30.14 ACRES



SEE SHEET #12 FOR CONTINUATION

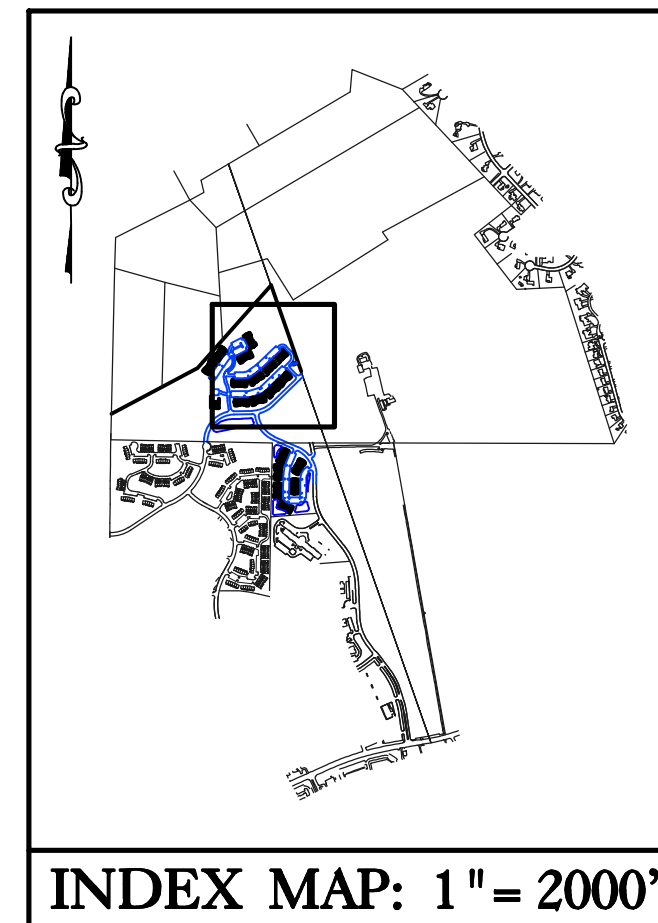
No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

**R.J. FISHER & ASSOCIATES, INC.**  
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 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
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**GRADING PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

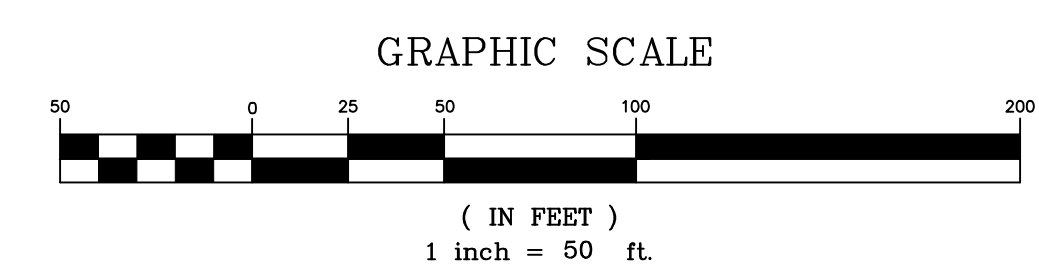
DRAWING ID: 213008-GRD  
 DATE: 01/23/23  
 SHEET 13 OF 47



**GROSS DISTURBED AREA**  
 1,312,676 SQ. FT.  
 30.14 ACRES

Proposed Conditions Legend

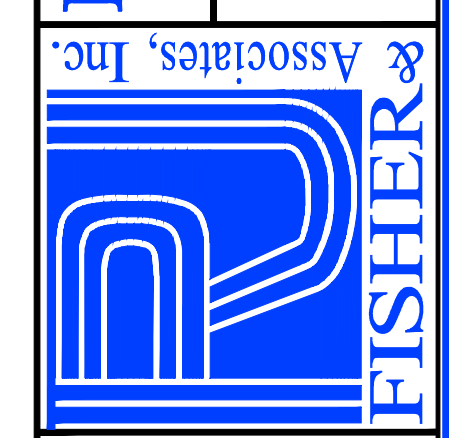
	Proposed Right-of-Way
	Proposed Edge of Pavement
	Proposed Curb
	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Sanitary Sewer Line, MH
	Proposed Storm Sewer Line, Inlet, MH
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	Proposed Minor Contour
	Proposed Major Contour
	Limit of Disturbance/NPDES Boundary
	NPDES Boundary
	Proposed Sign
	Proposed Light
	Proposed Roof Drain
	Proposed Deciduous Tree



SEE SHEET #13 FOR CONTINUATION

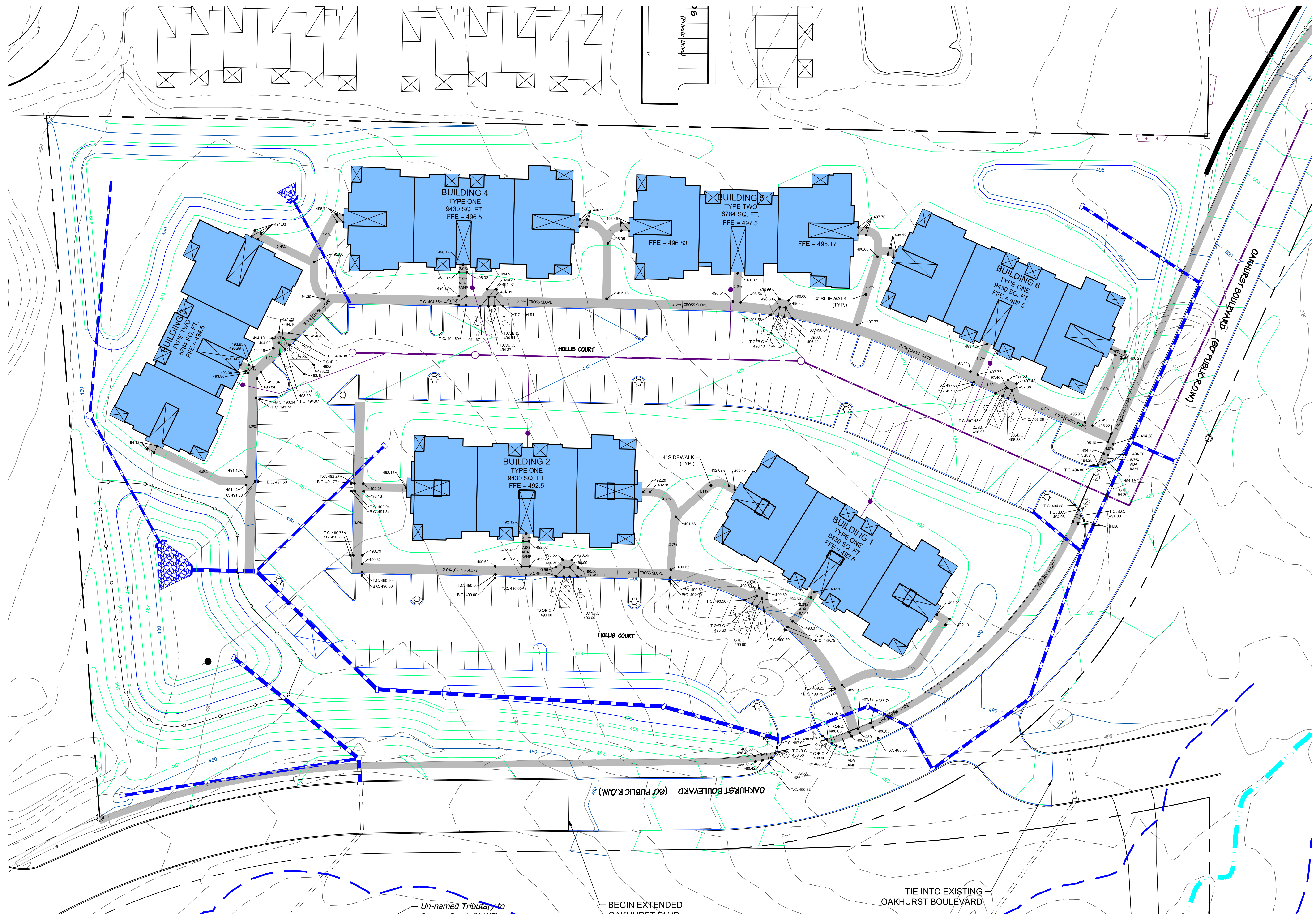
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
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**R. J. FISHER & ASSOCIATES, INC.**  
 SITE PLANNING & CIVIL ENGINEERING - LAND SURVEYS  
 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
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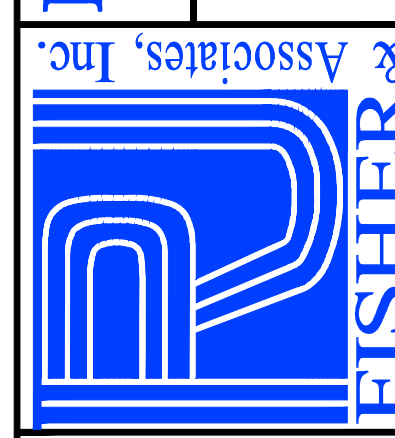
**GRADING PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-GRD  
 DATE: 01/23/23  
 SHEET 14 OF 47



No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
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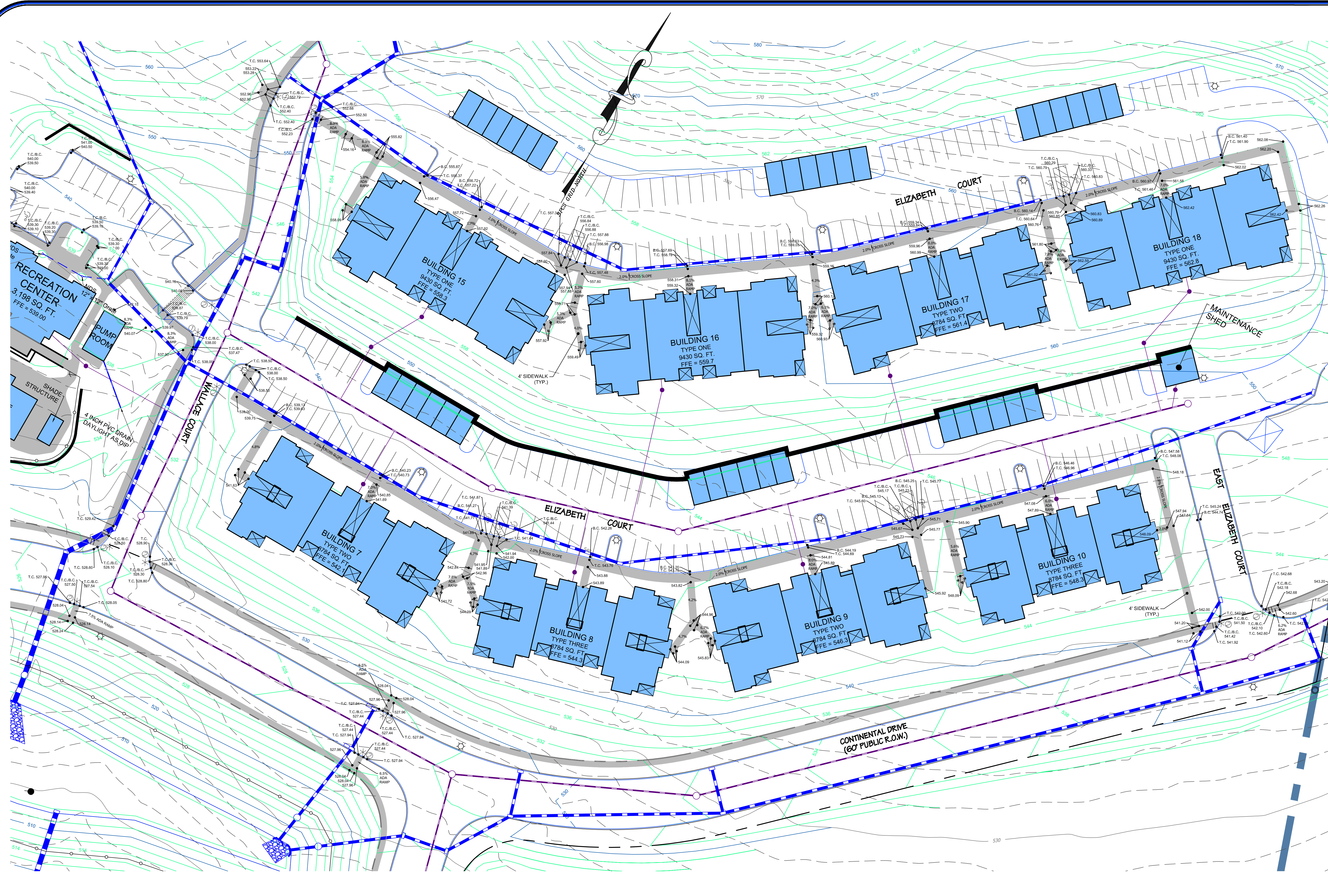
**R.J. FISHER & ASSOCIATES, INC.**  
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**ADA PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

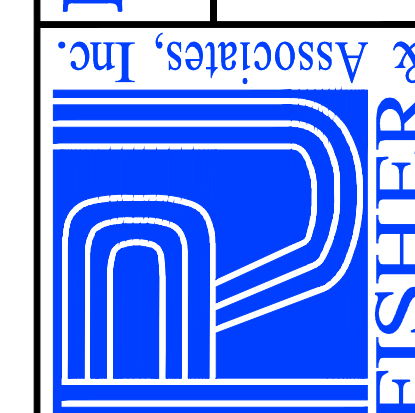
DRAWING ID: 213008-ADA Spot  
 DATE: 01/23/23  
 SHEET 15 OF 47





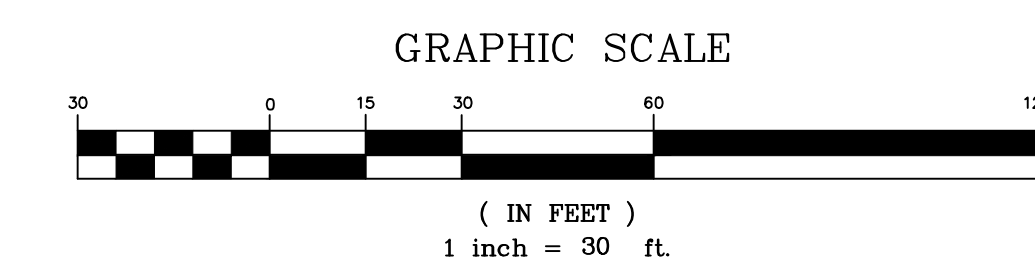
No.	REVISION	COMMENTS	DATE
1		TOWNSHIP COMMENTS	09/19/23
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**R.J. FISHER & ASSOCIATES, INC.**  
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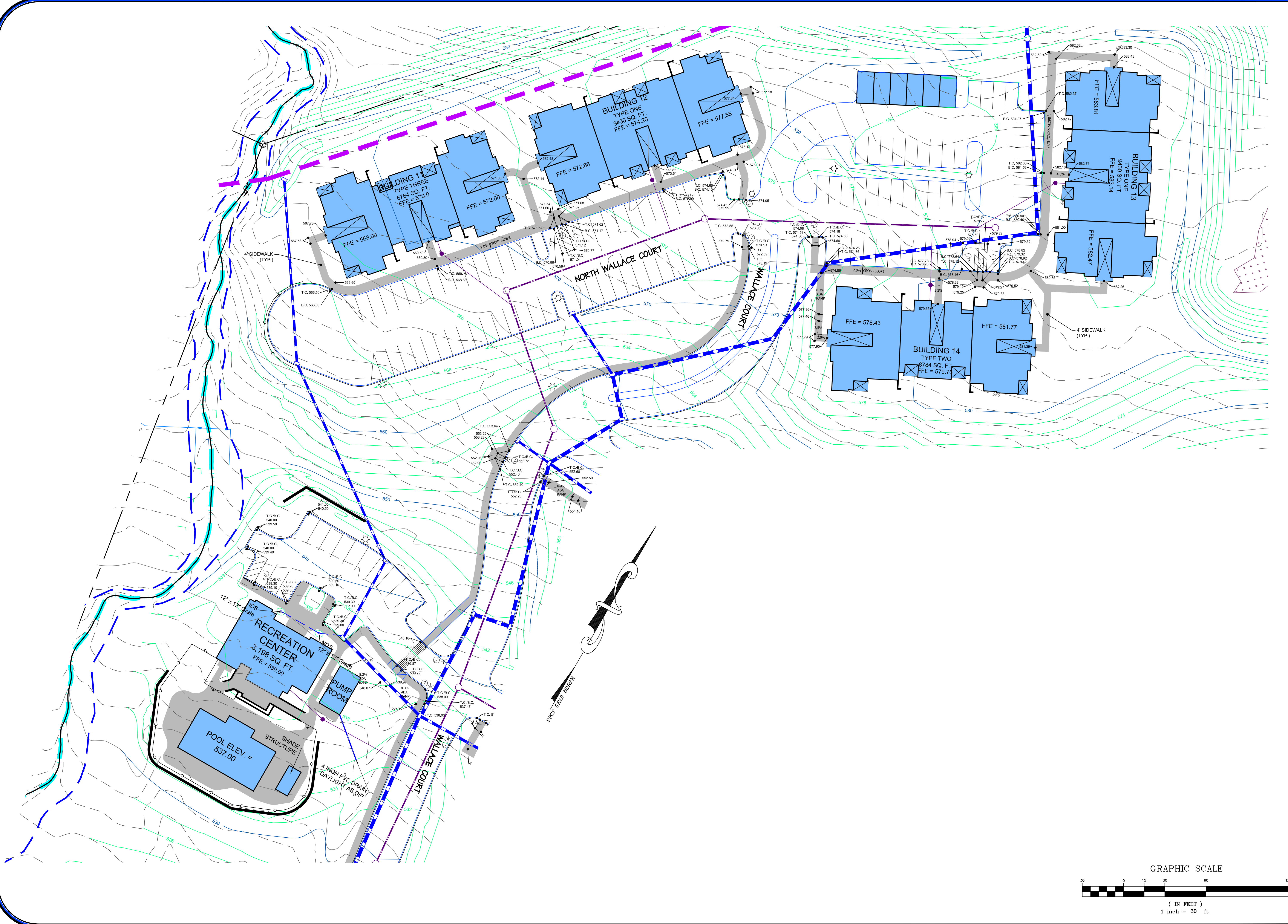


**ADA PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-ADA Spot  
 DATE: 01/23/23  
 SHEET 16 OF 47





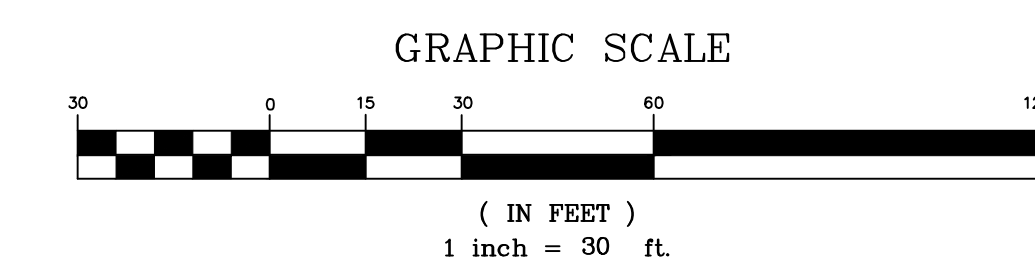


No.	REVISION	DATE
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**R.J. FISHER & ASSOCIATES, INC.**  
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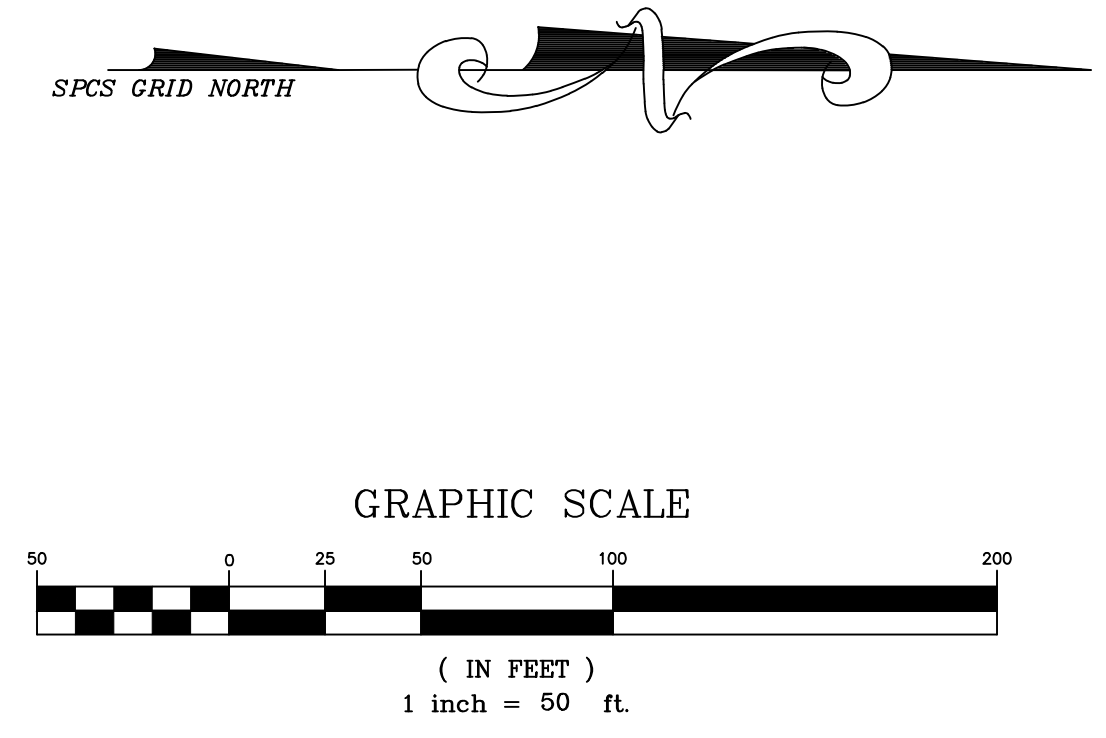
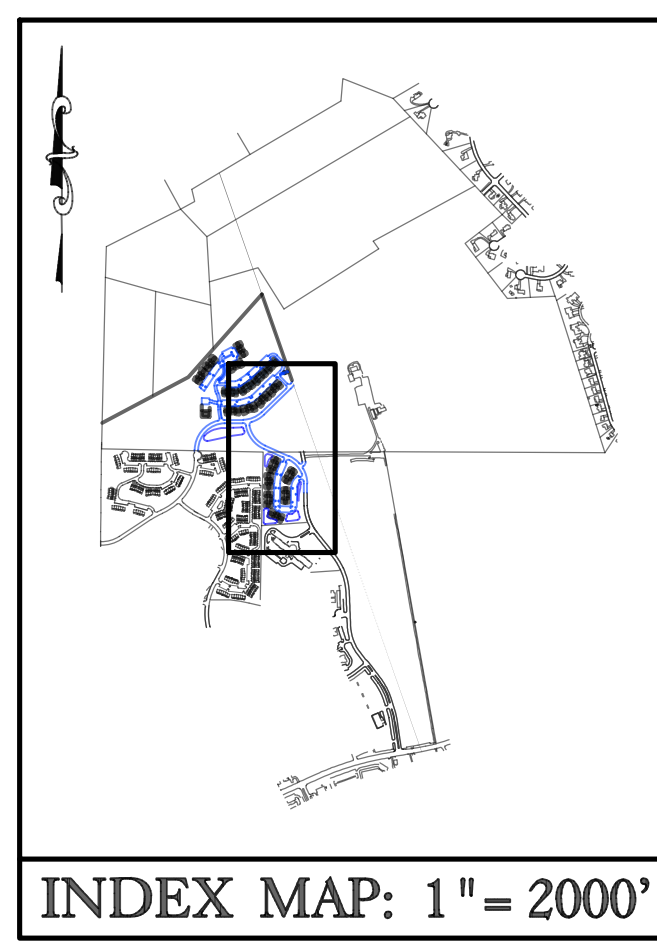
**ADA PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA



DRAWING ID  
213008-ADA Spot  
 DATE: 01/23/23  
 SHEET 17 OF 47

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SEE SHEET #16 FOR CONTINUATION



LANDSCAPE LEGEND			
SYMBOL	DESCRIPTION	SPECIES	ALTERNATE SPECIES
	STREET TREE / SHADE TREE	RED OAK (QUERCUS RUBRA)	WHITE OAK (QUERCUS ALBA)
	SHADE TREE	RED MAPLE (ACER RUBRUM)	SUGAR MAPLE (ACER SACCHARUM)
	EVERGREEN TREE	EASTERN WHITE PINE (PINUS STROBUS)	CANADIAN HEMLOCK (TSUGA CANADENSIS)
	SHADE TREE	BETZAM AMUR MAPLE (ACER GINNALA BETZAM)	STREETKEEPER HONEYLOCUST (GLEDTISIA TRIACHNTHOS)

LANDSCAPE REQUIREMENTS				
FEATURE	LINEAR FEET	REQUIREMENT	REQUIRED	PROPOSED
CONTINENTAL DRIVE	1,331 FEET	1 STREET TREE FOR EVERY 40 LINEAR FEET ALONG THE ROAD FRONTAGE	34 STREET TREES	34 STREET TREES
OAKHURST BOULEVARD	958 FEET		24 STREET TREES	27 STREET TREES
WALLACE COURT	761 FEET		19 STREET TREES	19 STREET TREES
STORMWATER BASIN #1	700 FEET	BUFFER YARD TYPE 1 - 1 SHADE TREE PER 50 LINEAR FEET AND 1 EVERGREEN TREE PER 40 LINEAR FEET OF BUFFER YARD SCREEN	14 SHADE TREES; 18 EVERGREEN TREES	14 SHADE TREES; 18 EVERGREEN TREES
STORMWATER BASIN #2	270 FEET		6 SHADE TREES; 7 EVERGREEN TREES	6 SHADE TREES; 7 EVERGREEN TREES
RAIN GARDEN #1	210 FEET		5 SHADE TREES; 6 EVERGREEN TREES	5 SHADE TREES; 6 EVERGREEN TREES
RAIN GARDEN #2	300 FEET	1 SHADE TREE PER 40 LINEAR FEET AND 1 EVERGREEN TREE PER 5 LINEAR FEET OF VISIBILITY	6 SHADE TREES; 8 EVERGREEN TREES	6 SHADE TREES; 8 EVERGREEN TREES
RAIN GARDEN #3	230 FEET		5 SHADE TREES; 6 EVERGREEN TREES	5 SHADE TREES; 6 EVERGREEN TREES
TRASH COMPACTOR	60 FEET		2 SHADE TREES; 12 EVERGREEN TREES	2 SHADE TREES; 12 EVERGREEN TREES
DUMPSTER	18 FEET	NONE	4 EVERGREEN TREES	4 EVERGREEN TREES
PHASE 1 WESTERN PROPERTY LINE	395 FEET		NONE	8 SHADE TREES; 8 EVERGREEN TREES

SEE SHEET #16 CONTINUATION

No.	REVISION	COMMENTS	DATE
1	TOWNSHIP		09/19/23
2			
3			
4			

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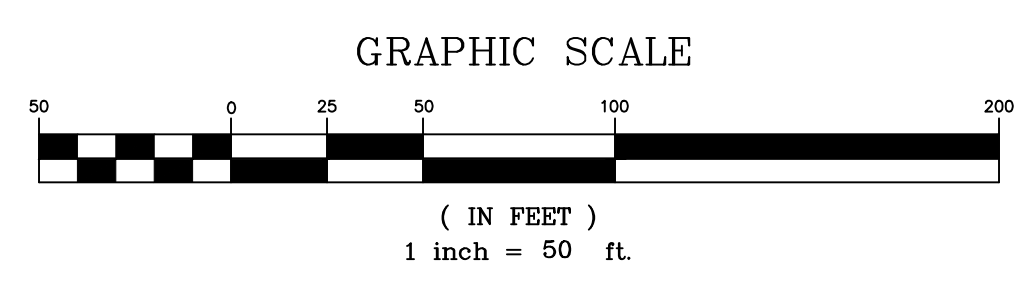
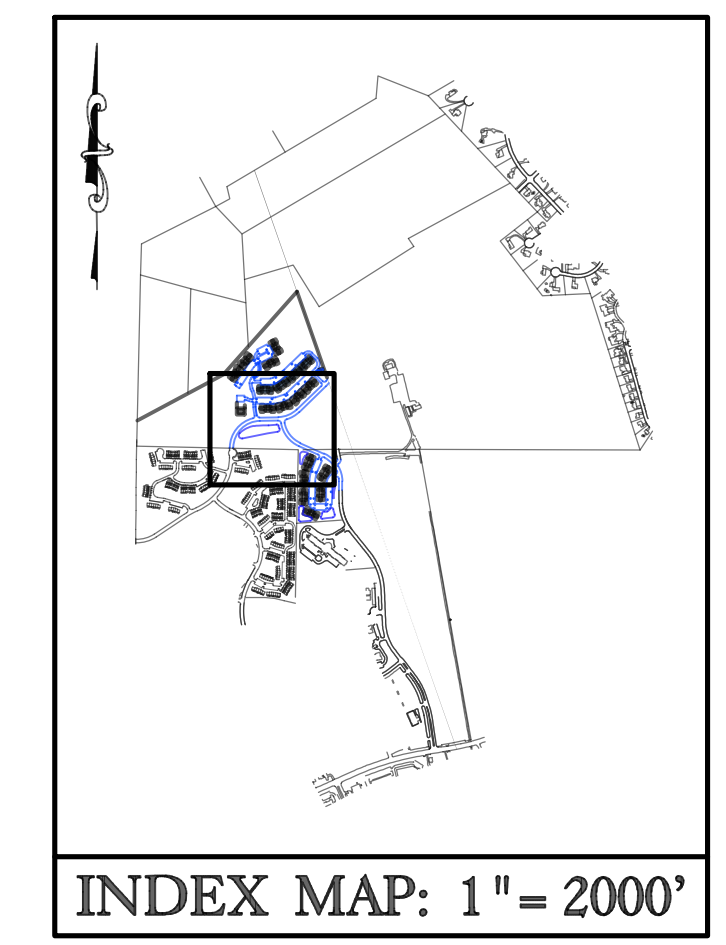
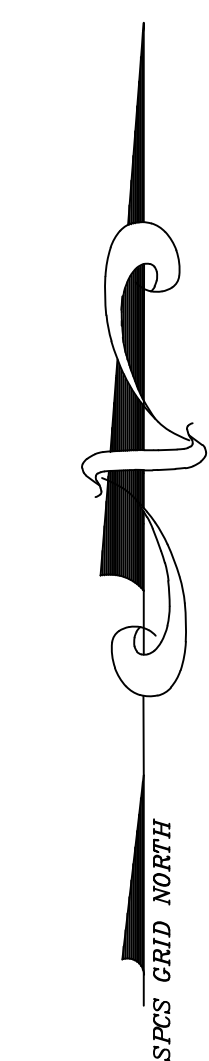
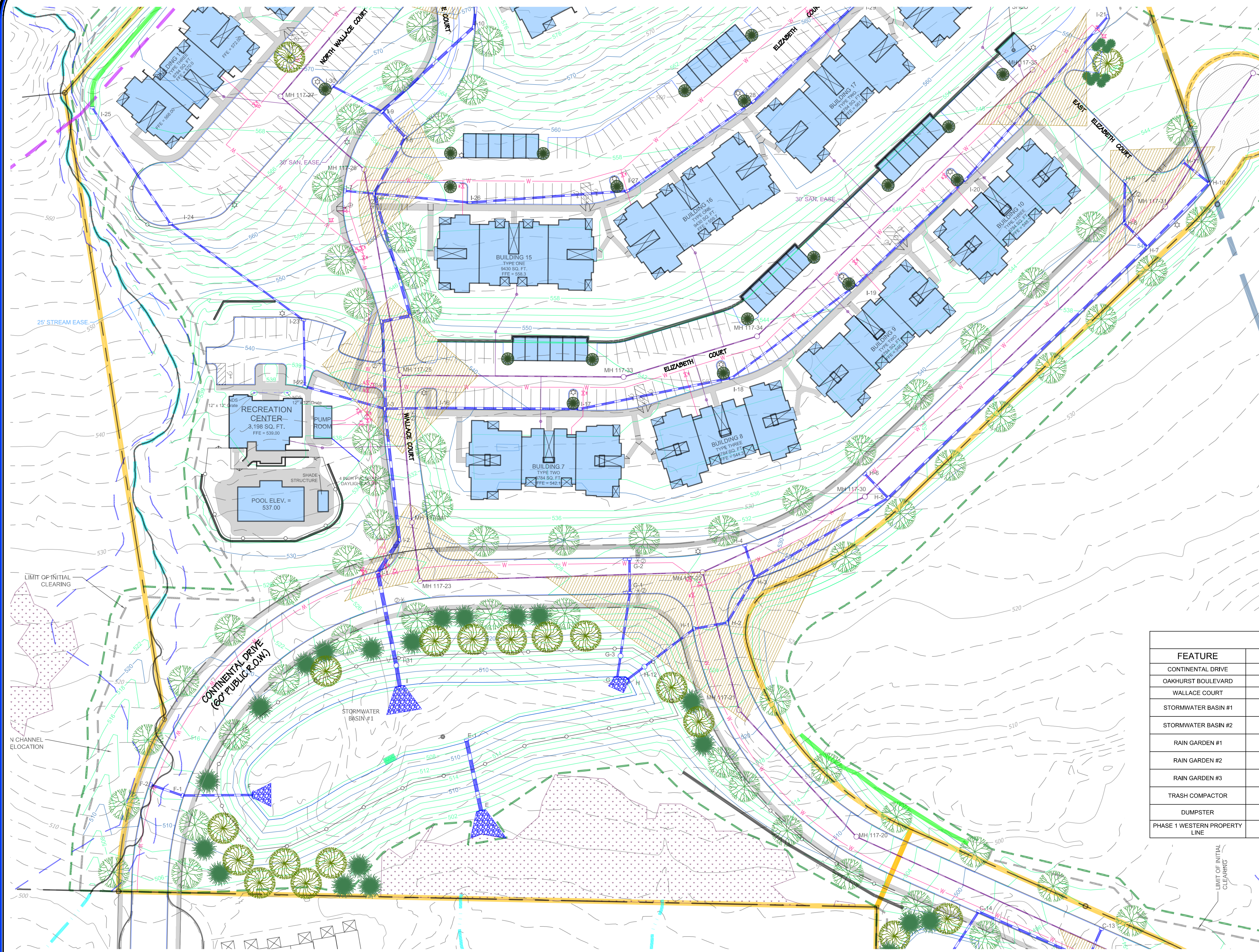


**LANDSCAPE PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-LDSC  
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 SHEET 18 OF 47

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SEE SHEET #17 FOR CONTINUATION



SEE SHEET #15 FOR CONTINUATION

LANDSCAPE REQUIREMENTS				
FEATURE	LINEAR FEET	REQUIREMENT	REQUIRED	PROPOSED
CONTINENTAL DRIVE	1,331 FEET	1 STREET TREE FOR EVERY 40 LINEAR FEET ALONG THE ROAD FRONTAGE	34 STREET TREES	34 STREET TREES
OAKHURST BOULEVARD	958 FEET		24 STREET TREES	27 STREET TREES
WALLACE COURT	761 FEET	14 SHADE TREES; 18 EVERGREEN TREES	19 STREET TREES	19 STREET TREES
STORMWATER BASIN #1	700 FEET		6 SHADE TREES; 7 EVERGREEN TREES	14 SHADE TREES; 18 EVERGREEN TREES
STORMWATER BASIN #2	270 FEET	BUFFER YARD TYPE 1 - 1 SHADE TREE PER 50 LINEAR FEET AND 1 EVERGREEN TREE PER 40 LINEAR FEET OF BUFFER YARD SCREEN	5 SHADE TREES; 6 EVERGREEN TREES	6 SHADE TREES; 7 EVERGREEN TREES
RAIN GARDEN #1	210 FEET		6 SHADE TREES; 8 EVERGREEN TREES	6 SHADE TREES; 7 EVERGREEN TREES
RAIN GARDEN #2	300 FEET	5 SHADE TREES; 6 EVERGREEN TREES	5 SHADE TREES; 6 EVERGREEN TREES	5 SHADE TREES; 6 EVERGREEN TREES
RAIN GARDEN #3	230 FEET		2 SHADE TREES; 12 EVERGREEN TREES	5 SHADE TREES; 6 EVERGREEN TREES
TRASH COMPACTOR	60 FEET	1 SHADE TREE PER 40 LINEAR FEET AND 1 EVERGREEN TREE PER 5 LINEAR FEET OF VISIBILITY	4 EVERGREEN TREES	2 SHADE TREES; 12 EVERGREEN TREES
DUMPSTER	18 FEET		NONE	4 EVERGREEN TREES
PHASE 1 WESTERN PROPERTY LINE	395 FEET	NONE	NONE	8 SHADE TREES; 8 EVERGREEN TREES

LANDSCAPE LEGEND			
SYMBOL	DESCRIPTION	SPECIES	ALTERNATE SPECIES
	STREET TREE / SHADE TREE	RED OAK (QUERCUS RUBRA)	WHITE OAK (QUERCUS ALBA)
	SHADE TREE	RED MAPLE (ACER RUBRUM)	SUGAR MAPLE (ACER SACCHARUM)
	EVERGREEN TREE	EASTERN WHITE PINE (PINUS STROBUS)	CANADIAN HEMLOCK (TSUGA CANADENSIS)
	SHADE TREE	BETZAM AMUR MAPLE (ACERGINNALA BETZAM)	STREETKEEPER HONEY LOCUST (GLEDTISIA TRIACHNTHOS)

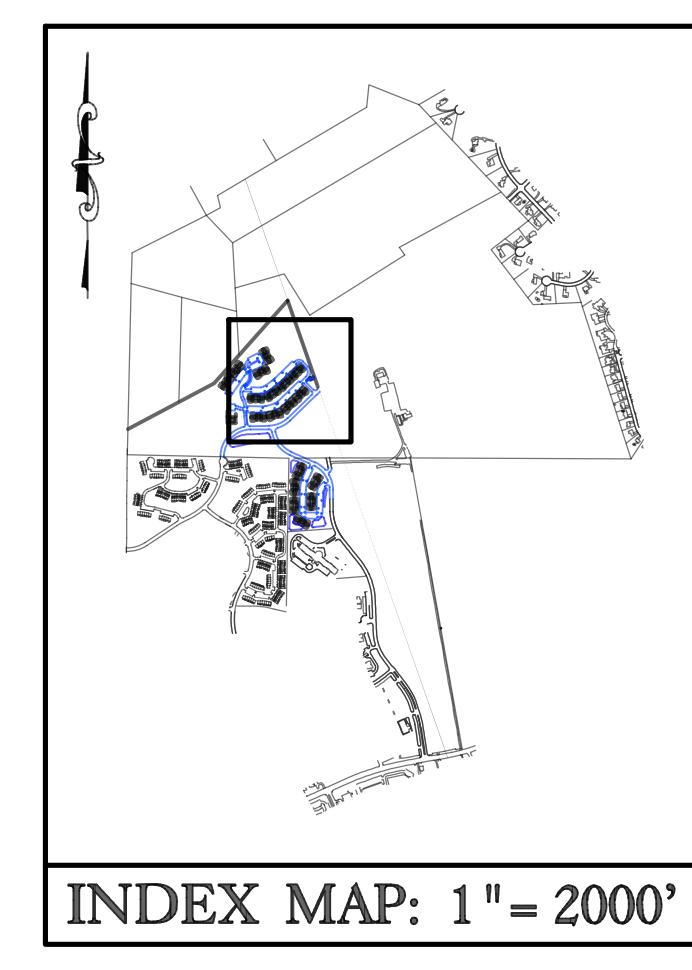
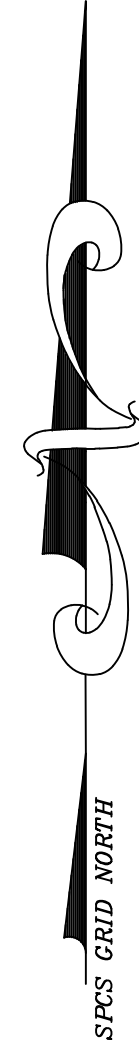
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**LANDSCAPE PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN

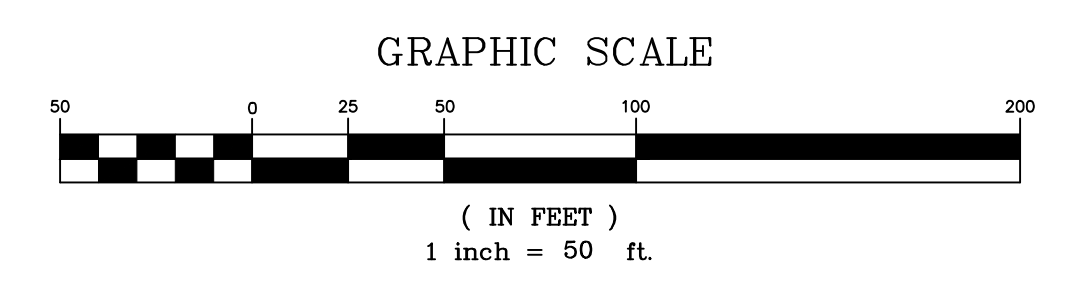
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

DRAWING ID: 213008-LDSC  
 DATE: 01/23/23  
 SHEET 19 OF 47



LANDSCAPE REQUIREMENTS			
FEATURE	LINEAR FEET	REQUIREMENT	PROPOSED
CONTINENTAL DRIVE	1,331 FEET	1 STREET TREE FOR EVERY 40 LINEAR FEET ALONG THE ROAD FRONTAGE	34 STREET TREES
OAKHURST BOULEVARD	958 FEET		24 STREET TREES
WALLACE COURT	761 FEET		19 STREET TREES
STORMWATER BASIN #1	700 FEET		14 SHADE TREES; 18 EVERGREEN TREES
STORMWATER BASIN #2	270 FEET		6 SHADE TREES; 7 EVERGREEN TREES
RAIN GARDEN #1	210 FEET	BUFFER YARD TYPE 1 - 1 SHADE TREE PER 50 LINEAR FEET AND 1 EVERGREEN TREE PER 40 LINEAR FEET OF BUFFER YARD SCREEN	5 SHADE TREES; 6 EVERGREEN TREES
RAIN GARDEN #2	300 FEET		6 SHADE TREES; 8 EVERGREEN TREES
RAIN GARDEN #3	230 FEET		5 SHADE TREES; 6 EVERGREEN TREES
TRASH COMPACTOR	60 FEET	1 SHADE TREE PER 40 LINEAR FEET AND 1 EVERGREEN TREE PER 5 LINEAR FEET OF VISIBILITY	2 SHADE TREES; 12 EVERGREEN TREES
DUMPSTER	18 FEET		4 EVERGREEN TREES
PHASE 1 WESTERN PROPERTY LINE	395 FEET	NONE	8 SHADE TREES; 8 EVERGREEN TREES

LANDSCAPE LEGEND			
SYMBOL	DESCRIPTION	SPECIES	ALTERNATE SPECIES
	STREET TREE / SHADE TREE	RED OAK (QUERCUS RUBRA)	WHITE OAK (QUERCUS ALBA)
	SHADE TREE	RED MAPLE (ACER RUBRUM)	SUGAR MAPLE (ACER SACCHARUM)
	EVERGREEN TREE	EASTERN WHITE PINE (PINUS STROBUS)	CANADIAN HEMLOCK (TSUGA CANADENSIS)
	SHADE TREE	BETZAM AMUR MAPLE (ACERGINNALA BETZAM)	STREETKEEPER HONEY LOCUST (GLEDTISIA TRIACANTHOS)



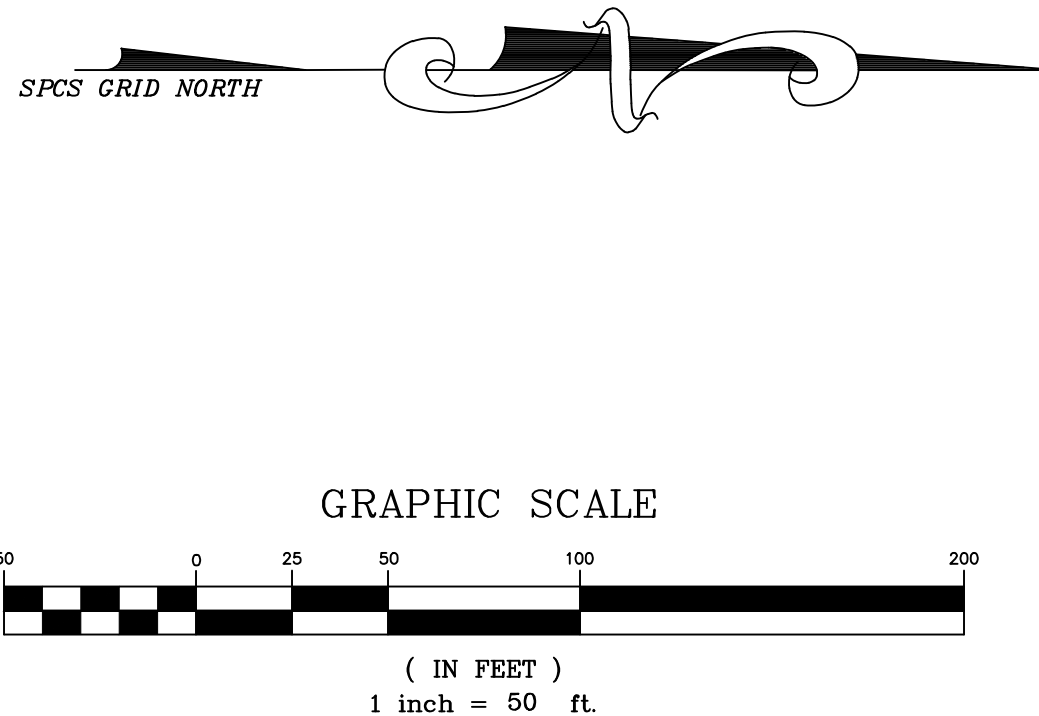
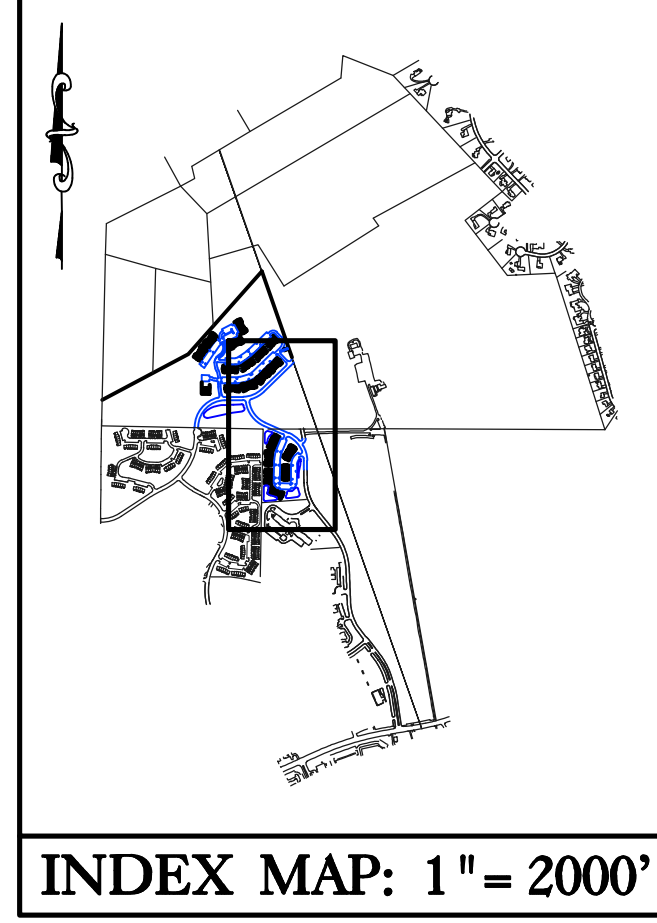
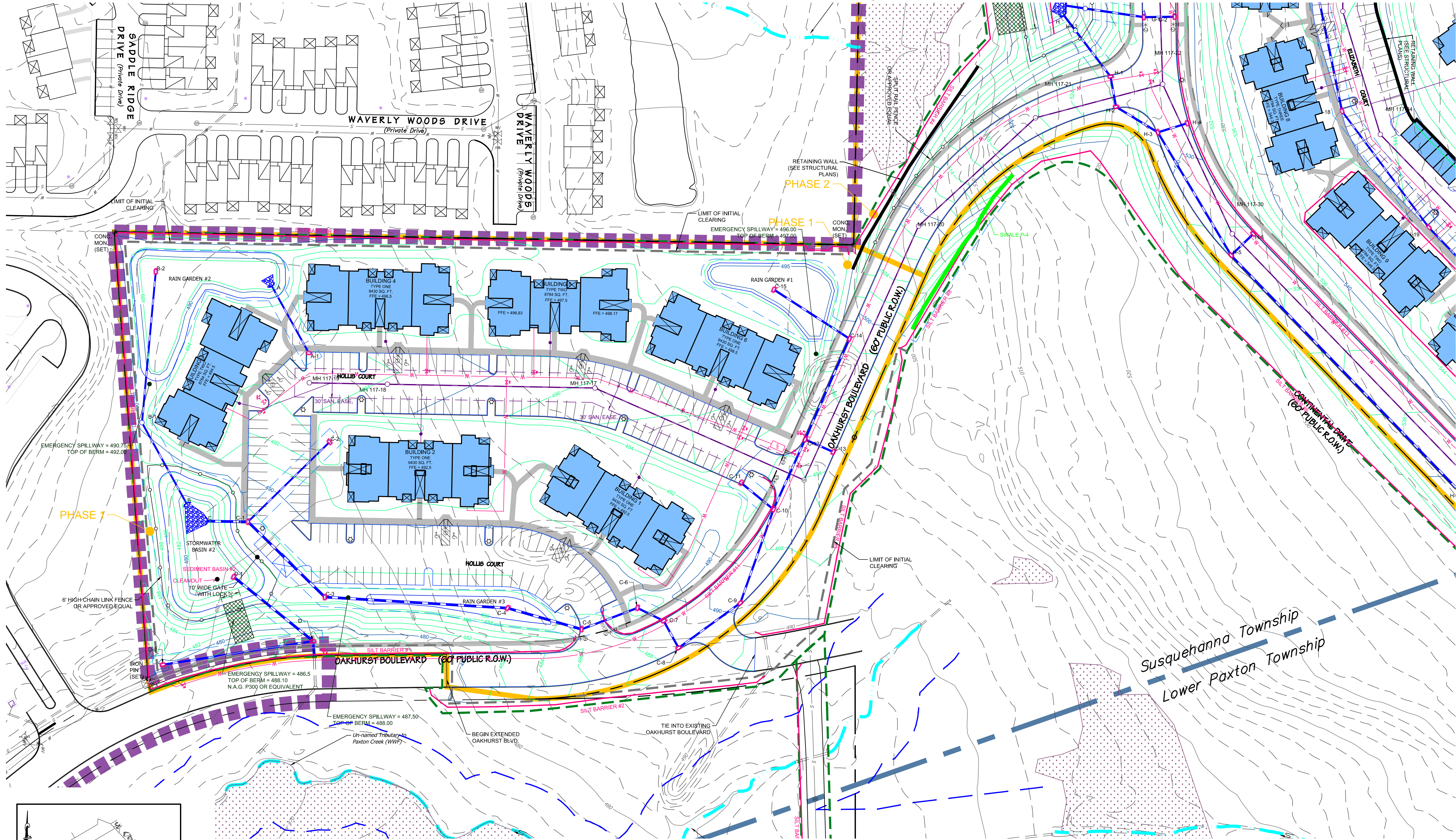
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No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

DRAWING ID: 213008-LDSC  
 DATE: 01/23/23  
 SHEET 20 OF 47

SEE SHEET #19 FOR CONTINUATION



Proposed Conditions Legend

	Proposed Property Line
	Proposed Right-of-Way
	Proposed Edge of Pavement
	Proposed Curb
	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Sanitary Sewer Line, MH
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Roof Drain
	Proposed Water Line, Hydrant
	Proposed Minor Contour
	Proposed Major Contour
	Limit of Disturbance/NPDES Boundary
	Silt Barrier
	Proposed Inlet Protection, Waterbar, Inlet I.D.
	Proposed Sign
	Proposed Light
	Proposed Stabilized Construction Entrance (S.C.E.)

SEE SHEET #19 CONTINUATION

**EROSION & SEDIMENT CONTROL PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-E&S  
 DATE: 01/23/23  
 SHEET 21 OF 47

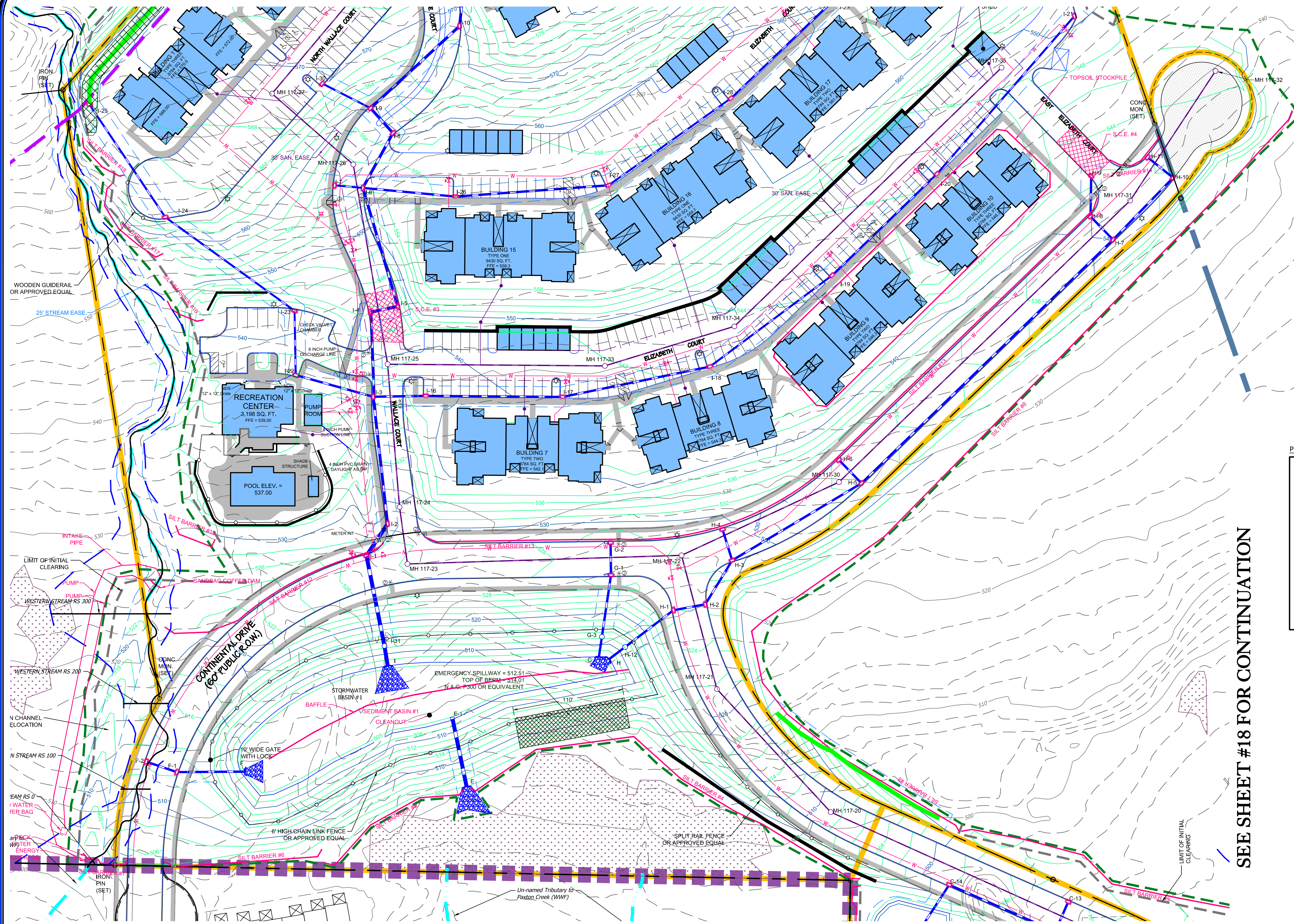


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No.	REVISION	COMMENTS	DATE
1	TOWNSHIP COMMENTS		09/19/23
2			
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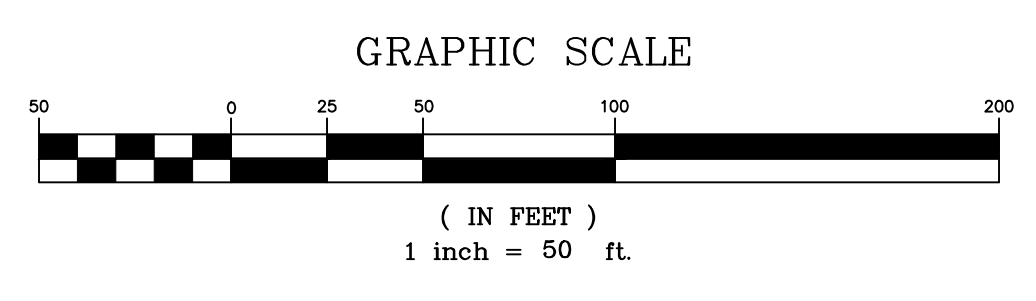
SEE SHEET #20 FOR CONTINUATION



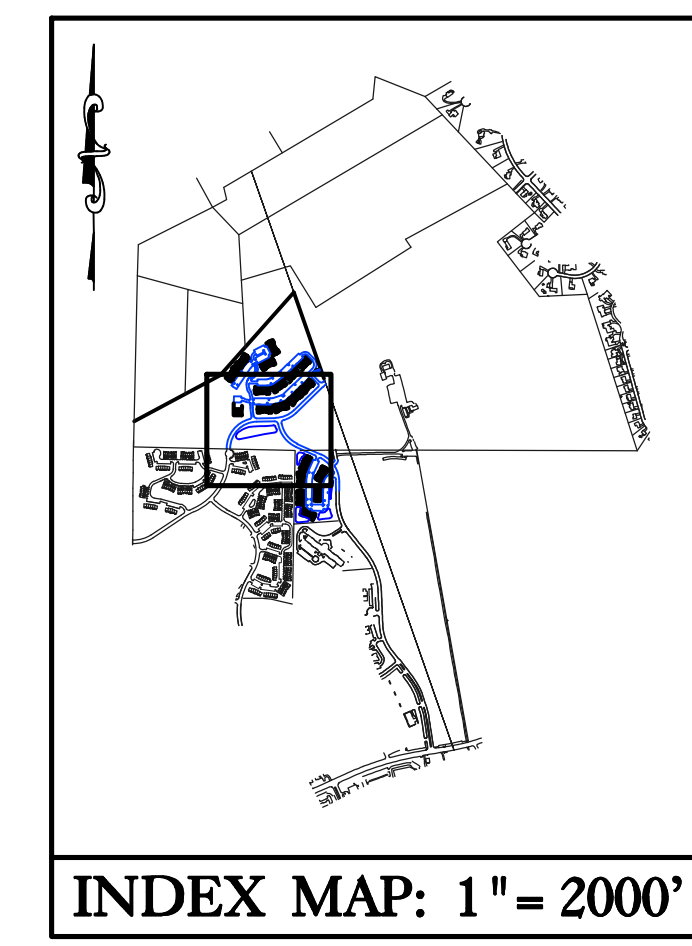
SEE SHEET #18 FOR CONTINUATION

Proposed Conditions Legend

	Proposed Property Line
	Proposed Right-of-Way
	Proposed Edge of Pavement
	Proposed Curb
	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Sanitary Sewer Line, MH
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Roof Drain
	Proposed Water Line, Hydrant
	Proposed Minor Contour
	Proposed Major Contour
	Limit of Disturbance/NPDES Boundary
	Silt Barrier
	Proposed Inlet Protection, Waterbar, Inlet I.D.
	Proposed Sign
	Proposed Light
	Proposed Stabilized Construction Entrance (S.C.E.)



SEE SHEET #18 FOR CONTINUATION



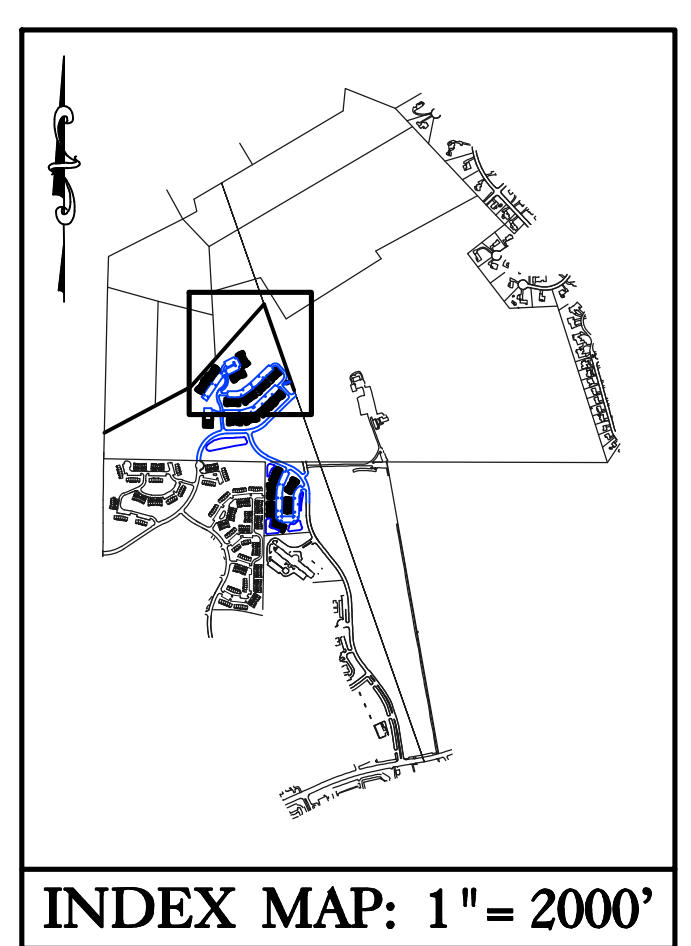
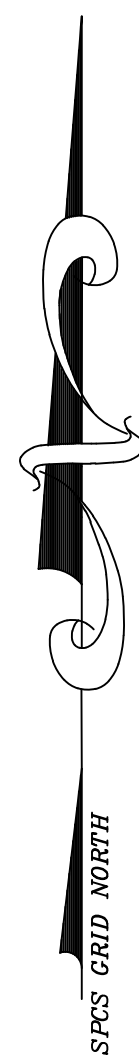
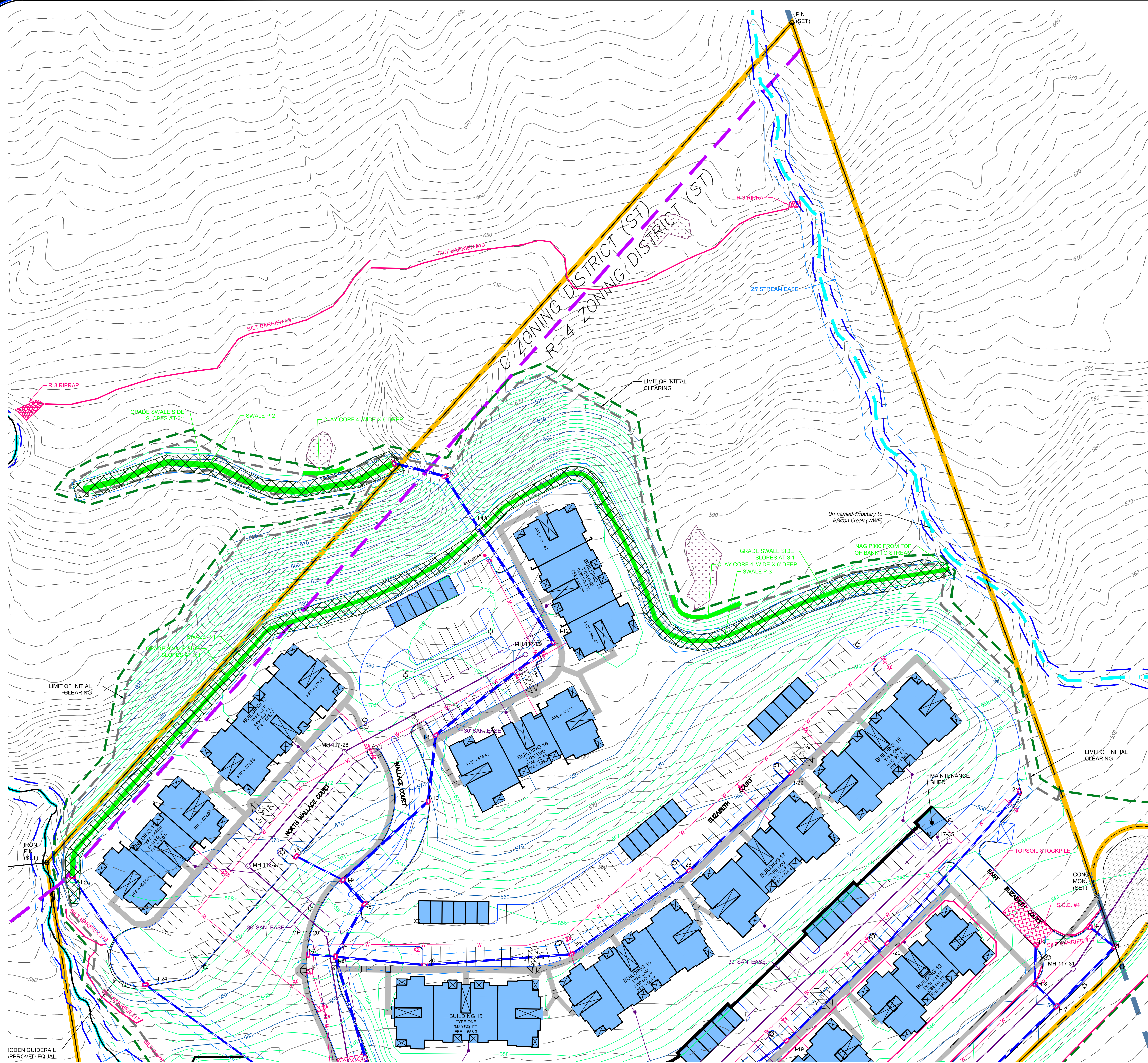
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
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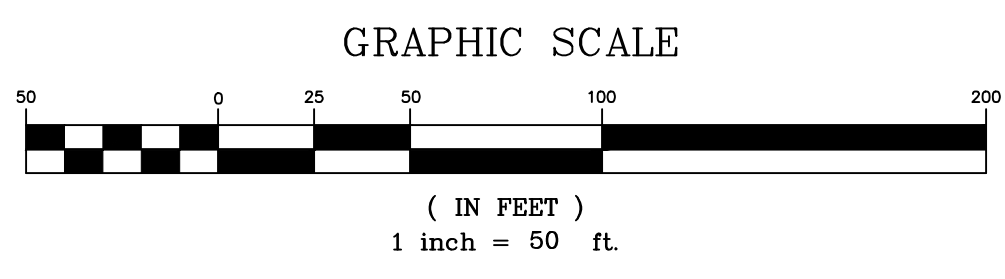
**EROSION & SEDIMENT CONTROL PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-E&S  
 DATE: 01/23/23  
 SHEET 22 OF 47



Proposed Conditions Legend

	Proposed Property Line
	Proposed Right-of-Way
	Proposed Edge of Pavement
	Proposed Curb
	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Sanitary Sewer Line, Inlet, MH
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Roof Drain
	Proposed Water Line, Hydrant
	Proposed Minor Contour
	Proposed Major Contour
	Limit of Disturbance/NPDES Boundary
	Silt Barrier
	Proposed Inlet Protection, Waterbar, Inlet I.D.
	Proposed Sign
	Proposed Light
	Proposed Stabilized Construction Entrance (S.C.E.)



SEE SHEET #19 FOR CONTINUATION

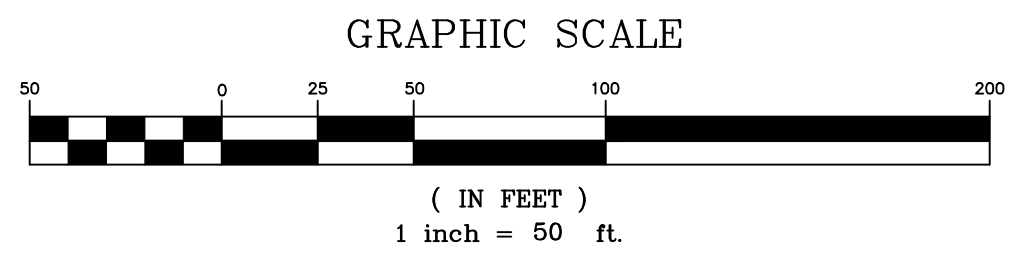
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
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**EROSION & SEDIMENT CONTROL PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

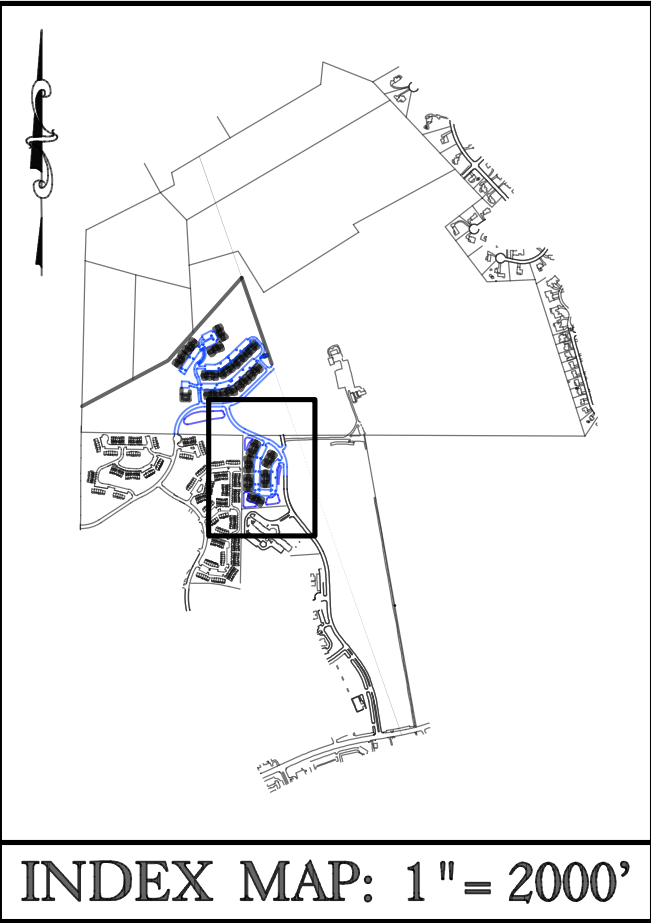
DRAWING ID: 213008-E&S  
 DATE: 01/23/23  
 SHEET 23 OF 47



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
□	25	A360	SINGLE	SPAULDING CL1-60L-4K-3 / 25' SSS POLE
□	73	WLED12	SINGLE	RAB SLIM12N
□	2	B360	BACK-BACK	SPAULDING CL1-60L-4K-3 / 25' SSS POLE (2 FIXTURES BACK-TO BACK)
□	5	D460	SINGLE	SPAULDING CL1-60L-4K-4 / 25' SSS POLE



SEE SHEET #25 FOR CONTINUATION



**LIGHTING PLAN**  
FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
LOCATED IN

SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA



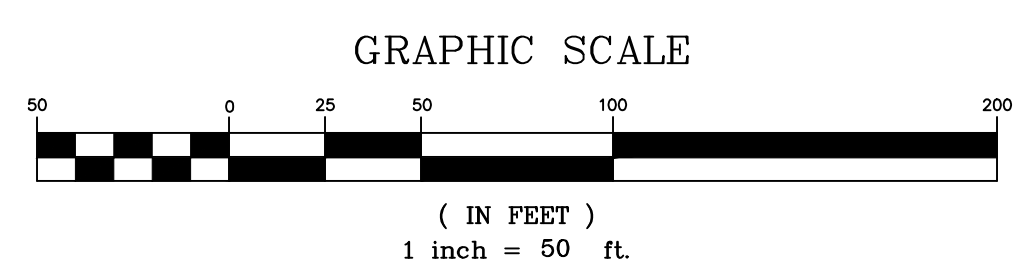
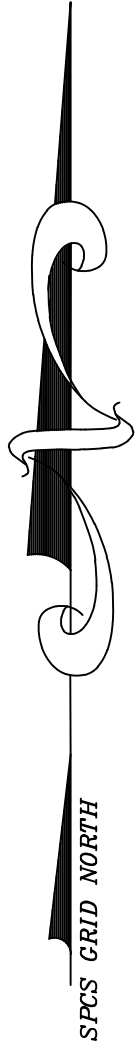
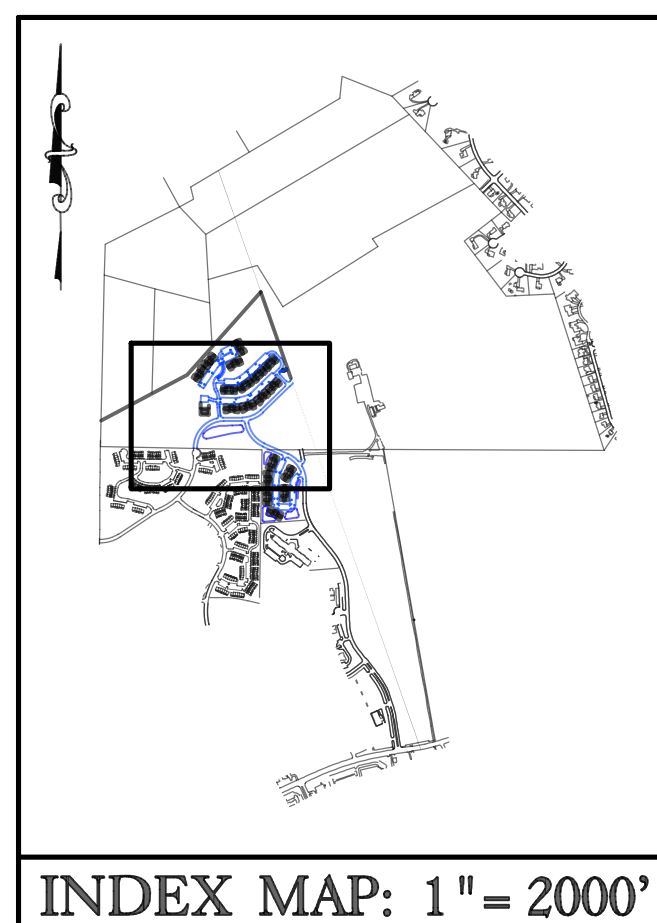
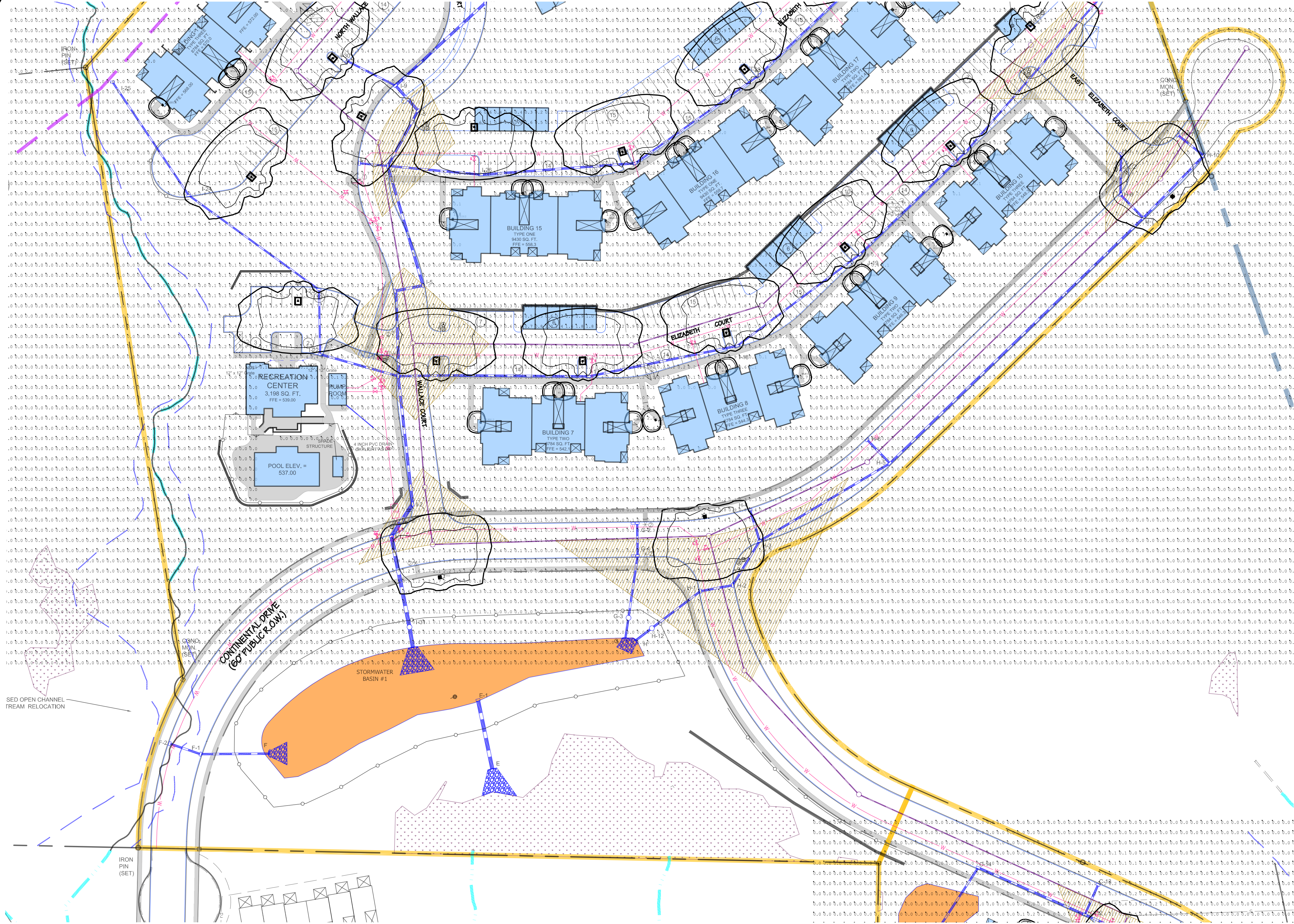
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No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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SEE SHEET #26 FOR CONTINUATION



SEE SHEET #24 FOR CONTINUATION

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
□	25	A360	SINGLE	SPAULDING CL1-60L-4K-3 / 25' SSS POLE
□	73	WLBD12	SINGLE	RAB SLIM12N
□	2	B360	BACK-BACK	SPAULDING CL1-60L-4K-3 / 25' SSS POLE (2 FIXTURES BACK-TO BACK)
□	5	D460	SINGLE	SPAULDING CL1-60L-4K-4 / 25' SSS POLE

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
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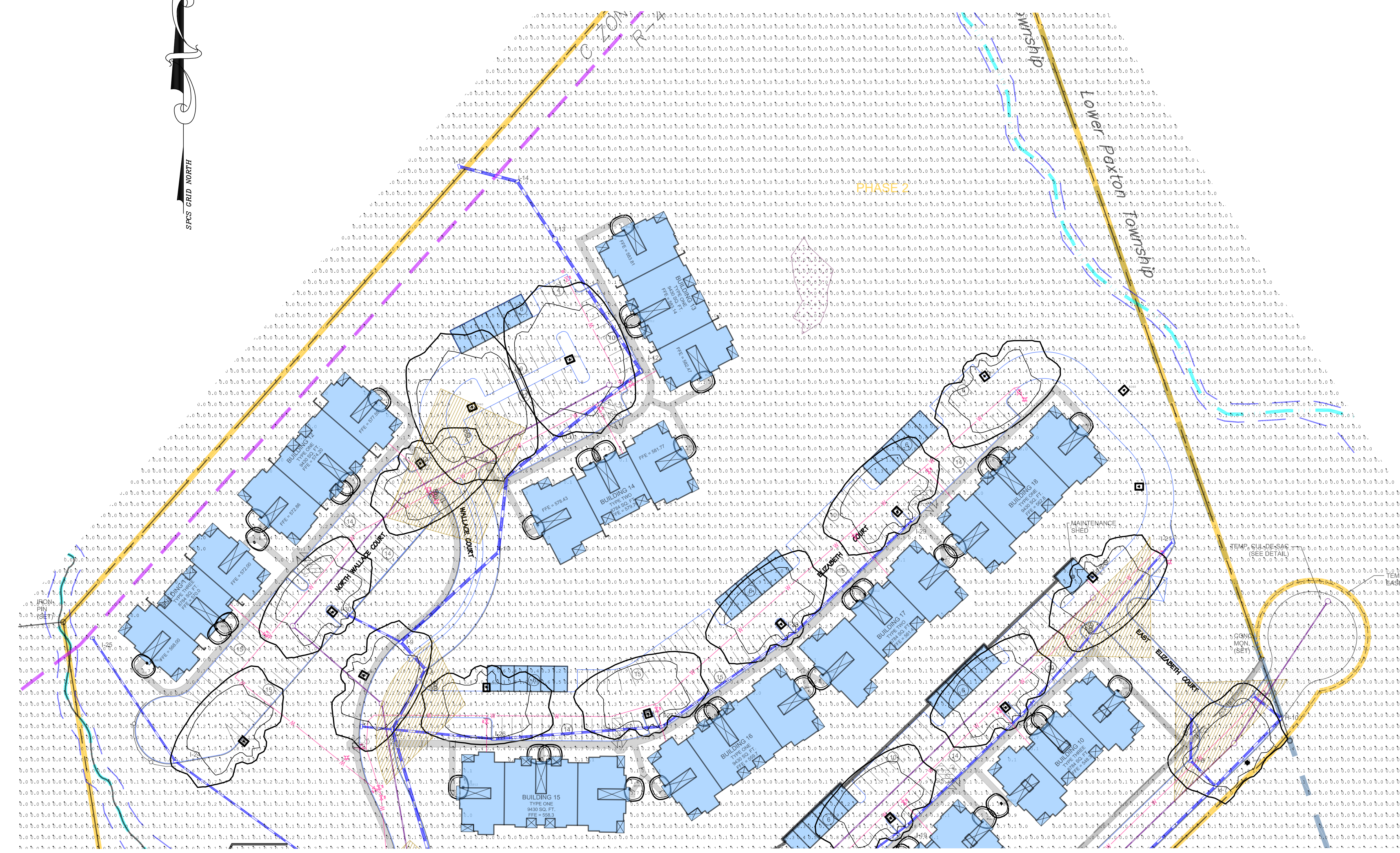
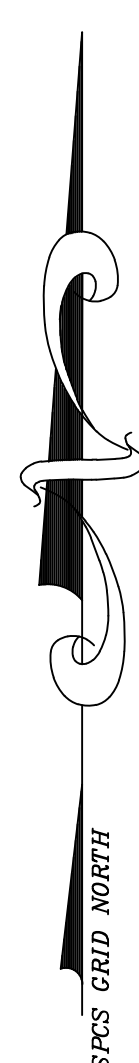


**LIGHTING PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

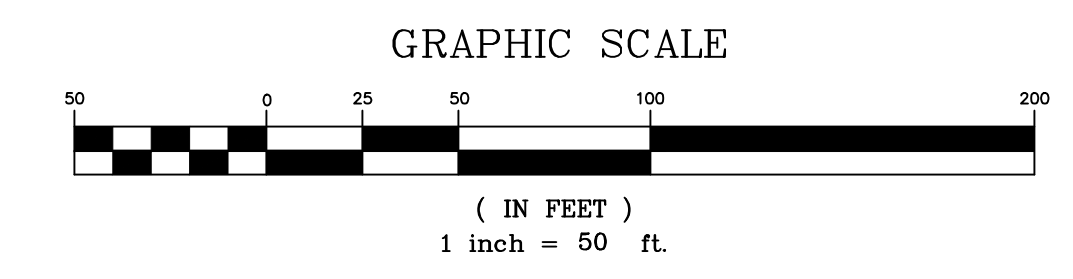
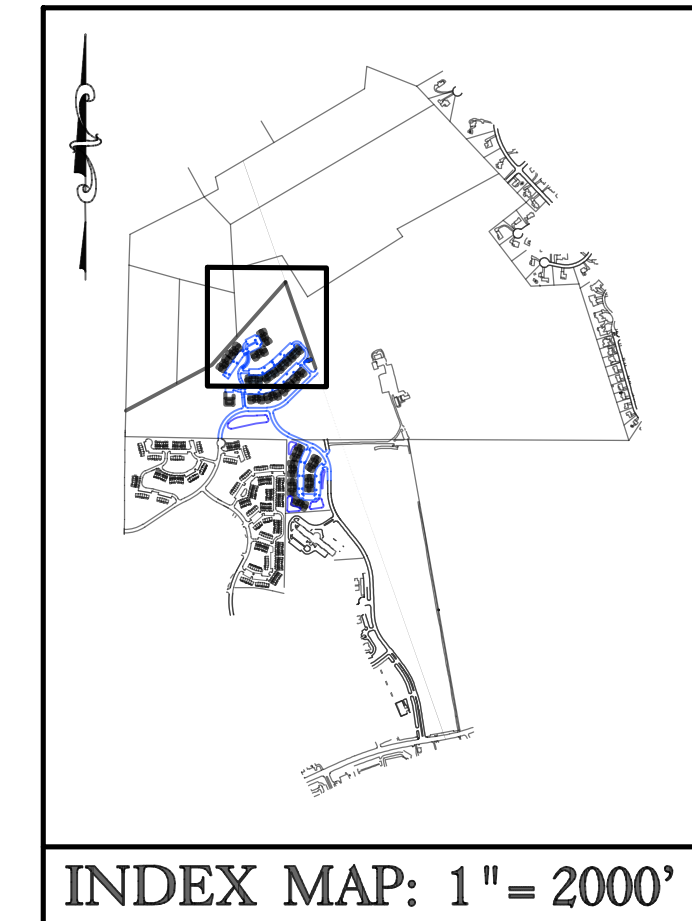
DRAWING ID: 213008-LIGHT  
 DATE: 01/23/23  
 SHEET 25 OF 47

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Symbol	Qty	Label	Arrangement	Description
□	25	A360	SINGLE	SPAULDING CL1-60L-4K-3 / 25' SSS POLE
□	73	WLED12	SINGLE	RAB SLIM12N
□	2	B360	BACK-BACK	SPAULDING CL1-60L-4K-3 / 25' SSS POLE (2 FIXTURES BACK-TO BACK)
□	5	D460	SINGLE	SPAULDING CL1-60L-4K-4 / 25' SSS POLE



SEE SHEET #25 FOR CONTINUATION



No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

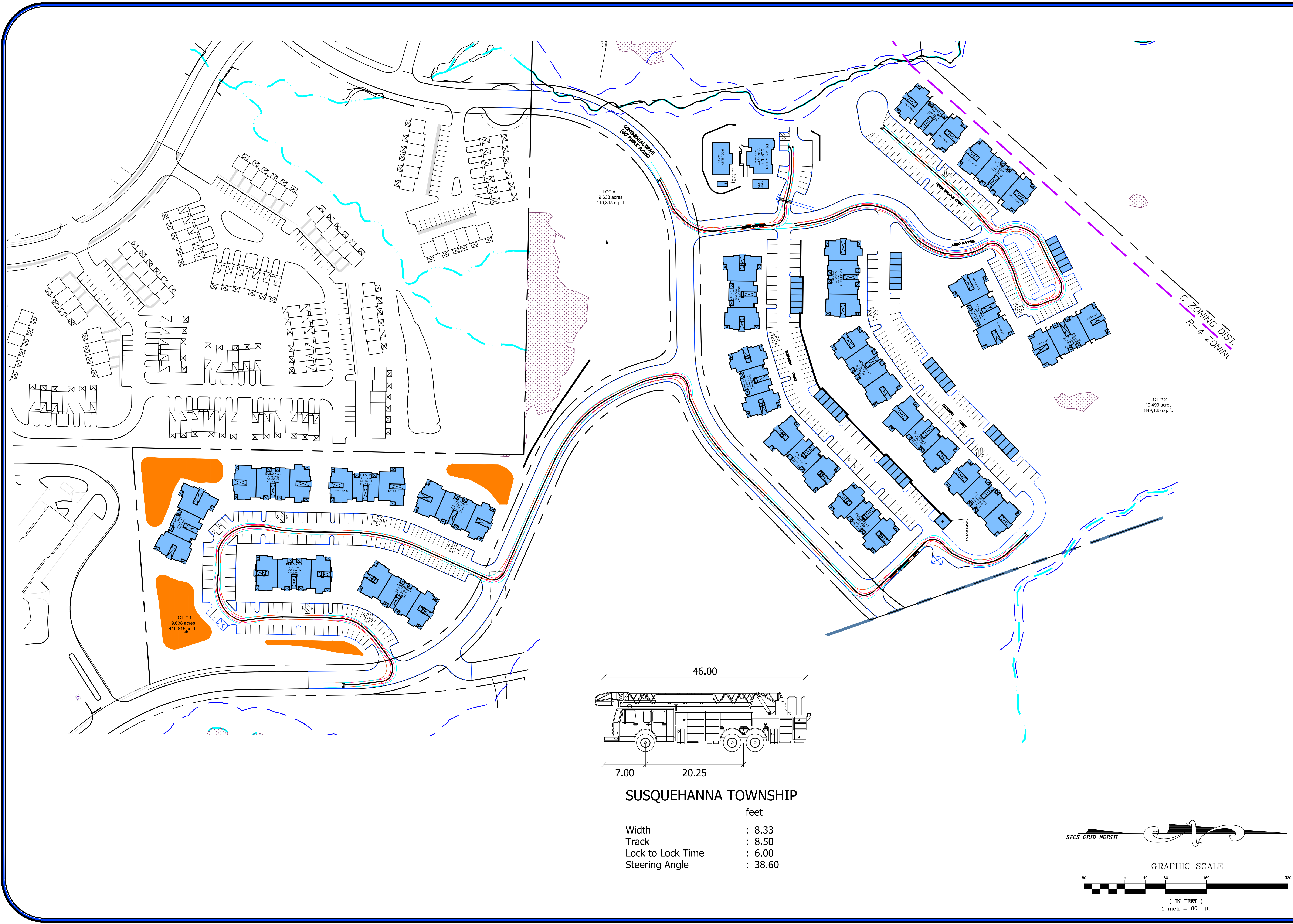
**R. J. FISHER & ASSOCIATES, INC.**  
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 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 FAX: (717) 774-7190  
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**LIGHTING PLAN**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN**  
**APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID  
213008-LIGHT  
 DATE: 01/23/23  
 SHEET 26 OF 47

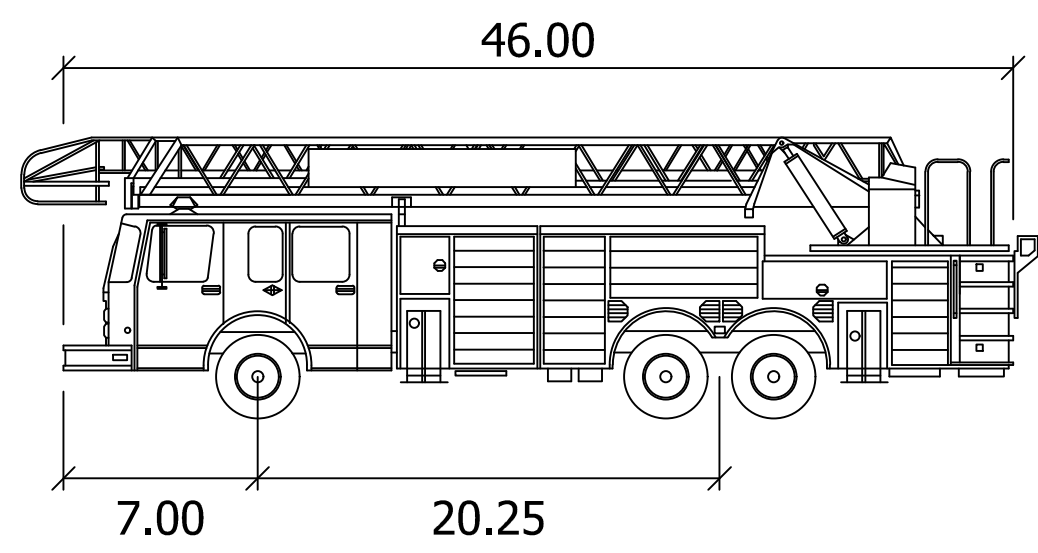
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LOT # 1  
9.638 acres  
419,815 sq. ft.

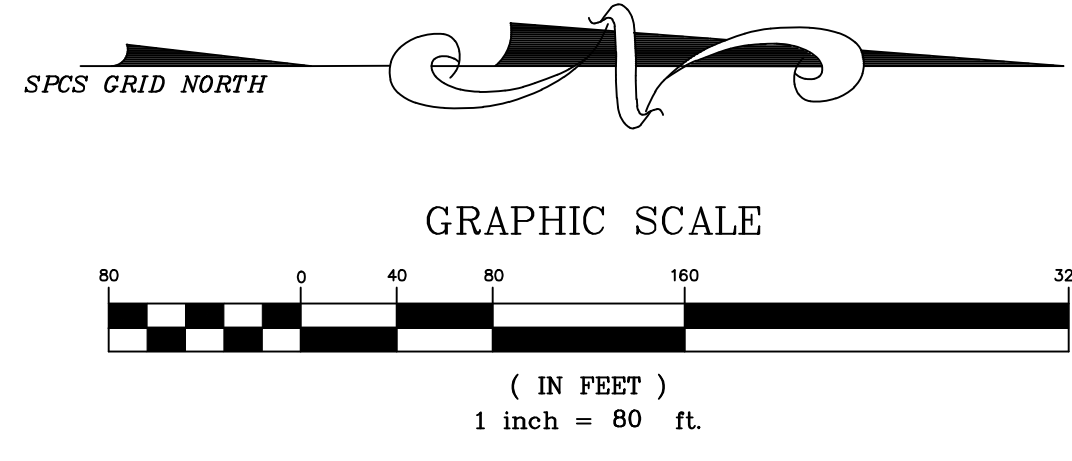
LOT # 2  
19.493 acres  
849,125 sq. ft.

LOT # 1  
9.638 acres  
419,815 sq. ft.



SUSQUEHANNA TOWNSHIP

	feet
Width	: 8.33
Track	: 8.50
Lock to Lock Time	: 6.00
Steering Angle	: 38.60



No.	REVISION	COMMENTS	DATE
1	TOWNSHIP		09/19/23
2			
3			
4			

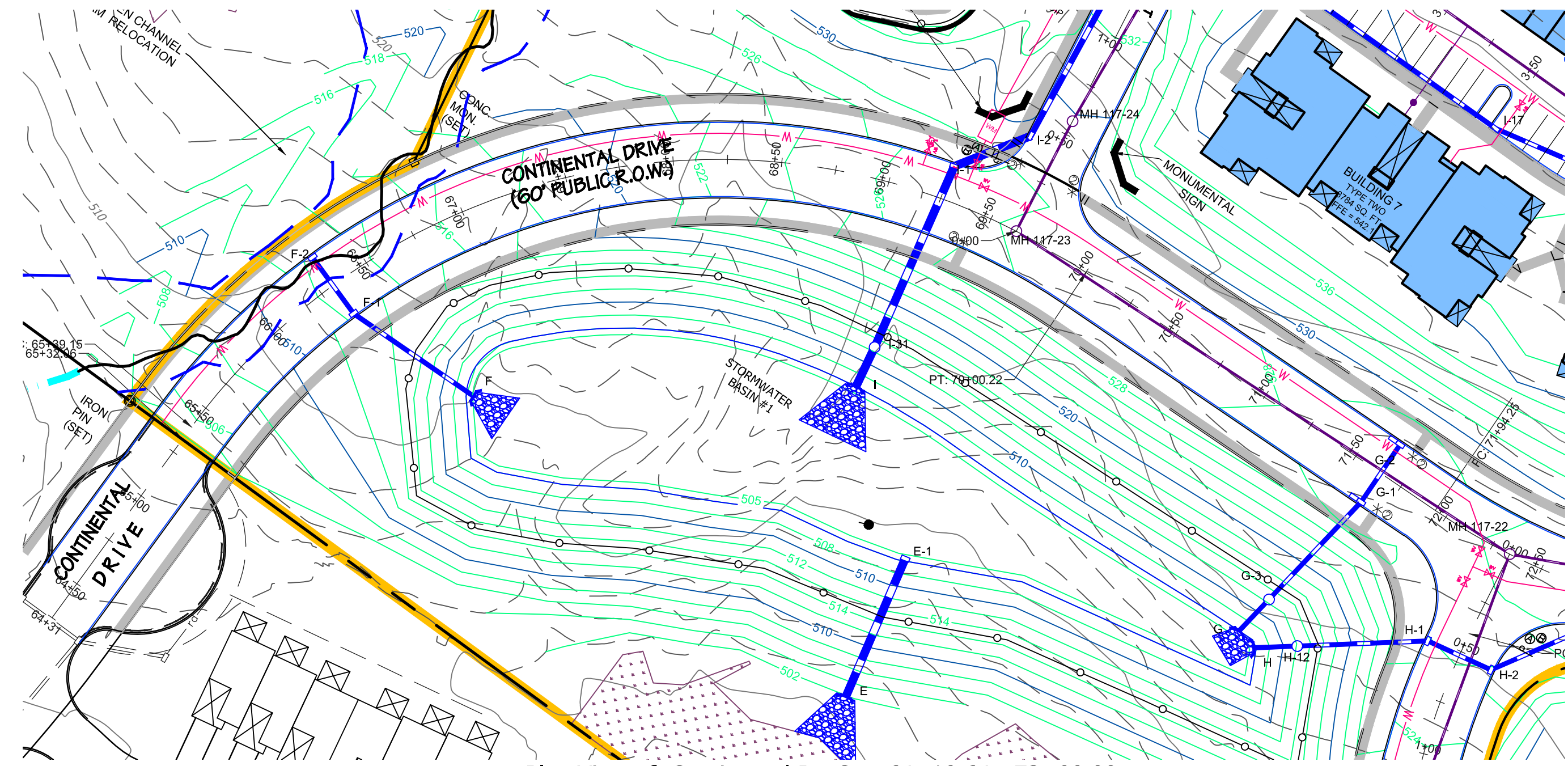
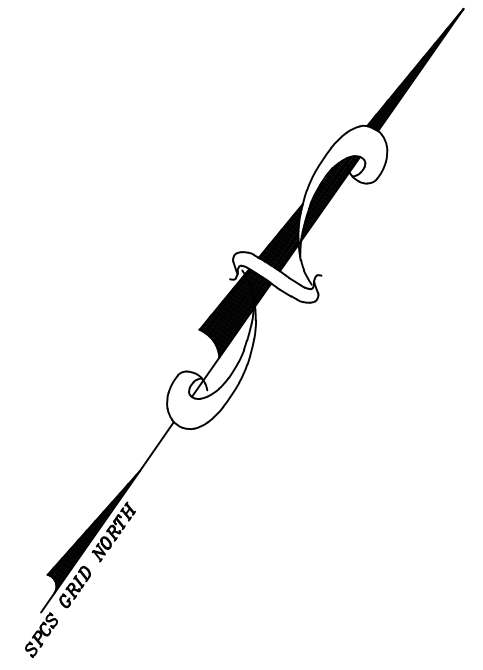
**R. J. FISHER & ASSOCIATES, INC.**  
 SITE PLANNING & CIVIL ENGINEERING & LAND SURVEYS  
 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 FAX: (717) 774-7190  
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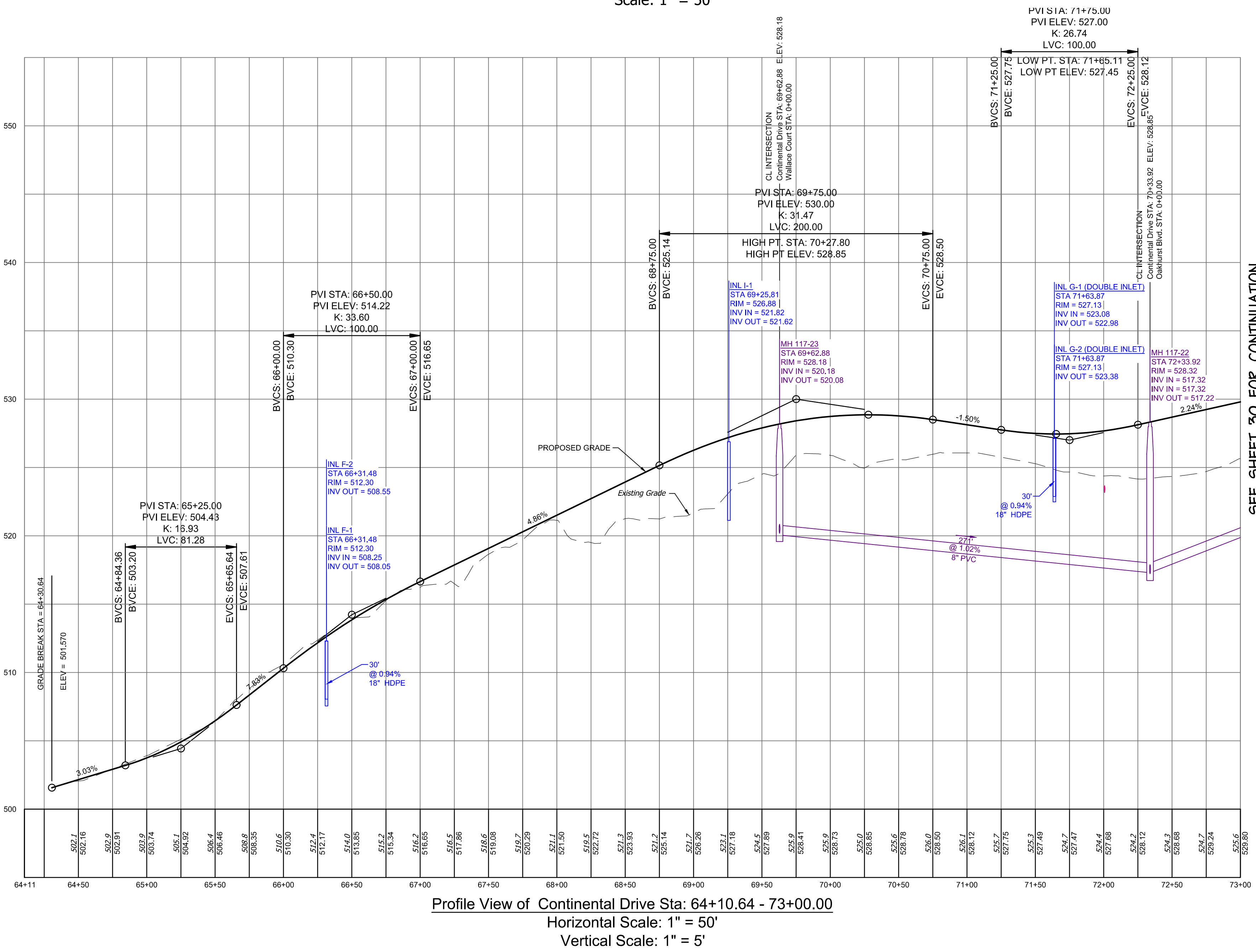
**FIRE TRUCK TURNING PLAN**  
 FOR  
**PHASES 1 & 2 BLUE**  
**MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-TURN  
 DATE: 01/23/23  
 SHEET 27 OF 47

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Plan View of Continental Dr. Sta: 64+10.64 - 73+00.00  
Scale: 1" = 50'



Profile View of Continental Drive Sta: 64+10.64 - 73+00.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

SEE SHEET 30 FOR CONTINUATION

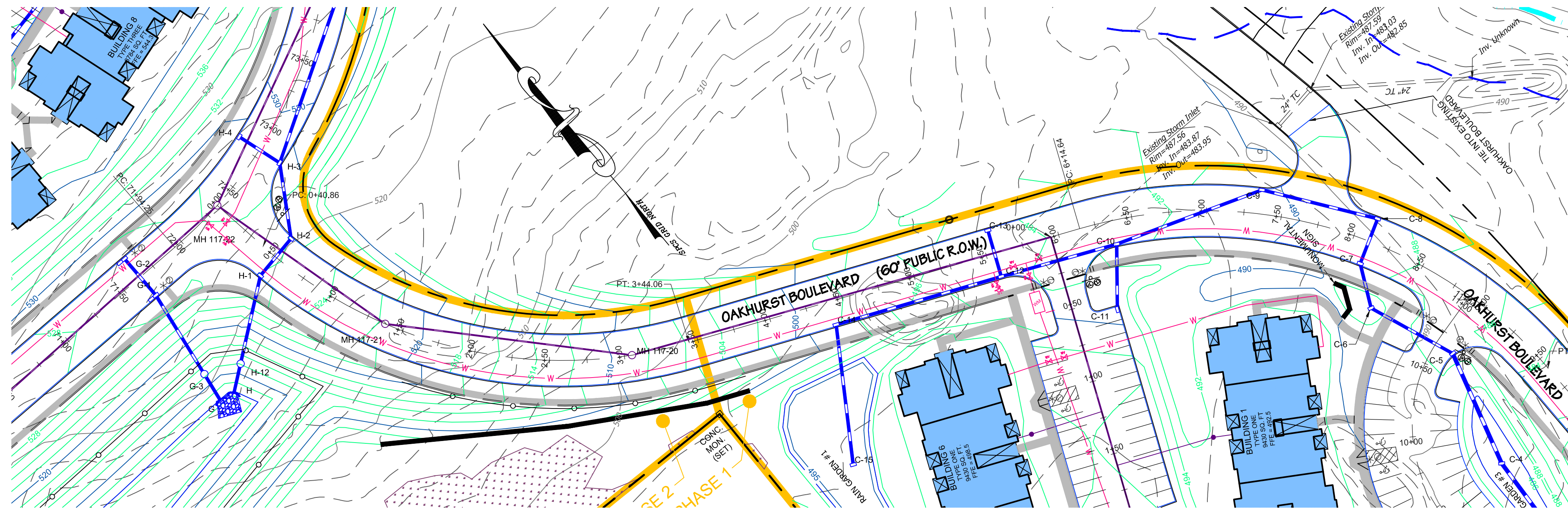
**PLAN & PROFILE OF  
CONTINENTAL DRIVE  
FOR  
PHASES 1 & 2 BLUE MOUNTAIN  
APARTMENTS**  
LOCATED IN  
SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA



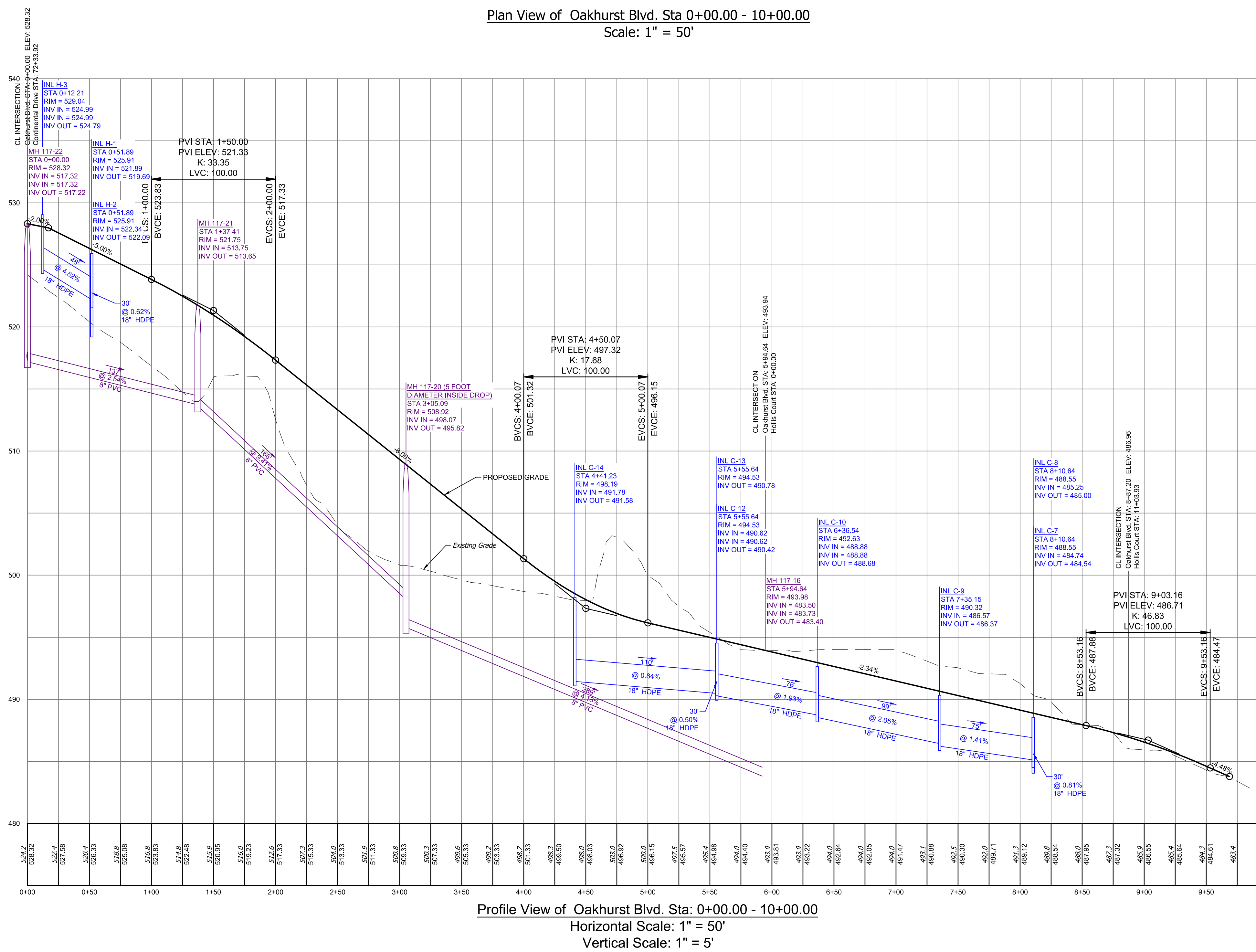
**R.J. FISHER & ASSOCIATES, INC.**  
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1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
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No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

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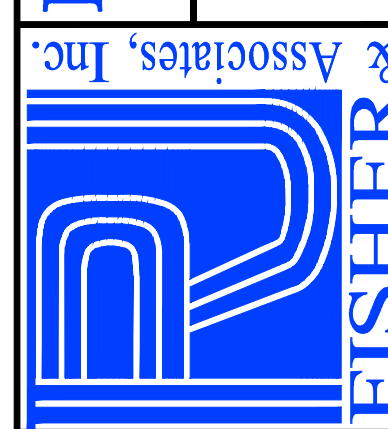
Plan View of Oakhurst Blvd. Sta 0+00.00 - 10+00.00  
Scale: 1" = 50'



Profile View of Oakhurst Blvd. Sta: 0+00.00 - 10+00.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

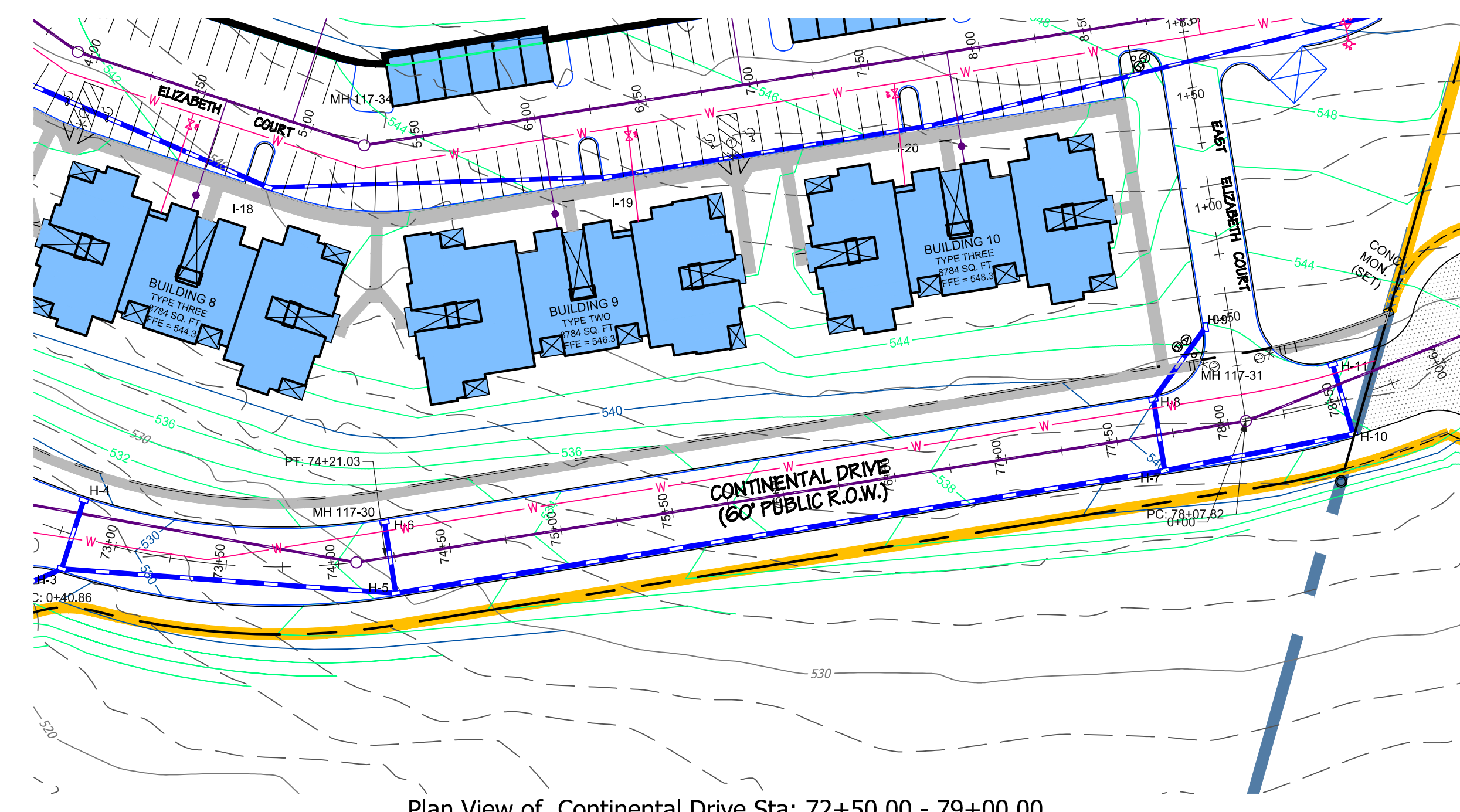
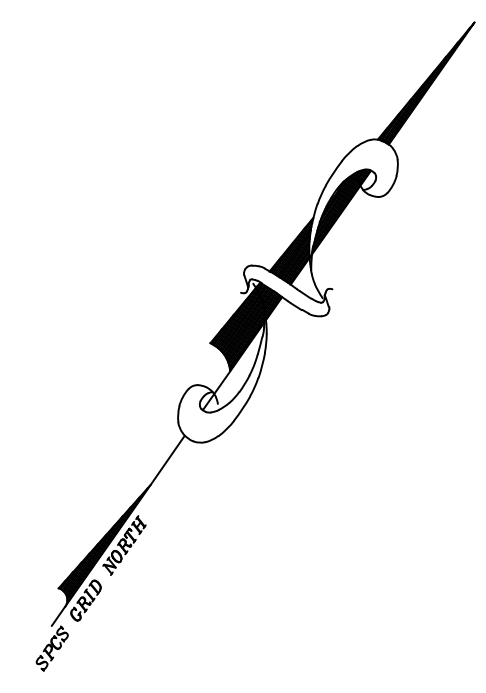
**R. J. FISHER & ASSOCIATES, INC.**  
 □ SITE PLANNING □ CIVIL ENGINEERING □ LAND SURVEYS  
 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
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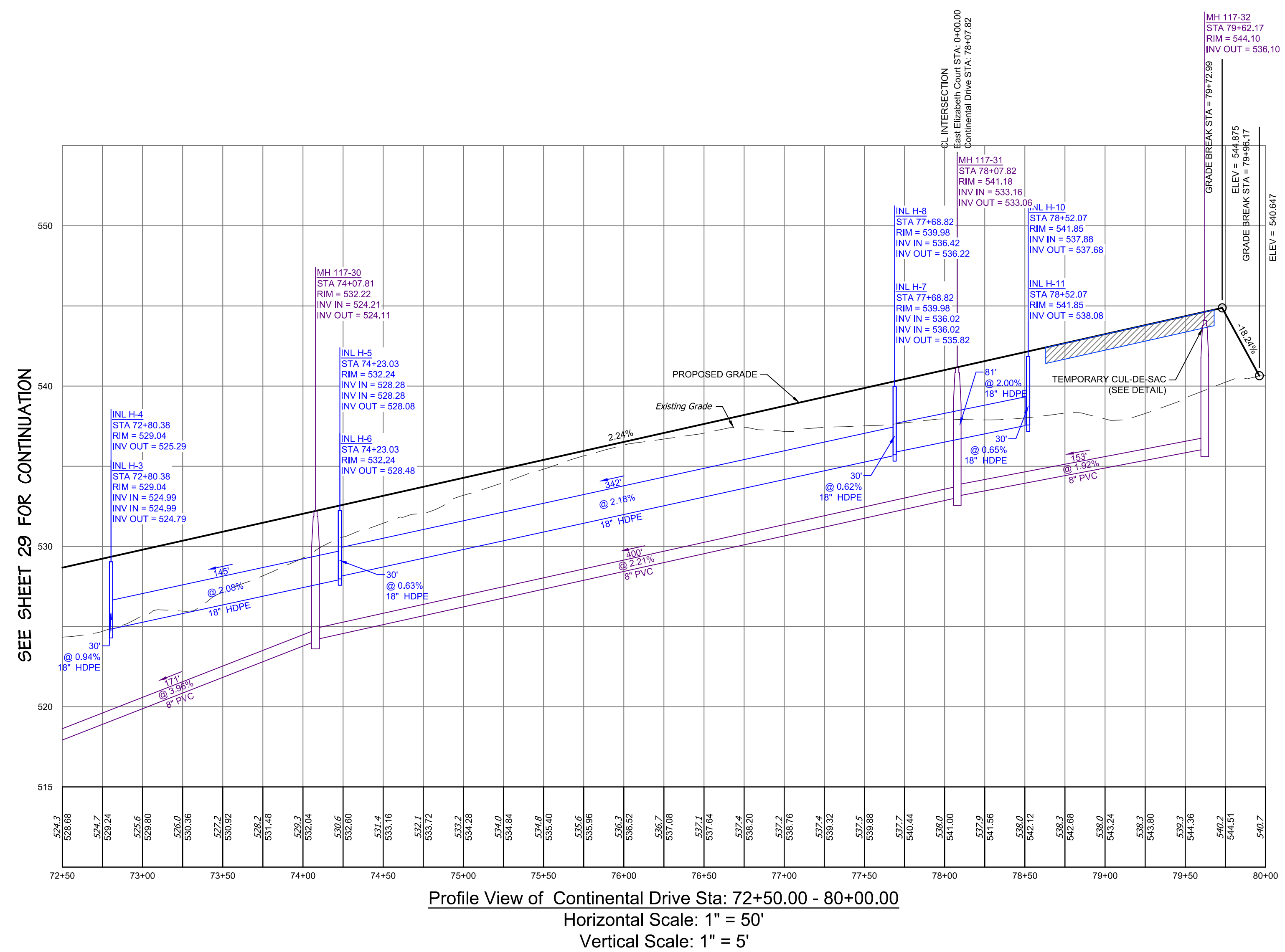
**PLAN & PROFILE OF  
 OAKHURST BOULEVARD  
 FOR  
 PHASES 1 & 2 BLUE MOUNTAIN  
 APARTMENTS  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA**

DRAWING ID  
213008-PR  
 DATE: 01/23/23  
 SHEET 28 OF 47

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Plan View of Continental Drive Sta: 72+50.00 - 79+00.00  
Scale: 1" = 50'



Profile View of Continental Drive Sta: 72+50.00 - 80+00.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

SEE SHEET 29 FOR CONTINUATION

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

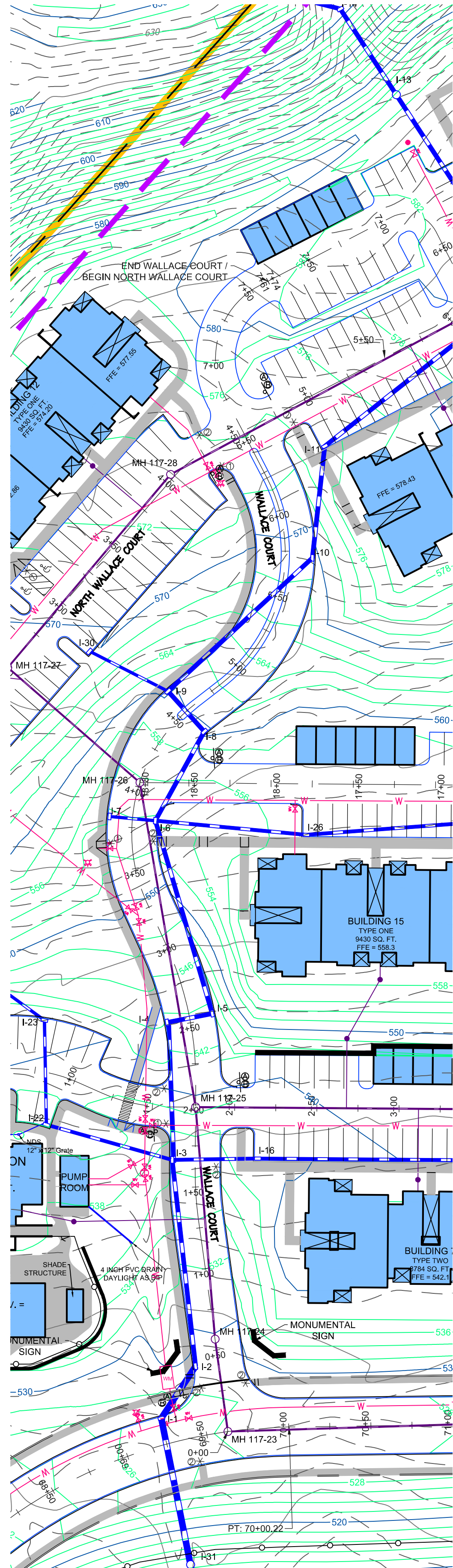


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 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 FAX: (717) 774-7190  
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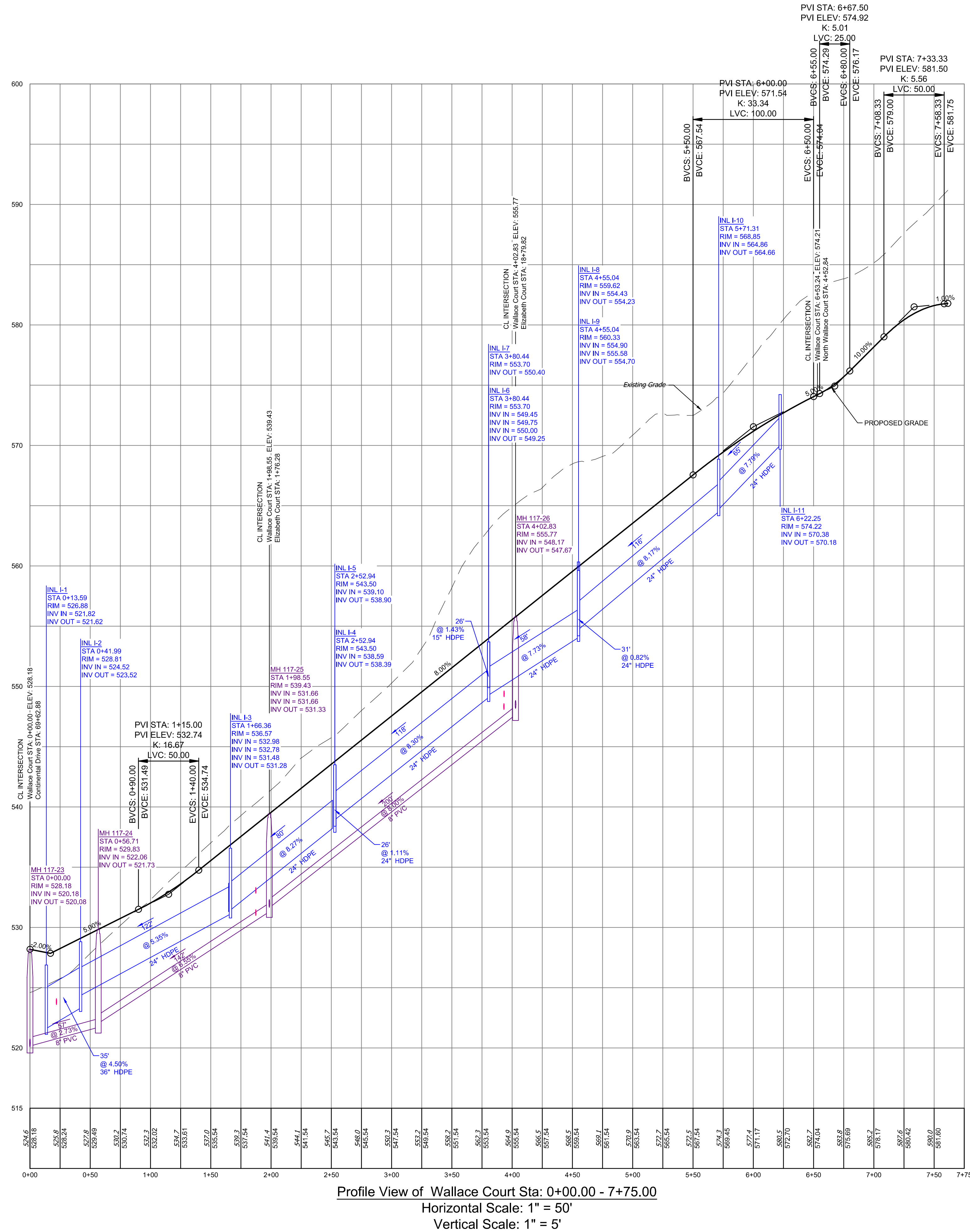
**PLAN & PROFILE OF  
 CONTINENTAL DRIVE  
 FOR  
 PHASES 1 & 2 BLUE MOUNTAIN  
 APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-PR  
 DATE: 01/23/23  
 SHEET 30 OF 47

SPCS GRID NORTH



Plan View of Wallace Court Sta: 0+00.00 - 7+75.00  
Scale: 1" = 50'



Profile View of Wallace Court Sta: 0+00.00 - 7+75.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

**PLAN & PROFILE OF  
WALLACE COURT**  
FOR  
**PHASES 1 & 2 BLUE MOUNTAIN  
APARTMENTS**  
LOCATED IN  
SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

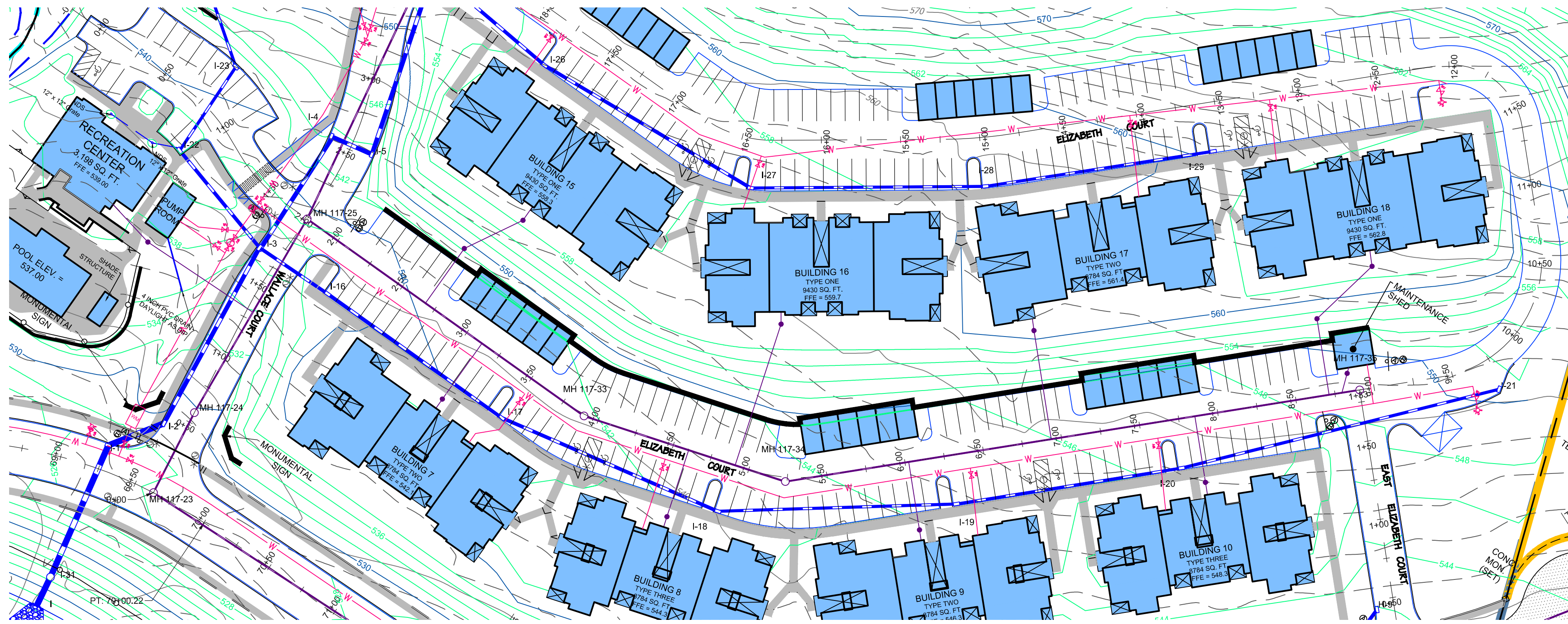
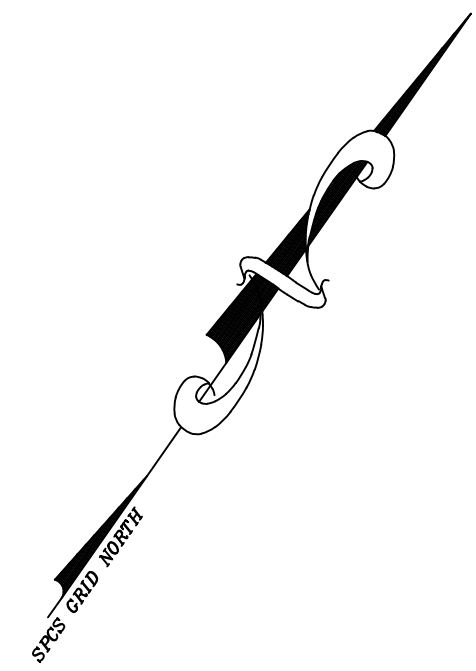
DRAWING ID  
213008-PR  
DATE: 01/23/23  
SHEET 31 OF 47



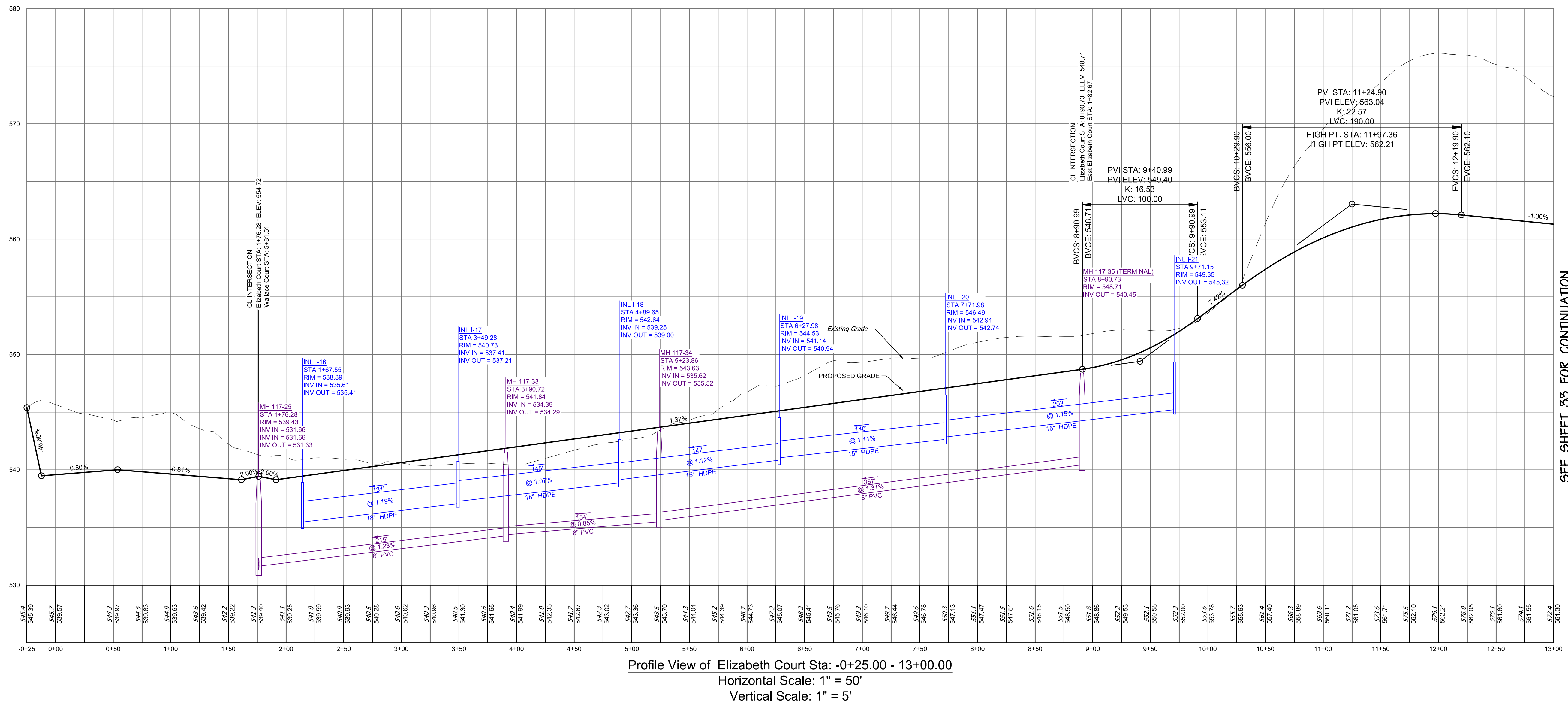
**R. J. FISHER & ASSOCIATES, INC.**  
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PHONE: (717) 774-7534 FAX: (717) 774-7190  
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No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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Plan View of Elizabeth Court Sta: -0+25.00 - 13+00.00  
Scale: 1" = 50'



Profile View of Elizabeth Court Sta: -0+25.00 - 13+00.00  
Horizontal Scale: 1" = 5'  
Vertical Scale: 1" = 5'

SEE SHEET 33 FOR CONTINUATION

**PLAN & PROFILE OF  
ELIZABETH COURT**  
FOR  
**PHASES 1 & 2 BLUE MOUNTAIN  
APARTMENTS**  
LOCATED IN  
SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

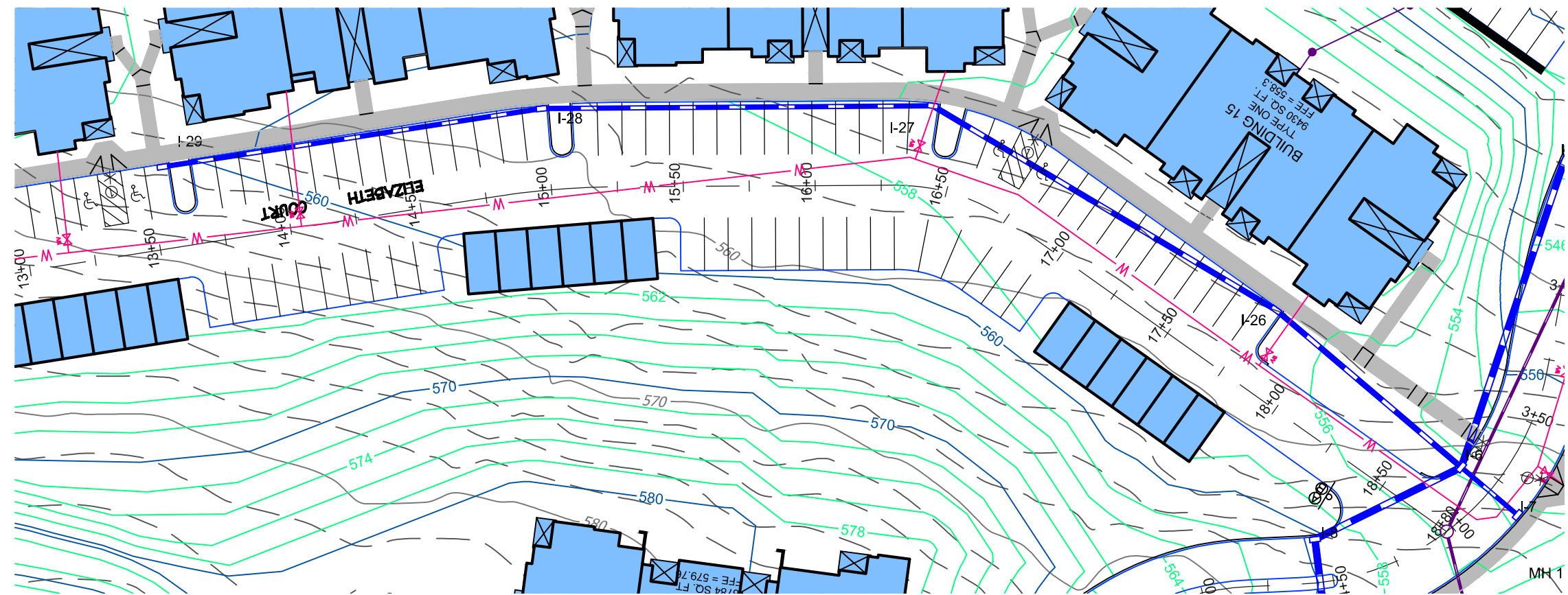


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PHONE: (717) 774-7534 FAX: (717) 774-7190  
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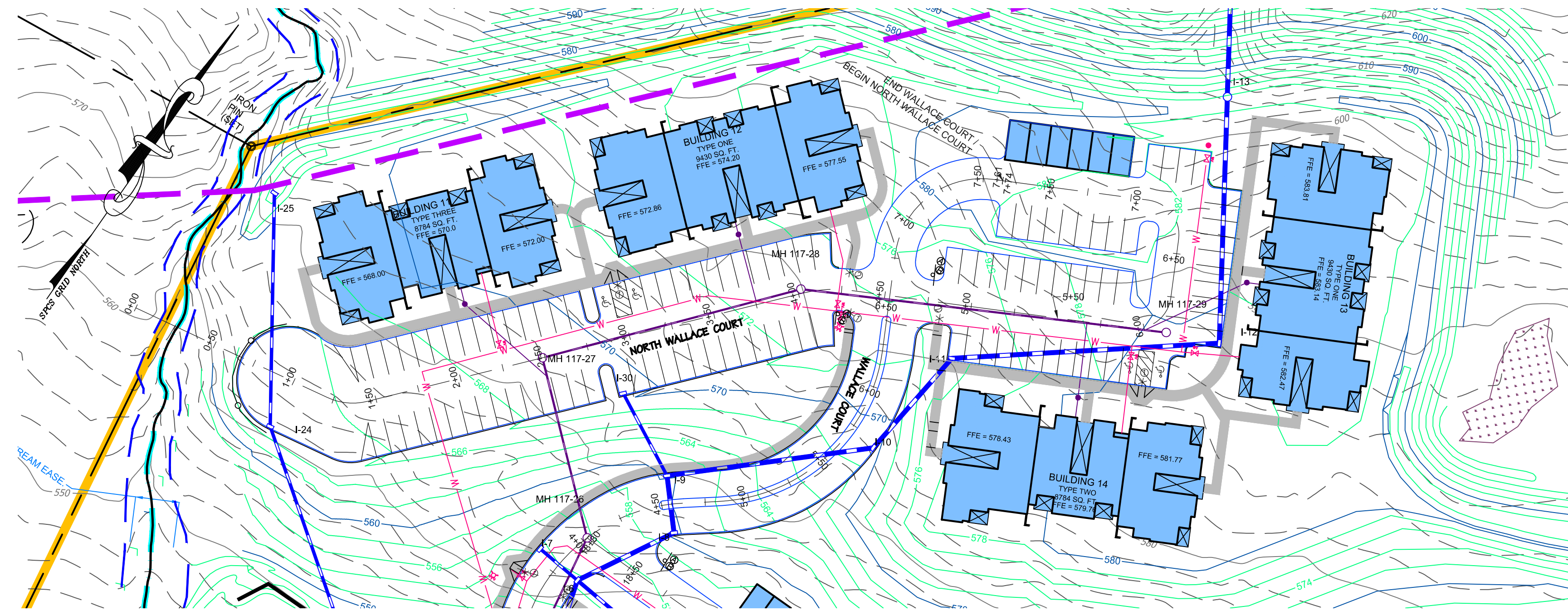
No.	REVISION	COMMENTS	DATE
1	TOWNSHIP		09/19/23
2			
3			
4			

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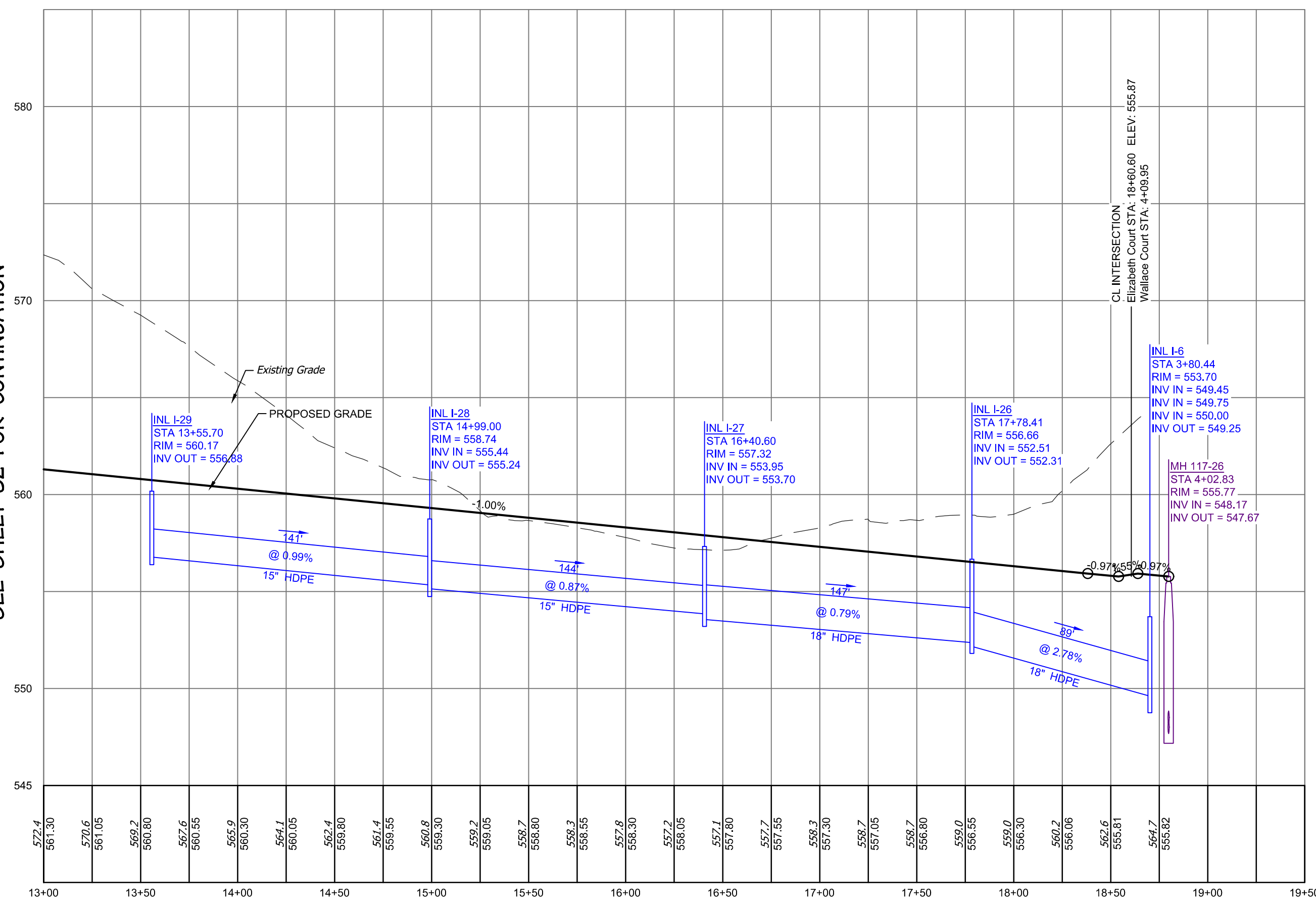




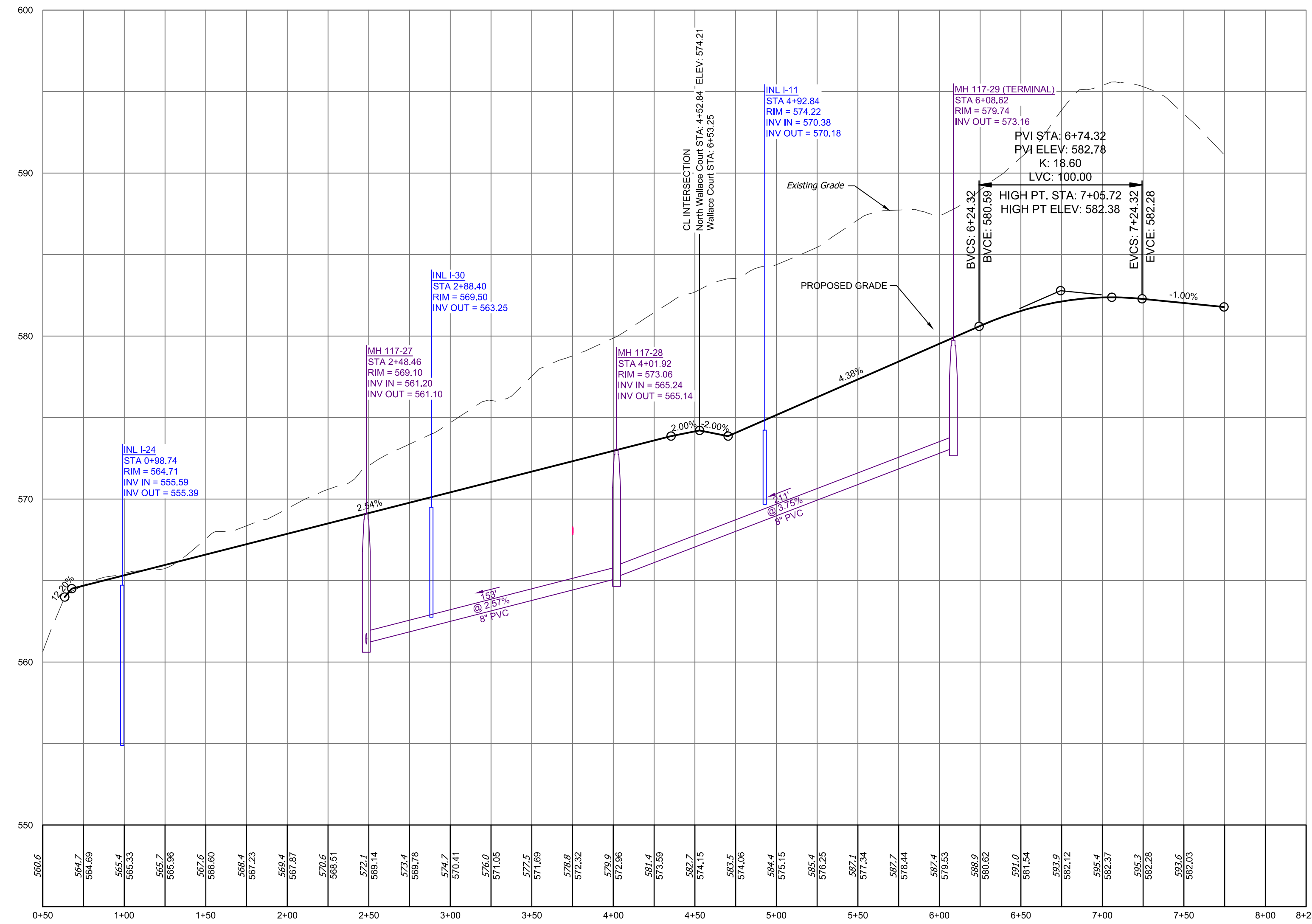
Plan View of Elizabeth Court Sta 13+00.00 - 19+50.00  
Scale: 1" = 50'



Plan View of North Wallace Court Sta -0+50.00 - 8+25.00  
Scale: 1" = 50'



Profile View of Elizabeth Court Sta: 13+00.00 - 19+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Profile View of North Wallace Court Sta: 0+50.00 - 8+25.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

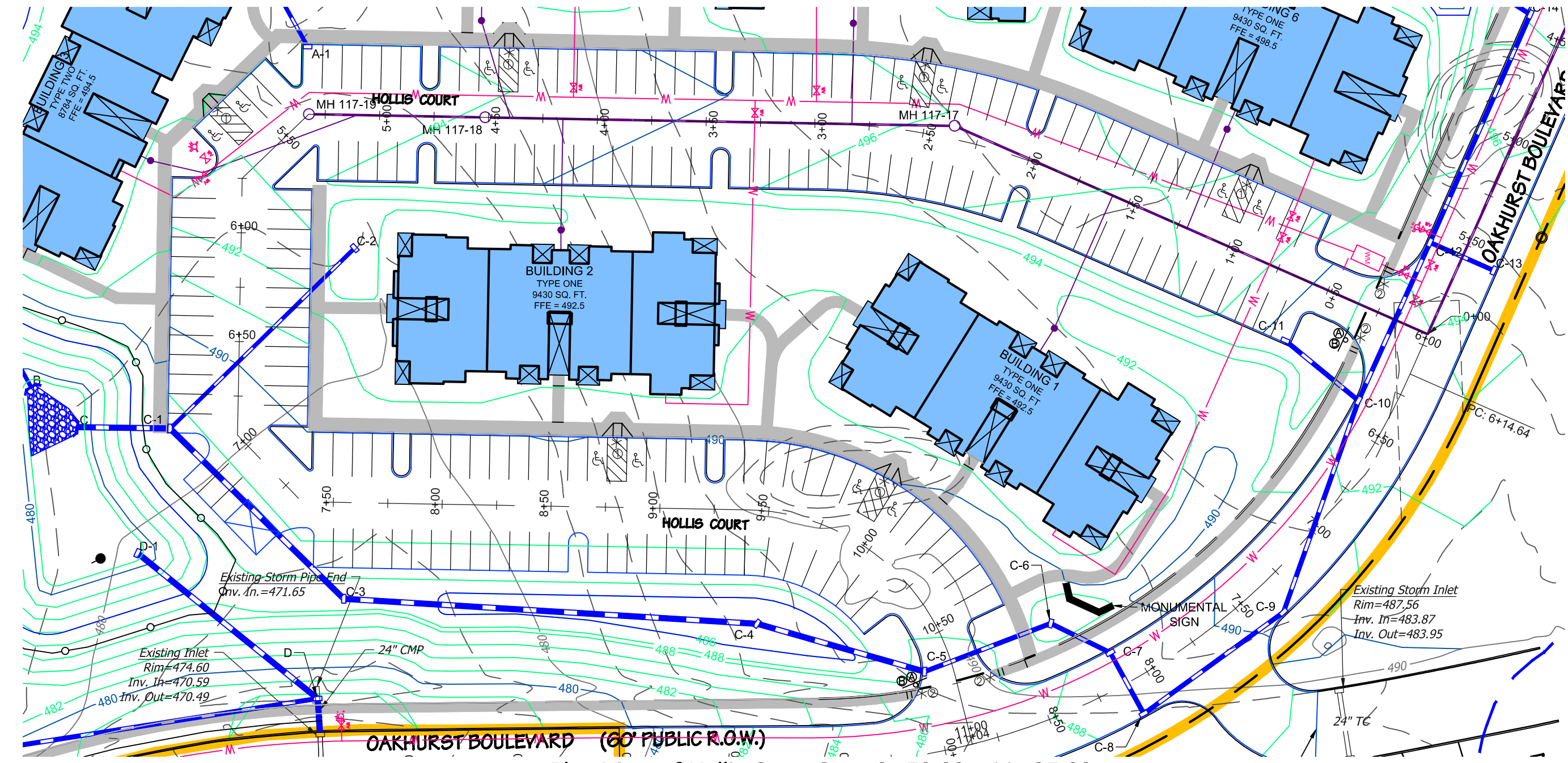
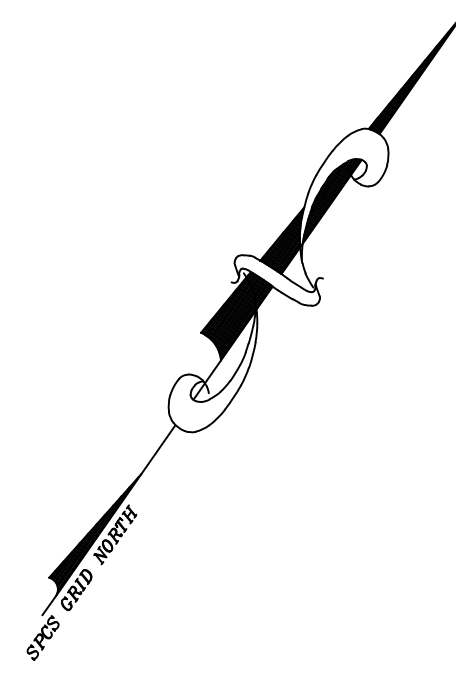
SEE SHEET 32 FOR CONTINUATION

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

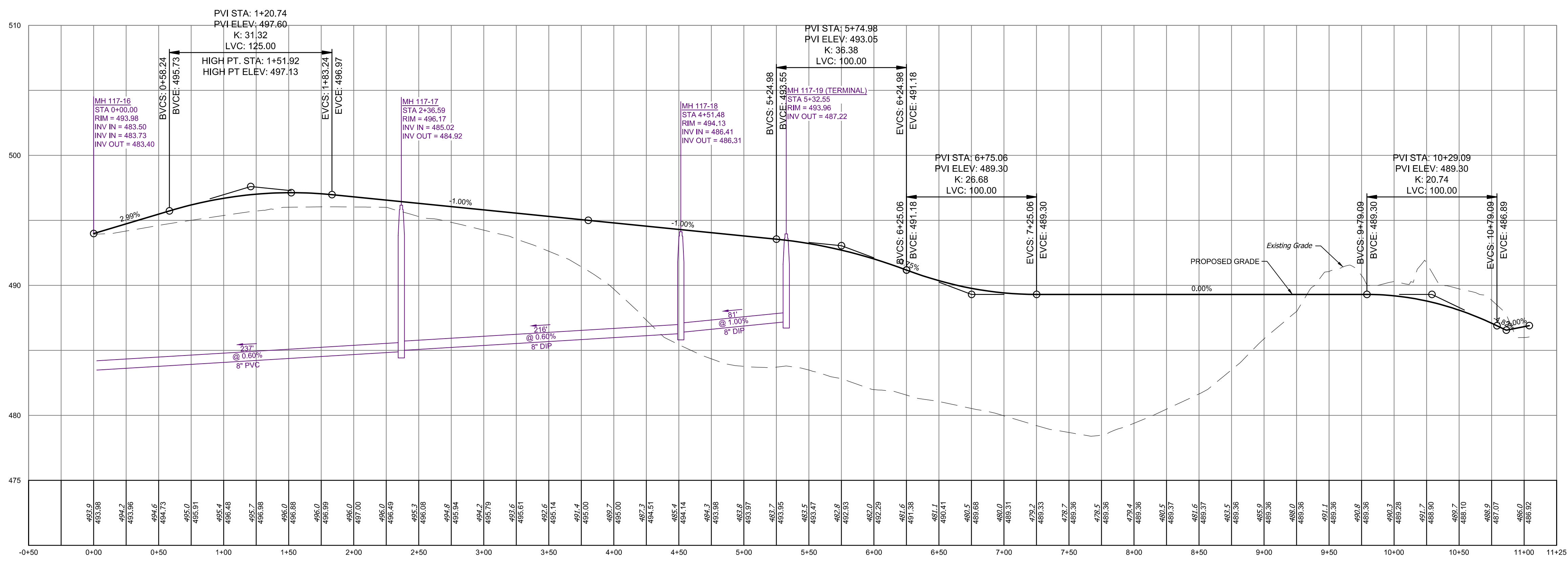
**R. J. FISHER & ASSOCIATES, INC.**  
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**PLAN & PROFILE OF ELIZABETH COURT & NORTH WALLACE COURT**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA



Plan View of Hollis Court Sta: -0+50.00 - 11+25.00  
Scale: 1" = 50'



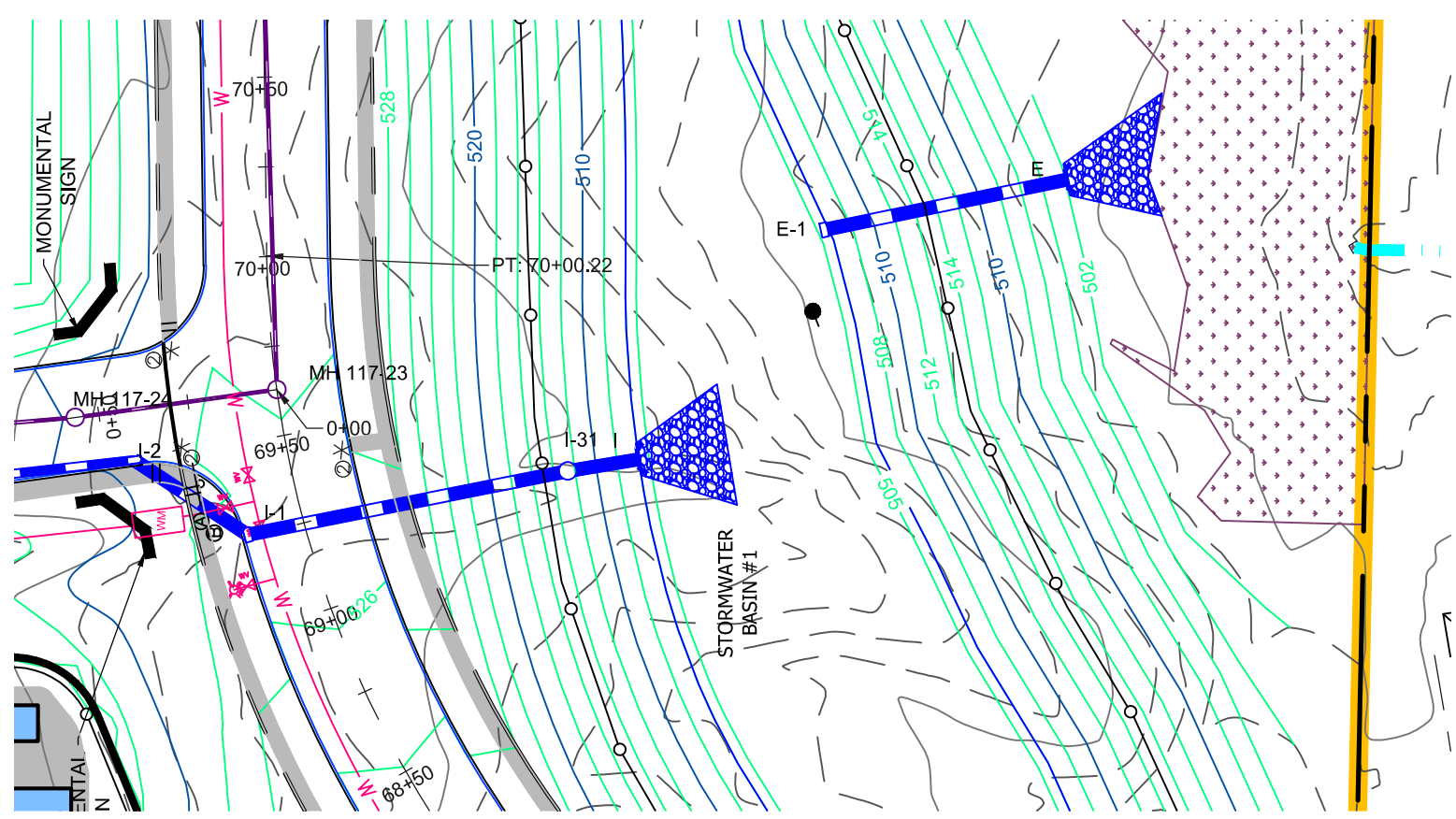
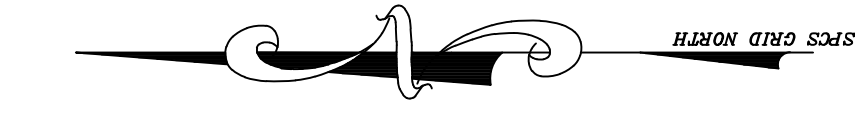
Profile View of Hollis Court Sta: -0+50.00 - 11+25.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

No.	REVISION	COMMENTS	DATE
1	TOWNSHIP		09/19/23
2			
3			
4			

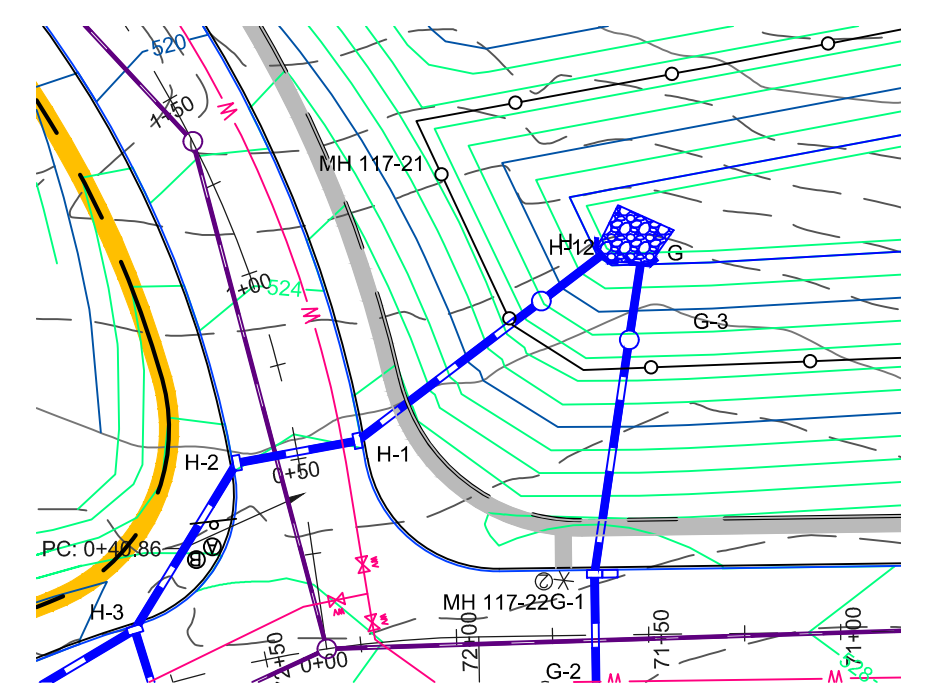
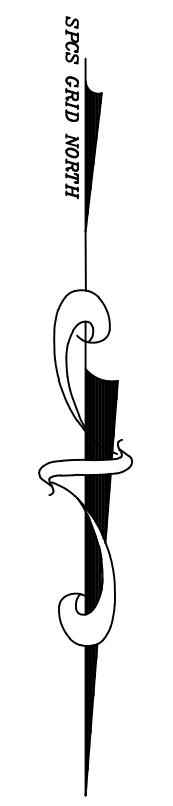


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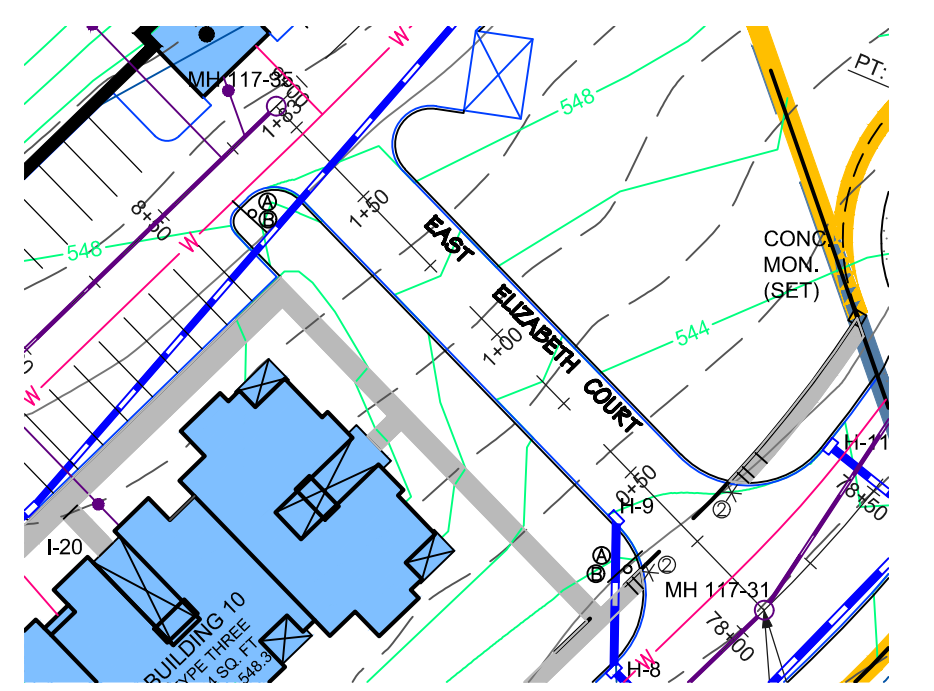
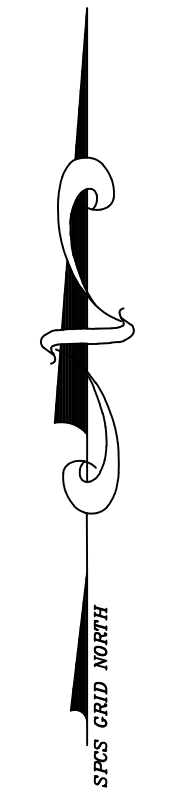
**PLAN & PROFILE OF  
 HOLLIS COURT**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN  
 APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA



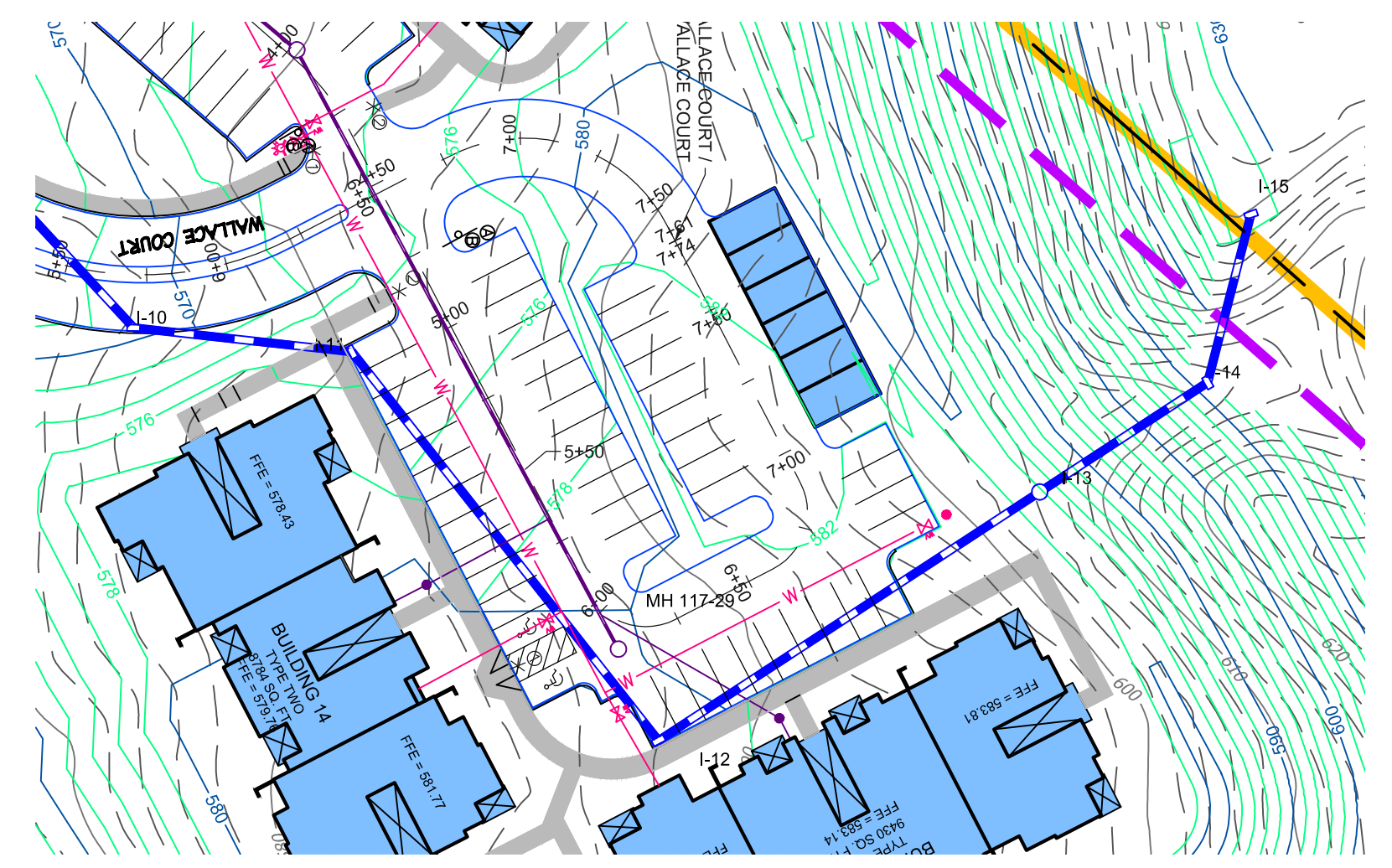
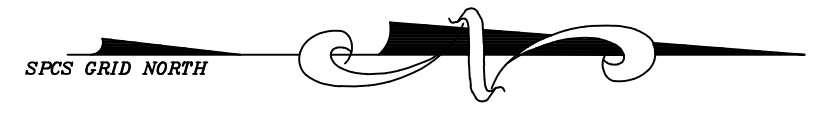
Plan View of I-1 to I Sta: -0+50.00 - 2+00.00  
Scale: 1" = 50'



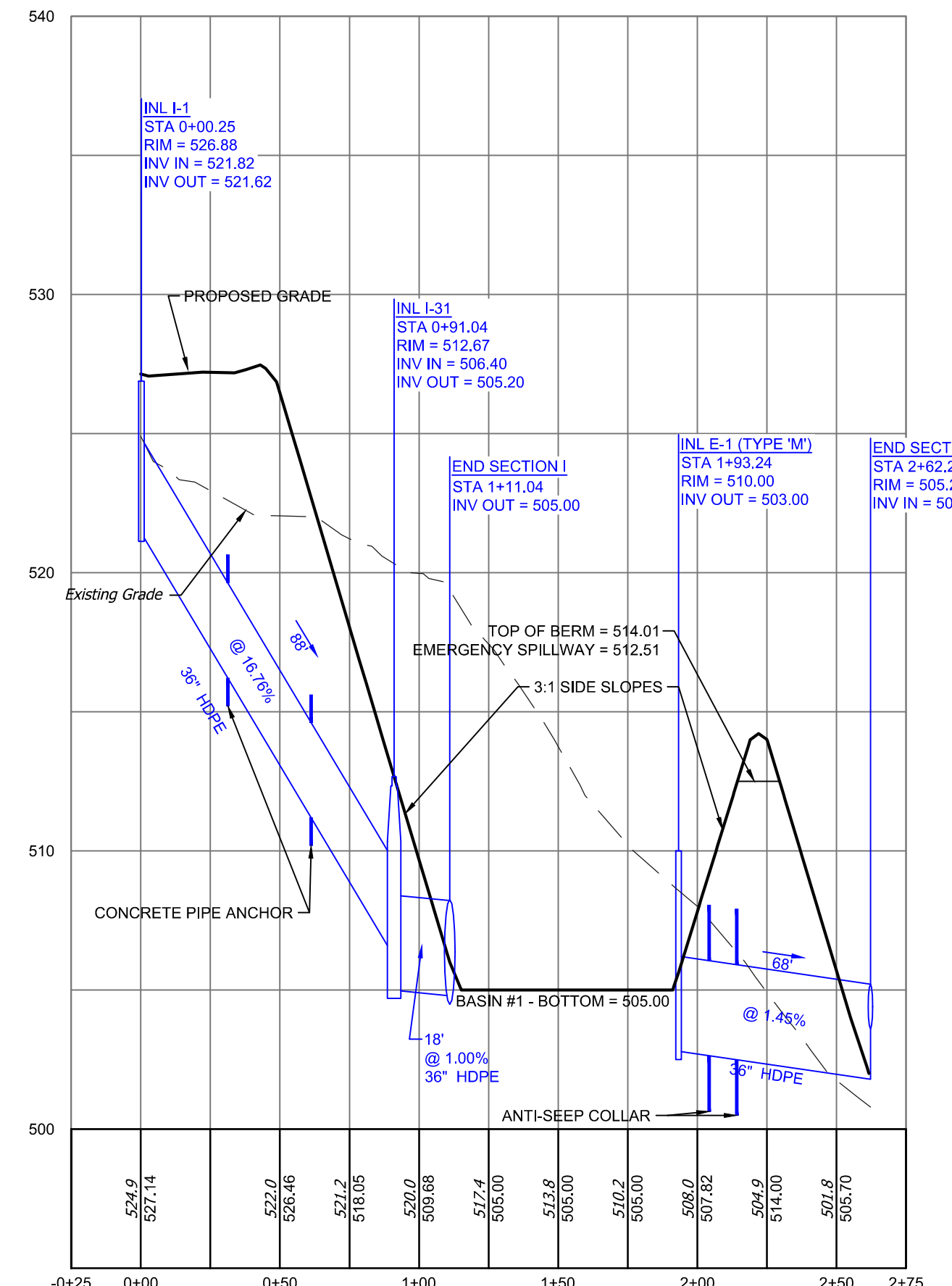
Plan View of H-1 to H Sta: -0+50.00 - 1+50.00  
Scale: 1" = 50'



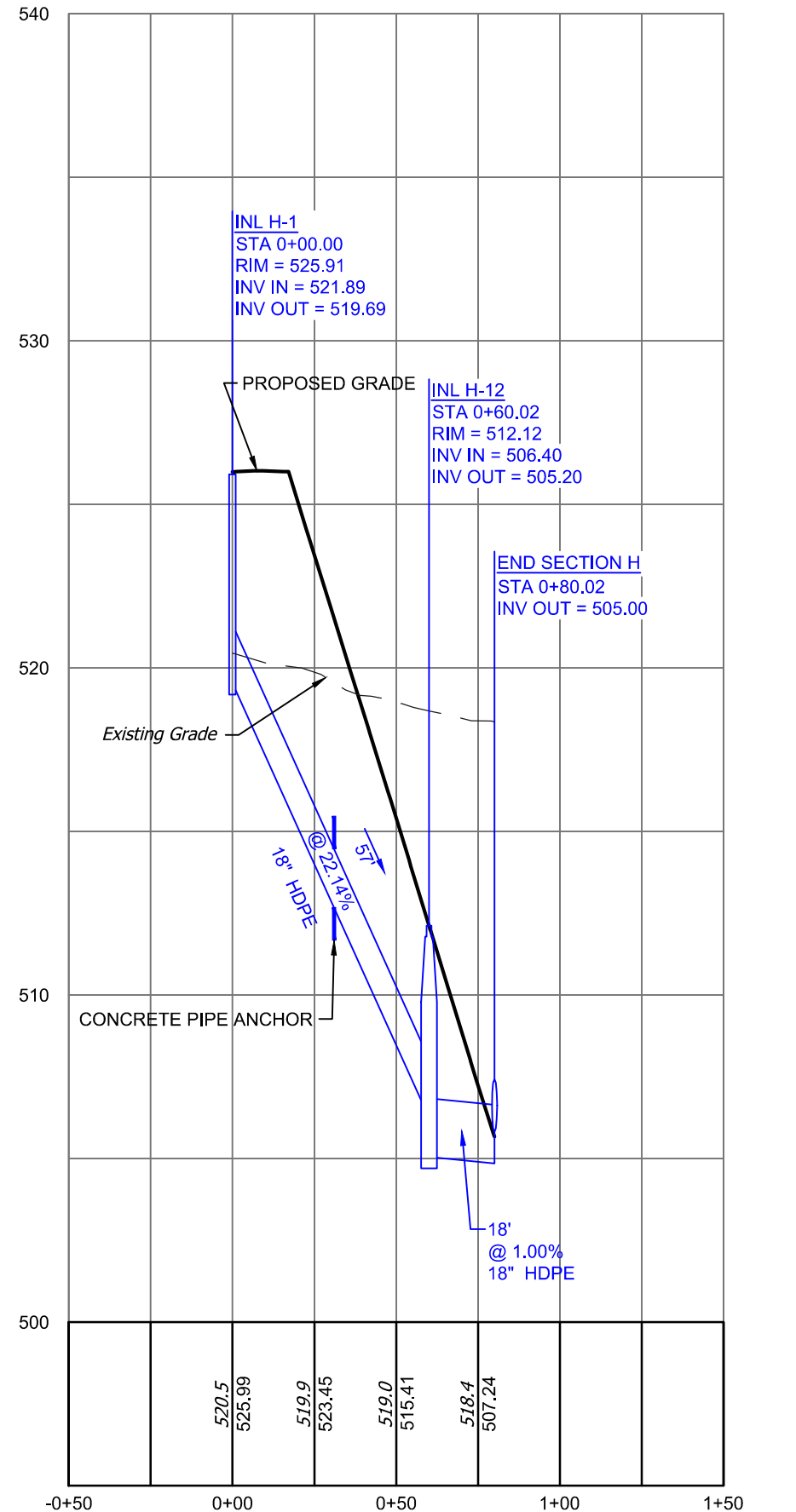
Plan View of East Elizabeth Court Sta: 0+00.00 - 2+00.00  
Scale: 1" = 50'



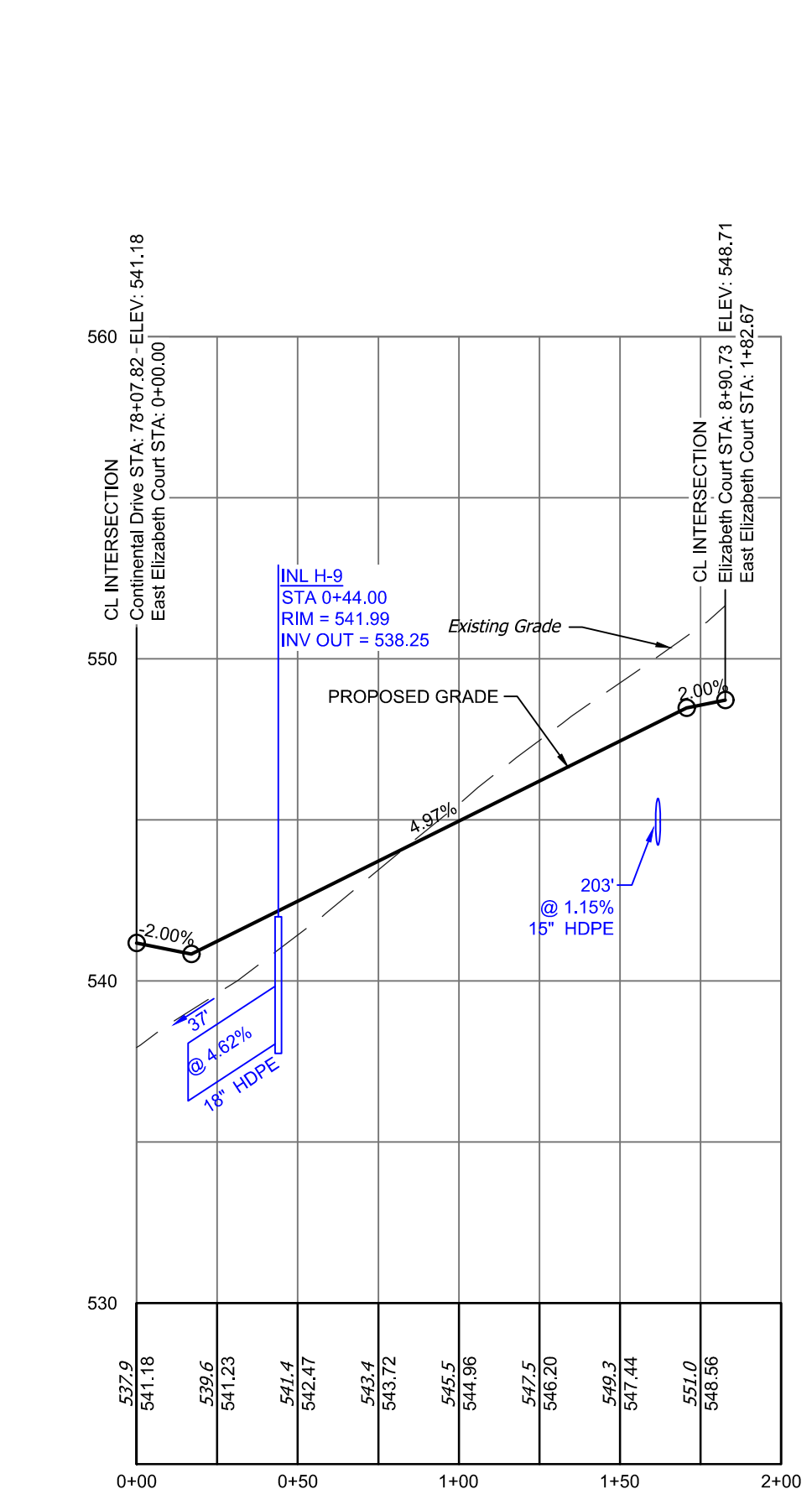
Plan View of I-15 to I-11 Sta: 0+00.00 - 4+25.00  
Scale: 1" = 50'



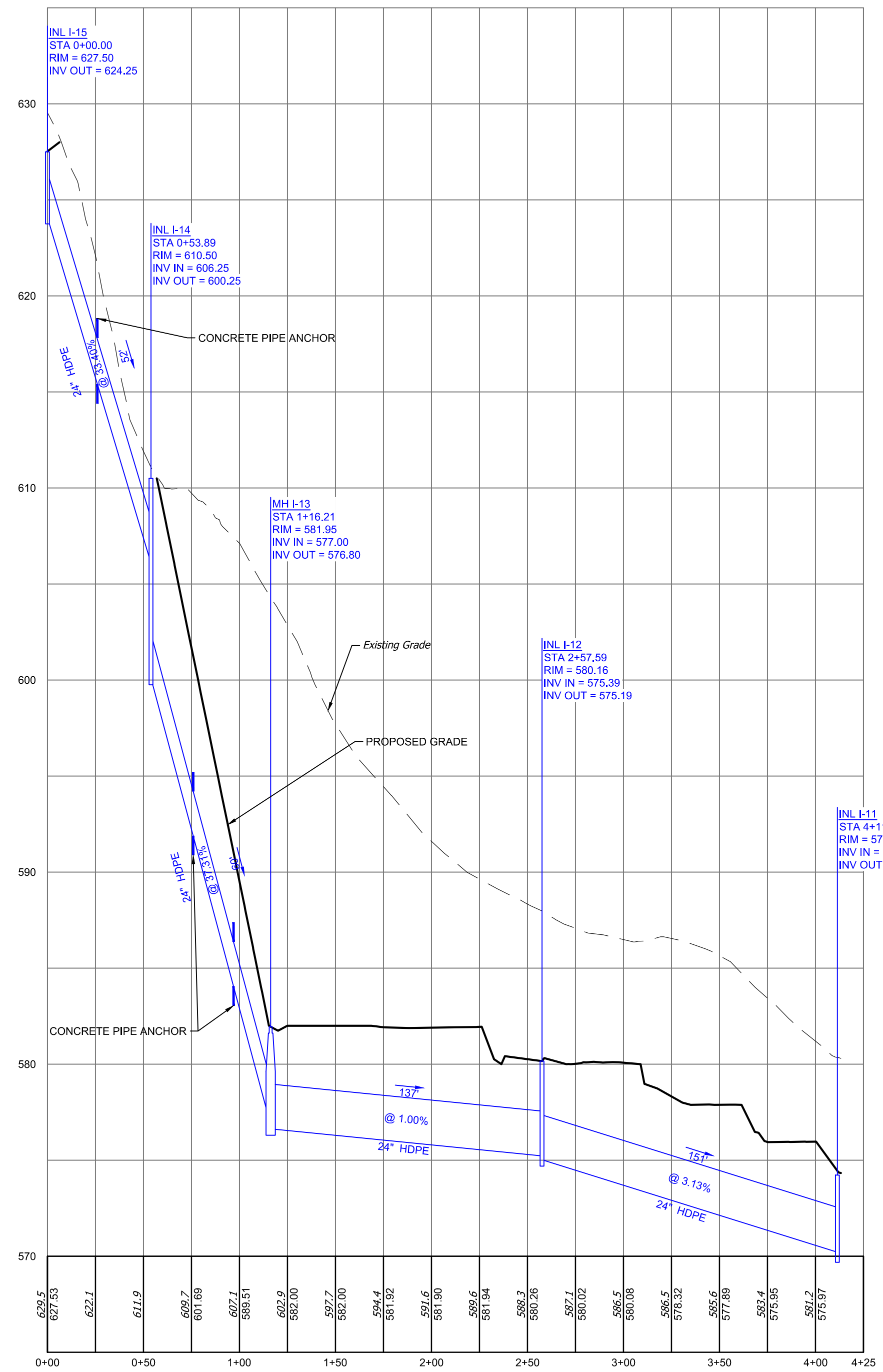
Profile View of I-1 to I Sta: -0+25.00 - 2+75.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Profile View of H-1 to H Sta: -0+50.00 - 1+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Profile View of East Elizabeth Court Sta: 0+00.00 - 2+00.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



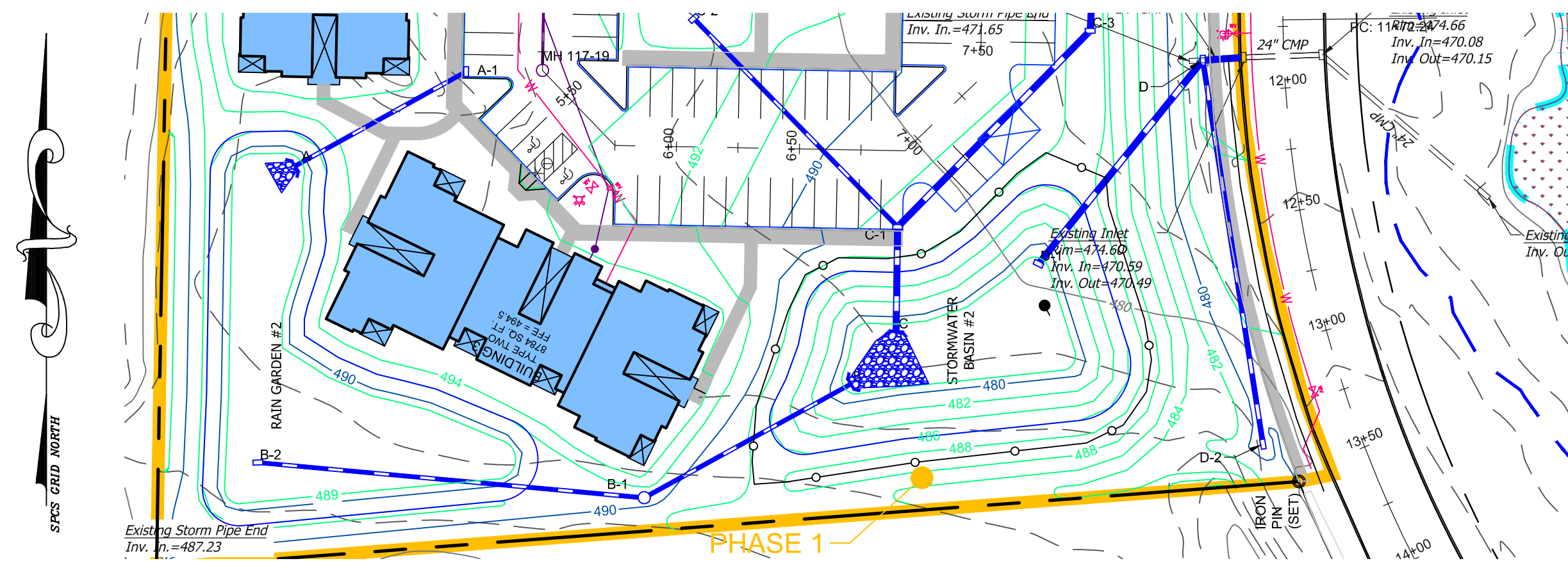
Profile View of I-15 to I-11 Sta: 0+00.00 - 4+25.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
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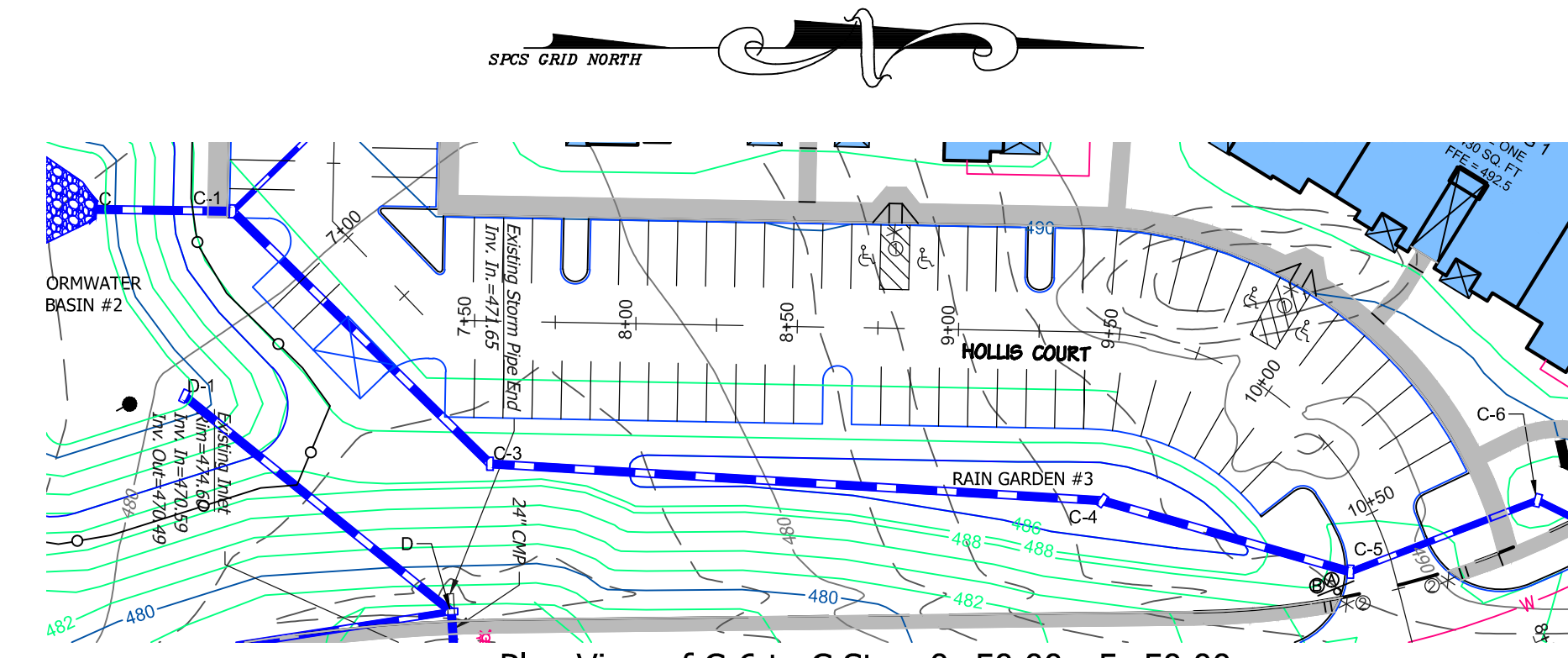
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 PHONE: (717) 774-7534 FAX: (717) 774-7190  
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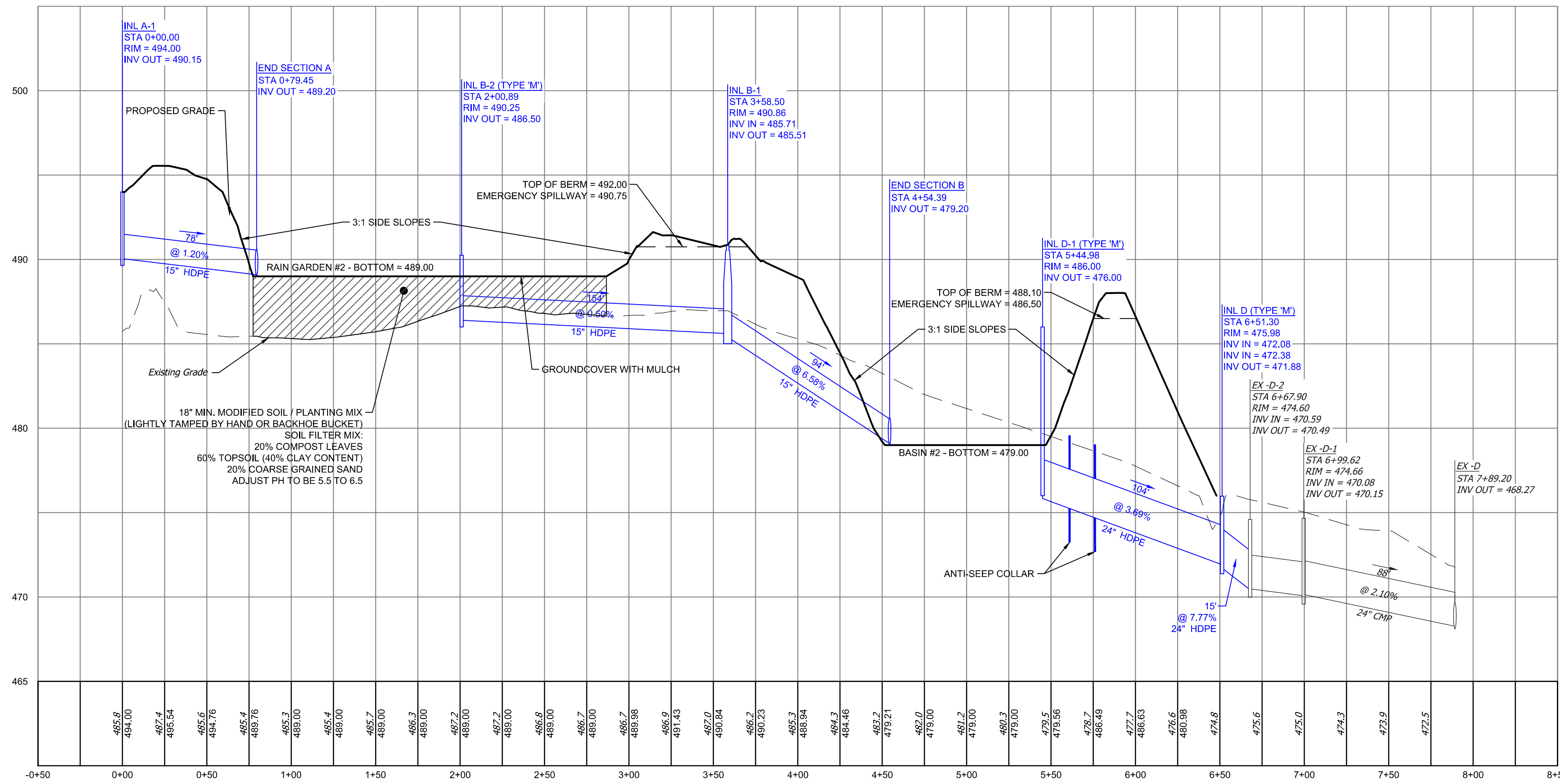
**PLAN & PROFILE OF MISC. STORM SEWERS & E. ELIZABETH CT**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA



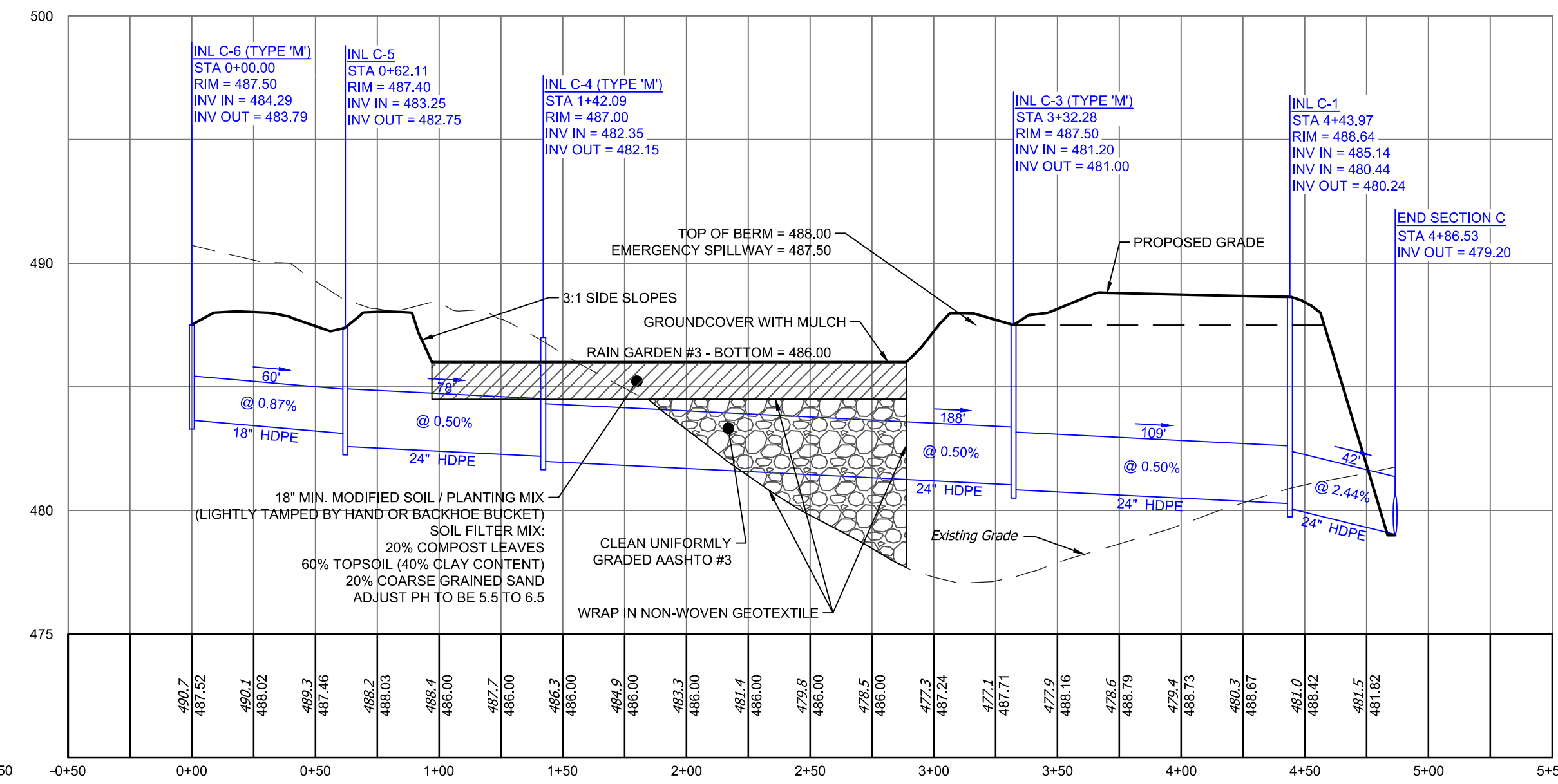
Plan View of A-1 to A, B-2 to B, and D-1 to Existing D Sta: -0+50.00 - 8+50.00  
Scale: 1" = 50'



Plan View of C-6 to C Sta: -0+50.00 - 5+50.00  
Scale: 1" = 50'



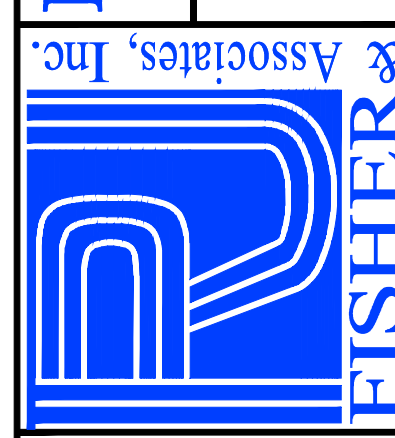
Profile View of A-1 to A & B-2 to B & D-1 to EX-D Sta: -0+50.00 - 8+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



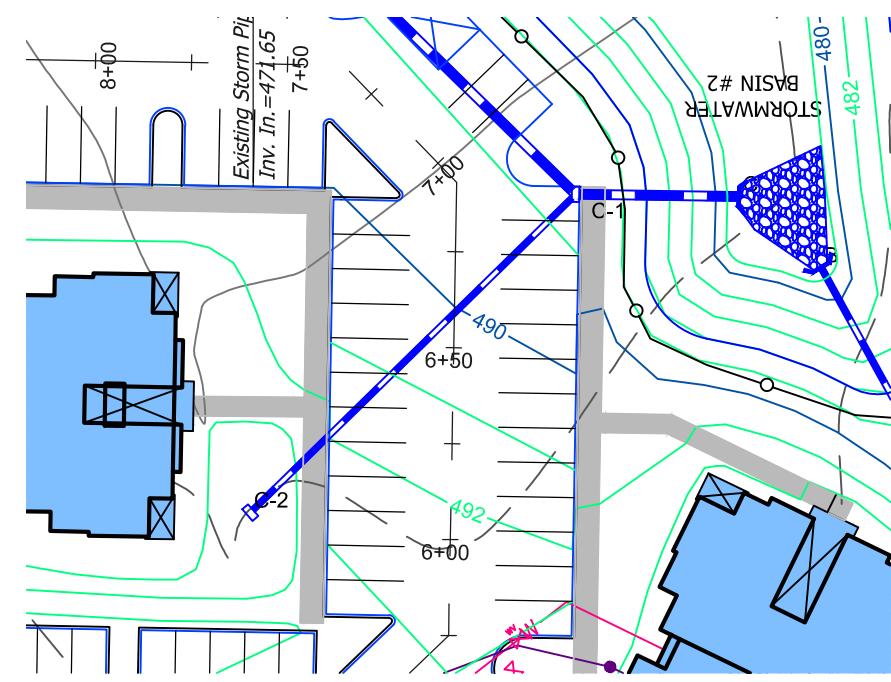
Profile View of C-6 to C Sta: -0+50.00 - 5+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

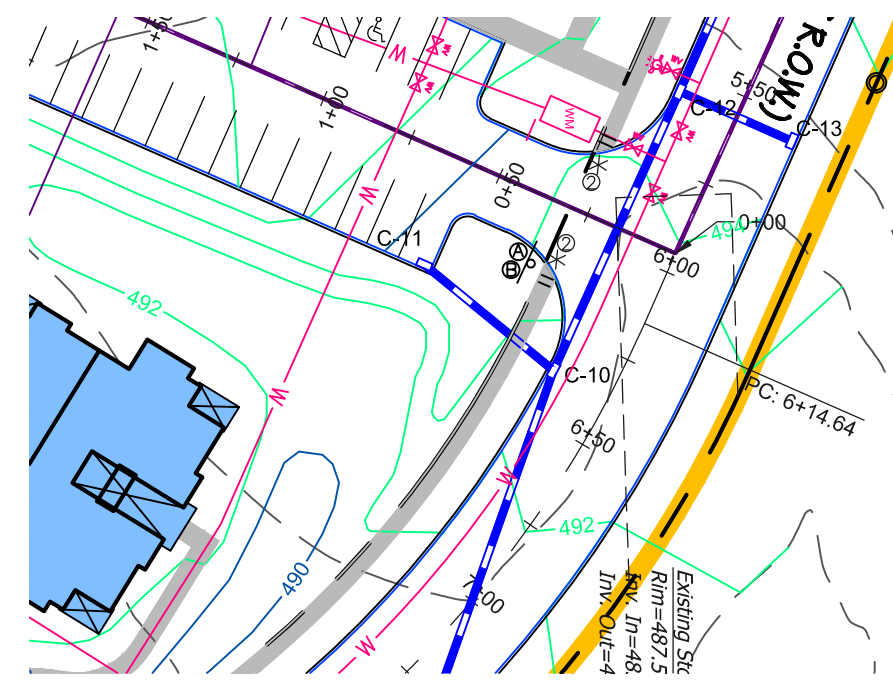
**R. J. FISHER & ASSOCIATES, INC.**  
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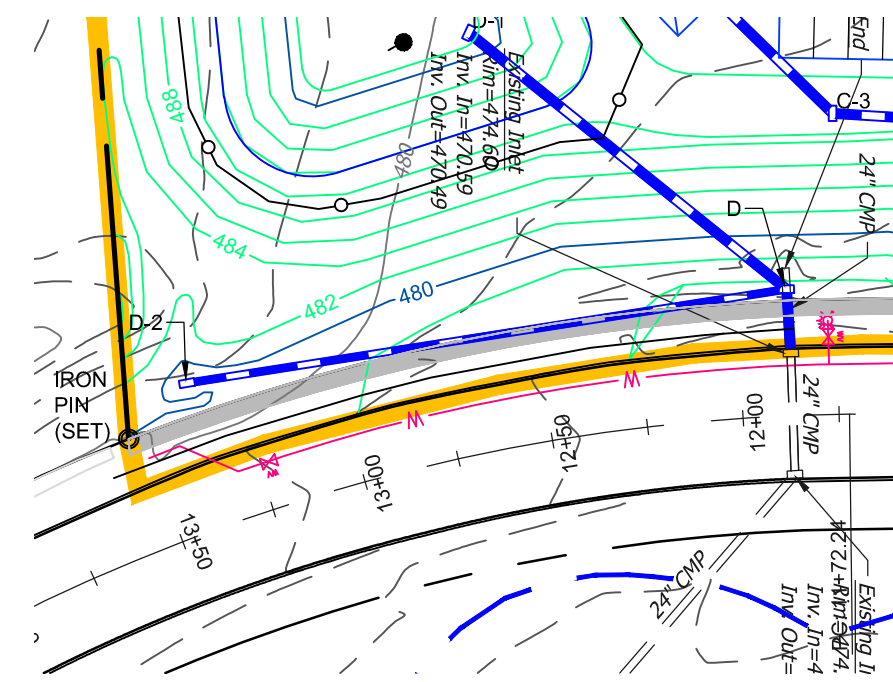
**PLAN & PROFILE OF MISC. STORM SEWERS FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA



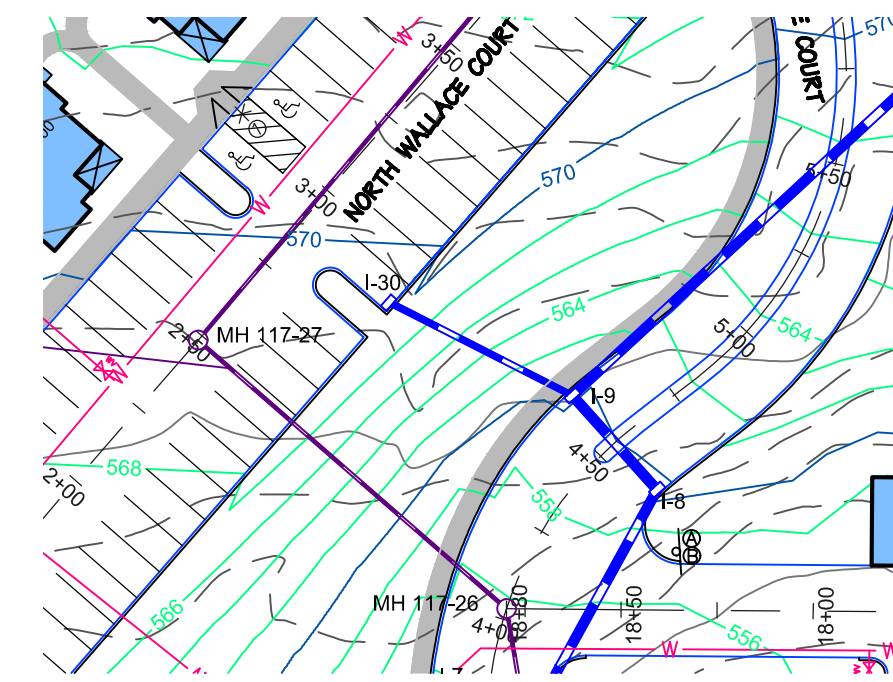
Plan View of C-2 to C Sta: -0+50.00 - 2+50.00  
Scale: 1" = 50'



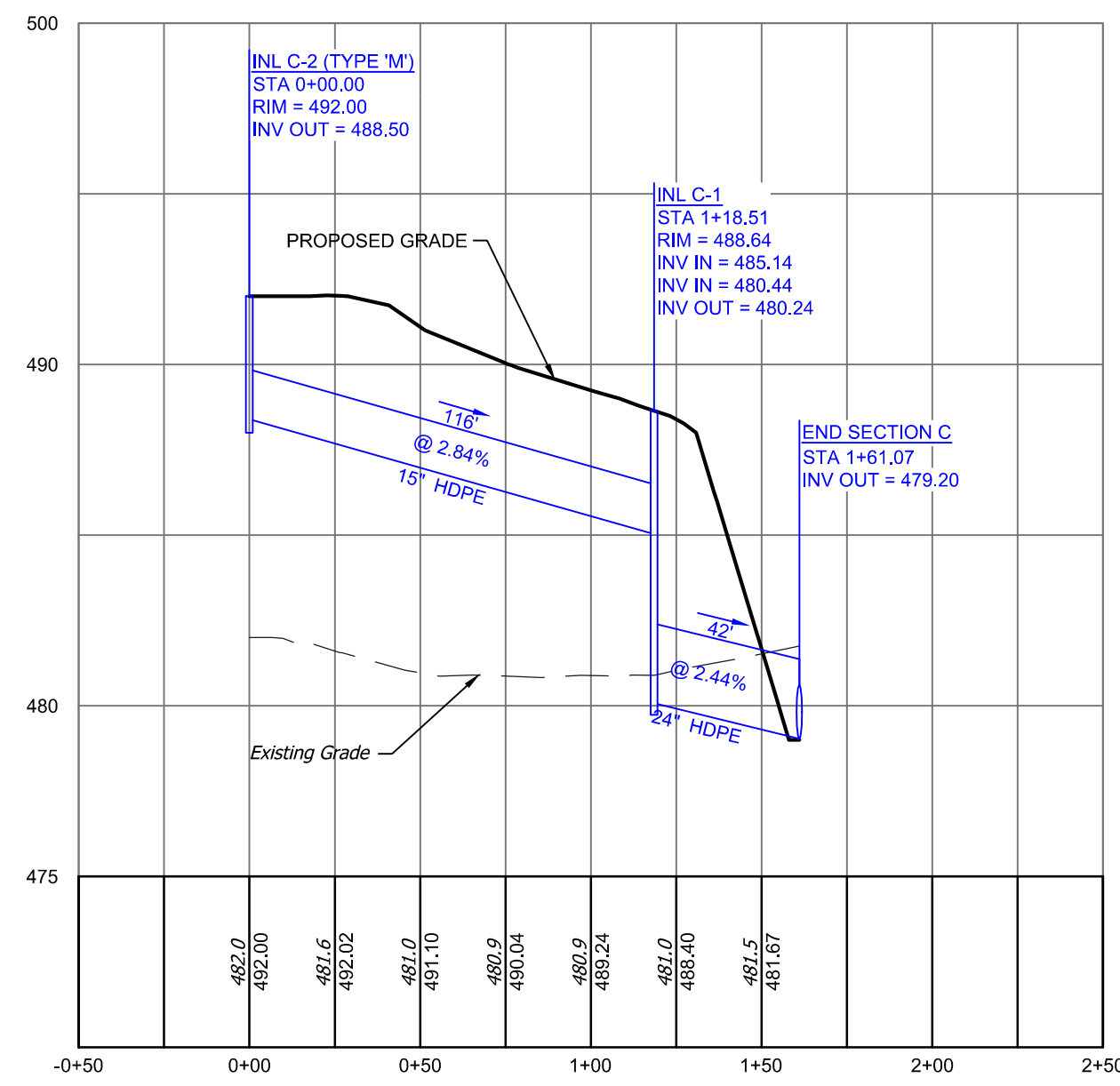
Plan View of C-11 to C-10 Sta: -0+50.00 - 1+00.00  
Scale: 1" = 50'



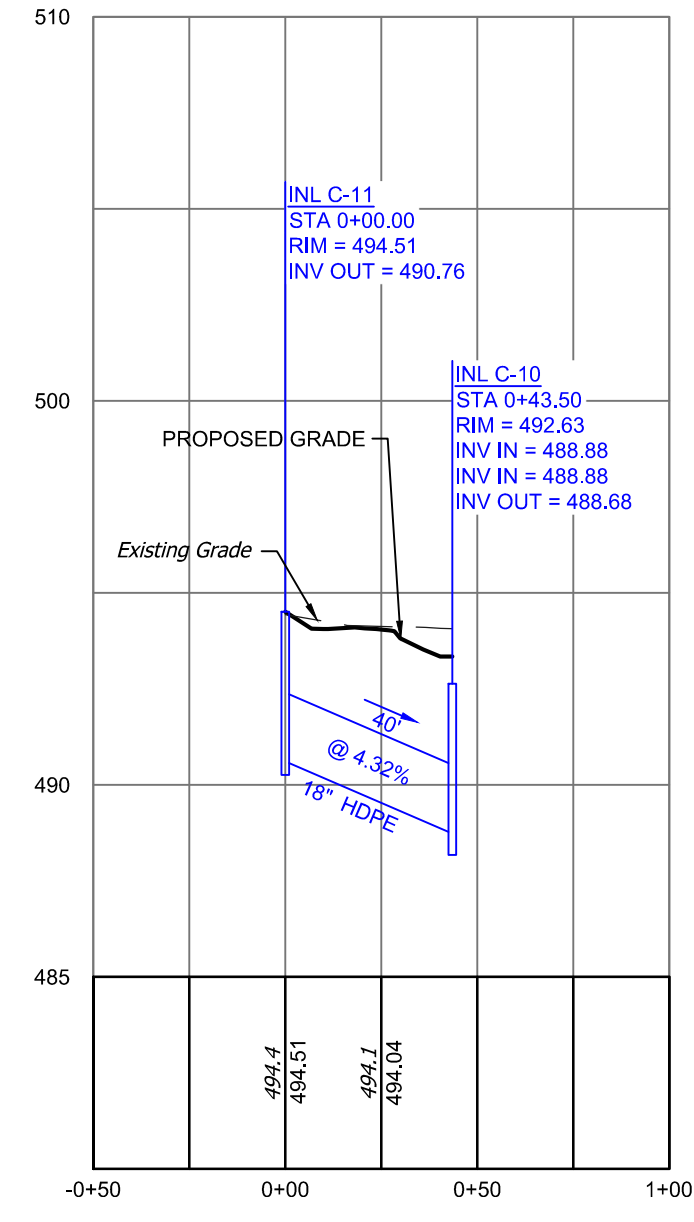
Plan View of D-2 to D Sta: -0+50.00 - 2+50.00  
Scale: 1" = 50'



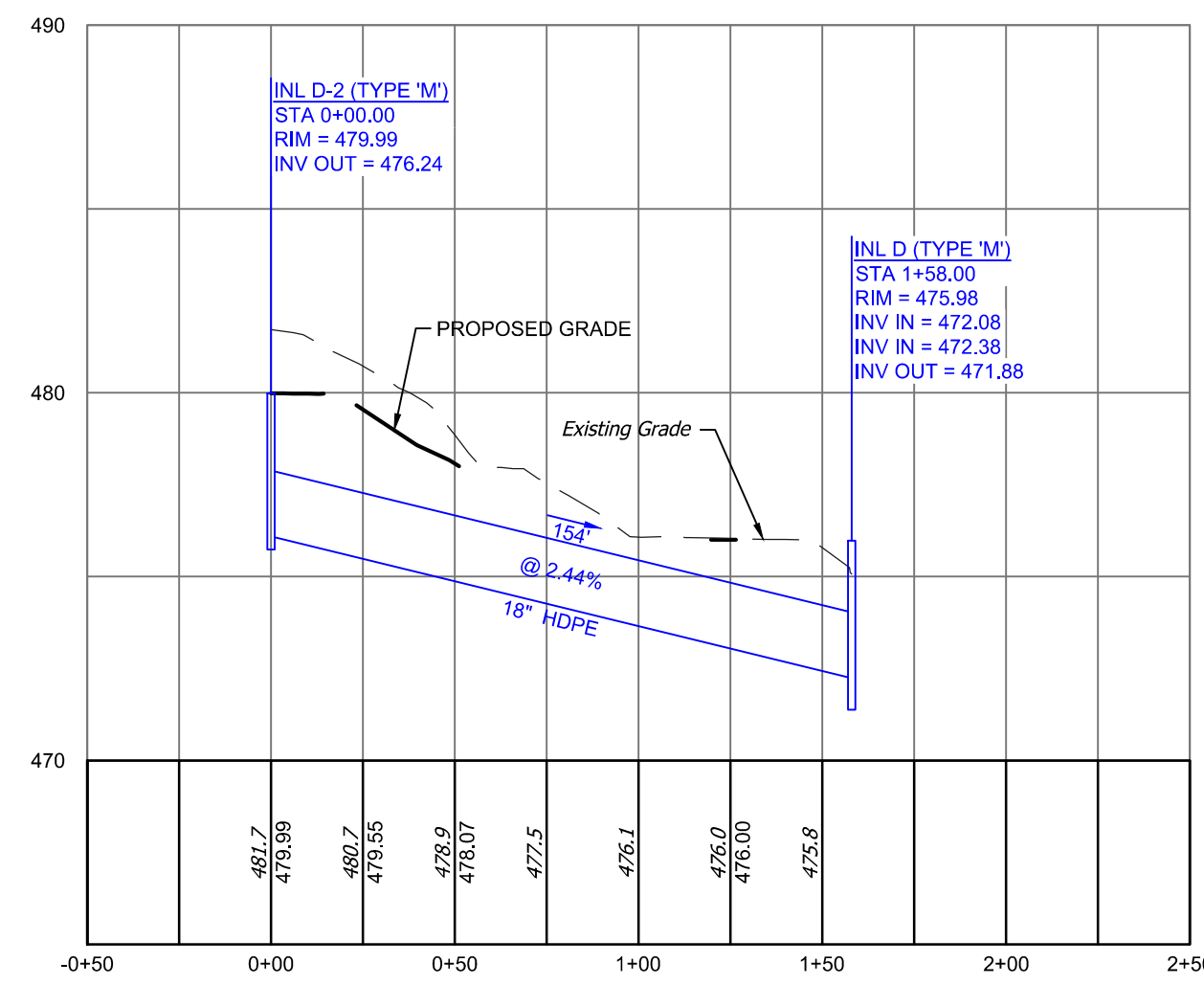
Plan View of I-30 through I-9 Sta: -0+50.00 - 1+50.00  
Scale: 1" = 50'



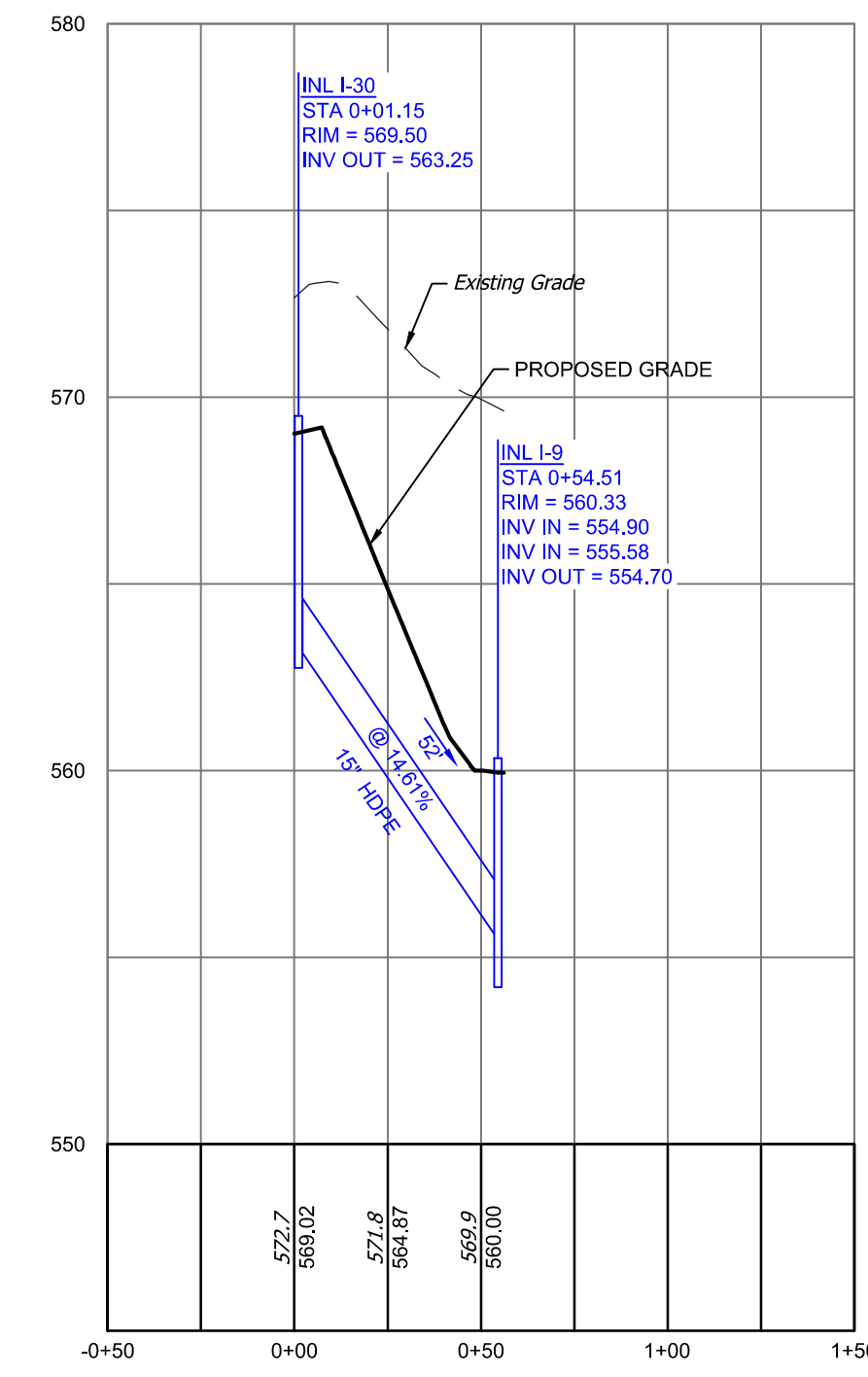
Profile View of C-2 to C Sta: -0+50.00 - 2+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Profile View of C-11 to C-10 Sta: -0+50.00 - 1+00.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Profile View of D-2 to D Sta: -0+50.00 - 2+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Profile View of I-30 to I-9 Sta: -0+50.00 - 1+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

PLAN & PROFILE OF MISC.  
STORM SEWERS

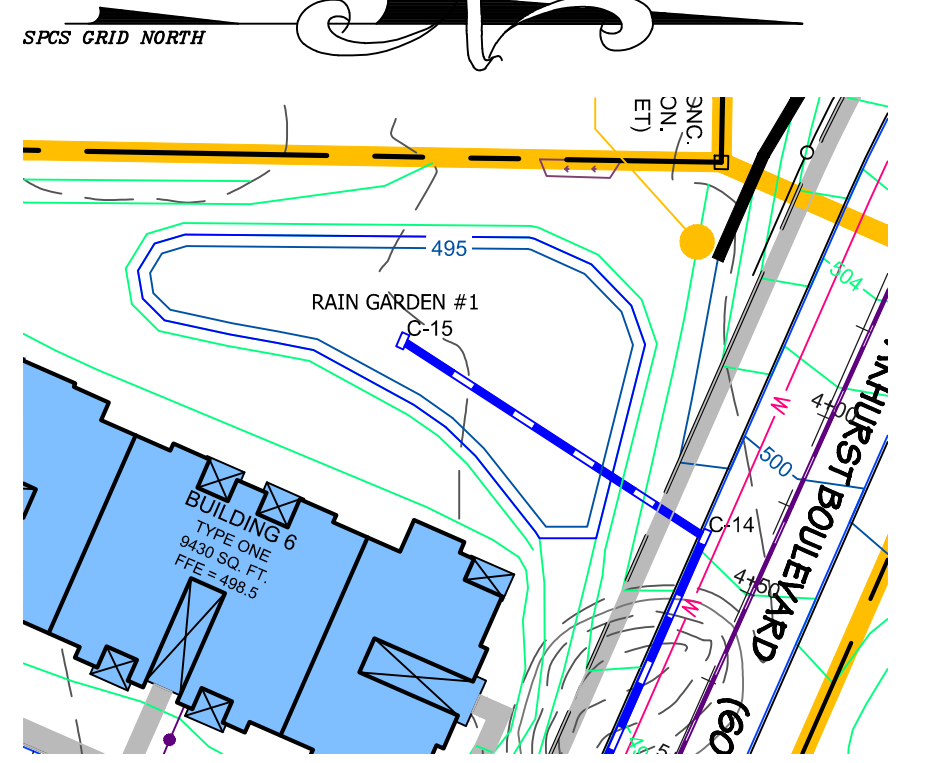
FOR  
PHASES 1 & 2 BLUE MOUNTAIN  
APARTMENTS

LOCATED IN  
SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

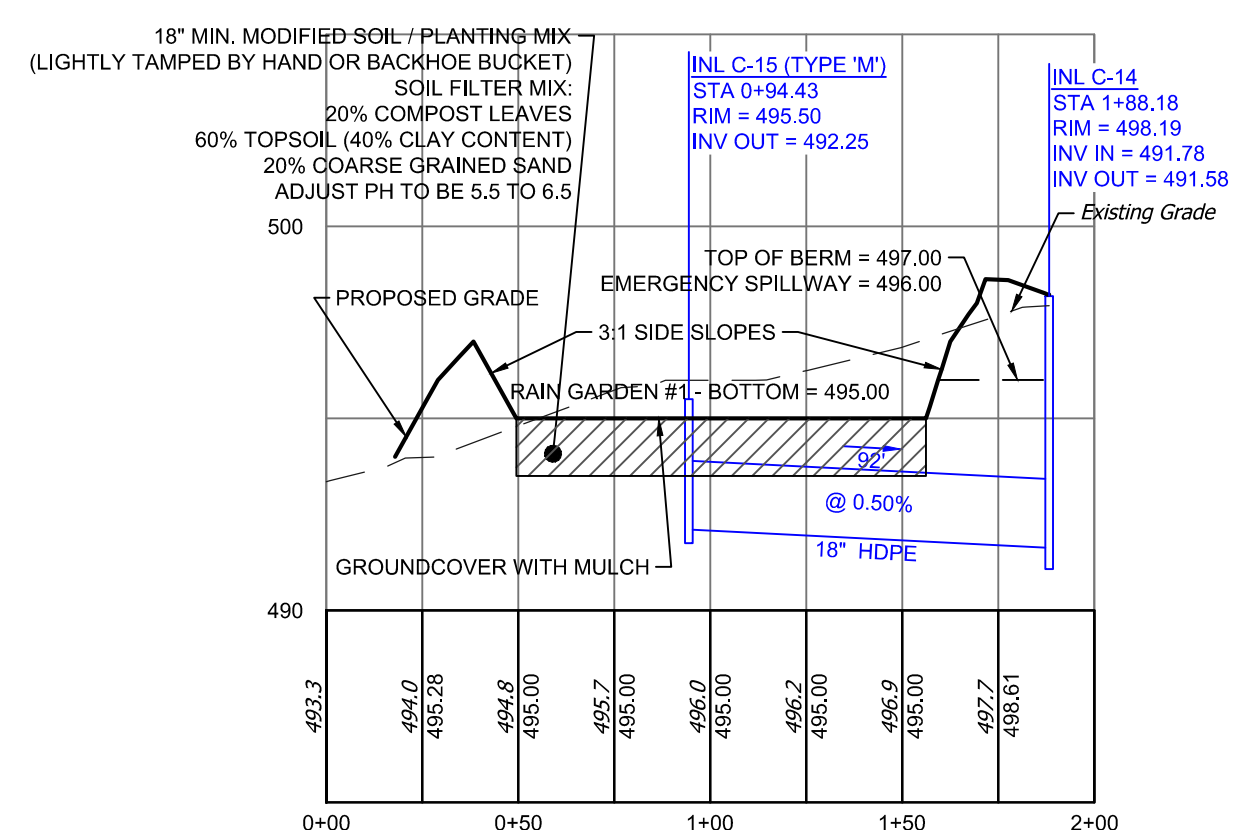


R. J. FISHER & ASSOCIATES, INC.  
CIVIL ENGINEERING & LAND SURVEYS  
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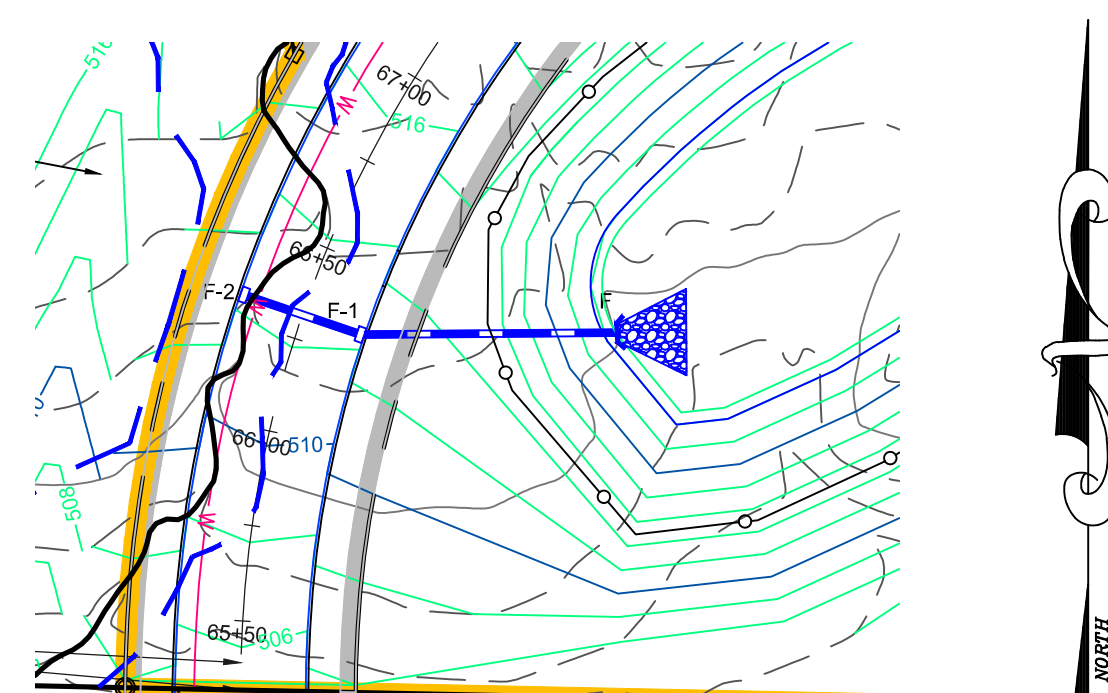
No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
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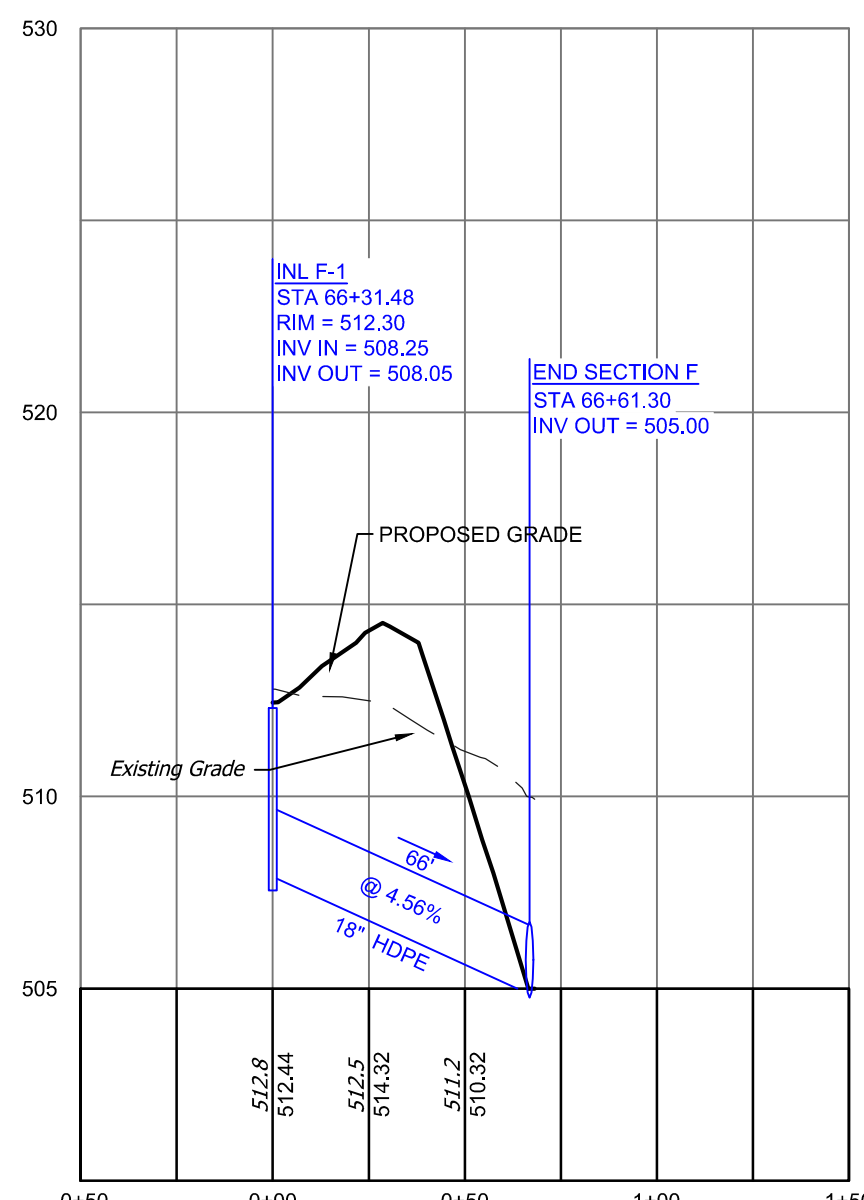
Plan View of C-14 to C-15 Sta: 0+00.00 - 2+00.00  
Scale: 1" = 50'



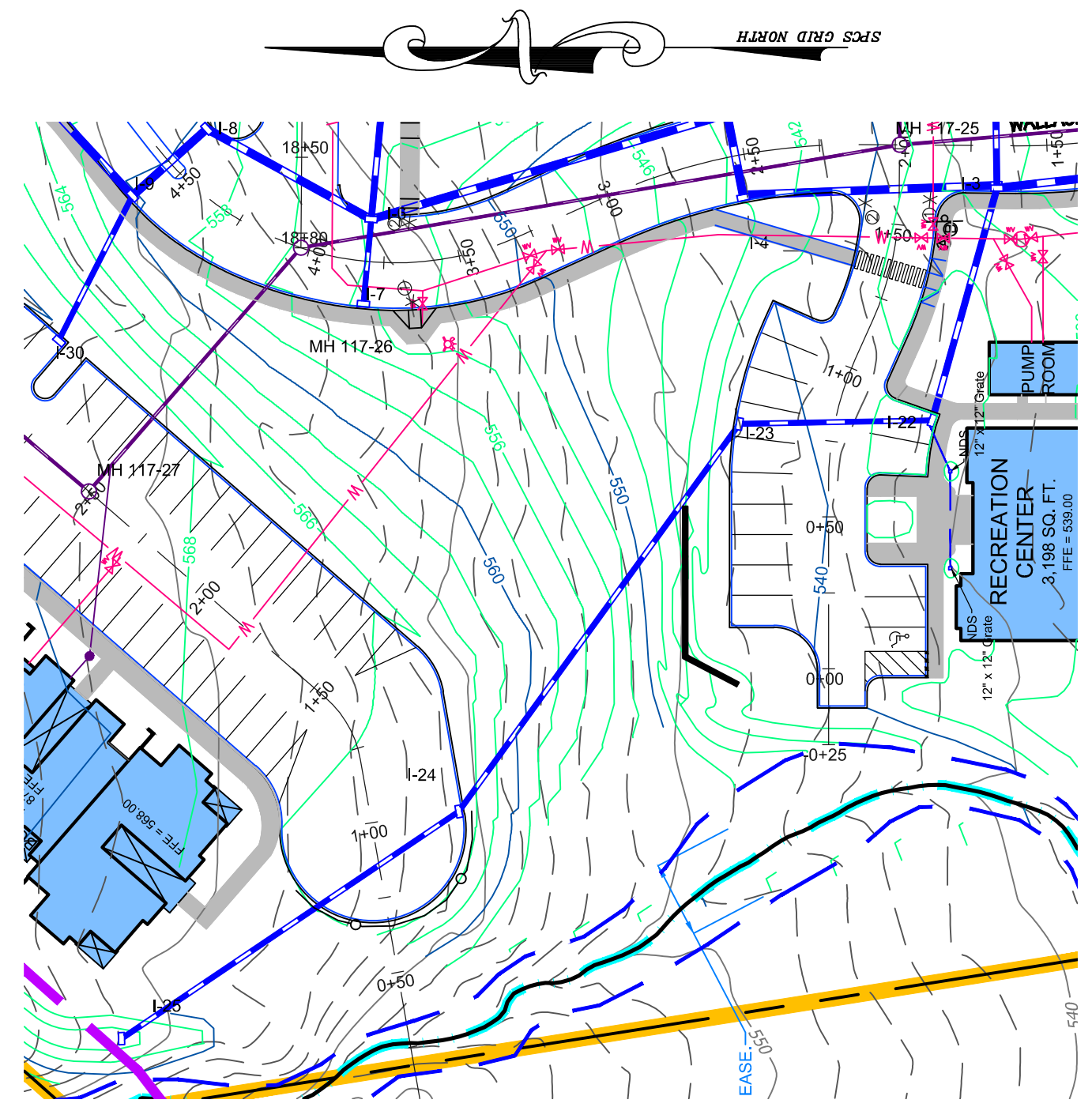
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Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



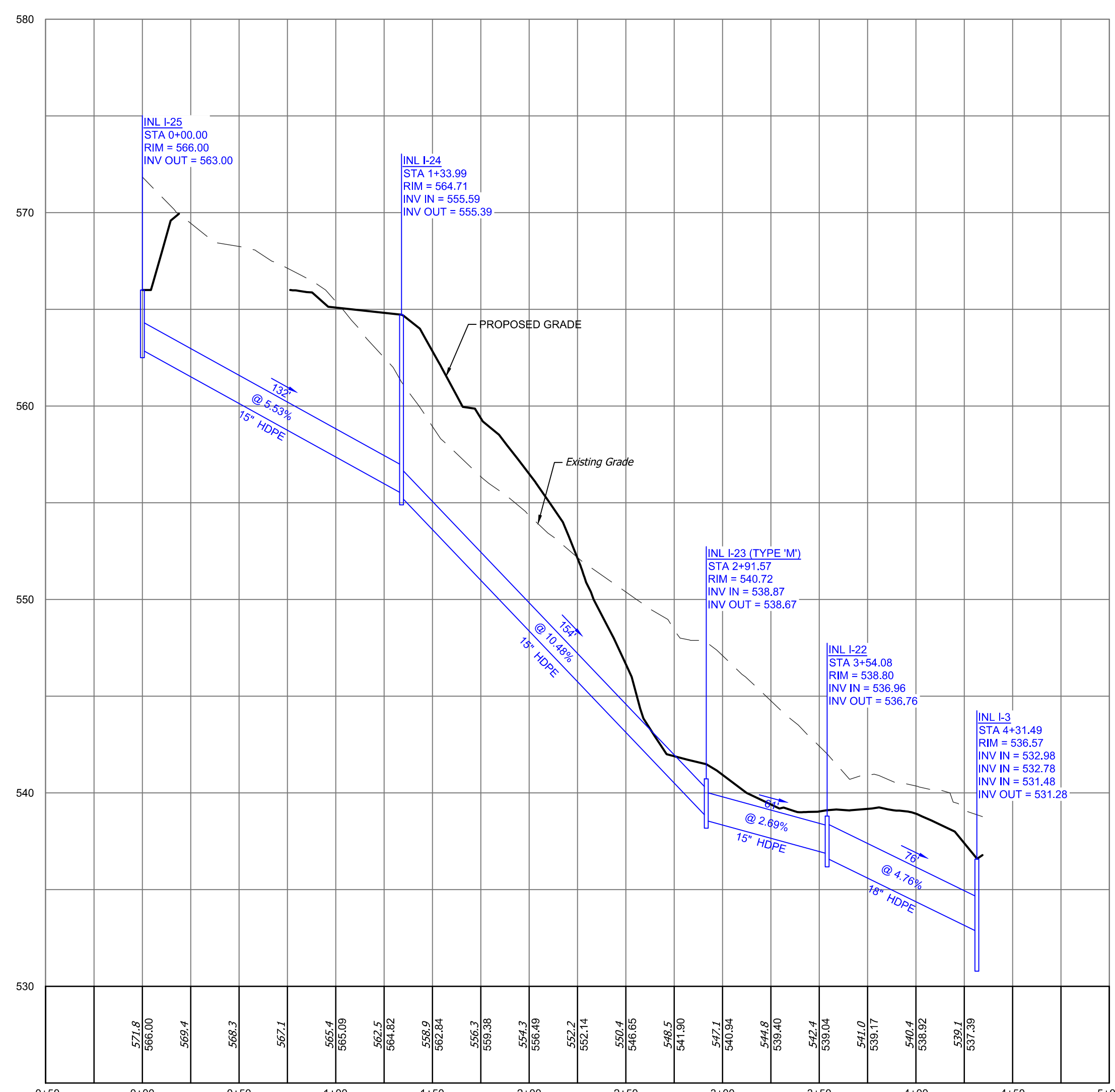
Plan View of F-1 to F Sta: -0+50.00 - 1+50.00  
Scale: 1" = 50'



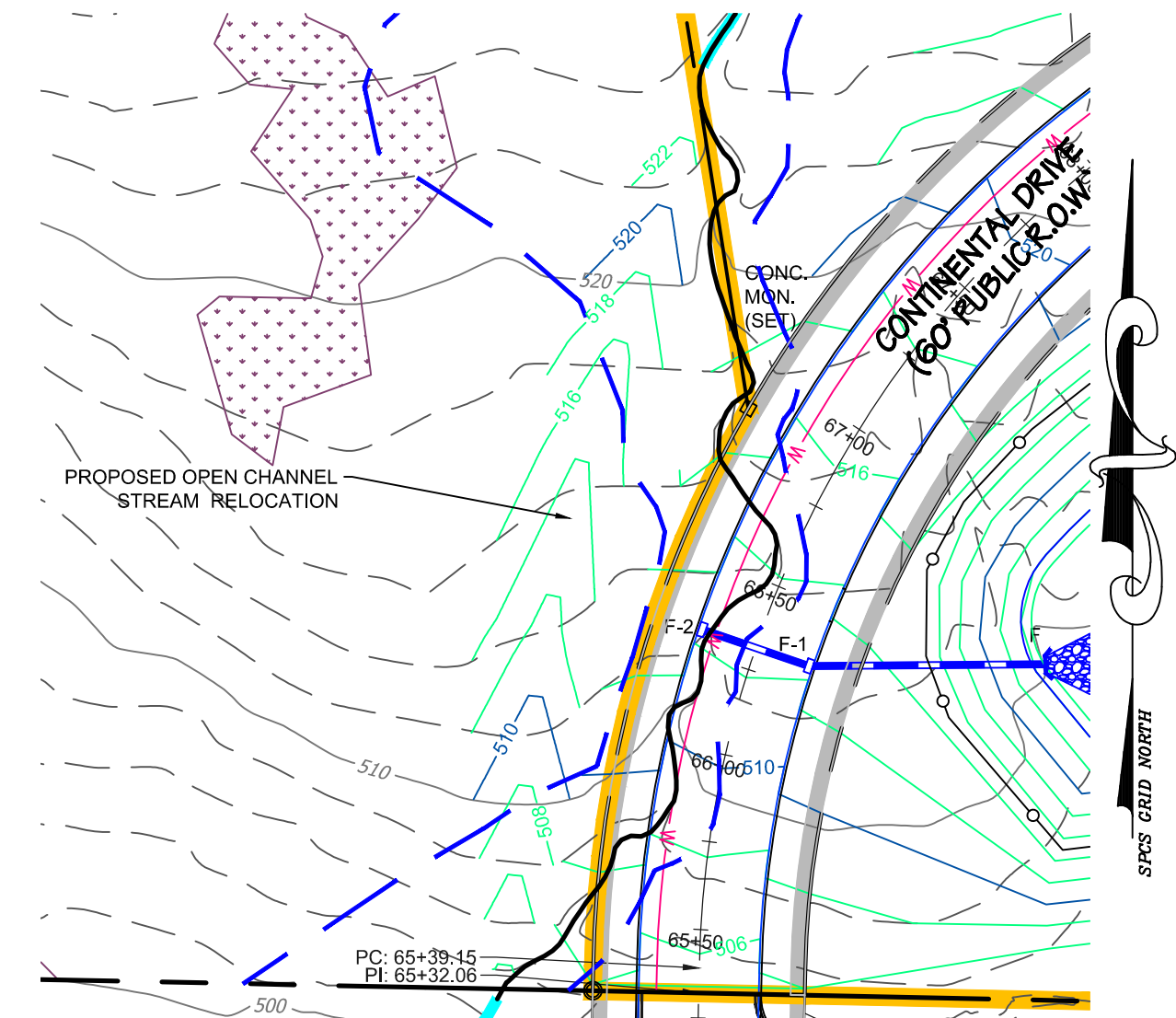
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Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Plan View of I-25 to I-3 Sta: -0+50.00 - 5+00.00  
Scale: 1" = 50'



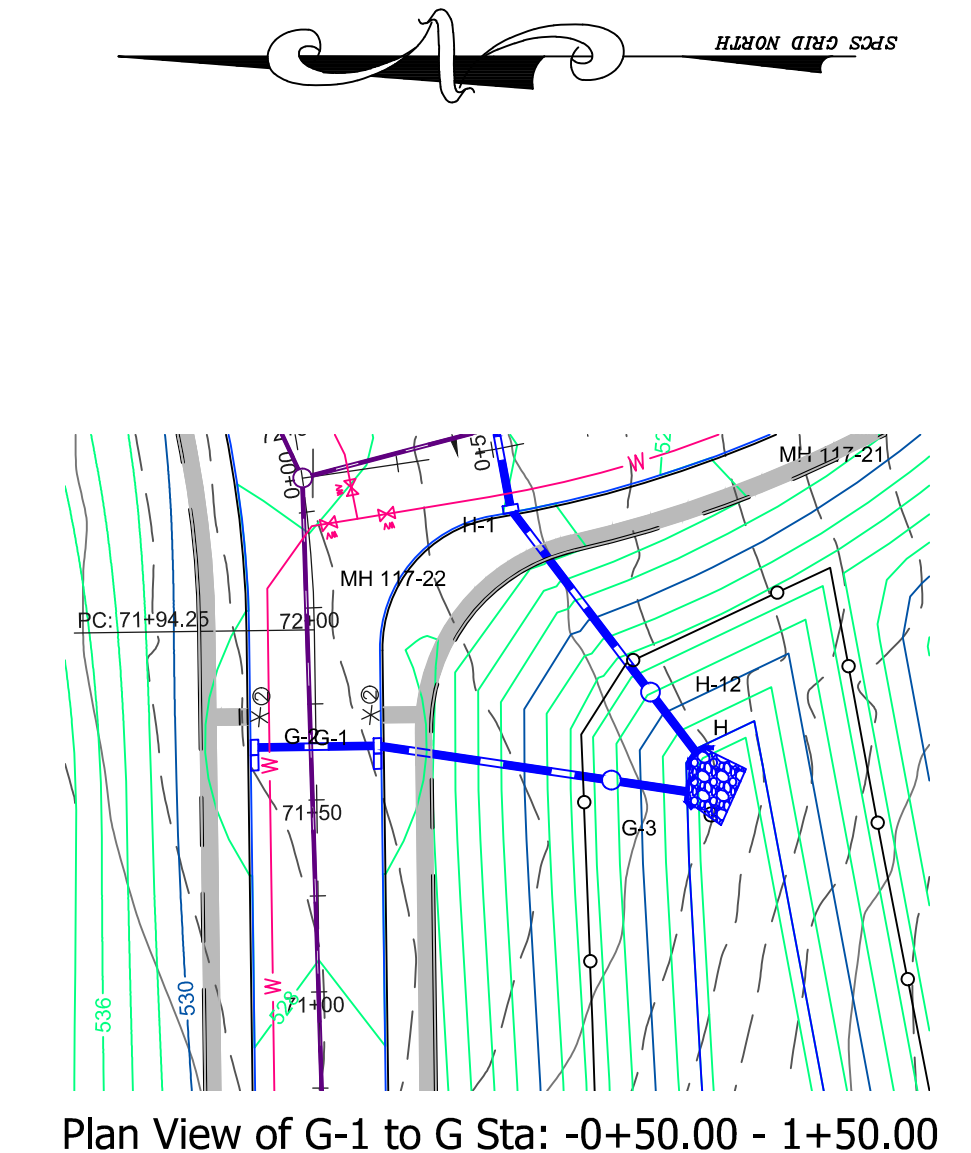
Profile View of I-25 to I-3 Sta: -0+50.00 - 5+00.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



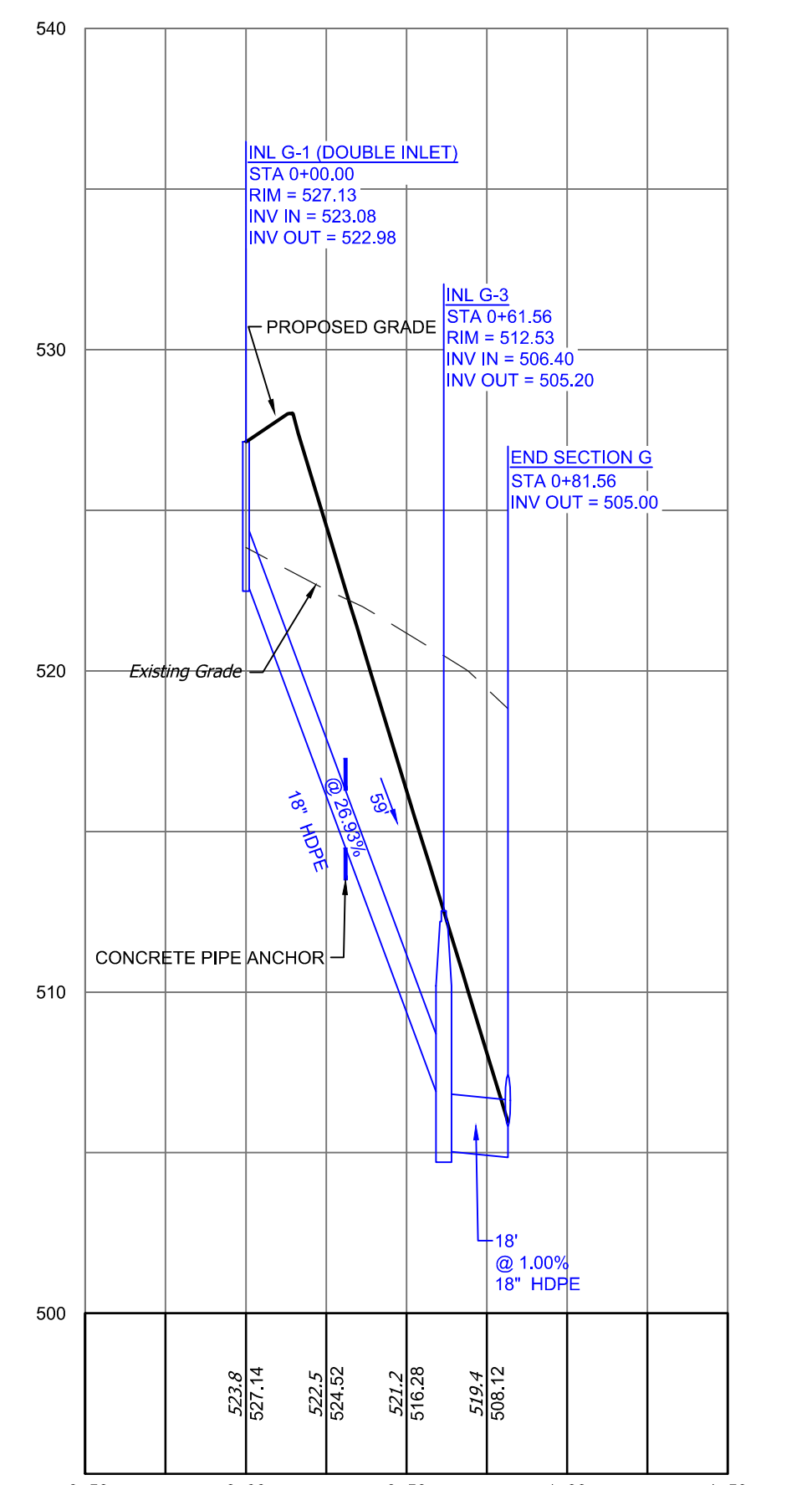
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Scale: 1" = 50'



Profile View of Stream Relocation Sta: 0+00.00 - 2+75.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'



Plan View of G-1 to G Sta: -0+50.00 - 1+50.00  
Scale: 1" = 50'



Profile View of G-1 to G Sta: -0+50.00 - 1+50.00  
Horizontal Scale: 1" = 50'  
Vertical Scale: 1" = 5'

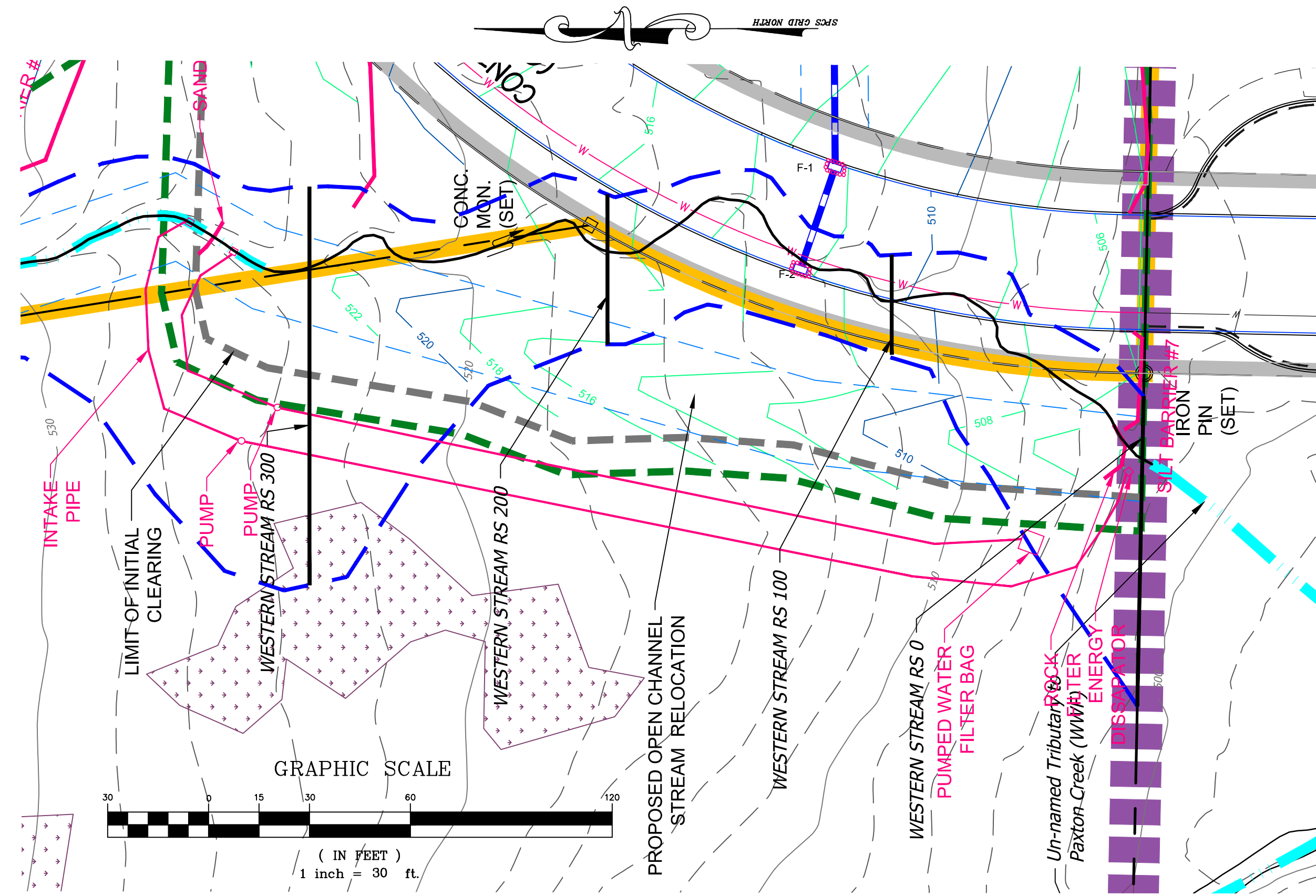
No.	REVISION	COMMENTS	DATE
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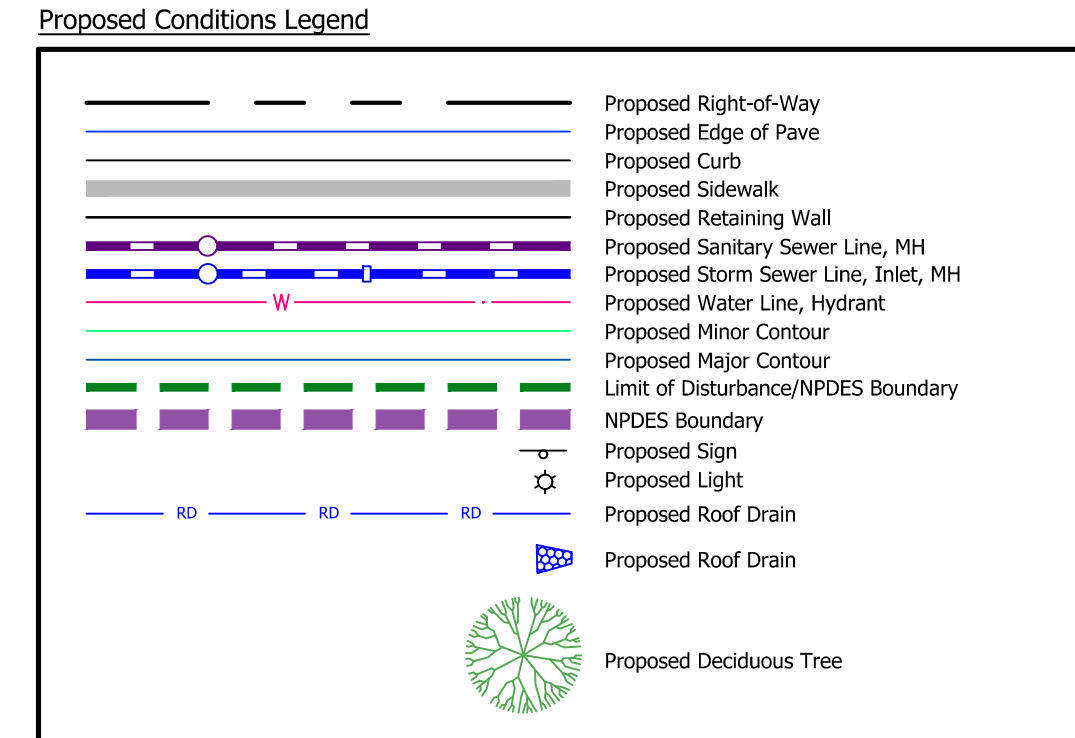
**PLAN & PROFILE OF MISC. STORM SEWERS**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-PR  
 DATE: 01/23/23  
 SHEET 38 OF 47



## STREAM RELOCATION

DRAINAGE AREA = 1,715,017 sf  
 STREAM SLOPE = 7.33%  
 100 YR. FLOOD DISCHARGE = 137.01 cfs



### GENERAL NOTES:

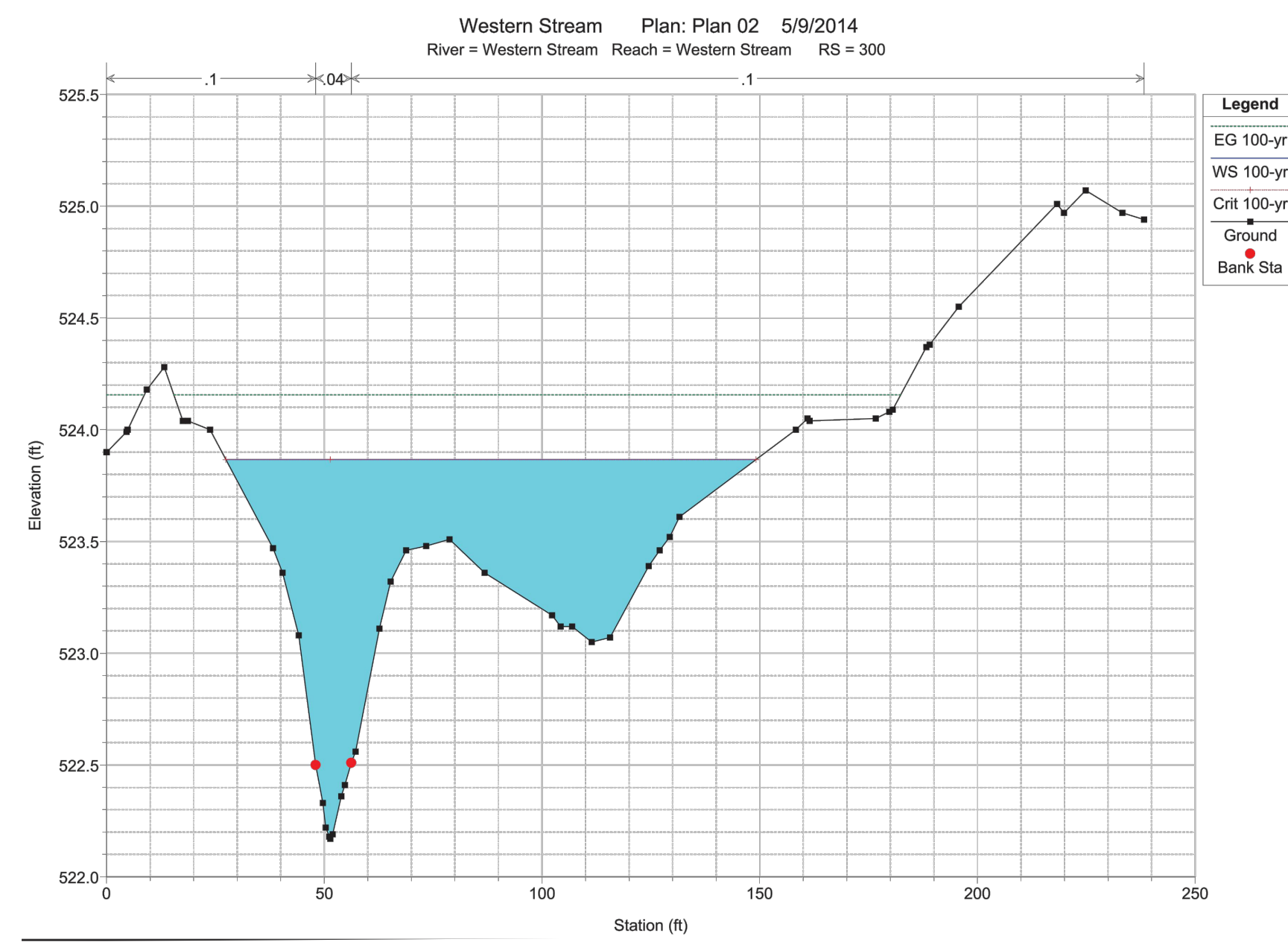
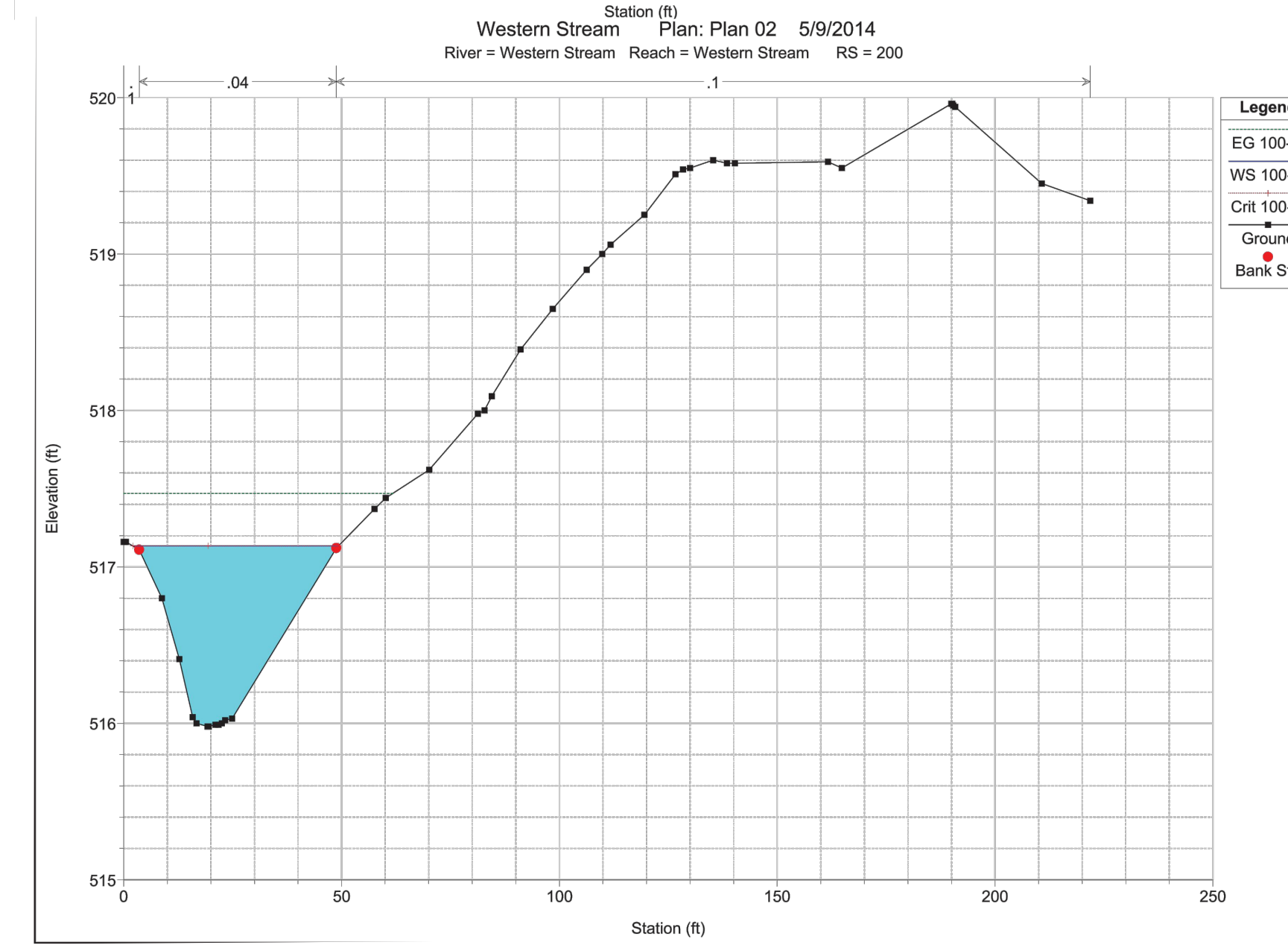
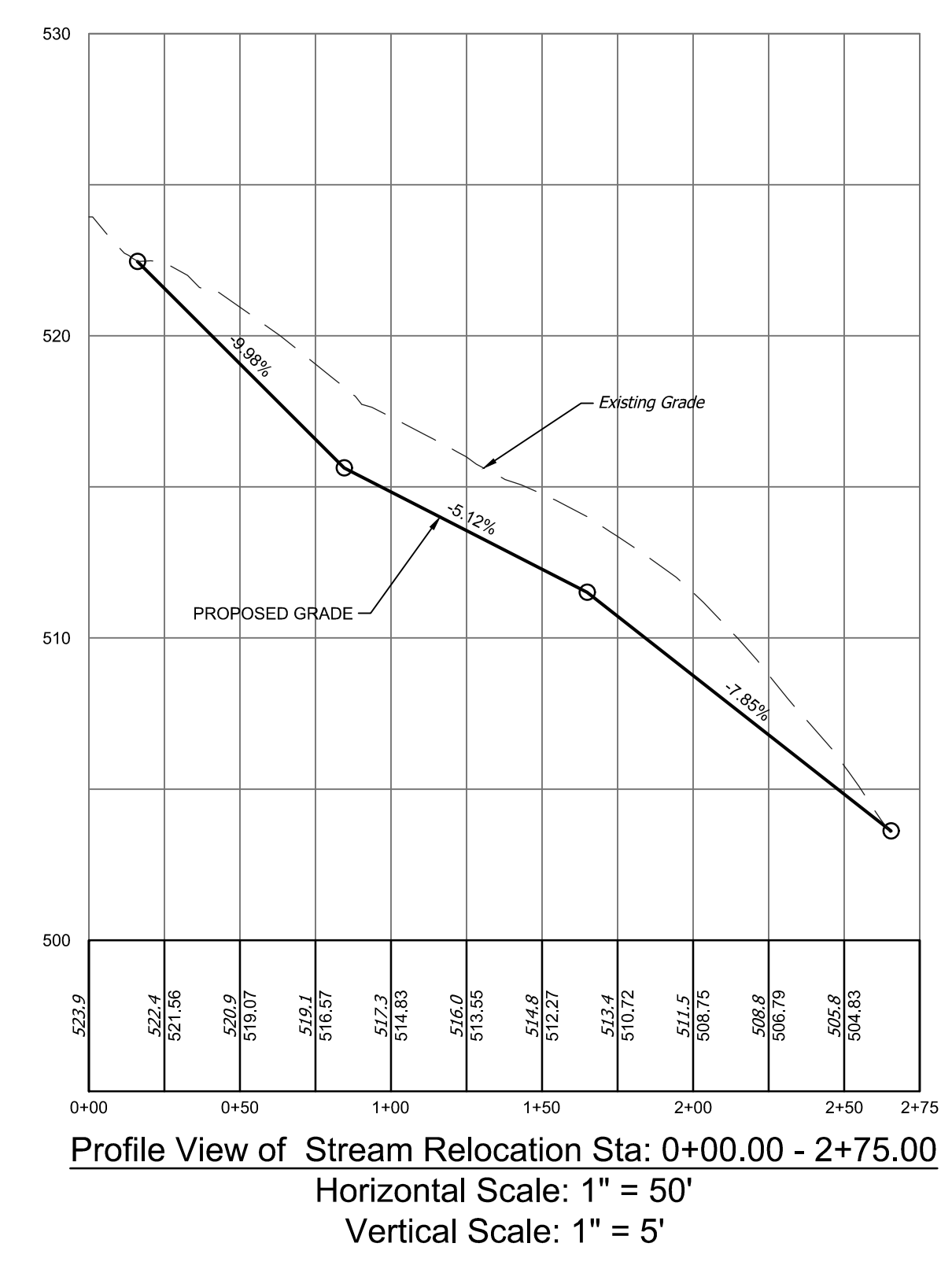
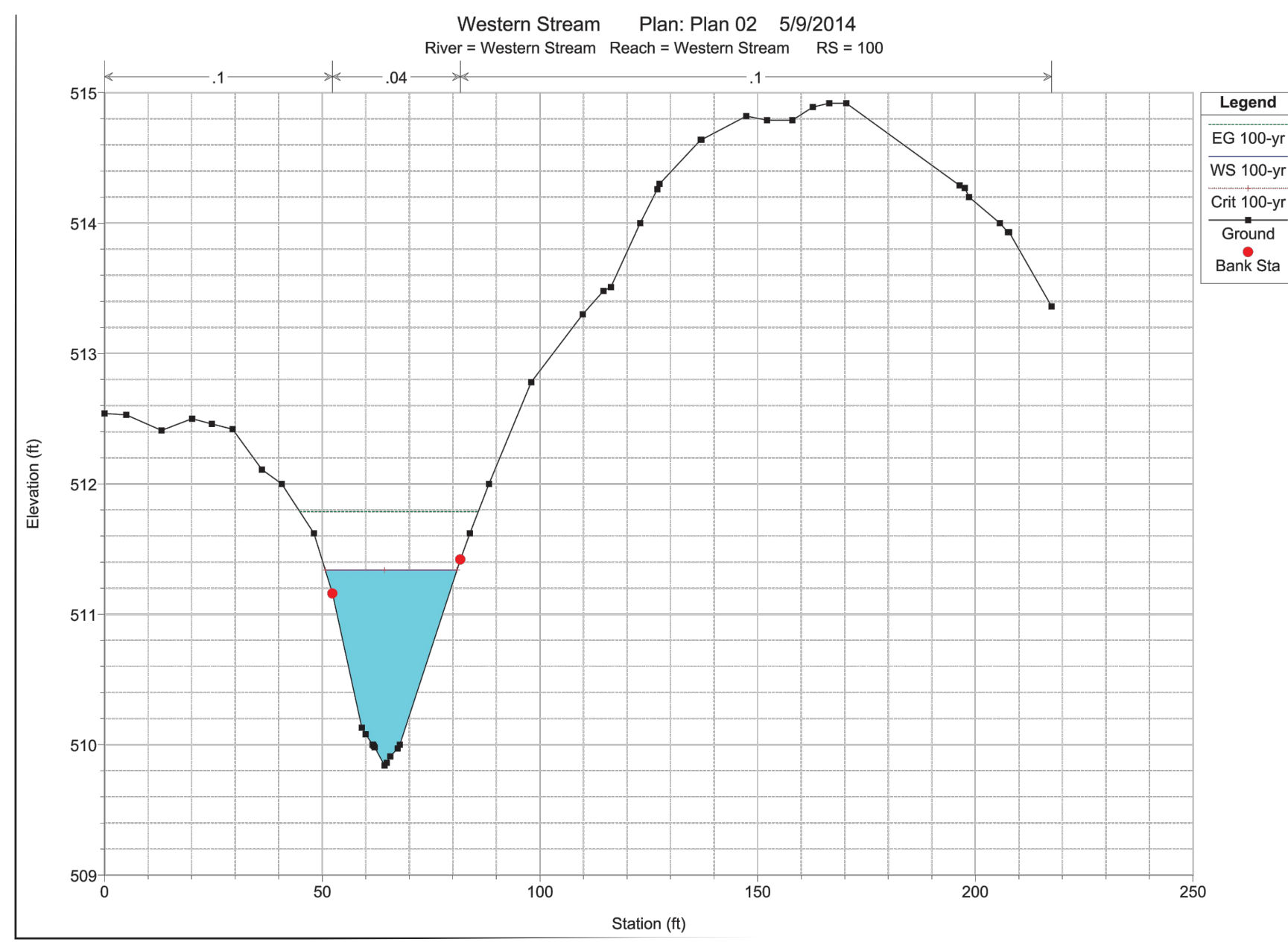
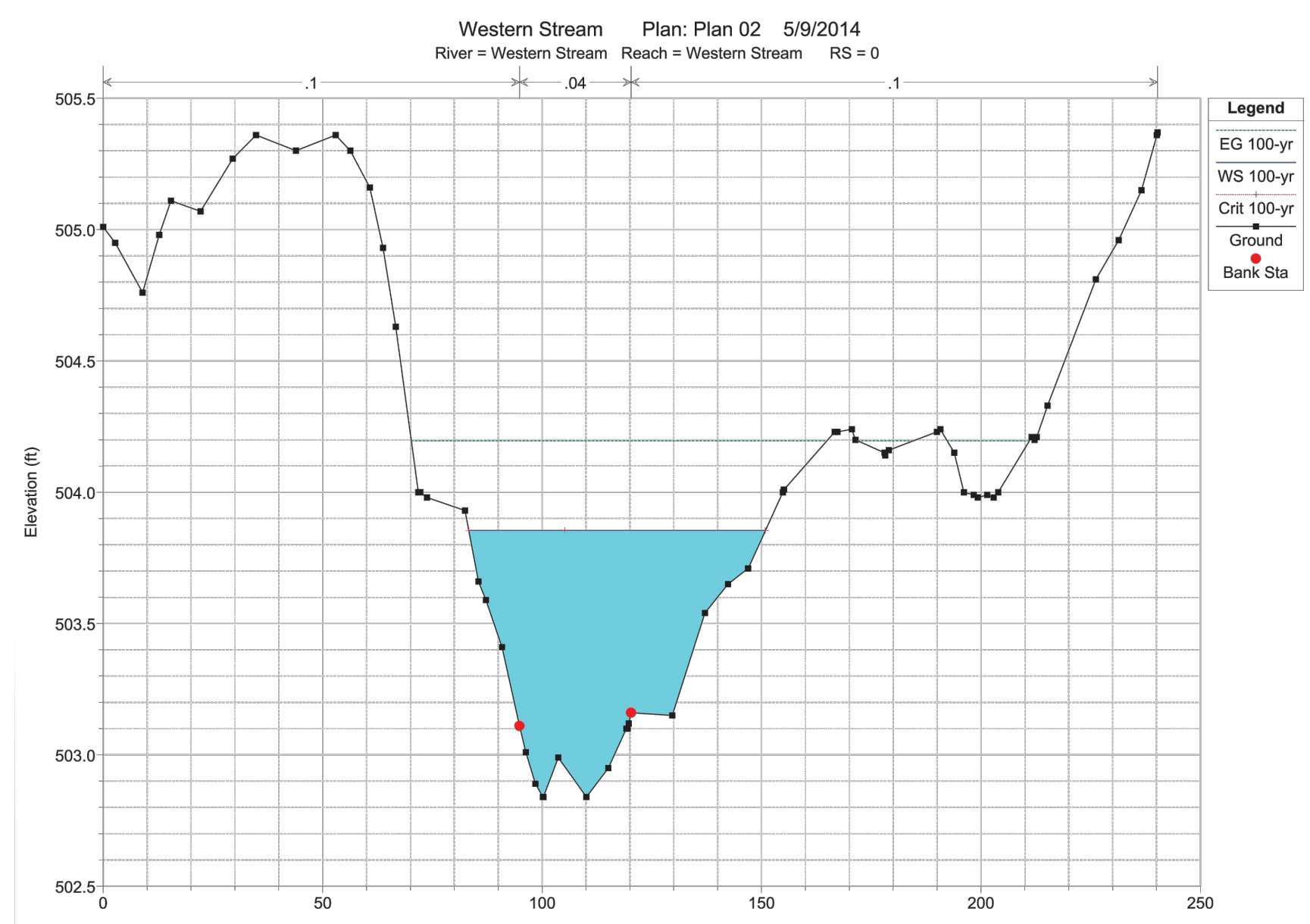
- The intent of this plan is re-locate a portion of an Un-named Tributary to Paxton Creek by piping it along side the proposed extension to Continental Drive.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1776 for the location of existing underground utilities.
- All site materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Departments Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1, and 287.1 et. det. No site materials or wastes or unused site materials shall be burned, buried, dumped, or discharged at the site.
- Immediately after earth disturbance activities cease in any area of subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reactivated within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reactivated within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
- Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.

### IMPACT AREA TABLE

IMPACT AREA	GENERAL PERMIT	PASGP-4 CUMULATIVE IMPACTS PROJECT SCREENING		
		PERMANENT IMPACTS	TO WATERS:	TO WETLANDS:
#1	JOINT PERMIT	16,455 SQ. FT.	317 L.F.	N/A
		TEMPORARY IMPACTS	TO WATERS:	TO WETLANDS:
			N/A	N/A

### SEQUENCE OF CONSTRUCTION

- Field mark limits of disturbance.
- Install silt barriers and rock filter.
- Install sandbag coffer dam, pump systems, and filter bag system.
- Clear and grub as necessary.
- Grade in stream relocation swale.
- Install N.A.G. Shoremax Matting with SC250 underlay.
- Replace and stabilize fill and topsoil.
- Upon stabilization of all disturbed areas, E&S measures may be removed.



**DESIGN ENGINEER**

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 E-MAIL: R.J.F@R.J.FISHERENGINEERING.COM

**APPLICANT**

UNION DEPOSIT CORPORATION  
 CONTACT: BILL BROWN & PETER GEMORA  
 750 EAST PARK DRIVE  
 HARRISBURG, PA 17111  
 (717) 564-0832

**JOINT PERMIT FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**

LOCATED IN SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

DRAWING ID: 213008-1P

DATE: 01/23/23

SHEET 39 OF 47

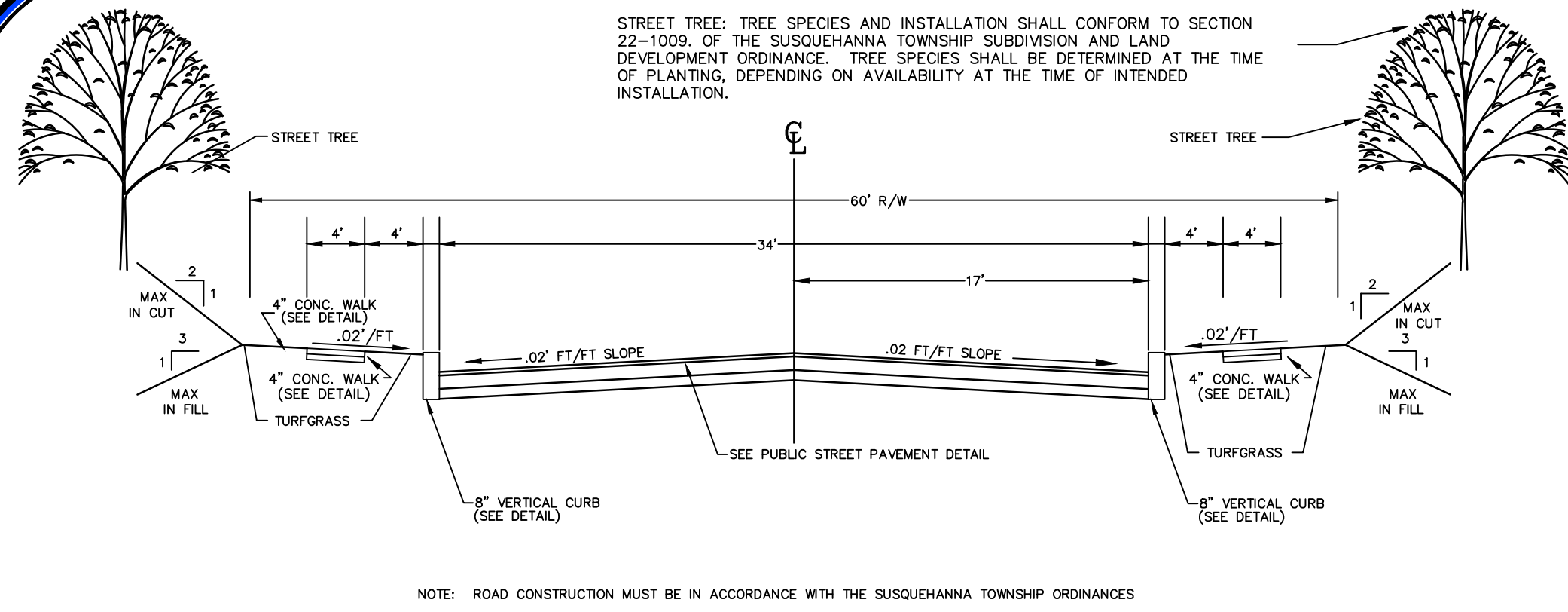
R.J. FISHER & ASSOCIATES, INC.

CIVIL ENGINEERING & LAND SURVEYS

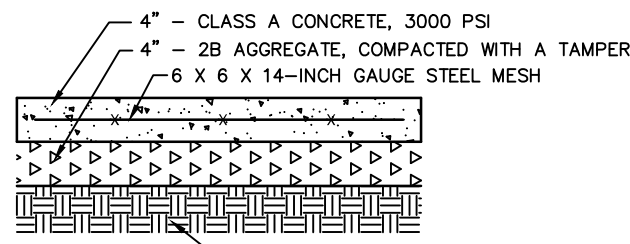
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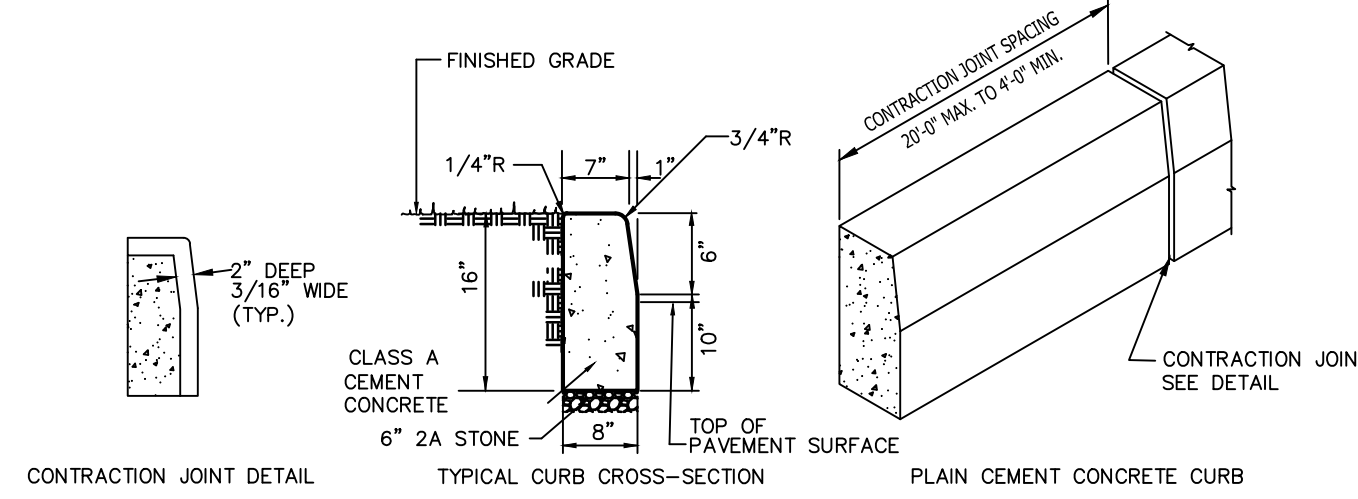


TYPICAL PUBLIC COLLECTOR STREET CROSS-SECTION  
N.T.S.



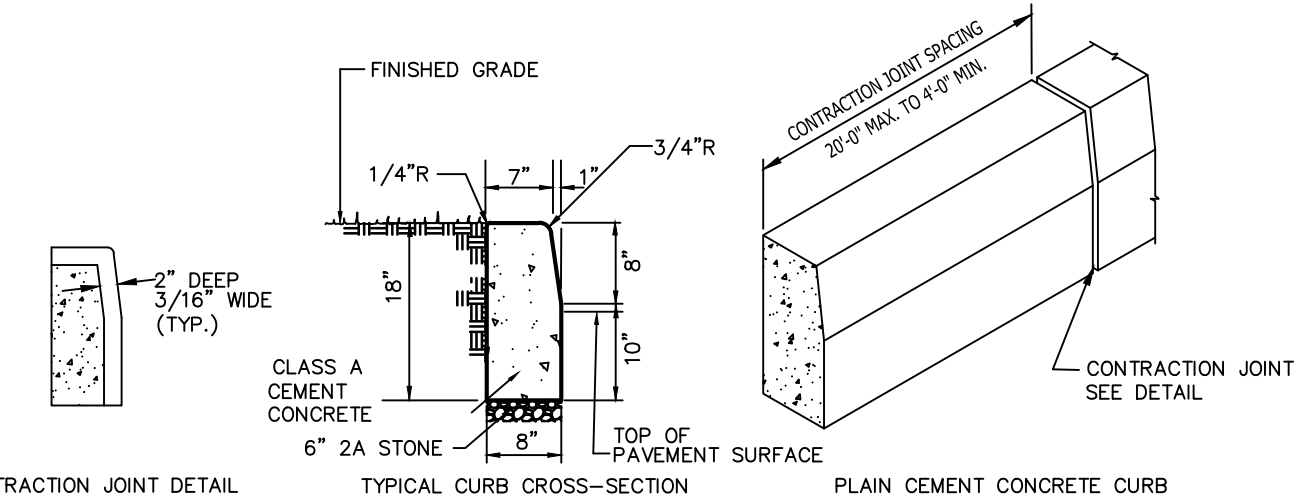
- NOTE:
1. PROVIDE TRANSVERSE ASPHALT TYPE EXPANSION JOINTS SPACED 30' MAX.
  2. PROVIDE CONSTRUCTION JOINTS @ 4' INTERVALS OR AS SPECIFIED.
  3. A TOOLED EDGE SHALL BE PROVIDED ON ALL EDGES INCLUDING EXPANSION JOINTS.
  4. IN THE CASE WHERE SIDEWALKS ARE PROPOSED DIRECTLY AGAINST CURB OR BUILDING, EXPANSION MATERIAL SHALL BE INSTALLED CONTINUOUSLY ALONG THE COMMON EDGE.
  5. PROVIDE A BROOM FINISH.
  6. WHERE PROPOSED SIDEWALKS CROSS A DRIVEWAY, A CONCRETE APRON SHALL BE PROVIDED FROM THE EDGE OF THE STREET CARTRAY TO THE FAR EDGE OF THE SIDEWALK. CONCRETE DRIVEWAY APRONS SHALL HAVE A MINIMUM DEPTH OF SIX INCHES AND CONSTRUCTED WITH REINFORCED WIRE OF FIBERGLASS SUBSTITUTE FOR STRENGTHENING PURPOSES.
  7. JOINTS SHALL BE SEALED IN ACCORDANCE WITH PENNDOT SECTION 705.4.

CONCRETE SIDEWALK SECTION DETAIL  
N.T.S.



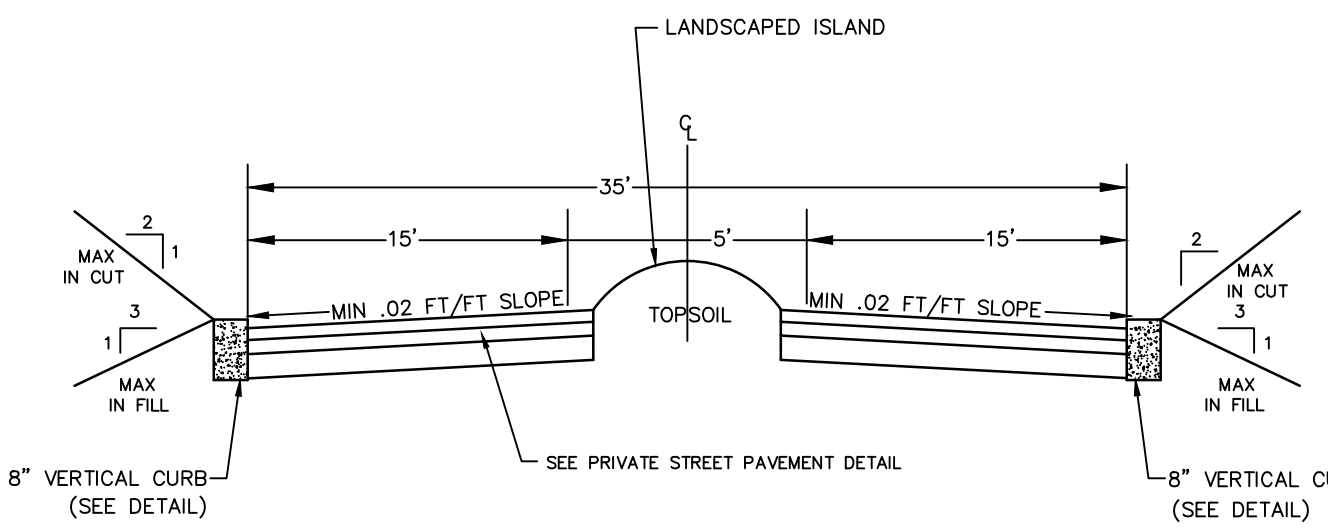
- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUB. 408, SECTION 630 FOR PLAIN CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CONCRETE CURB AND PLAIN CONCRETE CURB OUTER.
  2. SPACE CONSTRUCTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
  3. PLACE 3/4-INCH PREMOULDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

6" VERTICAL CONCRETE CURB DETAIL  
(PRIVATE ACCESS DRIVES/ PARKING AREAS)  
N.T.S.

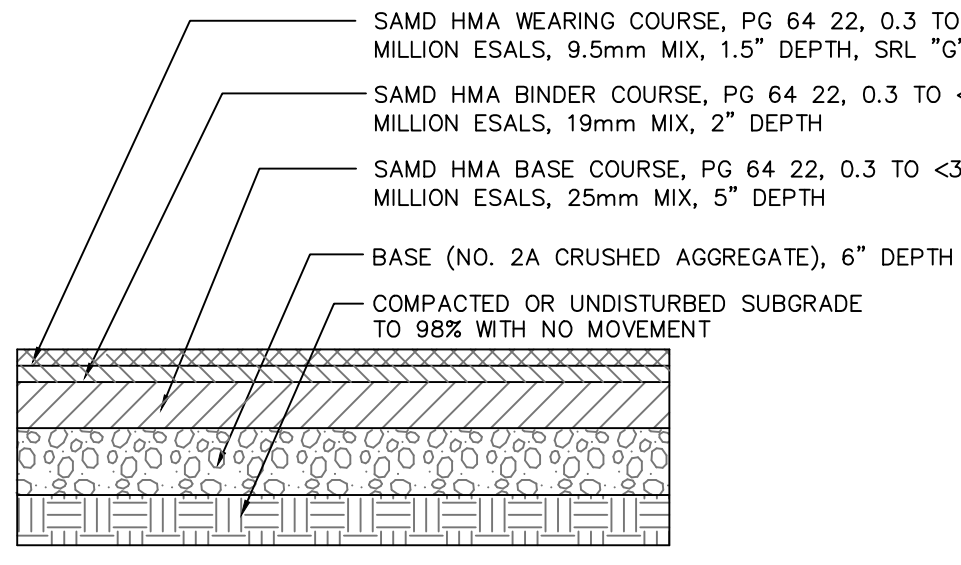


- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUB. 408, SECTION 630 FOR PLAIN CONCRETE CURB AND DEPRESSED CURB, SECTION 640 FOR PLAIN CONCRETE CURB AND PLAIN CONCRETE CURB OUTER.
  2. SPACE CONSTRUCTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
  3. PLACE 3/4-INCH PREMOULDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

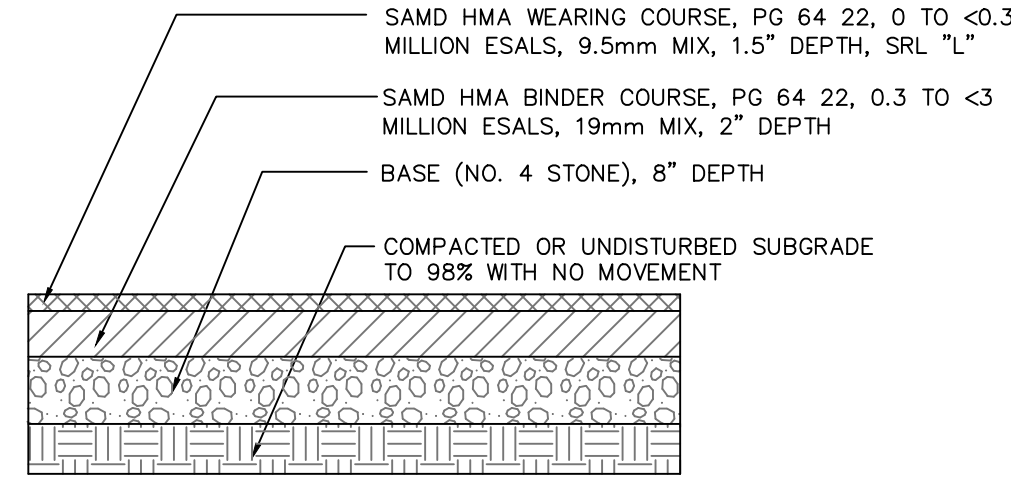
8" VERTICAL CONCRETE CURB DETAIL  
(PUBLIC STREETS, WALLACE COURT, EAST ELIZABETH COURT)  
N.T.S.



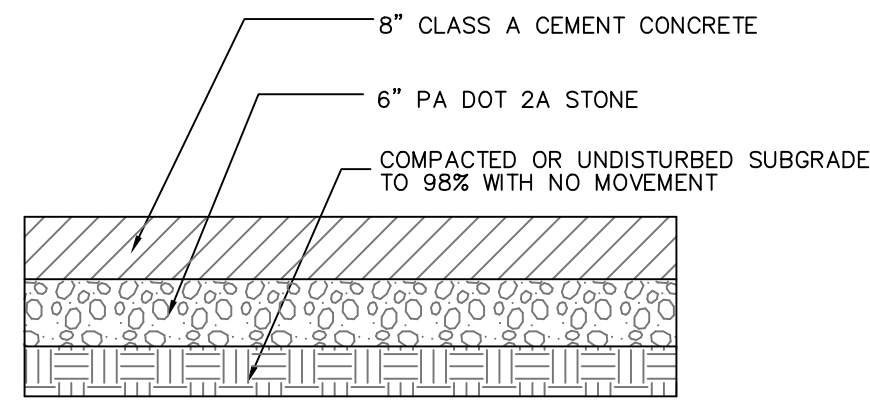
TYPICAL PRIVATE BOULEVARD CROSS-SECTION FOR WALLACE COURT  
N.T.S.



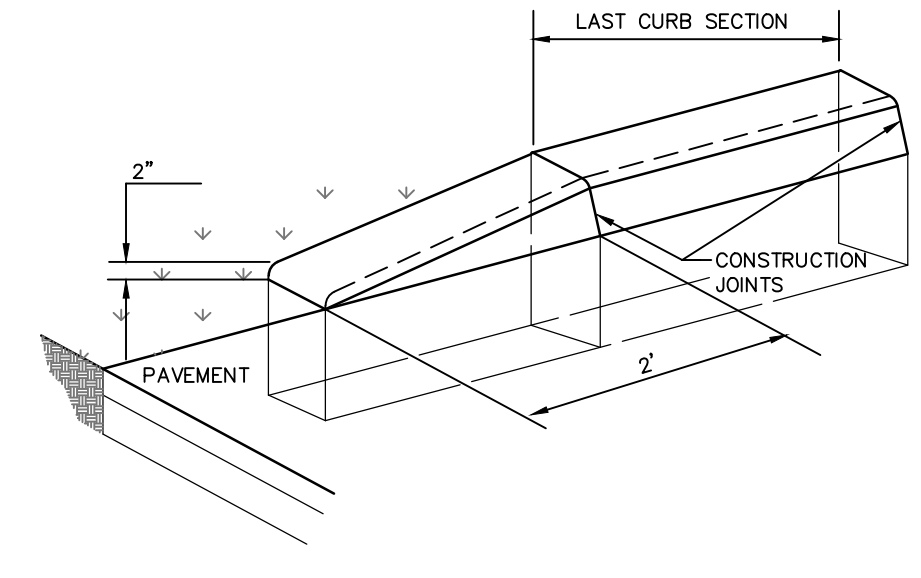
PUBLIC STREET PAVING DETAIL  
N.T.S.



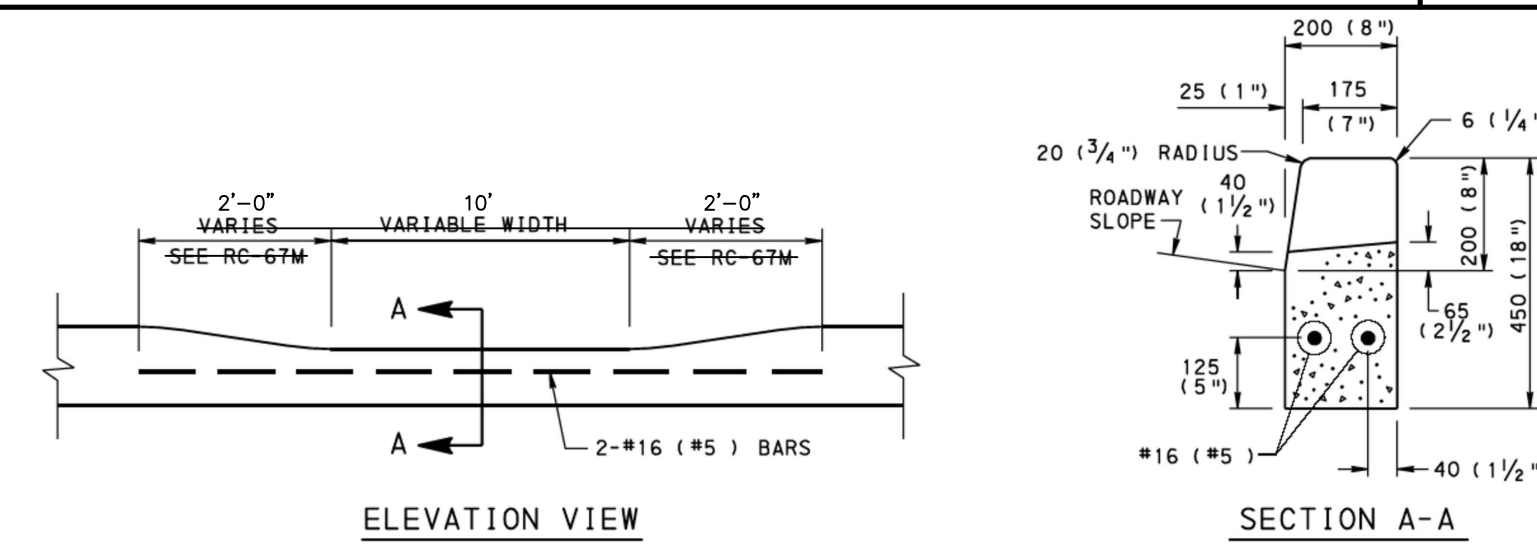
PRIVATE ACCESS DRIVE/ PARKING PAVING DETAIL  
N.T.S.



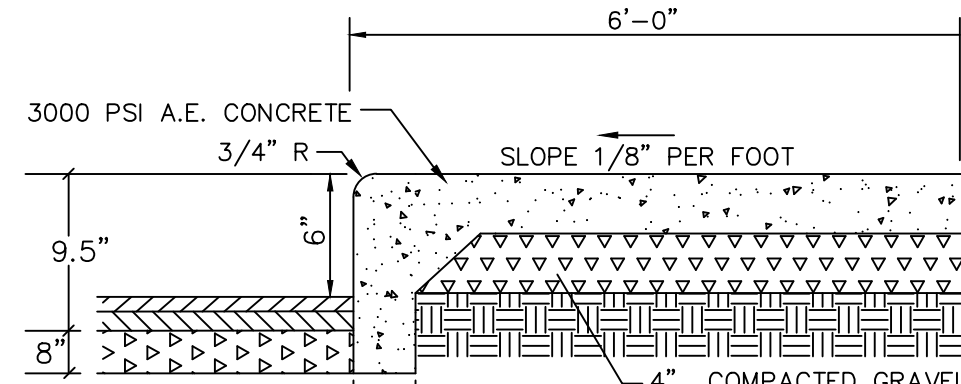
DUMPSTER PAD PAVING DETAIL  
N.T.S.



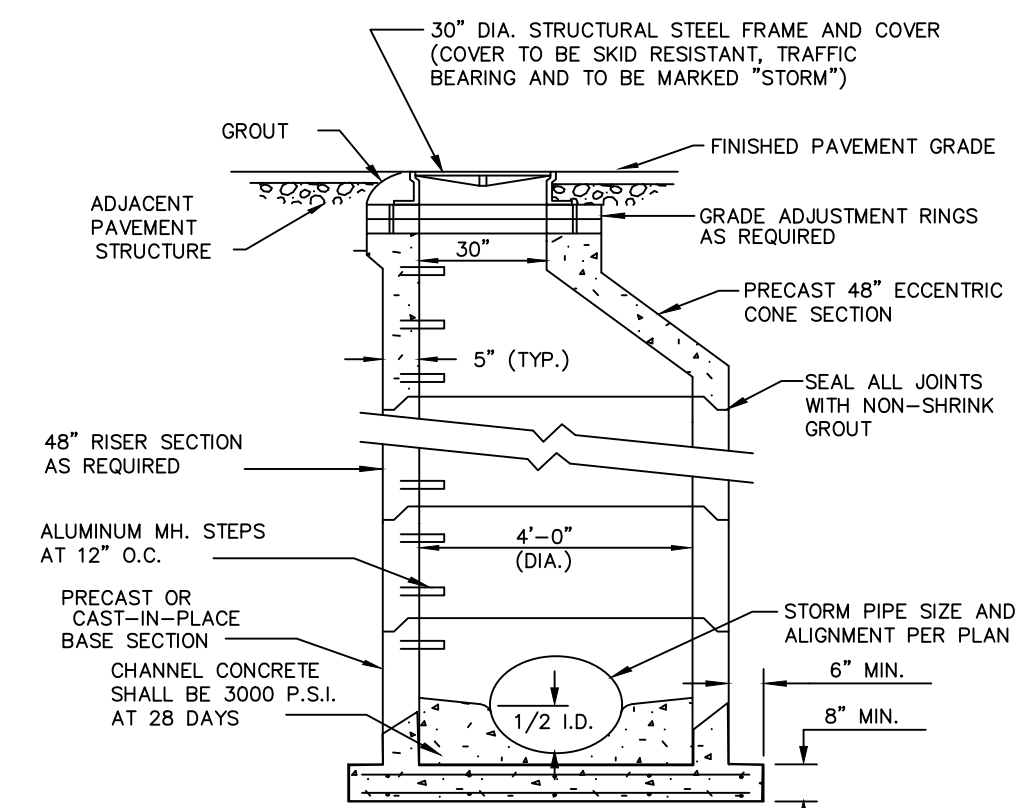
VERTICAL CURB TERMINUS DETAIL  
N.T.S.



DEPRESSED CURB FOR DRIVEWAYS

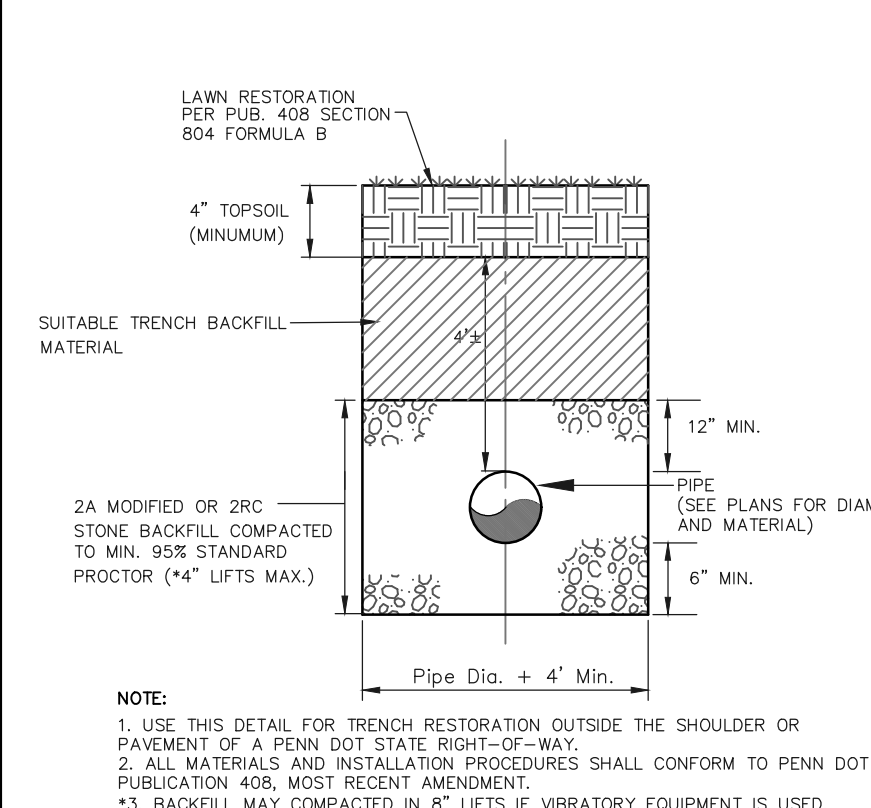


MONOLITHIC CONCRETE CURB/SIDEWALK  
DETAIL AT PARKING AREAS  
N.T.S.

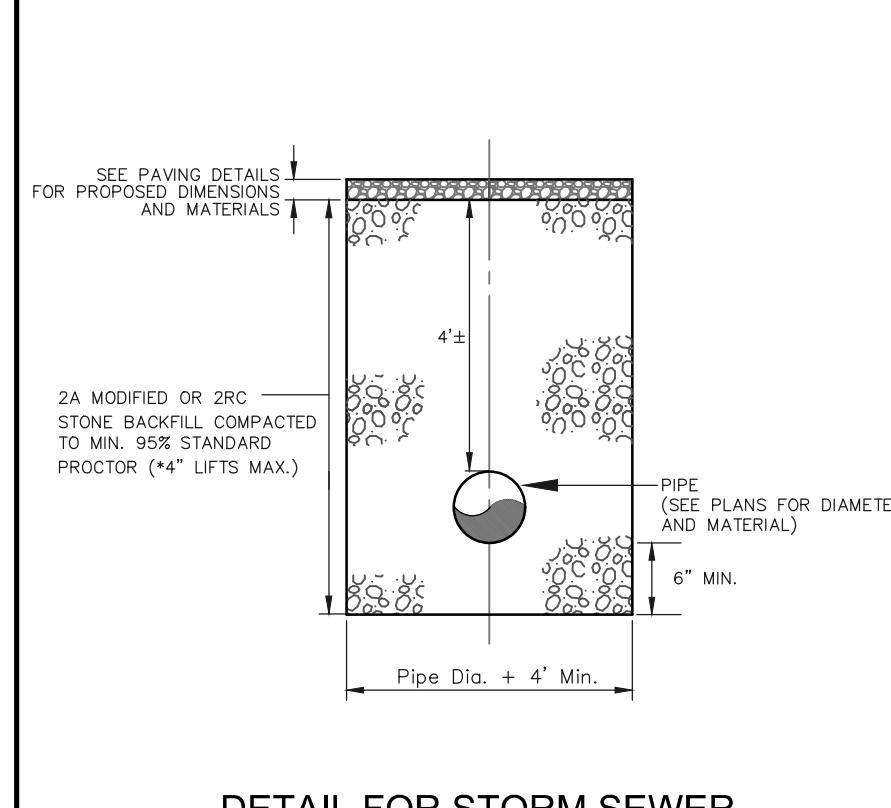


- NOTES:
1. CONSTRUCT MANHOLE IN ACCORDANCE WITH PENN DOT PUBLICATION 72, RC-39 FOR PRECAST CONCRETE MANHOLES.
  2. ALL MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PENN DOT PUBLICATION 408.

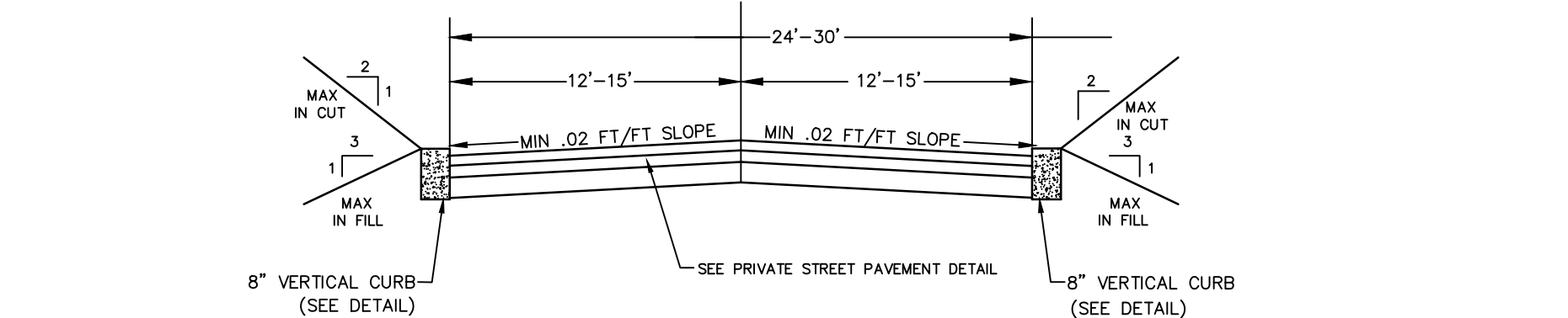
TYPICAL STORM SEWER MANHOLE  
N.T.S.



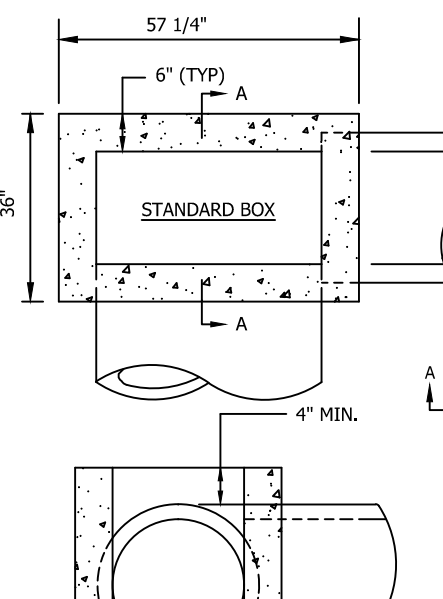
DETAIL FOR STORM SEWER TRENCHES  
N.T.S.



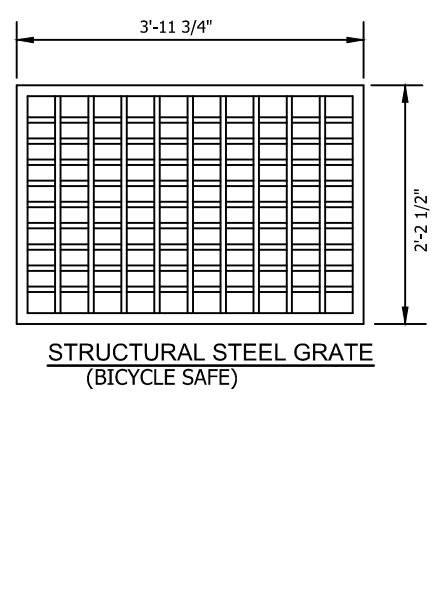
DETAIL FOR STORM SEWER TRENCHES WITHIN PUBLIC RIGHT-OF-WAY  
N.T.S.



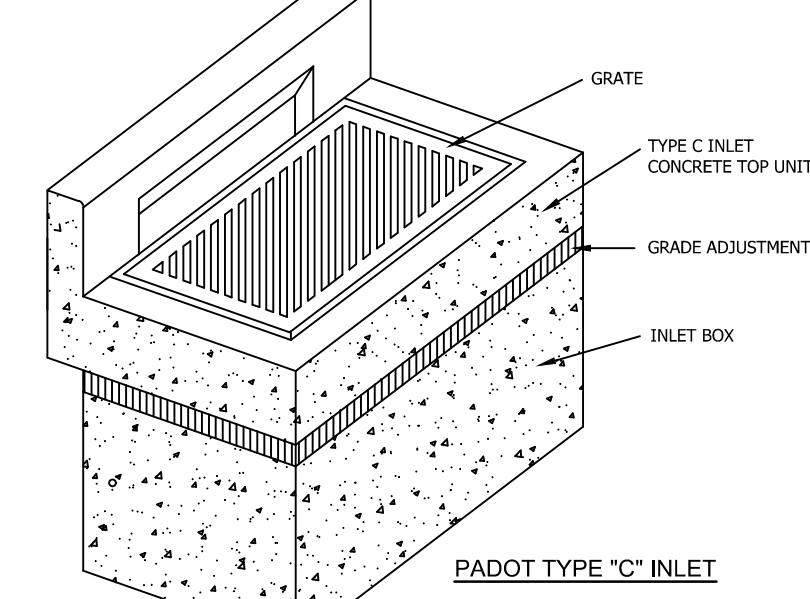
TYPICAL PRIVATE ROAD CROSS-SECTION FOR WALLACE COURT AND EAST ELIZABETH COURT  
N.T.S.



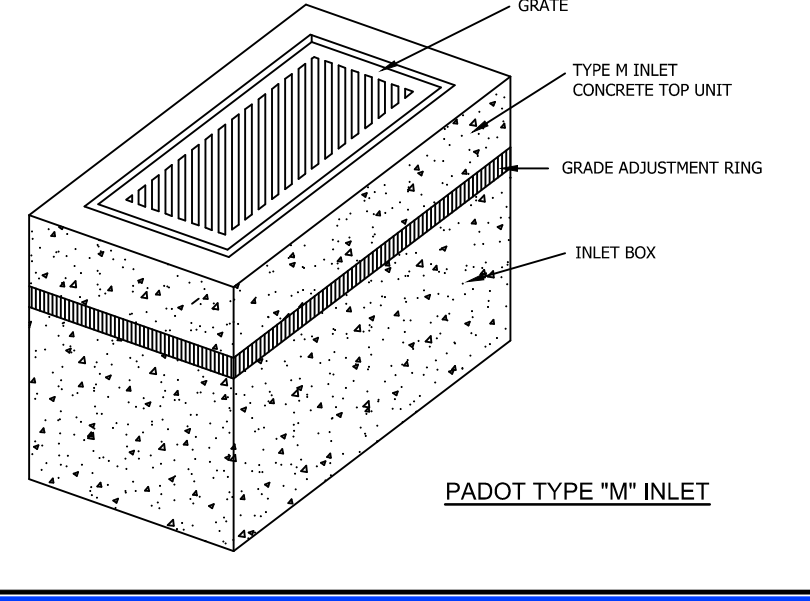
STORM INLET  
N.T.S.



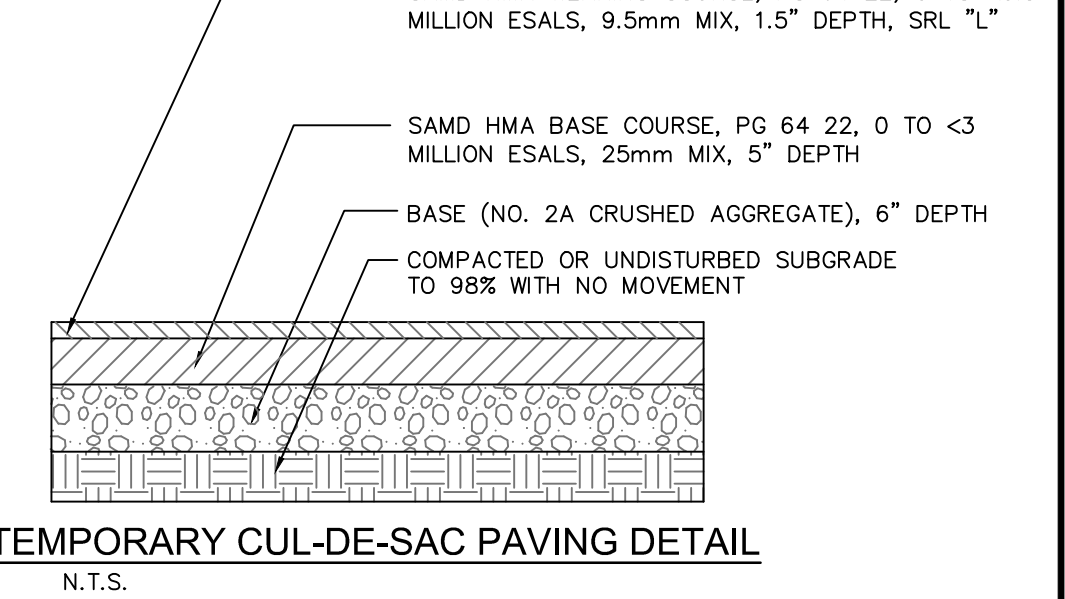
PENNY TYPE "M" INLET TOP  
N.T.S.



PADO TYPE "C" INLET



PADO TYPE "M" INLET



TEMPORARY CUL-DE-SAC PAVING DETAIL  
N.T.S.

- STORM INLET NOTES:
1. Excavate for the structure as required.
  2. Place concrete foundations and walls monolithically, except when otherwise permitted.
  3. Form weep holes in inlets of appropriate elevations to completely drain the grade prior to placing subbase, base course or pavement.
  4. Carefully remove existing castings which are to be reused. Clean and transport to the new location.
  5. Construct new inlet or manhole walls and bottoms to accommodate the dimension of the existing castings.
  6. Set frames, concrete top units, and grade adjustment rings (if required for inlets and manholes) in full mortar beds.
  7. Set pipes in inlets and manholes, flush with the inside structure face. For pipes protected by endwalls, set flush with the exposed structure face.
  8. When constructing structures in conjunction with existing pipe culverts and drains, provide for satisfactory connections, as specified for new construction of a similar type.
  9. Backfill excavated spaces around the structure, with acceptable embankment material, as specified in Section 206.3(b)(4). Satisfactorily dispose of unsuitable and surplus materials.
  10. Coat all aluminum surfaces to be embedded in concrete with one (1) coat of zinc chromate primer, or a coat of bituminous paint. Allow to dry completely prior to placement of concrete.
  11. Knocking out of corners of inlet boxes is prohibited.
  12. All inlets shall be Type 'C' unless otherwise specified.

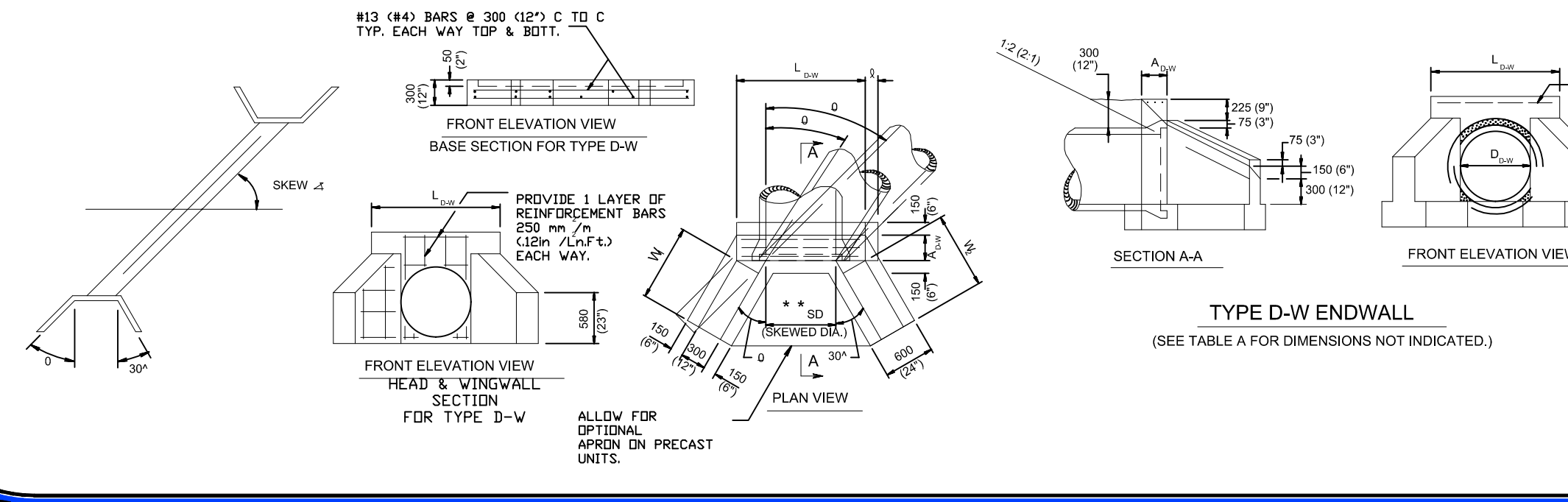
ENGLISH EQUATION  
 $L_{SD} = \frac{D_{SD} \cdot \sin \theta}{\cos \theta}$   
 $L_{SD} = \frac{D_{SD} \cdot \sin \theta}{\cos \theta}$

FOR 2:1 SLOPE  
 $W = \frac{2D_{SD} \cdot \sin \theta}{\cos \theta}$

FOR VARIABLE SLOPE WHEN X EQUALS HORIZONTAL DIMENSION OF THE SLOPE DESIGNATION  
 $W = \frac{X \cdot \sin \theta}{\cos \theta}$

TABLE A (inches)  
2:1 EMBANKMENT SLOPES

PIPE DIAMETER (IN)	SKEW 4 = 90° TO 60° θ = 30°		SKEW 4 = 55° θ = 35°		SKEW 4 = 50° θ = 40°		SKEW 4 = 45° θ = 45°		SKEW 4 = 40° θ = 50°		SKEW 4 = 30° θ = 60°		SKEW 4 = 20° θ = 70°		SKEW 4 = 10° θ = 80°										
	L <sub>1</sub>	W	L <sub>1</sub>	W	L <sub>1</sub>	W	L <sub>1</sub>	W	L <sub>1</sub>	W	L <sub>1</sub>	W	L <sub>1</sub>	W	L <sub>1</sub>	W									
36	5.8	0	4.2	6.0	3.3	4.8	4.2	5.2	6.6	5.7	7.0	7.6	8.2	8.3	13.3	8.2	11.4	17.6	18.6	5.0	22.0	4.6	12		
42	6.3	0	5.8	6.6	3.3	6.1	6.0	6.5	7.3	6.7	7.1	7.8	7.5	7.8	9.3	13.3	10.0	12.5	17.6	14.6	22.5	5.0	28.8	5.8	12
48	6.9	0	6.9	7.2	3.3	7.3	7.5	7.8	8.0	6.7	8.5	8.5	7.5	9.4	10.3	13.3	12.0	14.0	17.5	17.5	25.3	5.0	34.6	6.9	12
54	7.5	0	8.0	7.8	3.3	8.5	8.2	9.1	8.7	6.7	9.9	9.3	7.5	10.9	11.3	13.3	14.0	15.5	17.5	20.5	28.2	5.0	40.3	8.0	12
60	8.1	0	9.2	8.4	3.3	9.8	8.8	10.4	9.4	6.7	11.3	10.1	7.5	12.5	12.3	13.3	16.0	16.9	17.5	23.4	31.1	5.0	46.0	9.2	15
72	9.2	0	11.5	9.8	3.3	12.2	10.1	11.5	10.8	6.7	14.1	11.7	7.5	15.8	14.3	13.3	20.0	19.8	17.5	29.2	36.9	5.0	57.6	11.5	15



TYPE D-W ENDWALL  
(SEE TABLE A FOR DIMENSIONS NOT INDICATED.)

NOTE: CONSTRUCTION OF STORMWATER INLETS SHALL CONFORM TO AND BE IN ACCORDANCE WITH ALL APPLICABLE RC STANDARDS, PENNDOT PUBLICATION 72M AND ALL AMENDMENTS.

**R. J. FISHER & ASSOCIATES, INC.**  
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**CONSTRUCTION DETAILS**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER FAKTON TWP., DAUPHIN COUNTY, PA

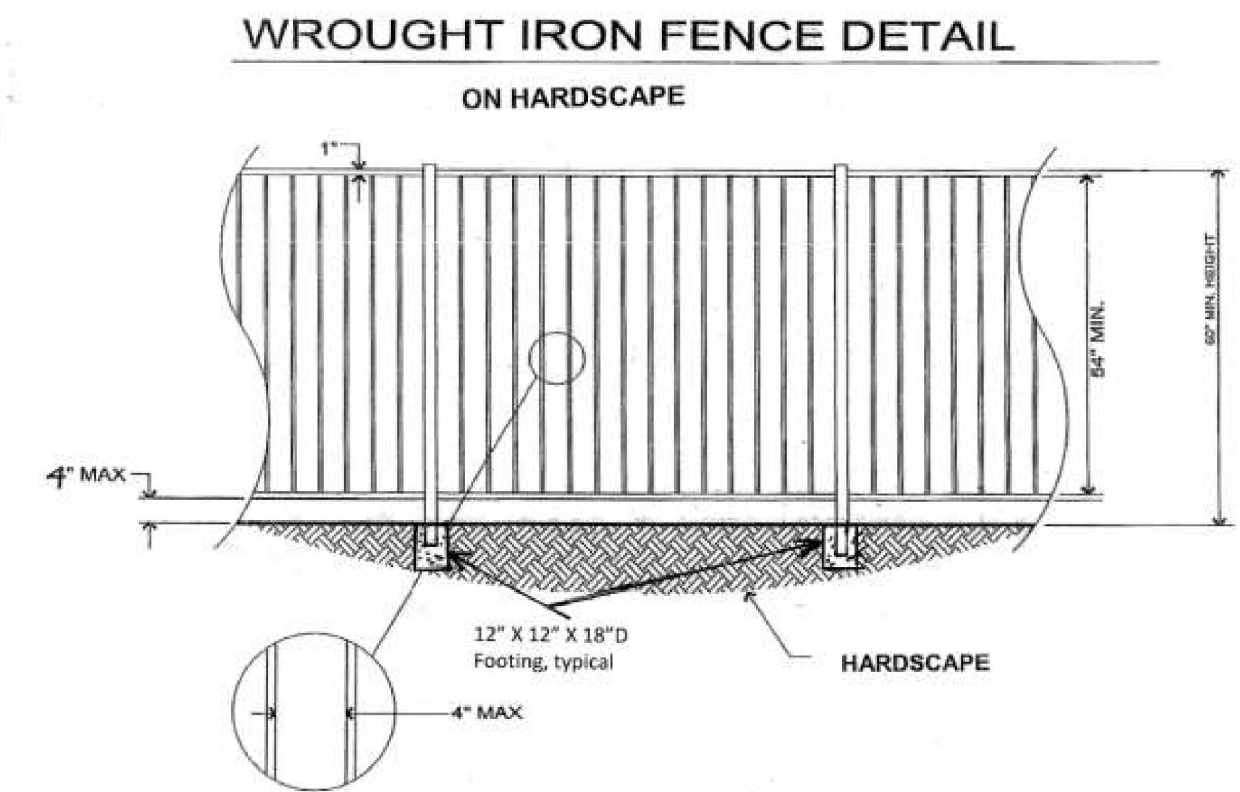
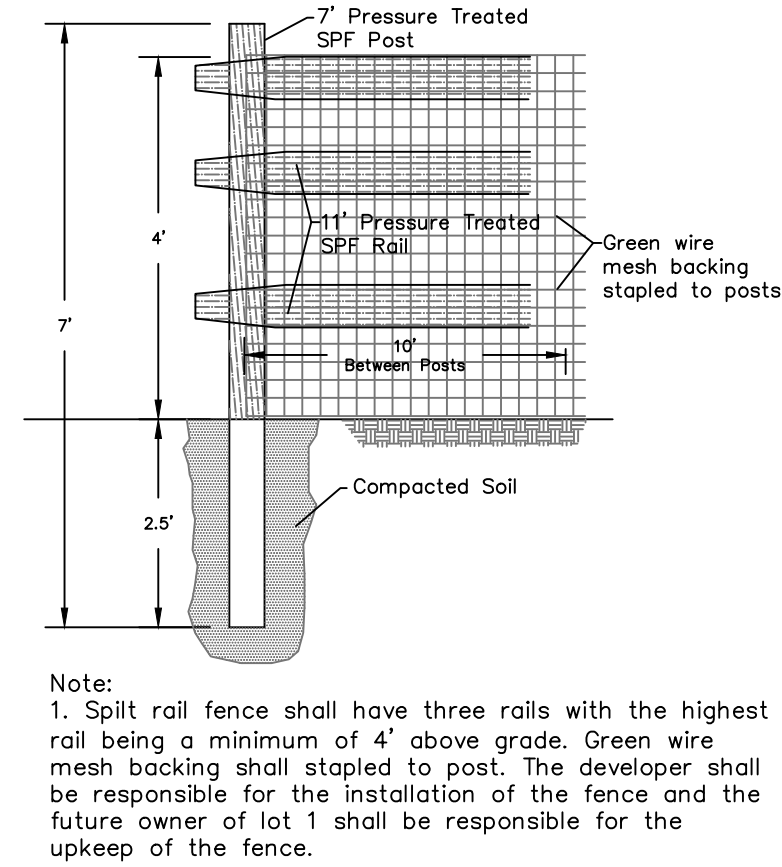
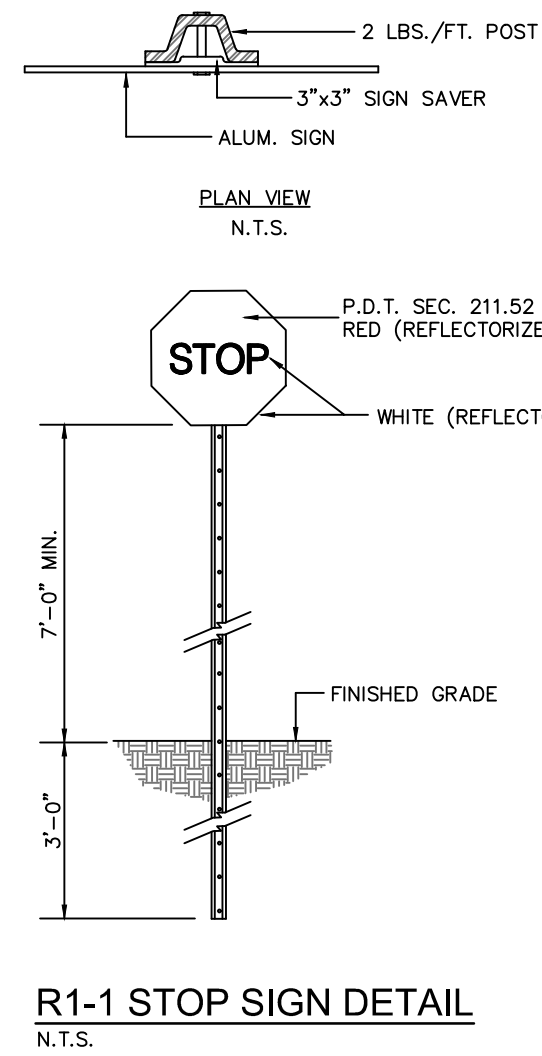
DRAWING ID: 213008-DTL  
 DATE: 01/23/23  
 SHEET 40 OF 47

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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SEWER LATERAL TABLE				
BUILDING #	DOWNSTREAM MH #	DIST. FROM DOWNSTREAM MH (STA)	LATERAL SIZE (IN)	LATERAL DIST. TO CLEANOUT (FT)
1	117-16	1+58	6	66
2	117-17	1+80	6	51
3	117-18	0+60	6	99
4	117-17	2+04	6	46
5	117-17	0+47	6	46
6	117-16	1+21	6	49
7	117-26	0+96	6	62
8	117-27	1+27	6	39
9	117-28	2+00	6	64
10	117-28	1+65	6	43
11	117-25	0+92	6	42
12	117-25	1+36	6	43
13	117-33	1+00	6	93
14	117-33	0+70	6	44
15	117-34	1+70	6	69
16	117-34	0+79	6	43
17	117-34	3+57	6	81
18	117-34	2+62	6	42
CLUBHOUSE	117-24	1+03	6	79

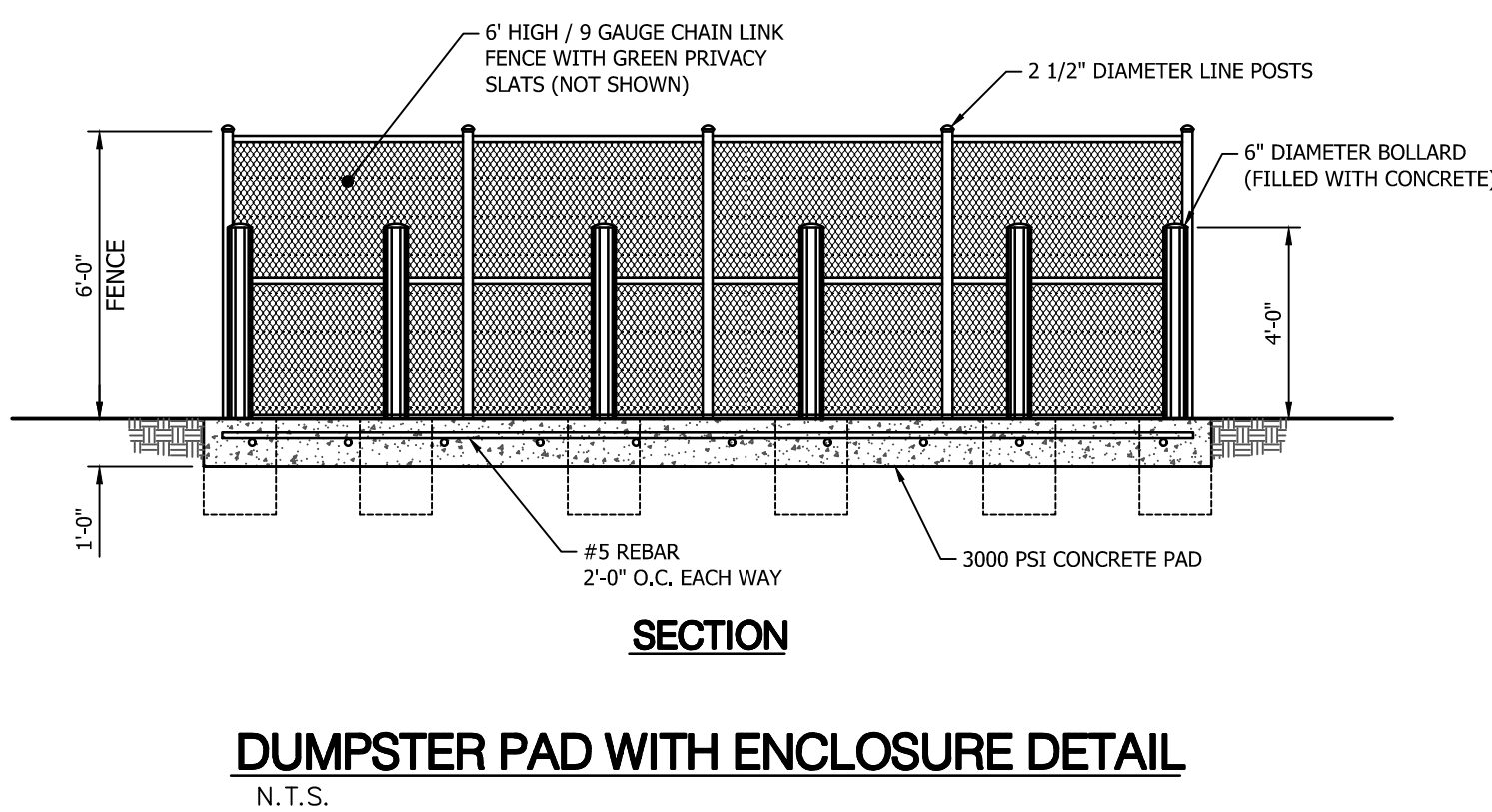
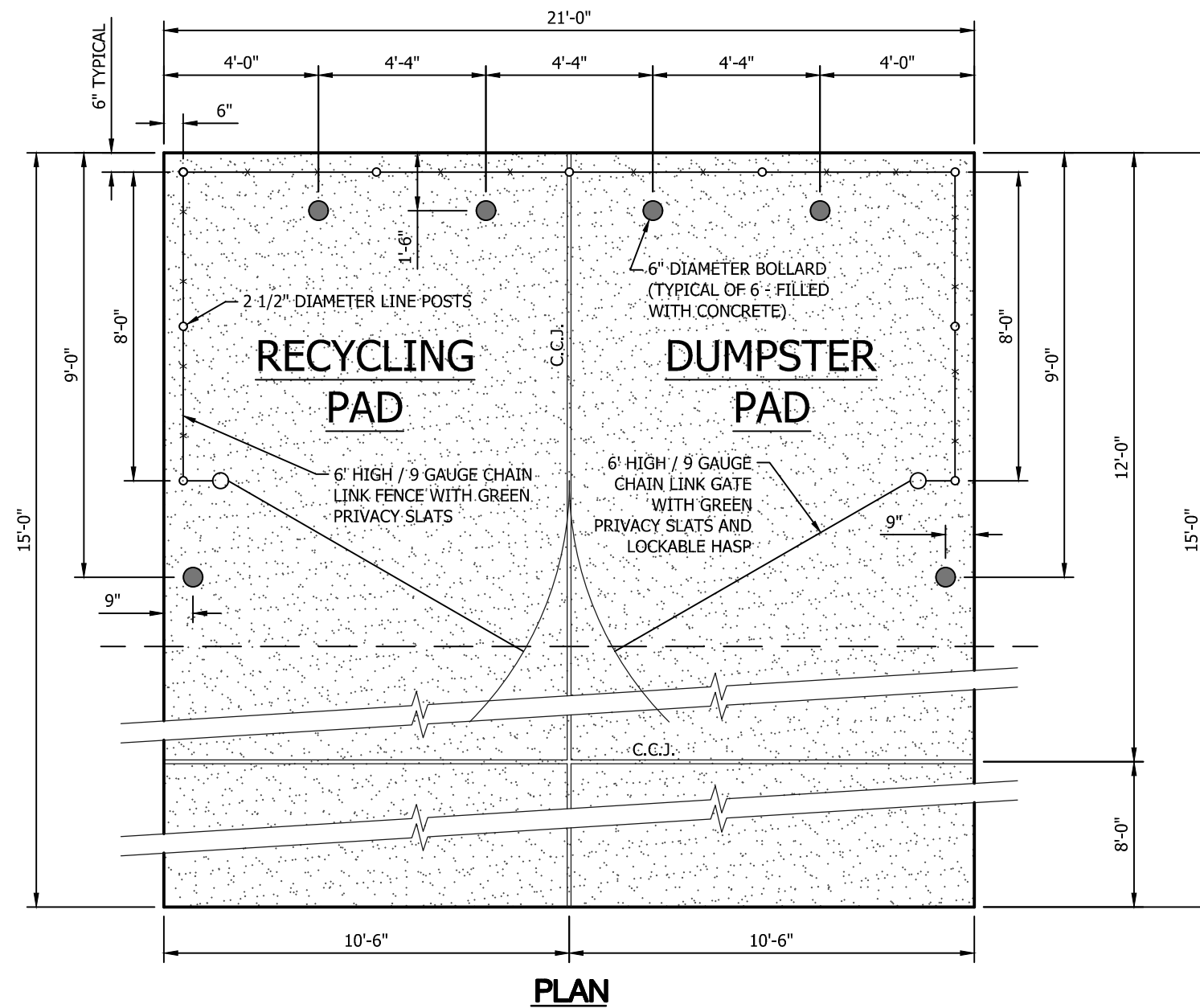
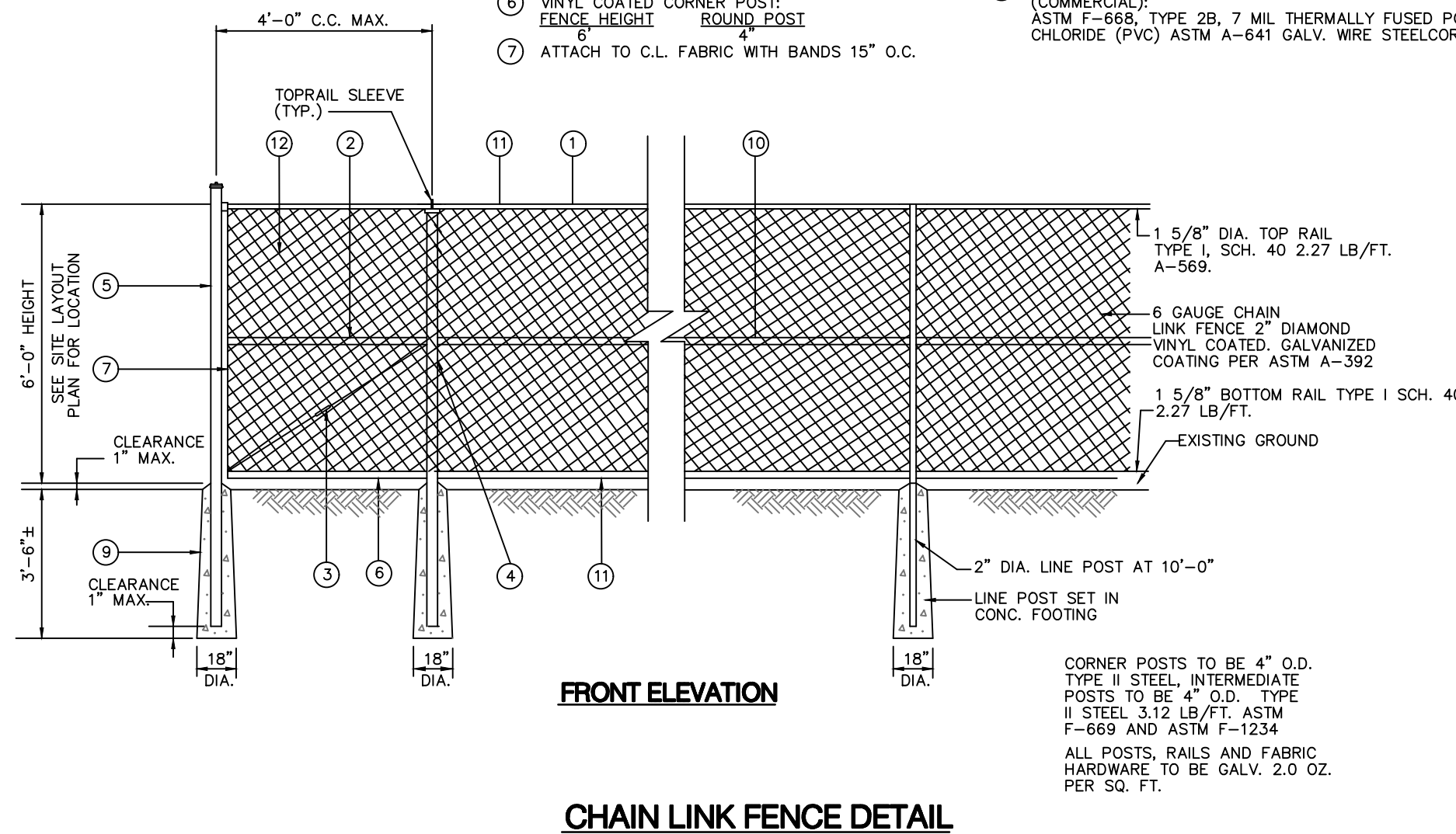


**CHAIN LINK FENCE NOTES:**

- FOOTING DESIGN TO BE CHECKED BY AN ENGINEER FOR WIND LOADS IF SLATS ARE USED.
- STRAIGHT RUNS BETWEEN BRACED POSTS SHALL NOT EXCEED 500 FT.
- FENCE DETAILS ARE INTENDED AS A GUIDE ONLY. ALL FENCE MATERIALS AND CONSTRUCTION METHODS SHALL BE APPROVED BY THE ENGINEER AND FENCE MANUFACTURER.

**CHAIN LINK FENCE LEGEND:**

- VINYL COATED 1 5/8" O.D. TOP RAIL: ATTACH TO C.L. FABRIC WITH GAUGE WIRE CLIP EVERY 24".
- VINYL COATED 1 5/8" O.D. BRACE RAIL FENCES: 6 FEET HIGH AT CORNERS AND ANGLE SECTIONS.
- VINYL COATED TRUSS ROD AND TURNBUCKLE AT CORNERS AND ANGLE SECTIONS.
- VINYL COATED INTERMEDIATE POST: FENCE HEIGHT ROUND POST
- ATTACH TO C.L. FABRIC WITH GAUGE CLIPS EVERY 12" FOR LINE POSTS.
- VINYL COATED CORNER POST: FENCE HEIGHT ROUND POST
- ATTACH TO C.L. FABRIC WITH BANDS 15" O.C.
- 1 5/8" O.D. BOTTOM RAIL: ATTACH TO C.L. FABRIC WITH GAUGE WIRE CLIPS EVERY 24".
- VINYL COATED TENSION ROD ATTACHED TO END OR CORNER POST.
- CONCRETE FOOTING 3'-6" DEEP WITH 18" DIA. AT END POST AND 18" DIA. AT INTERMEDIATE POST. HOLE CORE IN UNDISTURBED OR COMPACTED SOIL. (SEE FOOTING DESIGN NOTE)
- 1 5/8" O.D. INTERMEDIATE RAIL: ATTACH TO C.L. FABRIC WITH GAUGE WIRE CLIP EVERY 24".
- FENCE SELVAGE SHALL BE KNUCKLED TOP AND BOTTOM.
- 6 GAUGE 2" VINYL COATED WIRE MESH FABRIC (COMMERCIAL): ASTM F-669, TYPE 2B, 7 MIL THERMALLY FUSED POLYVINYL CHLORIDE (PVC) ASTM A-641 GALV. WIRE STEELCORE.



**STOPPING SIGHT DISTANCE TABLE**

	ELIZABETH & EAST ELIZABETH			
	REQUIRED		ACTUAL	
	LEFT	RIGHT	LEFT	RIGHT
GRADE OF THROUGH STREET (%)	N/A	N/A	1.37	-7.42
AWAITING EGRESS ONTO THROUGH STREET (FT)	250	195	403	188

**STOPPING SIGHT DISTANCE TABLE**

	WALLACE & NORTHERN ELIZABETH				WALLACE & NORTH WALLACE			
	REQUIRED		ACTUAL		REQUIRED		ACTUAL	
	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT
GRADE OF THROUGH STREET (%)	N/A	N/A	8.00	-8.00	N/A	N/A	-5.00	8.00
AWAITING EGRESS ONTO THROUGH STREET (FT)	250	195	400	370	250	195	208	594

**STOPPING SIGHT DISTANCE TABLE**

	CONTINENTAL & EAST ELIZABETH				WALLACE & SOUTHERN ELIZABETH			
	REQUIRED		ACTUAL		REQUIRED		ACTUAL	
	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT
GRADE OF THROUGH STREET (%)	N/A	N/A	-2.24	2.24	N/A	N/A	8.00	-8.00
AWAITING EGRESS ONTO THROUGH STREET (FT)	250	195	N/A	603	250	195	196*	525

\*DISTANCE IS TO NEAREST CONTROL INTERSECTION

**D3-1 STREET NAME SIGN**

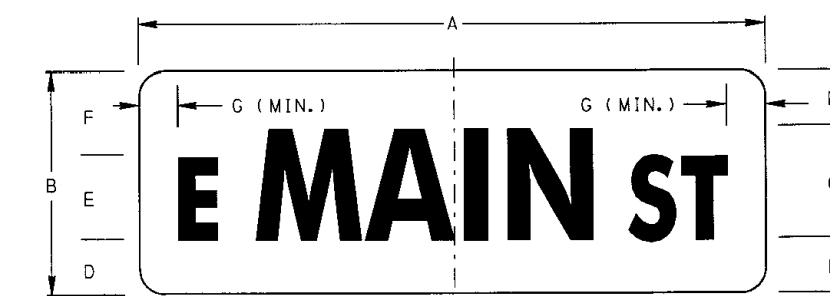
The Street Name Sign (D3-1) shall be authorized for use as a post-mounted sign to identify names of streets for motorists and pedestrians. The D3-1 sign, or other official type of street name sign, should be placed at all street intersections regardless of other route marking that may be present.

When the D3-1 signs are used in business districts, they should be placed at least on the diagonally opposite corners so that they will be on the far right-hand side of the intersection for traffic on the more important street. Signs naming both streets should be erected at each location. They should be mounted with their faces parallel to the streets they name, as close to the corner as practical with the nearest part of the sign not less than 0.3 m (1'), and preferably 0.6 m (2'), back from both curb lines.

In residential districts, D3-1 signs should be mounted as in business districts, but a single location at each intersection shall ordinarily suffice on all but the most important thoroughfares.

The standard for street name lettering shall be 150 mm (6") high upper/lower-case letters. The overall width of the sign is variable. Except when necessary to avoid confusion, suffixes such as "ST", "DR", and "RD", or sections of the city such as "NW" should not be used. When used, this supplemental lettering may be in smaller lettering, at least 100 mm (4") high. For roads functionally classified as local with speed limits of 40km/h (25mph) or less, the lettering may be 100 mm (4") high upper and lower case letters.

The street name sign should be reflectorized or illuminated and should have a white legend on a green background or other contrasting colors as approved by the Department.



NOTE: Two single sided per street name, 8" green with 6" white letters, constructed of high intensity grade material.

DIMENSIONS - mm (IN)						
SIGN SIZE A x B	C	D	E	F	G	
VAR. x 150 (VAR. x 6")	100* (4")	25 (1)	75* (3")	50 (2)	25 (1)	
VAR. x 200 (VAR. x 8")	150* (6")	25 (1)	100* (4")	75 (3)	35 (1.4)	

\* CHOOSE UPPER / LOWER CASE CLEARVIEWWHY FONT FOR BEST FIT

COLOR:  
LEGEND: WHITE (REFLECTORIZED)  
BACKGROUND: GREEN (REFLECTORIZED)

APPROVED FOR THE SECRETARY OF TRANSPORTATION  
By: *Alan C. Row* Date: 01-03-06  
Chief, Traffic Engineering and Operations Division  
Bureau of Highway Safety and Traffic Engineering

**STOPPING SIGHT DISTANCE TABLE**

	OAKHURST & NORTHERN HOLLIS				OAKHURST & SOUTHERN HOLLIS			
	REQUIRED		ACTUAL		REQUIRED		ACTUAL	
	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT
GRADE OF THROUGH STREET (%)	N/A	N/A	-8.00	2.34	N/A	N/A	-2.34	4.48
AWAITING EGRESS ONTO THROUGH STREET (FT)	250	195	564	316	250	195	357	1000+

**STOPPING SIGHT DISTANCE TABLE**

	CONTINENTAL & WALLACE				CONTINENTAL & OAKHURST			
	REQUIRED		ACTUAL		REQUIRED		ACTUAL	
	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT
GRADE OF THROUGH STREET (%)	N/A	N/A	1.50	4.86	N/A	N/A	-1.60	-2.24
AWAITING EGRESS ONTO THROUGH STREET (FT)	250	195	498	651	250	195	653	736

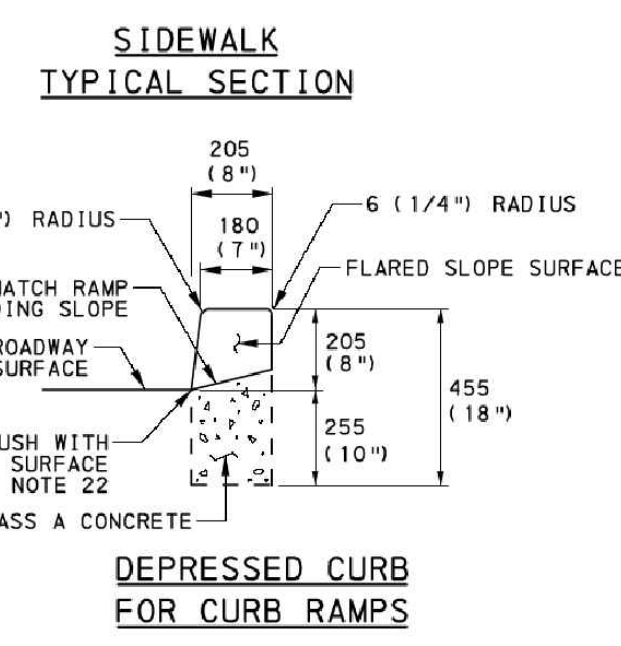
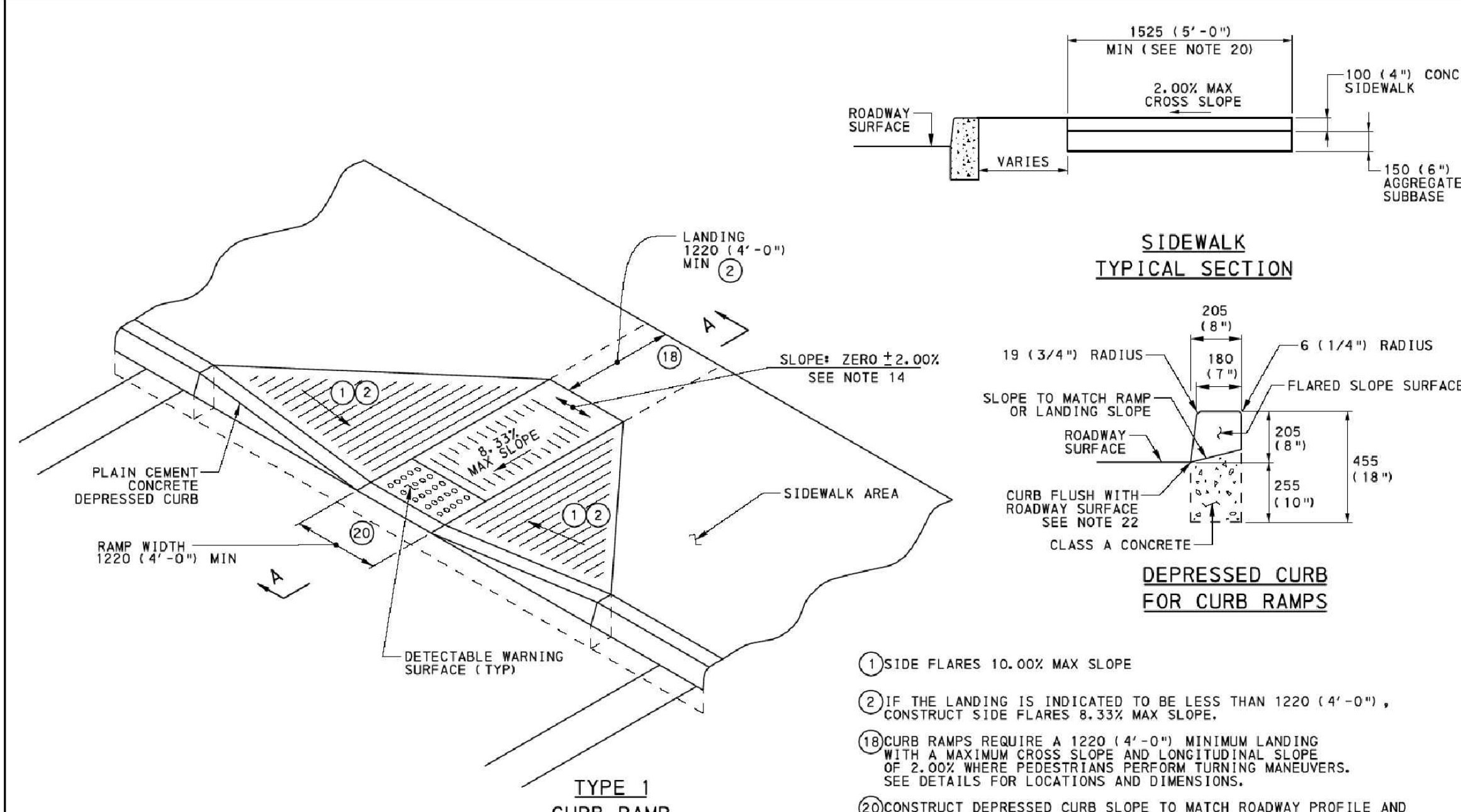
No.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

**R. J. FISHER & ASSOCIATES, INC.**  
SITE PLANNING & CIVIL ENGINEERING & LAND SURVEYS  
1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
PHONE: (717) 774-7534 FAX: (717) 774-7190  
WWW.RJFISHERENGINEERING.COM

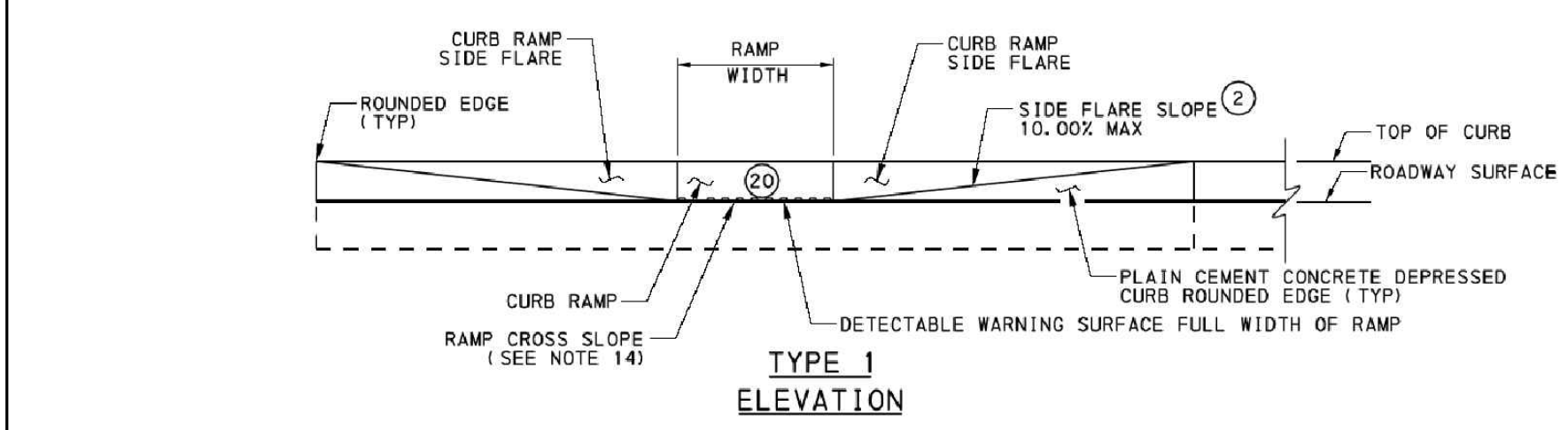
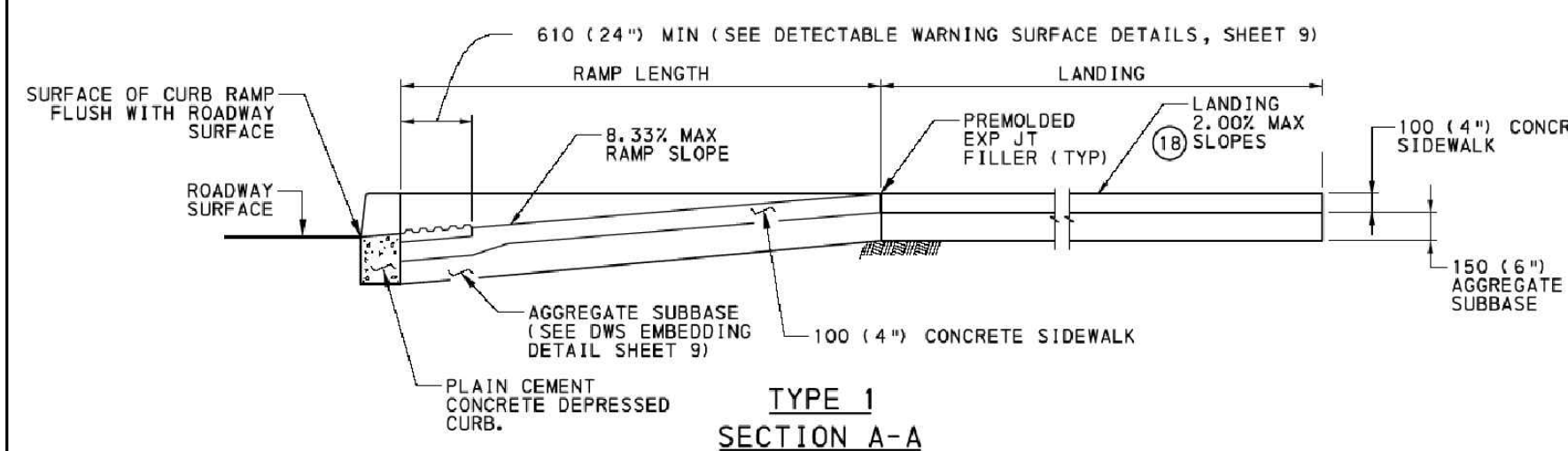


**CONSTRUCTION DETAILS**  
FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
LOCATED IN  
**SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA**

DRAWING ID: 213008-DTL  
DATE: 01/23/23



- ① SIDE FLARES 10.00% MAX SLOPE
- ② IF THE LANDING IS INDICATED TO BE LESS THAN 1220 (4'-0"), CONSTRUCT SIDE FLARES 8.33% MAX SLOPE.
- ③ CURB RAMPS REQUIRE A 1220 (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.
- ④ CONSTRUCT DEPRESSED CURB TO MATCH ROADWAY PROFILE AND HAVE A FLUSH CONNECTION. DO NOT EXCEED 3.00% PER 305 (1'-0") CROSS SLOPE RATE OF CHANGE WHEN TRANSITIONING FROM LEVEL LANDING TO ROADWAY PROFILE. A TECHNICALLY INFEASIBLE FORM IS REQUIRED WHEN RAMP CROSS SLOPE EXCEEDS 2.00%.



PERCENT SLOPE	EQUIVALENT SLOPE
10.00%	10:1 (1:10)
8.33%	12:1 (1:12)
7.14%	14:1 (1:14)
5.00%	20:1 (1:20)
2.00%	50:1 (1:50)
1.00%	100:1 (1:100)

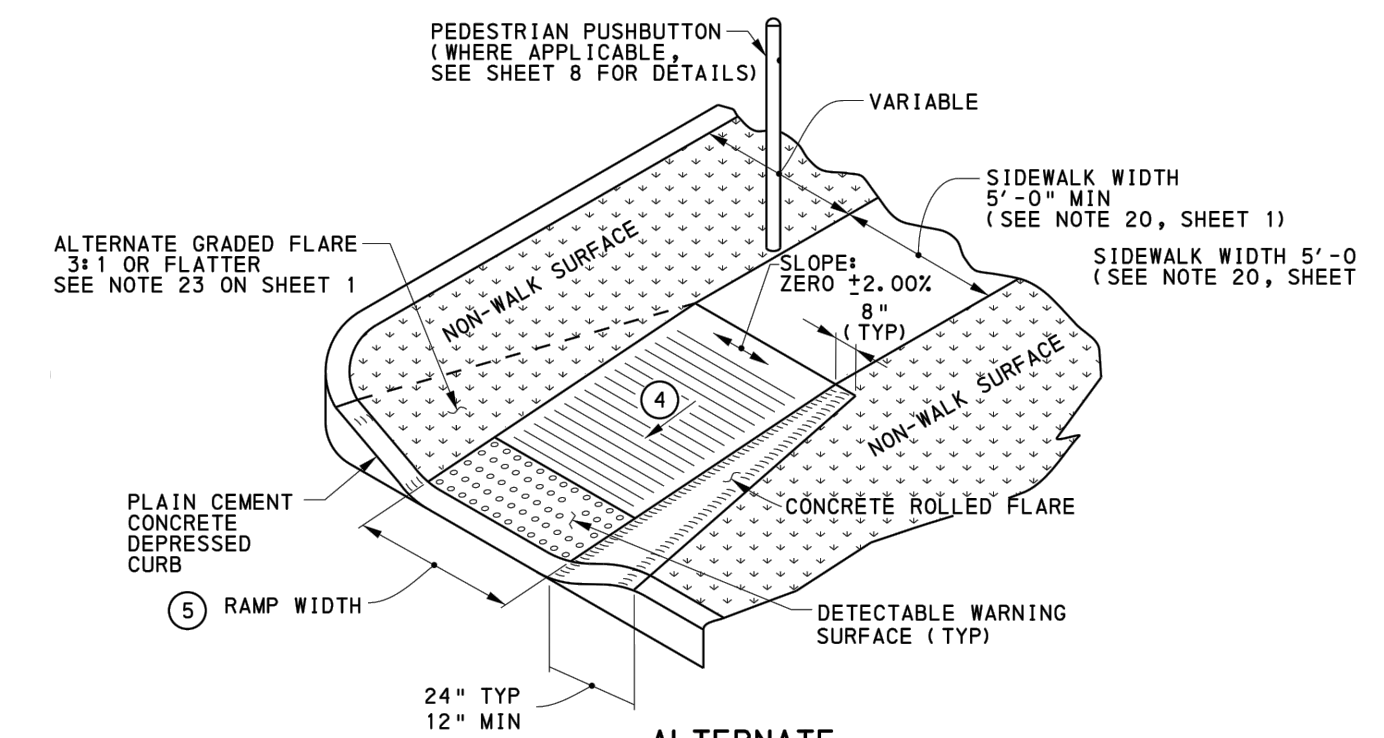
NOTE: EITHER ALL METRIC OR ALL ENGLISH VALUES MUST BE USED ON PLANS. METRIC AND ENGLISH VALUES SHOWN MAY NOT BE MIXED.

- ### NOTES
- PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION 408, SECTIONS 350, 409, 630, 676 AND 694.
  - PROVIDE EXPANSION JOINT MATERIAL 13 (1/2") THICK WHERE CURB RAMP ADJUNCTIONS ANY RIGID PAVEMENT SIDEWALK OR STRUCTURE WITH THE TOP OF JOINT FILLER FLUSH WITH ADJACENT CONCRETE SURFACE.
  - CONSTRUCT CURB RAMPS WITH A MINIMUM 1220 X 1220 (4'-0" X 4'-0") CLEAR SPACE BEYOND THE CURB FACE WITHIN THE WIDTH OF THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. SEE SHEET 7 FOR CROSSWALK DETAILS.
  - SEAL JOINTS WITH AN APPROVED SEALING MATERIAL.
  - PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
  - MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD 205 (8") HEIGHT.
  - CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON CURB HEIGHT AND THE SIDEWALK SLOPE.
  - TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVERSING THE HEIGHT OF CURB, RAMP LENGTH NOT TO EXCEED 4500 (15'-0"). ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT FEASIBLE.
  - NON-WALK AREA IS AN OBSTRUCTED OR GRASS/NON-PAVED AREA ADJACENT TO THE PEDESTRIAN ACCESS ROUTE THAT IS NOT USED BY THE PEDESTRIAN FOR ACCESS.
  - THE DETAILS DEPICT PEDESTRIAN PUSHBUTTON POLES TO ILLUSTRATE THE RECOMMENDED PLACEMENT OF PEDESTRIAN PUSHBUTTONS. FOR ALTERATION PROJECTS, PROVIDE ACCESS TO EXISTING PEDESTRIAN PUSHBUTTONS TO THE MAXIMUM EXTENT FEASIBLE. INSTALL PEDESTRIAN PUSHBUTTON STUB POLES, WHERE APPLICABLE, SO AS NOT TO CREATE PEDESTRIAN OBSTRUCTIONS.
  - ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
  - US CUSTOMARY UNITS IN ( ) PARENTHESES.
  - ALIGN DETECTABLE WARNING SURFACE TRUNCATED DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB.
  - PROVIDE DETECTABLE WARNING SURFACES (DWS) 610 (24") MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS FULL WIDTH OF RAMP AT THE GRADE BREAK NEAR STREET EDGE. PROVIDE DWS THAT VISUALLY MATCH ADJACENT WALKWAY SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT FOR THE FULL WIDTH OF RAMP.
  - FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR PEDESTRIAN ACCESSIBLE ROUTE.
  - FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAX SLOPE ALLOWABLE. SLOPES THAT EXCEED THOSE INDICATED IN THE DETAILS, OR CONTRACT DOCUMENTS AS APPLICABLE, WILL NOT BE ACCEPTED AND WILL BE RECONSTRUCTED.
  - CONSTRUCT SIDEWALKS AT A LONGITUDINAL SLOPE NOT TO EXCEED 5.00%. FOR ROADWAY PROFILE SLOPES THAT EXCEED 5.00%, CONSTRUCT PARALLEL SIDEWALKS ADJACENT TO ROADWAY AT A LONGITUDINAL SLOPE NOT TO EXCEED ROADWAY PROFILE SLOPE.
  - THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP AND ADJOINING ROAD SURFACE IS NOT TO EXCEED AN ALGEBRAIC DIFFERENCE OF 11.00%. THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A CURB RAMP, LANDING OR BLENDED TRANSITION IS NOT TO EXCEED 5.00%. SEE SHEET 8 FOR DETAILS.
  - THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
  - ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 150 (6") CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 1830 (6'-0"). FOR A 1241 (4'-1") SLOPE.
  - SIDEWALK WIDTH MAY BE REDUCED TO 1220 (4'-0") WHEN PASSING AREAS 1525 X 1525 (5'-0" X 5'-0") ARE PROVIDED EVERY 61 METERS (200').
  - THE TRAVEL LANE IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
  - CONSTRUCT DEPRESSED CURB FOR CURB RAMPS FLUSH TO ADJACENT ROADWAY. GRADE EDGE OF ROAD ELEVATIONS AT THE FLOW LINE TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING. FOR LEVEL LANDINGS BEHIND DEPRESSED CURB, ADJUST SLOPES TO PROVIDE POSITIVE DRAINAGE.
  - CHEEK WALLS ARE PERMITTED WHEN ADJACENT TO NON-WALK AREAS OR ELEVATION DIFFERENCES CANNOT BE ACCOMMODATED BY FLARES OR GRADING. GRADE GRASS AREAS OR OTHER NON-WALK AREAS AT 3:1 (1:3) MAXIMUM. DO NOT INSTALL CHEEK WALLS THAT INTERSECT THE PEDESTRIAN ACCESS ROUTE.
  - CONSTRUCT TOP OF PLAIN CEMENT CONCRETE DEPRESSED CURB TO BE FLUSH WITH ADJACENT SURFACES (RAMPS, SIDEWALKS, FLARES).
  - FOR CURB RAMPS THAT LEAD TO A SINGLE CROSSWALK, THE RAMP (EXCLUDING FLARES) TO BE FULLY INSIDE OF MARKED CROSSWALK LINES. SEE SHEET 7 FOR DETAILS.
  - A 1220 (4'-0") MAXIMUM DIGITAL DISPLAY LEVEL WILL BE USED TO VERIFY THE SLOPES OF CURB RAMPS AND SIDEWALKS.

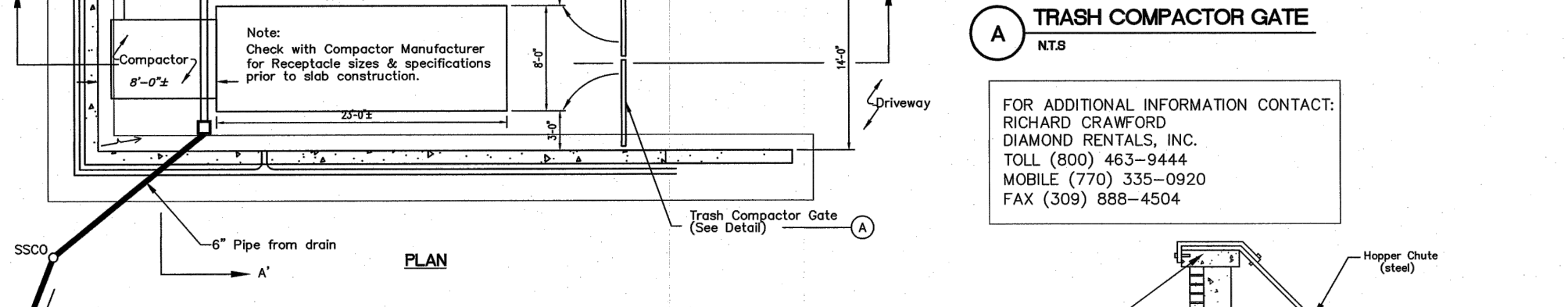
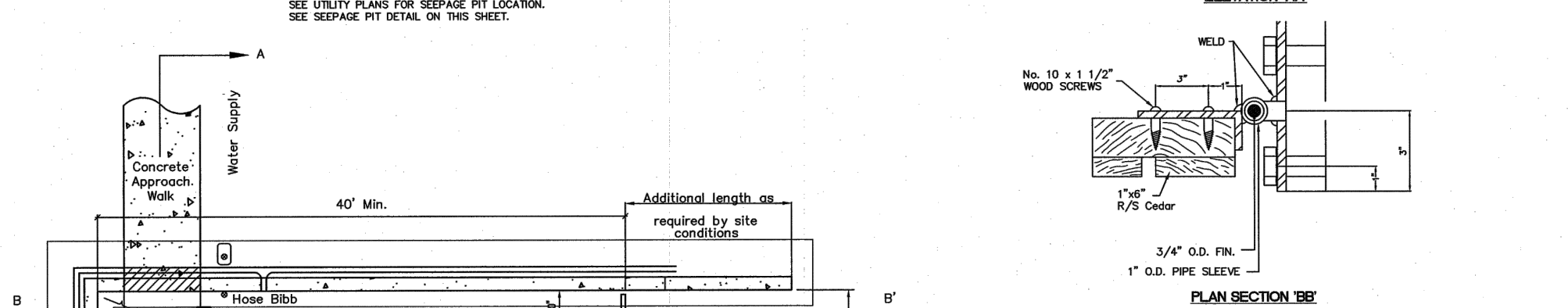
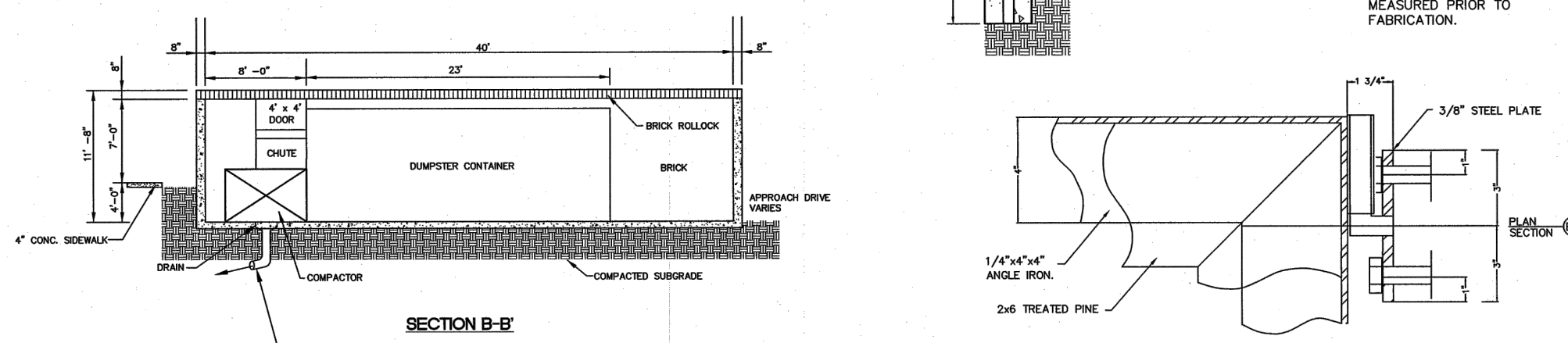
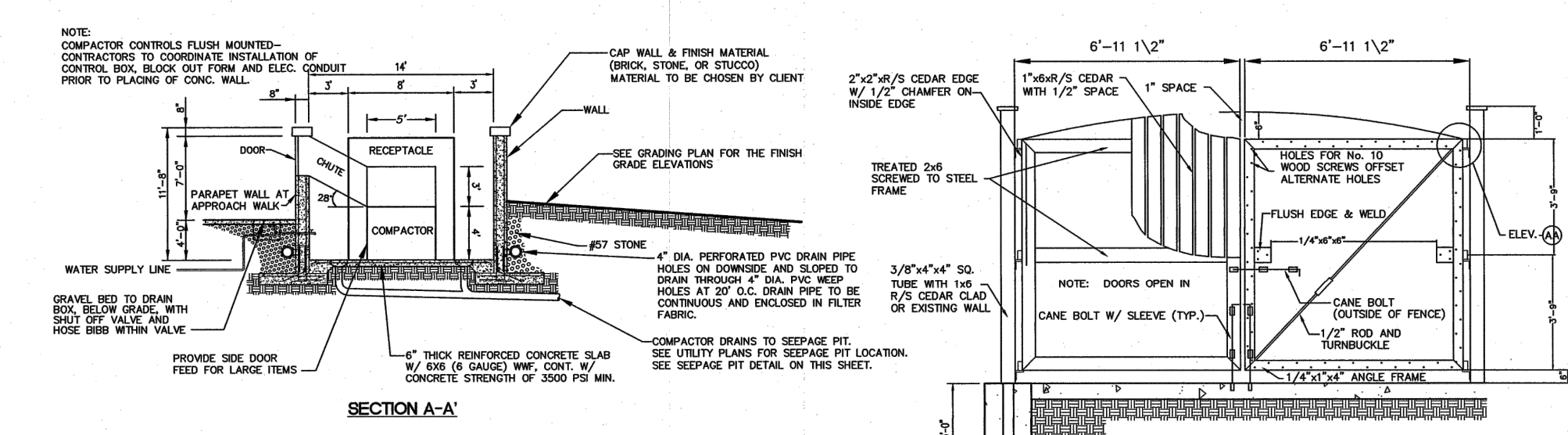
COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF TRANSPORTATION  
BUREAU OF DESIGN  
CURB RAMPS AND SIDEWALKS

NEW CONSTRUCTION OR ALTERATION DETAILS  
TYPE 1 TYPICAL SECTIONS

RECOMMENDED JUN. 1, 2010	RECOMMENDED JUN. 1, 2010	SHT 1 OF 13
<i>[Signature]</i> CHIEF, HWY. & DIVISION	<i>[Signature]</i> DIRECTOR, BUREAU OF DESIGN	RC-67M



- ① SIDE FLARES 10.00% MAX SLOPE
- ② IF THE LANDING IS INDICATED TO BE LESS THAN 1220 (4'-0"), CONSTRUCT SIDE FLARES 8.33% MAX SLOPE.
- ③ OPTIONAL ROLLED CONCRETE SURFACE OR REGRADE SLOPE CAN BE USED TO MEET THE ADJACENT SURFACES IN LIEU OF A RETURN CURB CHEEK WALL.
- ④ CURB RAMPS REQUIRE A 1220 (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.



NOTE: APPROACH WALK MAY ENTER FROM EITHER SIDE OR THE END - ADJUST CONTROL BOX AND HOSE BIBB ACCORDINGLY (SEE GRADING PLAN FOR WALK LOCATION).

NOTE: CONTAINER SIZE - 40 CU.YD.

- 1 TRASH COMPACTOR AND RECEPTACLE
- D5 NTS (SIDE LOADING COMPACTOR)
- 2 TRASH COMPACTOR AND RECEPTACLE
- D5 NTS (SIDE LOADING COMPACTOR)
- 3 TRASH COMPACTOR AND RECEPTACLE
- D5 NTS (SIDE LOADING COMPACTOR)
- 4 TRASH COMPACTOR AND RECEPTACLE
- D5 NTS (SIDE LOADING COMPACTOR)

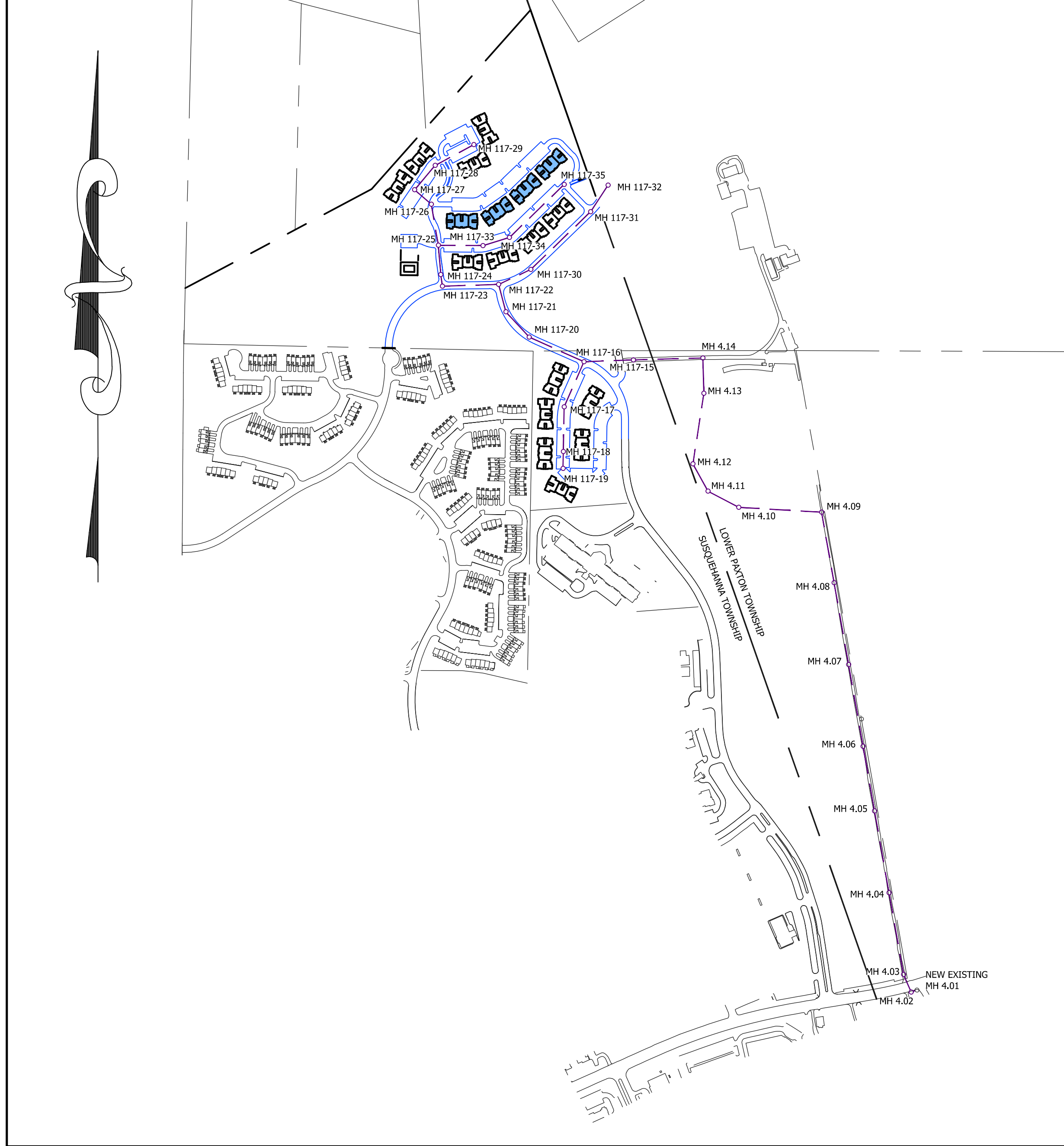
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

R. J. FISHER & ASSOCIATES, INC.  
CIVIL ENGINEERING & LAND SURVEYS  
1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
PHONE: (717) 774-7534 FAX: (717) 774-7190  
WWW.RJFISHERENGINEERING.COM



CONSTRUCTION DETAILS FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS LOCATED IN SUSQUEHANNA & LOWER FAKTON TWP., DAUPHIN COUNTY, PA

DRAWING ID 213008-DTL  
DATE: 01/23/23  
SHEET 42 OF 47



**SANITARY SEWER  
INDEX MAP: 1" = 400'**

DRAWING ID  
213008-DTL  
DATE: 01/23/23  
SHEET 43 OF 47

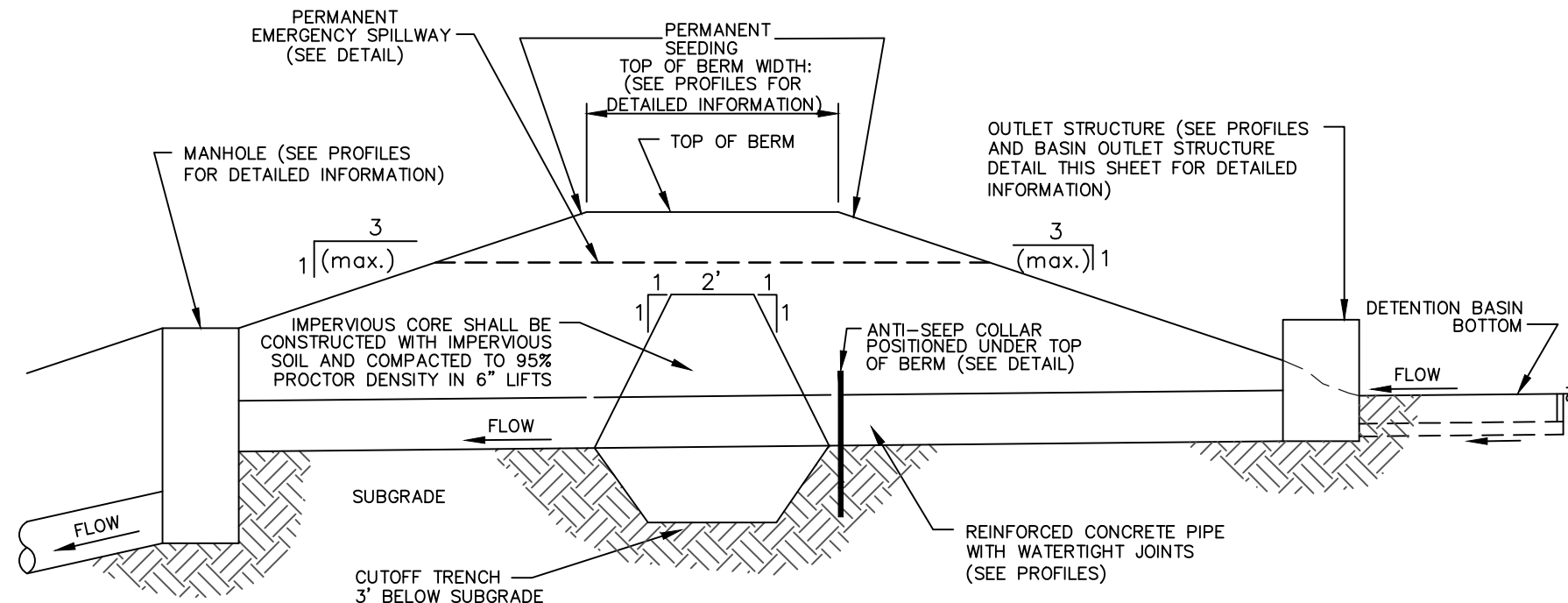
**SANITARY SEWER INDEX MAP  
FOR  
PHASES 1 & 2 BLUE MOUNTAIN  
APARTMENTS  
LOCATED IN  
SUSQUEHANNA & LOWER FAXTON TWP., DAUPHIN COUNTY, PA**



**R.J. FISHER & ASSOCIATES, INC.**  
 □ SITE PLANNING □ CIVIL ENGINEERING □ LAND SURVEYS  
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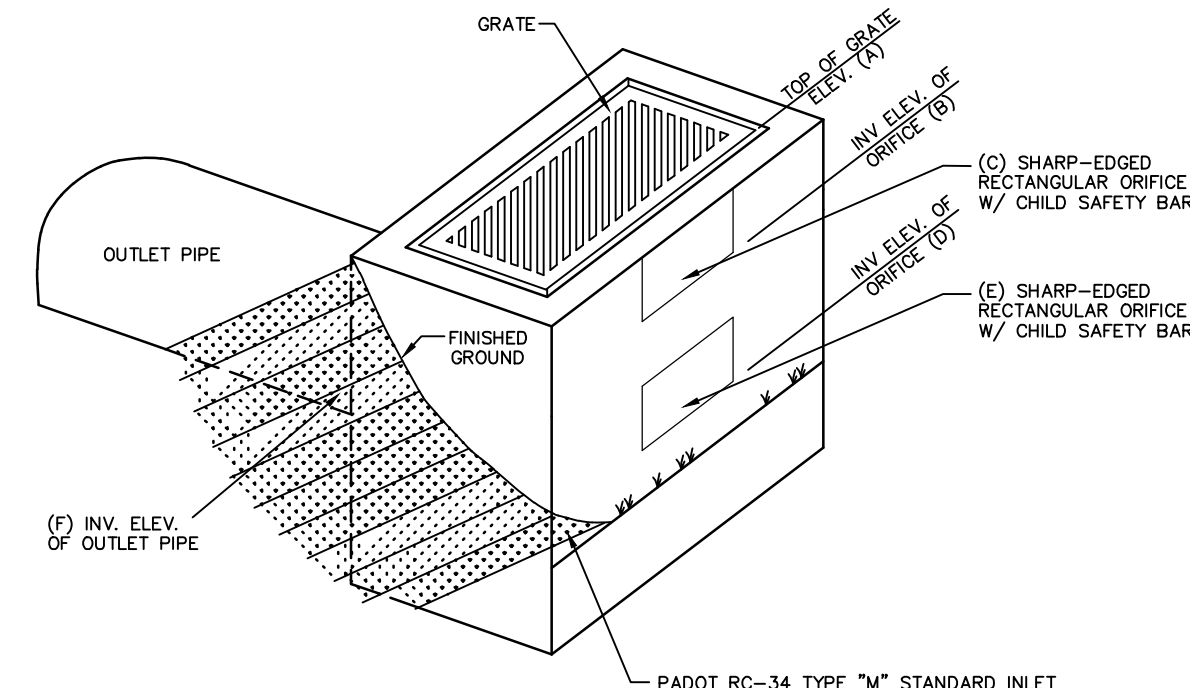
No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2	---	---
3	---	---
4	---	---

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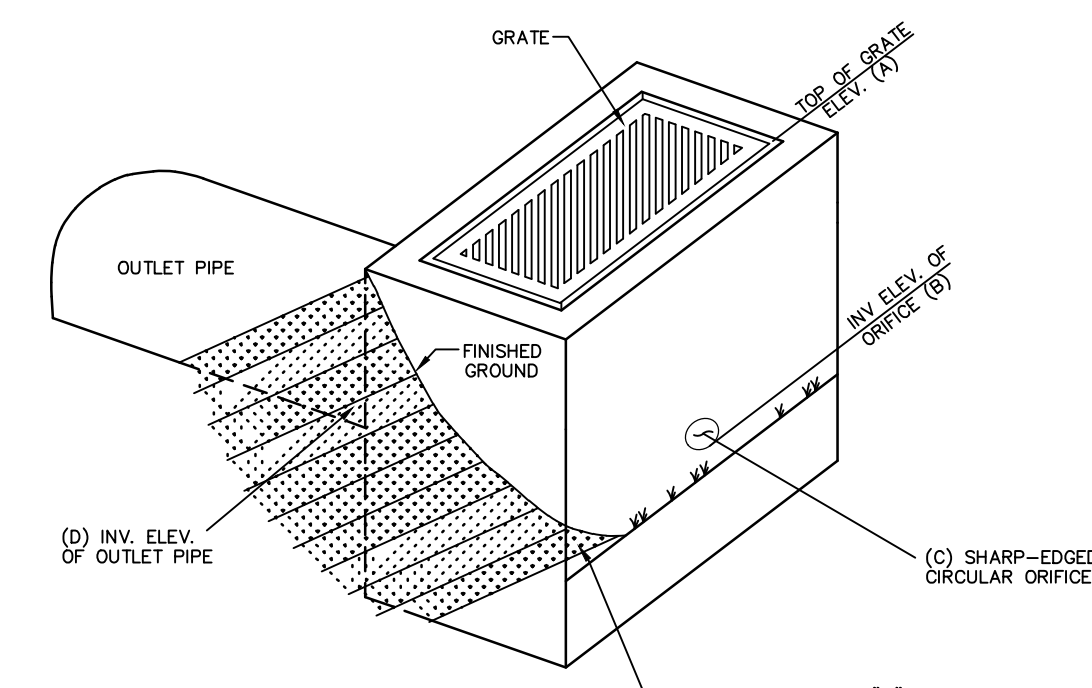
- NOTES:
1. A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED ON ALL AREAS AFFECTED BY THE BASIN CONSTRUCTION (I.E., BASIN FLOOR, SIDE SLOPES, TOP OF BERM, AND THE LIKE) TO ALLOW FOR THE ESTABLISHMENT OF VEGETATION.
  2. ALL FILL MATERIAL TO BE UTILIZED IN EMBANKMENT AREAS SHALL BE SELECTED FROM THE MOST IMPERVIOUS MATERIALS AVAILABLE AT THE SITE AND SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIAL MAXIMUM DRY DENSITY AS DETERMINED BY A STANDARD PROCTOR TEST.
  3. BACKFILL TRENCH AROUND DISCHARGE PIPE WITH RELATIVELY IMPERVIOUS SOIL (NO STONE BACKFILL).

TYPICAL DETENTION BASIN BERM CONSTRUCTION  
N.T.S.



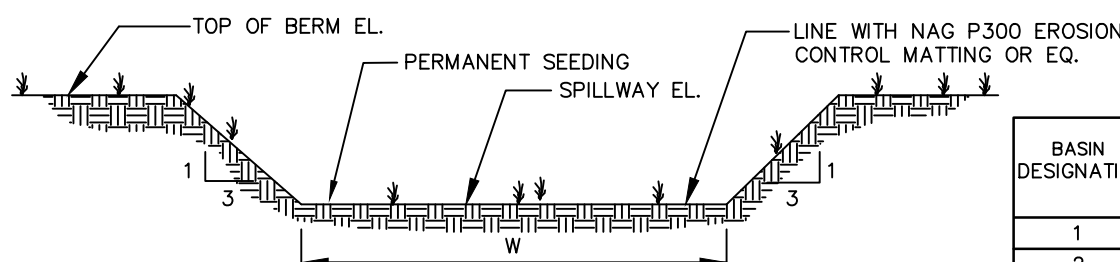
DETENTION BASIN #1 OUTLET STRUCTURE							
BASIN #	OUTLET STRUCTURE #	A (FT)	B (FT)	C (IN)	D (IN)	E (FT)	F (FT)
1	E1	510.00	508.67	12	24	507.00	12

PERMANENT DETENTION BASIN #1 OUTLET STRUCTURE  
N.T.S.



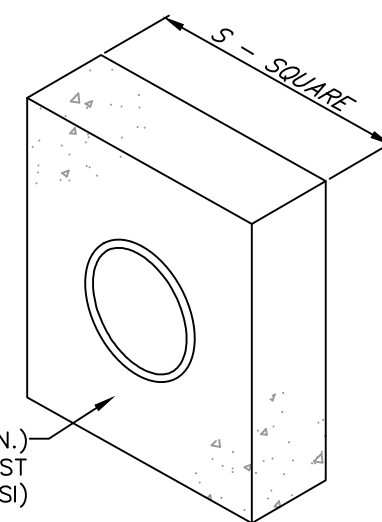
DETENTION BASIN #2 OUTLET STRUCTURE							
BASIN #	OUTLET STRUCTURE #	A (FT)	B (FT)	C (IN)	D (IN)	E (FT)	F (FT)
2	D1	486.00	481.00	12	12	476.00	

PERMANENT DETENTION BASIN #2 OUTLET STRUCTURE  
N.T.S.



BASIN DESIGNATION	TOP OF BERM ELEVATION (FT)	SPILLWAY ELEVATION (FT)	WIDTH (FT)
1	514.01	512.51	110.00
2	488.10	486.50	20.00
R.G. 1	497.00	496.00	10.00
R.G. 2	482.00	490.75	15.00
R.G. 3	488.00	487.50	10.00

PERMANENT EMERGENCY SPILLWAY DETAIL  
N.T.S.



12 IN. THICK (MIN.)  
CAST-IN-PLACE OR PRECAST  
CONCRETE COLLAR (MIN. 2000 PSI)

INLETS	PIPE SLOPE	PIPE SIZE (IN)	S (IN)	NO. OF ANCHORS	INLET TO FIRST ANCHOR (FT)	ANCHOR SPACING (FT)
G-1 TO G-3	26.96%	18	42	1	30	N/A
H-1 TO H-12	22.14%	18	42	1	30	N/A
I-1 TO I-31	16.76%	36	60	2	30	30
I-15 TO I-14	33.40%	24	48	1	25	N/A
I-14 TO I-13	37.31%	24	48	2	21	21

CONCRETE PIPE ANCHOR  
N.T.S.

STORMWATER BMP OPERATION AND MAINTENANCE PLAN

The stormwater Best Management Practices (BMPs) as shown on this plan shall be maintained to function as designed as per the procedures described below. Facilities located outside the public rights-of-way shall be owned and maintained by the owner(s) of the lot on which the facilities are located.

The facilities are to remain permanent and can only be removed or altered after approval by one or more of the following entities which may have jurisdiction: Susquehanna Township; Dauphin County Conservation District; and/or PA DEP.

The following facilities located outside the public rights-of-way shall be maintained to the original design and dimensions shown on the design plans, approved by Susquehanna Township, until such time as an amended plan is approved by the Township:

- Stormwater Infiltration Basin & Outlet Structure
- Stormwater Inlets, Manholes, Pipes & Swales
- Riprap Aprons

For any structural facility (pipe, inlet, manhole), it must be repaired or replaced if damaged more than superficially, in a way that is a safety hazard, if structurally unsound, or if not substantially performing as it is intended per the original design. The responsible owners shall keep a record of any repaired or replaced facility, including costs, dates, materials removed, materials placed, and the contractor(s) information.

Inspection and maintenance tasks for stormwater infiltration basin & outlet structure:

- Inspect annually at a minimum.
- The bottom of the stormwater infiltration basin can be maintained as mowed grass, maintained meadow, or natural brush succession, per the desires and budget of the lot owner. The basin berms shall be maintained as turf grass or meadow, being mowed at least several times per year. Removal of sediment / debris shall take place when the basin bottom has dried, if possible. Man-made trash shall be disposed of properly in containers collected by a licensed commercial trash hauler.
- Examine for and clean out the outlet structure and trash rack, of accumulated trash, grit and the like.
- Remove grit, sand, soil or organic matter if it accumulates to a depth of 3" or more, so that storage volume is maintained.

Inspection and maintenance tasks for stormwater inlets, manholes, pipes & swales:

- Examine annually at a minimum. Remove man-made trash and dispose of properly.
- Examine inlet bottoms via grates, for accumulated debris. Remove accumulated grit and other debris. Check for any obvious structural deterioration.
- The swales shall be maintained as turf grass or meadow, being mowed at least several times per year.
- Any erosion shall be re-stabilized with rock, or seeding (seed, mulch and matting), or sod that is watered until established; rock should be placed in non-growing seasons, even if temporary.
- All inlets, storm piping, swales and drainage structures shall be kept free of any obstructions and foreign material that would cause disruption of water flow in a manner not designed for the facility, such as sediment, vegetation, wood, sand, debris, or vegetative growth in excess of 12 inches if not part of the landscape design. Removal of sediment/debris shall take place when the area has dried, if possible. Man-made trash shall be disposed of properly in containers collected by a licensed commercial trash hauler.
- All impervious surfaces shall be maintained clean of oil, fuel or other toxic spills, in accordance with State, Federal or local regulations.

Inspection and maintenance tasks for riprap aprons:

- Inspect annually at a minimum.
- Remove any accumulated debris and trash, and remove promptly. Dislodged rock should be reset in place. Any scouring of earth at or below the apron should be re-stabilized with rock, or seeding (seed, mulch and matting), or sod that is watered until established; rock should be placed in non-growing seasons, even if temporary.

INFILTRATION BASIN SEEDING NOTES

1. ENTIRE INFILTRATION BASIN BOTTOMS AND 1 FOOT UP THE SIDE SLOPES SHALL BE SEEDED WITH ERNST CONSERVATION SEEDS RAIN GARDEN MIX FOR REGION 1 (ERNMX-180) IF MOWING WILL OCCUR, OR NATIVE DETENTION AREA MIX FOR REGION 1 (ERNMX-183) IF MOWING WILL NOT OCCUR.

2. APPLICATION RATES:  
ERNMX-180 APPLIED AT 1/2 LB PER 1000 SF OR 3.6 LBS TOTAL  
ERNMX-183 APPLIED AT 1/2 LB PER 1000 SF OR 3.6 LBS TOTAL

3. SITE PREPARATION:  
INVASIVE SPECIES SHALL BE REMOVED OR SPRAYED BEFORE THEY BECOME INCORPORATED INTO THE INFILTRATION BASIN AREA.

SPOT SPRAY OR HAND PULL PROBLEM WEEDS.

PERENNIAL WEEDS NOT ADDRESSED BEFORE ESTABLISHMENT OF SEED MIX WILL BE A DIFFICULT PROBLEM TO REMOVE.

THE INFILTRATION AND PLANT GROWTH AREAS SHOULD BE LOOSE AND FRIABLE, HIGH IN ORGANIC MATTER, AND COMPLETED WITHOUT COMPACTION FROM HEAVY EQUIPMENT. SITE SOILS SHALL BE REMOVED TO 18" MINIMUM BELOW PROPOSED FINISHED GRADE OF THE BOTTOM OF THE INFILTRATION BASIN AND REPLACED WITH A MIXTURE OF 60-70% TOPSOIL MIXED WITH 30-40% COMPOST.

4. SEEDING AND PLANTING METHODS:  
SEEDING SHOULD BEGIN IMMEDIATELY AFTER THE GRADES FOR THE INFILTRATION BASIN HAVE BEEN ESTABLISHED BEFORE INVASIVE WEEDS CAN EMERGE.

BROADCAST SEED EVENLY OVER THE ENTIRE AREA BY HAND OR HYDROSEEDING.

SEED FILLER (KITTY LITTER, SANDUST OR SAND) CAN BE USED AT A RATE OF 9-1/2 LBS PER 1/2 LB OF SEED MIX PER 1000 SF OF SEEDING AREA.

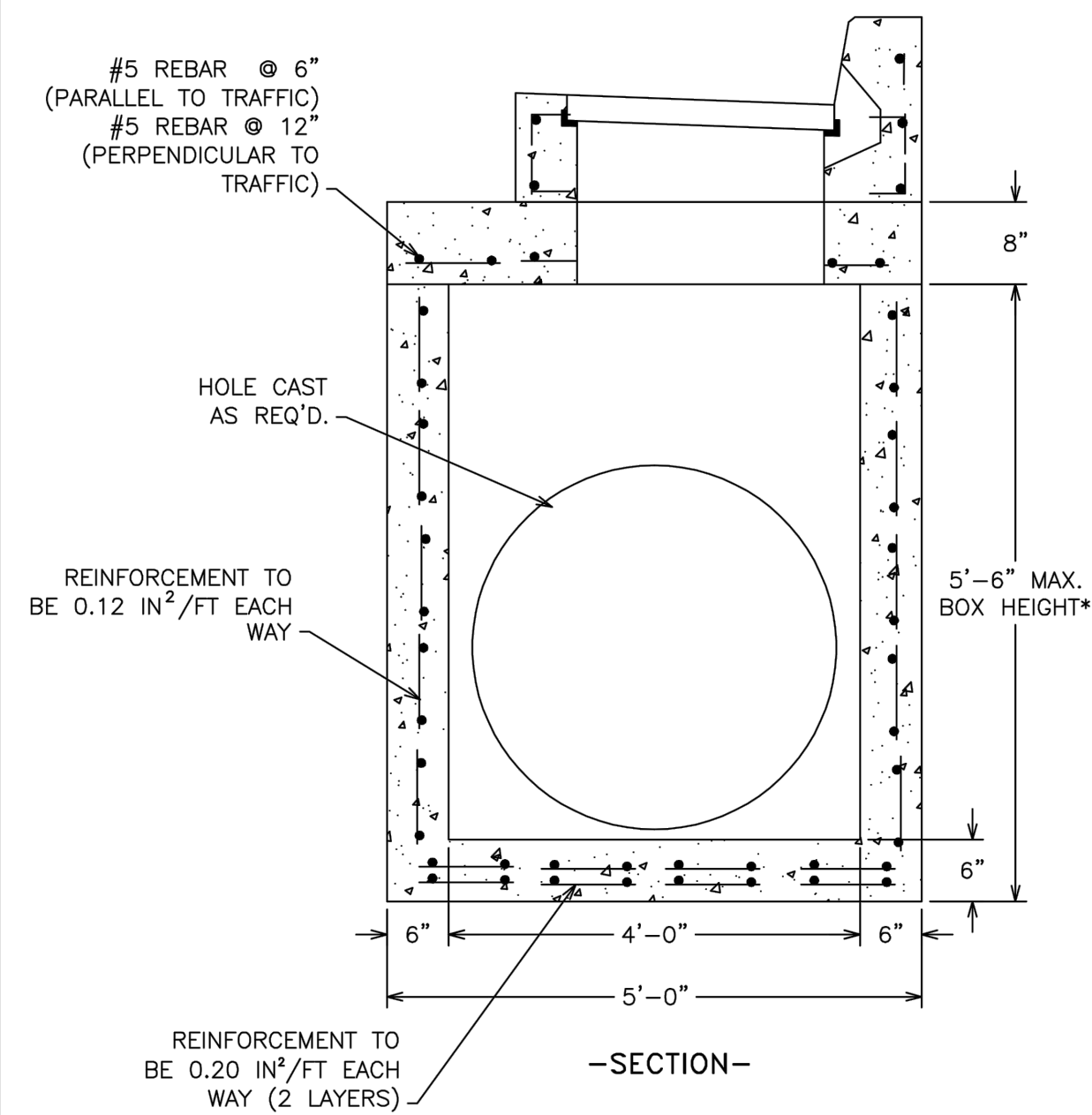
SEEDLINGS MAY NEED TEMPORARY WATER UNTIL THEY BECOME WELL ROOTED. IRRIGATION OF SEEDED AREAS IS OF VALUE UNTIL SEEDLINGS BECOME ESTABLISHED.

5. GENERAL MAINTENANCE:  
SILTATION NEEDS TO BE REMOVED AS NEEDED AND ERODED AREAS NEED TO BE PROMPTLY RETORED.

PLANTS NEED TO BE TRIMMED BACK TO MAINTAIN AESTHETIC VALUE AND INVASIVE SPECIES NEED TO BE CONTROLLED.

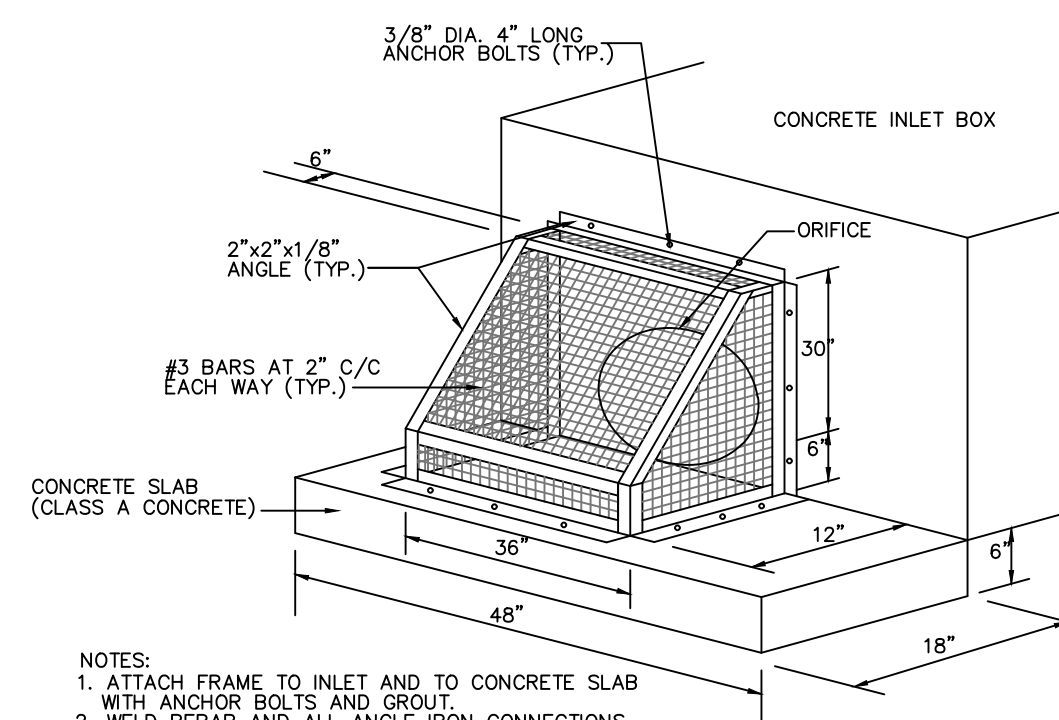
CLOSE MOWING OR EXTENSIVE CHEMICAL USE IS NOT CONDUCTIVE TO WATER QUALITY IMPROVEMENT AND WILDLIFE HABITAT AND SHOULD BE MINIMALLY UTILIZED AT MOST.

MONARCH PRODUCTS COMPANY, INC.  
YORK HAVEN, PA.



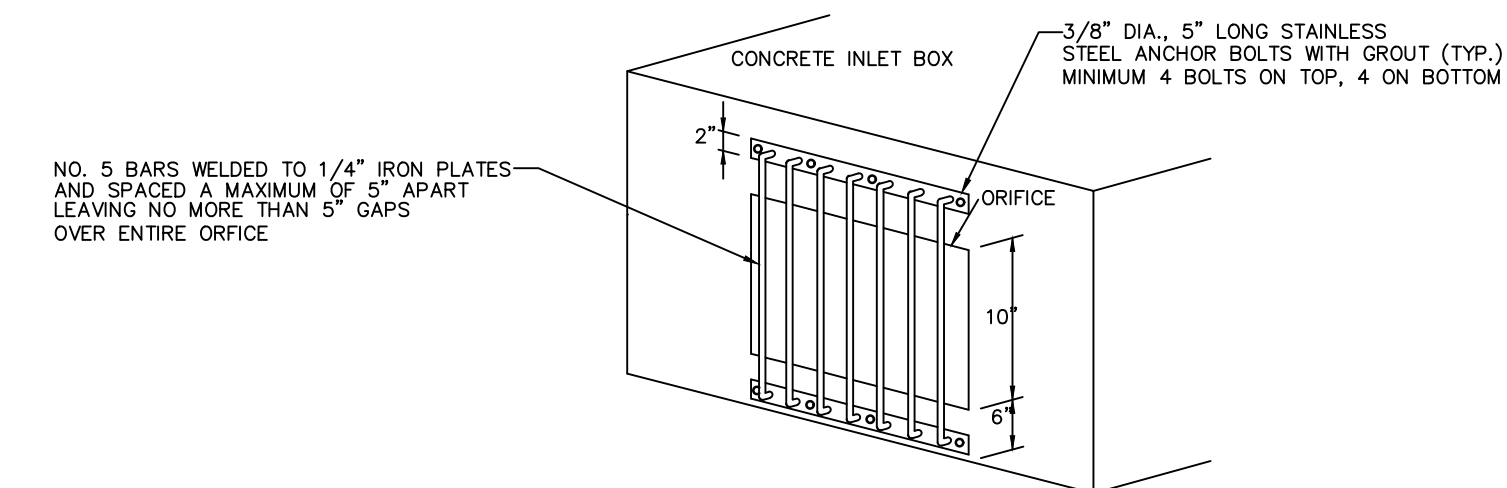
PRECAST INLET BOX 48" X 48"  
FOR PENNDOT INLET TOPS

DWG. I-44C



- NOTES:
1. ATTACH FRAME TO INLET AND TO CONCRETE SLAB WITH ANCHOR BOLTS AND GROUT.
  2. WELD REBAR AND ALL ANGLE IRON CONNECTIONS.
  3. GALVANIZED PAINT SHALL BE APPLIED TO ENTIRE TRASH RACK AFTER WELDING.

ORIFICE TRASH RACK DETAIL  
N.T.S.



- NOTES:
1. ATTACH FRAME TO INLET AND TO CONCRETE SLAB WITH ANCHOR BOLTS AND GROUT.
  2. WELD REBAR AND ALL ANGLE IRON CONNECTIONS.
  3. GALVANIZED PAINT SHALL BE APPLIED TO ALL CHILD SAFETY BARS AFTER WELDING.

CHILD SAFETY BARS DETAIL  
N.T.S.

NO.	REVISION	COMMENTS	DATE
1			09/19/23
2			
3			
4			

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STORMWATER MANAGEMENT  
SITE PLAN  
FOR  
PHASES 1 & 2 BLUE MOUNTAIN  
APARTMENTS  
LOCATED IN  
FAKTON TWP., DAUPHIN COUNTY, PA

**GENERAL NOTES**

- The site contractor and their designees shall familiarize themselves with this Erosion Control Plan. The site contractor shall be responsible for implementation of this Erosion Control Plan.
- The site contractor shall not disturb more area than is necessary for the task to be done, so that potential for erosion is minimized.
- The site contractor shall ensure that earth disturbance activities are planned and implemented to the extent practicable in accordance with the following:
  - Minimize the extent and duration of the earth disturbance.
  - Maximize protection of existing drainage features and vegetation.
  - Minimize soil compaction.
  - Utilize other measures or controls that prevent or minimize the generation of increased stormwater runoff.
- Erosion and sedimentation controls must be constructed, stabilized, and functional before site disturbance within the tributary areas to the controls.
- A copy of the approved Erosion and Sediment Control Plan / Drawings (stamped, signed and dated by the reviewing agency) must be available at the project site at all times.
- At least 7 days prior to starting any earth disturbance activities, or expanding into an area previously unworked, the owner and/or operator shall invite all contractors involved in those activities, the landowner, appropriate municipal officials, the erosion control plan preparer, the post construction plan preparer, and a representative of the County Conservation District to an on-site pre-construction meeting.
- At least 3 days before starting any earth disturbance activities, or expanding into an area previously unworked, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the County Conservation District prior to implementation.
  - Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E & S BMPs specified by the Construction Sequence for that stage or phase have been installed and are functioning as described in this document.
  - At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan maps. These areas must be clearly marked and fenced off before clearing and grubbing operation begin.
  - Topsoil stockpile heights shall not exceed 35 feet. Stockpile side slopes must be 2:1 or flatter.
  - Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices (BMPs) to minimize the potential for erosion and sediment pollution, and notify the local Conservation District and/or the regional office of PA DEP.
  - Solids, trash and other pollutants shall be disposed in accordance with federal and state regulations in order to prevent any pollutant in such materials from adversely affecting the environment. All building materials and wastes must be removed from the site and recycled or disposed in accordance with the Department of Environmental Protection's Solid Waste Management regulations at 25 Pa. Code 260, 260.1 et seq., 271.1, and 287.1 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
  - All off-site waste and borrow areas must have an E & S Plan approved by the Conservation District or DEP, and fully implemented prior to being activated.
  - The contractor is responsible for ensuring that any material brought onto the site is Clean Fill. Form FP-001 must be retained by the property owner for any fill material affected by a spill or release of a regulated substance but qualifying as Clean Fill due to analytical testing.
  - All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
  - Areas which are to be topsoiled shall be scarified to a minimum depth of 4 inches prior to placement of topsoil. Areas to be vegetated to a minimum depth of 4 inches of topsoil in place prior to seeding and mulching. Fill outcrops shall have a minimum of 2 inches of topsoil.
  - All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures, conduits, etc. shall be compacted in accordance with local requirements or codes. All fills shall be placed in compacted layers not to exceed 9 inches in thickness. Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills. Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills. Fill shall not be placed on saturated or frozen surfaces.
  - Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
  - All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated.
  - Immediately after earth disturbance activities cease in any area or sub-area of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be reworked within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be reworked within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
  - Permanent stabilization is defined as a minimum uniform, perennial 70% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
  - All E & S BMPs must remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the Conservation District or PA DEP.
  - Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and / or operator shall contact the Conservation District for an inspection prior to removal / conversion of the E & S BMPs.
  - After final site stabilization has been achieved, temporary E & S BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs must be stabilized immediately. In order to ensure rapid vegetation of disturbed areas, such removal / conversions should be done only during the germinating season.
  - Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and / or operator shall contact the Conservation District to schedule a final inspection.
  - Failure to correctly install E & S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E & S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Pennsylvania Department of Environmental Protection as defined in Section 602 of the Pennsylvania Clean Streams law. The Clean Streams law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
  - Only limited disturbance will be permitted to initially access and acquire borrow to construct control facilities, before general site restoration begins.
  - If fuel or other dangerous chemicals are stored on site, then a Preparedness, Prevention and Contingency (PPC) Plan must be developed and kept on site.
  - An erosion control blanket must be installed on all disturbed slopes steeper than 3:1 in all areas with concentrated flows as noted on the drawings.

**NOTES:**

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST FILTER SOCK SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

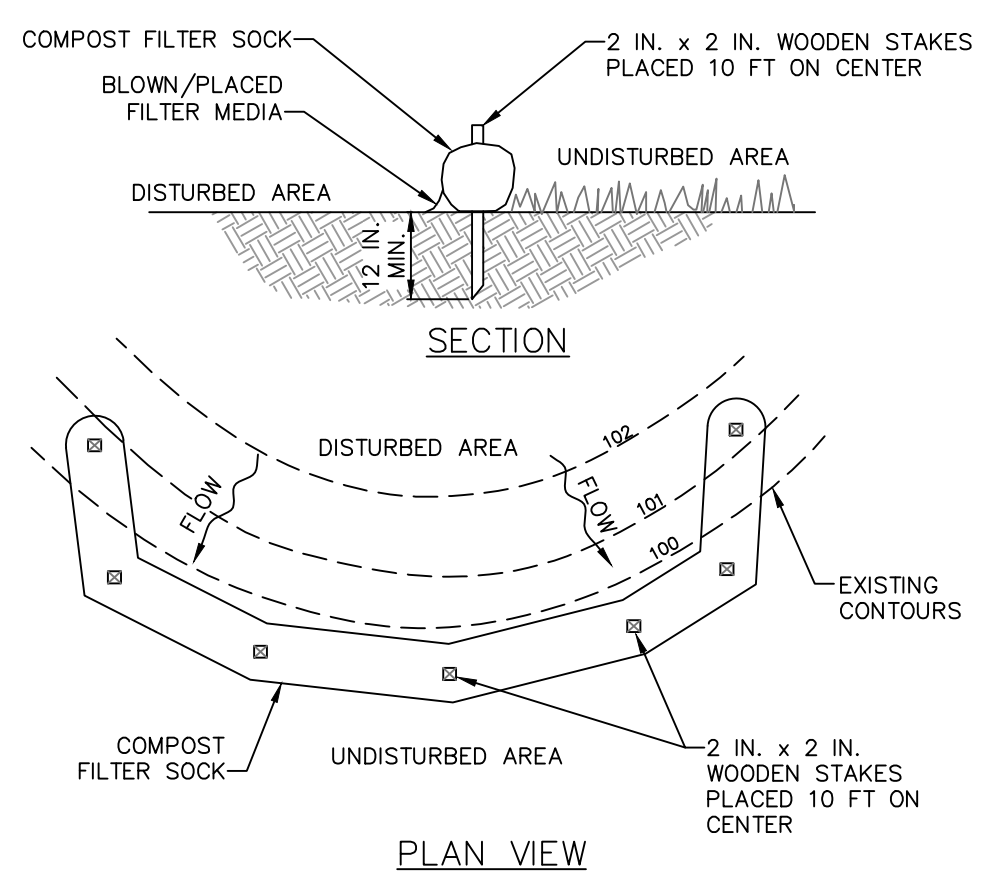
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

COMPOST FILTER SOCK TABLE				COMPOST FILTER SOCK TABLE			
SOCK NO.	DIA. (IN)	LOCATION	SLOPE PERCENT	SLOPE PERCENT	SLOPE PERCENT	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
1	12	SEE PLAN	33%	18	24	SEE PLAN	14%
2	12	SEE PLAN	33%	12	12	SEE PLAN	2%
3	12	SEE PLAN	33%	300	12	SEE PLAN	11%
4	12	SEE PLAN	33%	13	18	SEE PLAN	33%
5	12	SEE PLAN	33%	40	14	SEE PLAN	6%
6	12	SEE PLAN	33%	40	15	SEE PLAN	33%
7	12	SEE PLAN	8%	180	16	SEE PLAN	22%
8	12	SEE PLAN	14%	2,000+	17	SEE PLAN	33%
9	24	SEE PLAN	14%	2,000+	18	SEE PLAN	10%



**COMPOST FILTER SOCK**

NOT TO SCALE

**STAGING OF EARTH MOVING ACTIVITIES**

**General Notes:**

- A licensed professional or a designee shall be present on site during construction of the following critical stages of implementation of the approved POCM plan:
  - Detention / Infiltration Basins 1 & 2
  - Rain Gardens 1, 2 & 3
- At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call system Incorporated at 1-800-242-1776 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the following specific sequencing. Each stage shall be completed and immediately stabilized before any following stage is initiated. Clearing, grubbing and topsoil stripping shall be limited only to those areas described in each stage. Any deviation from the following sequence must be approved in writing from the Dauphin County Conservation District.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate the potential for accelerated erosion and/or sediment pollution.
- At least 7 days before starting any earth disturbance activities, the owner and/or operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, and a representative of the Dauphin County Conservation District to an on-site pre-construction meeting.
- Immediately after earth disturbance activities cease, the operator shall stabilize the disturbed areas. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be re-disturbed within 1 year must be stabilized in accordance with the temporary seeding vegetative stabilization specifications. Disturbed areas which are not at final grade or which will not be re-disturbed within 1 year must be stabilized in accordance with the permanent seeding vegetative stabilization specifications.
- All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag or equivalent sediment removal facility, over undisturbed vegetated areas.

**Stage A of Earthmoving Activities:**

- Field mark the limits of disturbance. Identify the topsoil stockpile area. Install Silt Barriers 1 through 8. Install Silt Barriers 9 and 10 per the detail located on the E&S details along with associate riprap. Strip the topsoil and bring to final sub-grade elevation in the area of the Stabilized Construction Entrances. Finish installation of Stabilized Construction Entrance 1 and 2. Field mark the bottom of infiltration Basin 1 & 2 to minimize heavy construction traffic in these areas.
- Clear, grub and strip topsoil as necessary to construct Sediment Basin 1 with baffles and sump and Sediment Basin 2, as shown in the E&S Stage A drawings. Caution should be taken to avoid construction equipment traffic within the limit of the bottom elevation of the sediment basins. Permanently seed and mulch as soon as final grading of the basins is complete.
- Clear, grub and strip topsoil as necessary to bring the site to rough grade elevations shown on the E&S Stage A drawings. Remove existing Oakhurst Boulevard pavement areas to be re-graded / re-located. Re-locate stream near the existing Continental Drive, installing storm run J through J-2 as shown on the E&S Stage A drawings. Install temporary swales T-1, T-2, and T-3. Temporarily seed topsoil stockpile.
- Install storm sewer pipe runs D to D-21, D to D-2, and E to E-1 with associated riprap aprons and inlet protection. Install outlet structures D-1 and E-1 with temporary skimmer orifices at the proposed elevations on the details and all permanent orifices blocked. During trenching, should any water accumulate in trenches or elsewhere, to a depth that must be pumped, the contractor shall use a Pumped Water Filter Bag as detailed on the drawings.

**Stage B of Earthmoving Activities:**

- Buildings 1 through 6
- Install the retaining wall along Oakhurst Boulevard and bring Oakhurst Boulevard and Continental Drive to sub-grade, while maintaining temporary swales crossing both roads.
  - Install silt barrier 11 through 18.
  - Continue grading operations bringing Phase 1 and 2 to sub-grade, installing both retaining walls associated with the recreation center. Apply temporary seeding as soon as possible.
  - Install sanitary sewer manholes MH 117-16 through MH 117-26 and MH 117-30 through MH 117-35.
  - Install storm sewer runs A, B, and C with associate riprap aprons and inlet protection. Install storm sewer runs F, G, H, I through I-4, I-16, and I-22 through I-25 with associate riprap aprons and inlet protection. Install permanent swales P-1 and P-2.
  - Complete grading of Rain Gardens #1, #2, and #3.
  - Install curbing and both sidewalk and monolithic sidewalk along Continental Drive, Oakhurst Boulevard, Hollis Court and to the recreation center along Wallace Court and Elizabeth Court. Install stone sub-base and binder course on Continental Drive, Oakhurst Boulevard, Hollis Court and to the recreation center along Wallace Court and Elizabeth Court.
  - Complete construction of recreation center and buildings 1 through 6 constructing associated walkways as buildings are constructed. Apply permanent seeding, landscaping, and mulch as buildings are constructed.
  - Upon approval from the Dauphin County Conservation District, Sediment Basin 2 shall be converted to the permanent condition as indicated on the POCM plan. Sediment Basin 2 shall be dewatered, using a Pumped Water Filter Bag as detailed on the drawings, and the cleanout Stokes and the skimmer shall be removed. The permanent outlet structure associated with Stormwater Basin 2 shall be modified as indicated on the POCM plan. All sediment deposited within storm sewers shall be removed prior to converting the sediment basin and trap. Remove an additional 6" below the proposed basin bottom and replace with natural seeded material. Permanently seed and mulch as required.
  - Install wearing course on Continental Drive, Oakhurst Boulevard and Hollis Court

**Buildings 7 through 10 and 15 through 18**

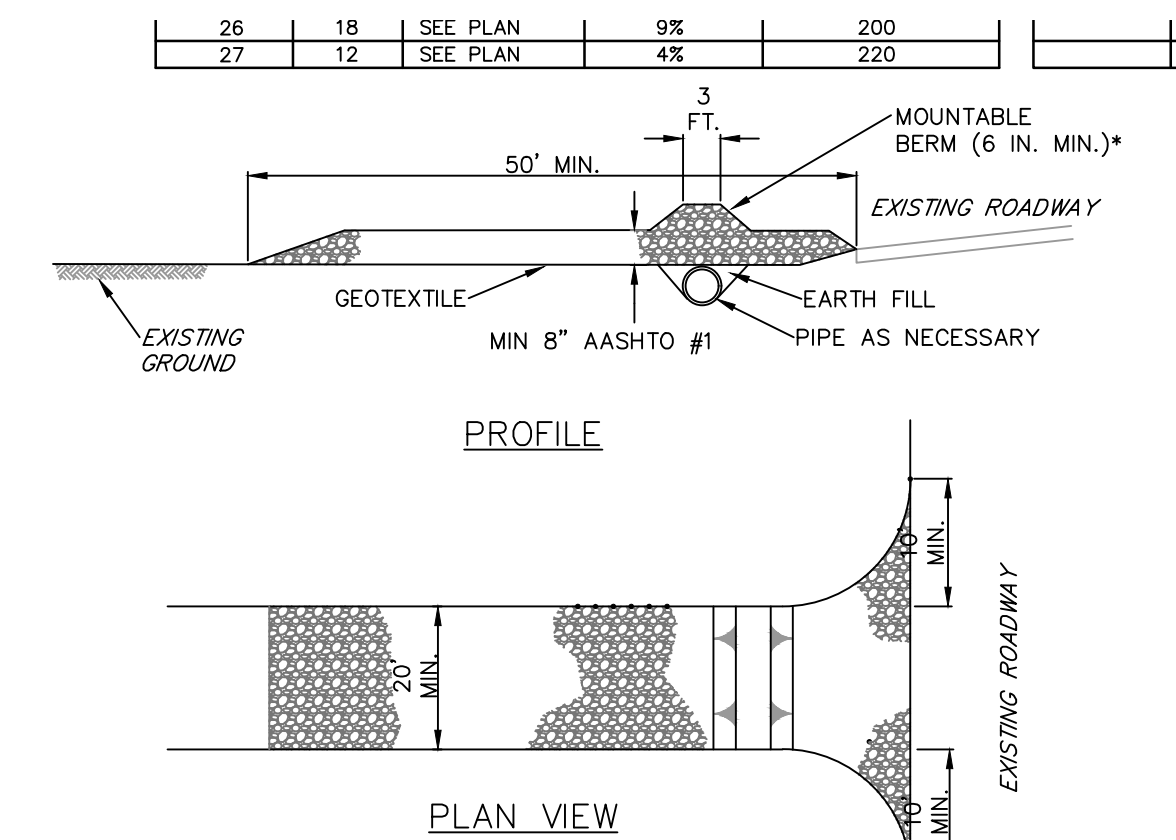
- Install stabilized construction entrance 3 and 4.
- Install sanitary sewer manholes MH 117-26 through MH 117-29.
- Install storm sewer structures I-4 through I-8, I-17 through I-21 and I-26 through I-29.
- Install the retaining wall located on Elizabeth Court.
- Install curbing and sidewalk along Elizabeth Court, Wallace Court up to the second intersection with Elizabeth Court and East Elizabeth Court. Install stone sub-base and binder course on Elizabeth Court, Wallace Court up to the second intersection with Elizabeth Court and East Elizabeth Court.
- Complete construction of buildings 7 through 10 and 15 through 18 and associated walkways and garages. Apply permanent seeding, landscaping, and mulch as buildings are constructed.
- Install wearing course on Elizabeth Court, Wallace Court up to the second intersection with Elizabeth Court and East Elizabeth Court.

**Buildings 11 through 14**

- Install storm sewer structures I-9 through I-15, and I-30 with associated inlet protection. Install permanent swale P-2.
- Install curbing and sidewalk along Wallace Court and North Wallace Court. Install stone sub-base and binder course on Wallace Court and North Wallace Court.
- Complete construction of buildings 11 through 14 and associated walkways and garages. Apply permanent seeding, landscaping, and mulch as buildings are constructed.
- Install wearing course on recreation center paving, Wallace Court and North Wallace Court.

**Conversion to POCM**

- Temporary control measures can only be removed when the watershed draining to the measure is permanently stabilized and removal is authorized by the Dauphin County Conservation District. Permanently stabilized is defined as a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density capable to resist accelerated surface erosion, and subsurface characteristics sufficient to resist sliding and other movements. The location of the control measure must be immediately permanently stabilized upon its removal. All areas to be permanently seeded shall have a minimum depth of 6" of topsoil before seeding.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operators shall contact the Dauphin County Conservation District for an inspection prior to the removal/conversion of the E&S BMPs.
- Upon approval from the Dauphin County Conservation District, Sediment Basin 1 shall be converted to the permanent condition as indicated on the POCM plan. Sediment Basin 1 shall be dewatered and the baffles, cleanout Stokes, and the skimmer shall be removed. The permanent outlet structure associated with Stormwater Basin 1 shall be modified as indicated on the POCM plan. All sediment deposited within storm sewers shall be removed prior to converting the sediment basin. Remove an additional 6" below the proposed basin bottom and replace with natural seeded material. Permanently seed and mulch as required.



\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

**NOTES:**

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

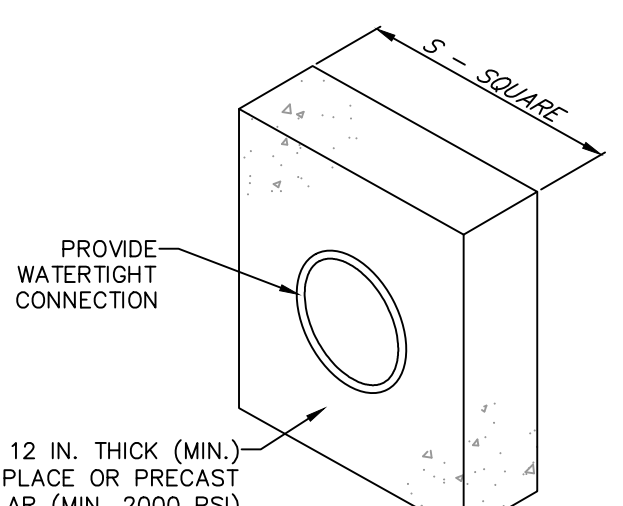
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROCK CONSTRUCTION ENTRANCE SHALL BE PERFORMED REGULARLY. SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



BASIN OR TRAP NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
1	36	82.8	2	10	10
2	24	73.2	2	15	15

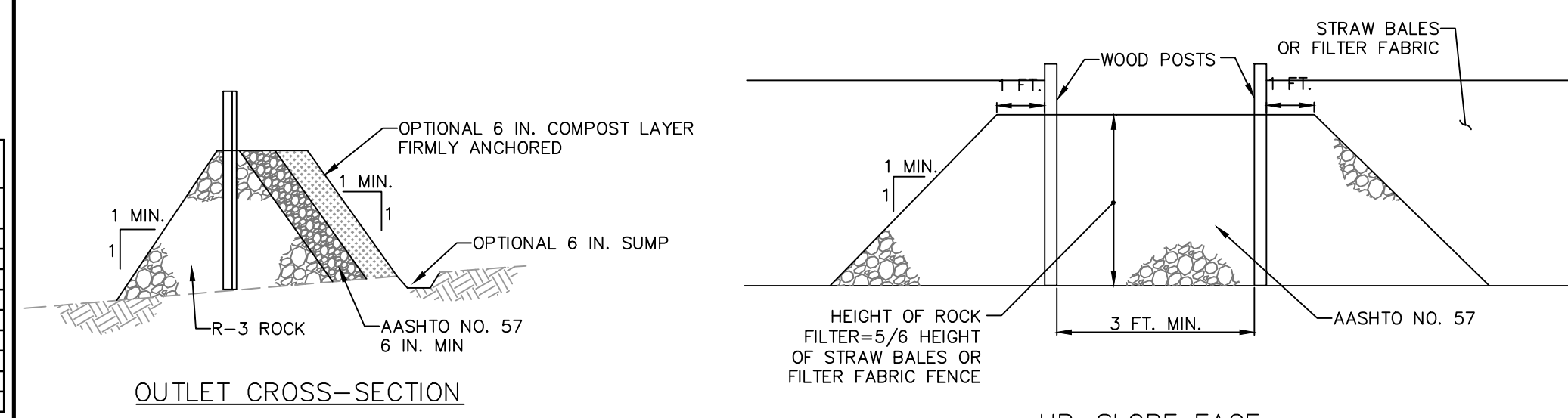
**NOTES:**

ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.

COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

**STANDARD CONSTRUCTION DETAIL #7-16  
CONCRETE ANTI-SEEP COLLAR FOR  
PERMANENT BASINS OR TRAPS**

N.T.S.



**OUTLET CROSS-SECTION**

UP-SLOPE FACE

**ROCK FILTER OUTLET**

NOT TO SCALE

**NOTES:**

A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.

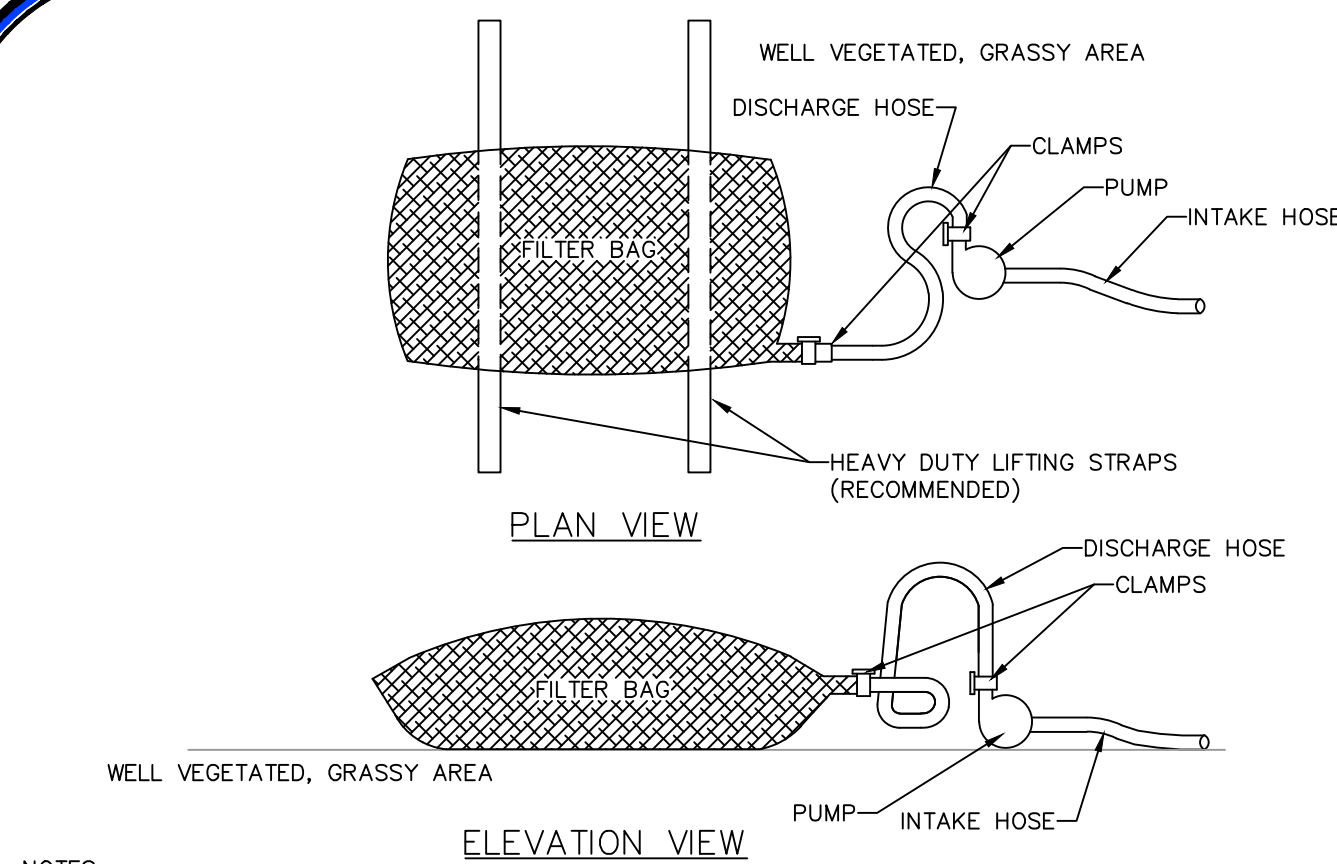
SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

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**FISHER & ASSOCIATES, INC.**

**E & S DETAILS FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS LOCATED IN SUSQUEHANNA & LOWER FAKTON TWP., DAUPHIN COUNTY, PA**

DRAWING ID: 213008-DTL  
 DATE: 01/23/23  
 SHEET 45 OF 47



NOTES:  
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

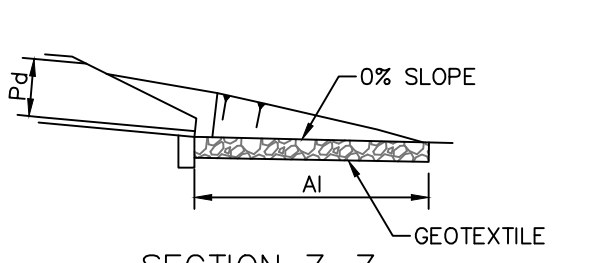
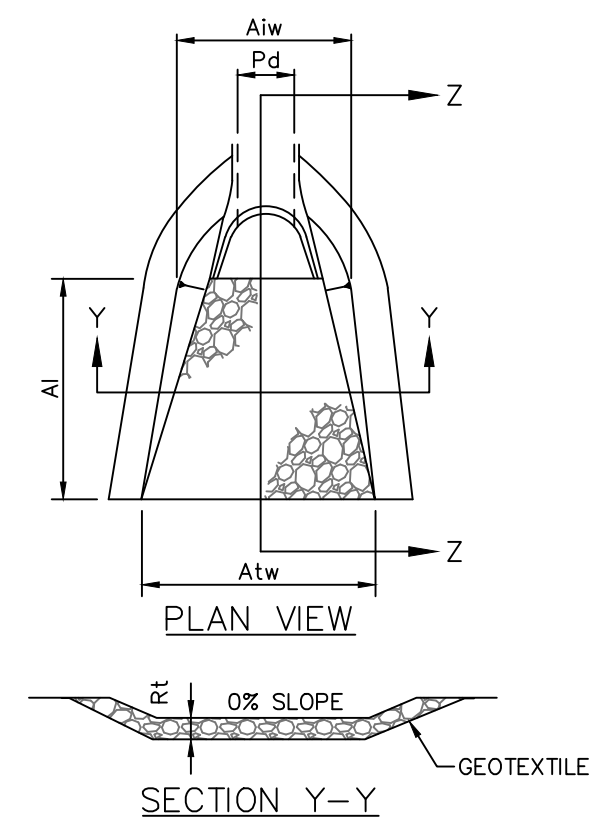
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

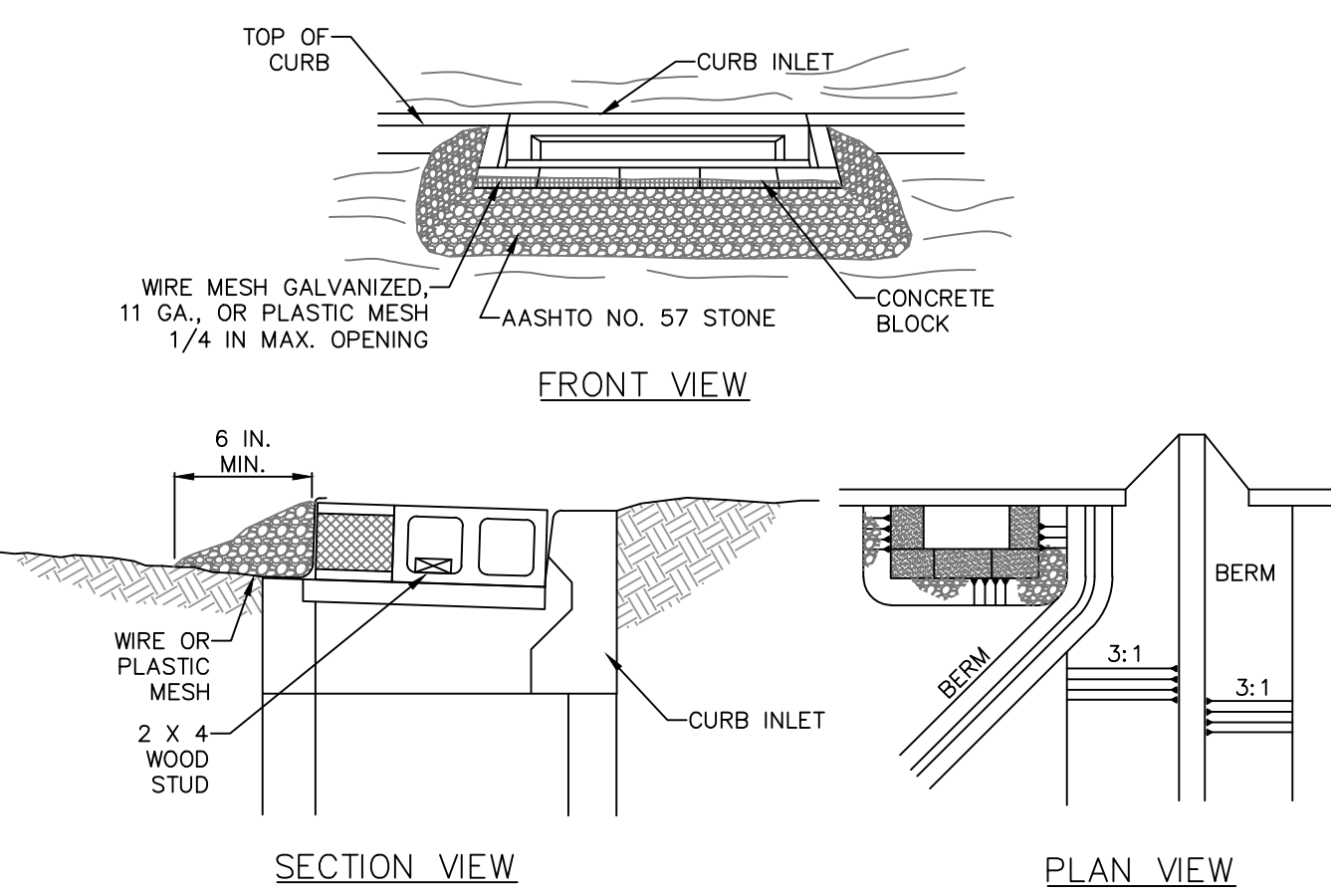
**PUMPED WATER FILTER BAG**  
N.T.S.



OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP			APRON	
		SIZE R-	THICK. Rt (IN)	LENGTH Ai (FT)	INITIAL WIDTH Aw (FT)	TERMINAL WIDTH Aw (FT)
A	15	4	18	10.0	3.75	13.75
B	15	5	27	17.0	3.75	20.75
C	24	5	27	21.0	6.00	27.00
D	24	5	27	20.0	6.00	26.00
E	36	6	36	28.0	9.00	37.00
F	18	5	27	19.0	4.50	23.50
G	18	4	18	10.0	4.50	14.50
H	18	4	18	11.0	4.50	15.50
I	36	5	27	25.0	9.00	34.00
J	48	6	36	33.0	12.00	45.00

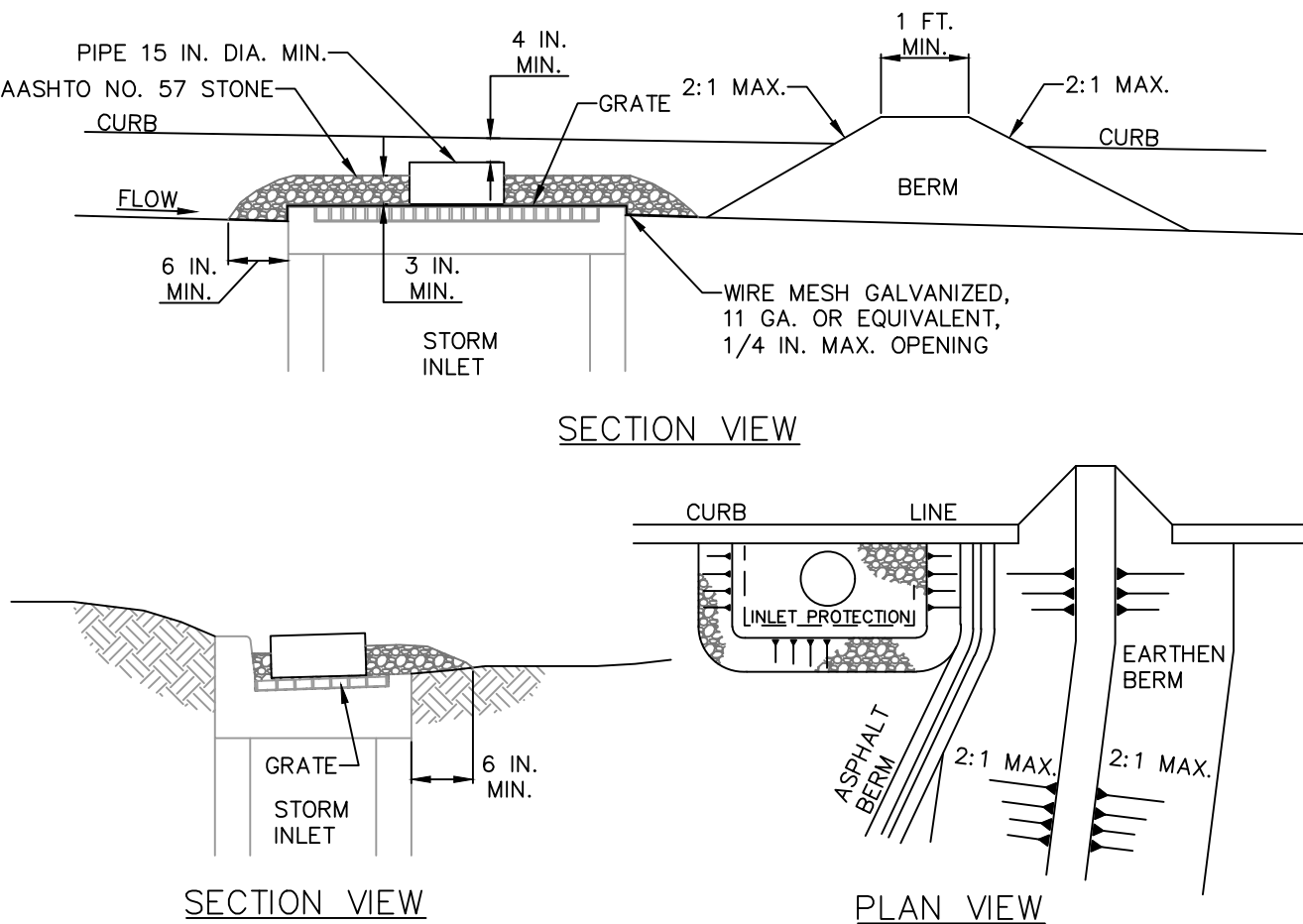
NOTES:  
 ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.  
 ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

**RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL**



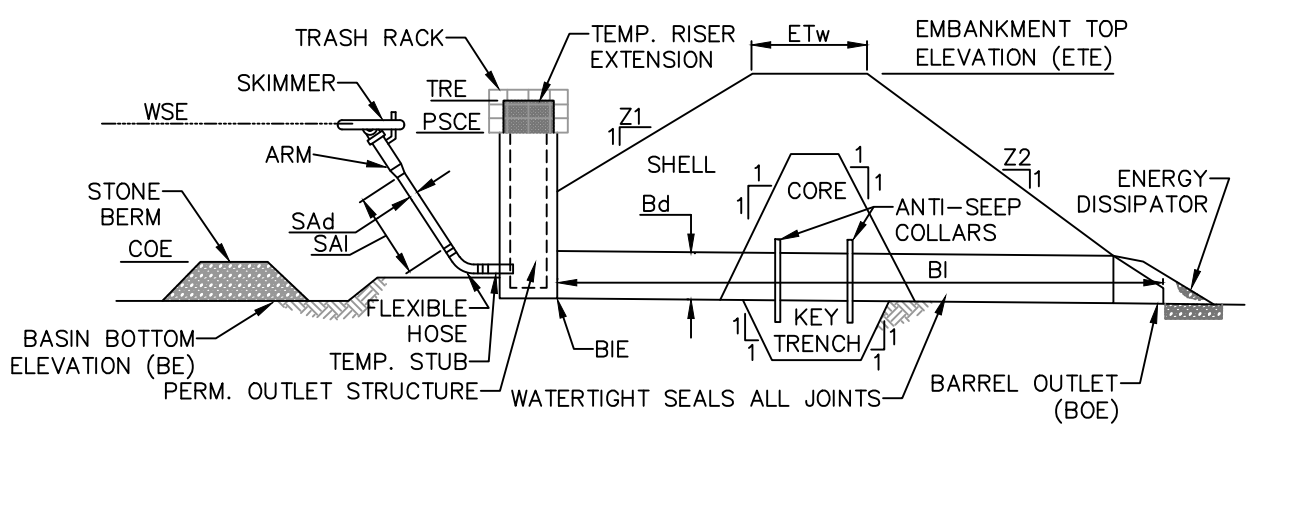
NOTES:  
 MAXIMUM DRAINAGE AREA = 1 ACRE.  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
 SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.  
 FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE.  
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STONE AND CONCRETE BLOCK INLET PROTECTION - TYPE C INLET**  
N.T.S.



NOTES:  
 INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
 ROLLED EARTHEN BERM SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. A 6 IN. MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
 STONE INLET PROTECTION AND BERM FOR A TYPE C INLET CAN BE USED IN ONE ACRE MAXIMUM DRAINAGE AREA WITH 15 IN OVERFLOW PIPE AND 4 IN. HEAD. A PERFORATED PLATE WELDED TO A METAL RISER MAY NOT BE SUBSTITUTED FOR THE WIRE MESH. A SLOTTED PLATE WELDED TO THE RISER MAY BE USED IN CONJUNCTION WITH THE WIRE MESH IF CALCULATIONS ARE PROVIDED TO SHOW SUFFICIENT CAPACITY OF THE INLET TO ACCEPT THE PEAK RUNOFF FOR A 2-YEAR STORM EVENT FROM THE TRIBUTARY DRAINAGE AREA.  
 SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.  
 FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 IN. THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2 OF THE PA DEEP EROSION CONTROL MANUAL.  
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STONE INLET PROTECTION AND BERM - TYPE C INLET**  
N.T.S.



BASIN NO.	Z1 (FT)	Z2 (FT)	TEMP RISER EXT. ELEV. (FT)	PERM. STRUCT. CREST ELEV. (FT)	EMBANKMENT				CLEAN OUT ELEV. COE (FT)	BOTTOM ELEV. BE (FT)
					TOP ELEV. ETE (FT)	TOP WIDTH ETW (FT)	KEY TRENCH DEPTH (FT)	KEY TRENCH WIDTH (FT)		
1	3	3	N/A	510.00	514.00	8	2	10	506.00	505.00
2	3	3	N/A	486.00	488.10	8	2	15	481.35	479.00

SKIMMER		OUTLET BARREL					
DIA SAd (IN)	LENGTH SA (FT)	MATL	DIA Bt (IN)	INLET ELEV. BIE (FT)	OUTLET ELEV. BOE (FT)		
4	5.66	PVC	36	503.00	HDPE	69	502.00
2.6	6.58	PVC	24	476.00	HDPE	106	471.98

NOTES:  
 SEDIMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE E&S PLAN DRAWINGS.

AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL IN ORDER TO FACILITATE MAINTENANCE AND RESTORATION. THE POOL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBJECTIONABLE MATERIAL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS.

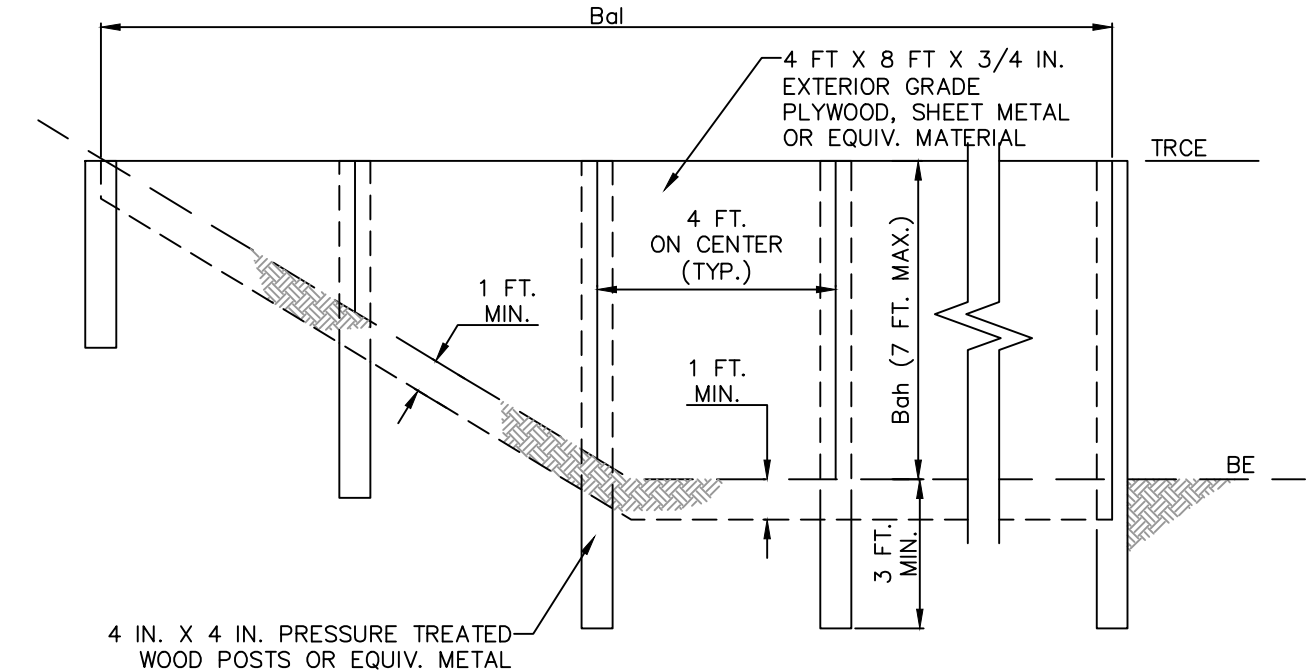
UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.

INSPECT ALL SEDIMENT BASINS ON AT LEAST A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. PROVIDE ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES. A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH BASIN. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE BASIN IN THE MANNER DESCRIBED IN THE E&S PLAN.

BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE IMMEDIATELY DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATER SHALL BE REPLACED IMMEDIATELY.

ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE STABILIZED INSIDE THE BASIN BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. THE DEVICE SHOWN IN STANDARD CONSTRUCTION DETAIL #7-16 MAY BE USED TO DEWATER SATURATED SEDIMENT PRIOR TO ITS REMOVAL. ROCK FILTERS SHALL BE ADDED AS NECESSARY.

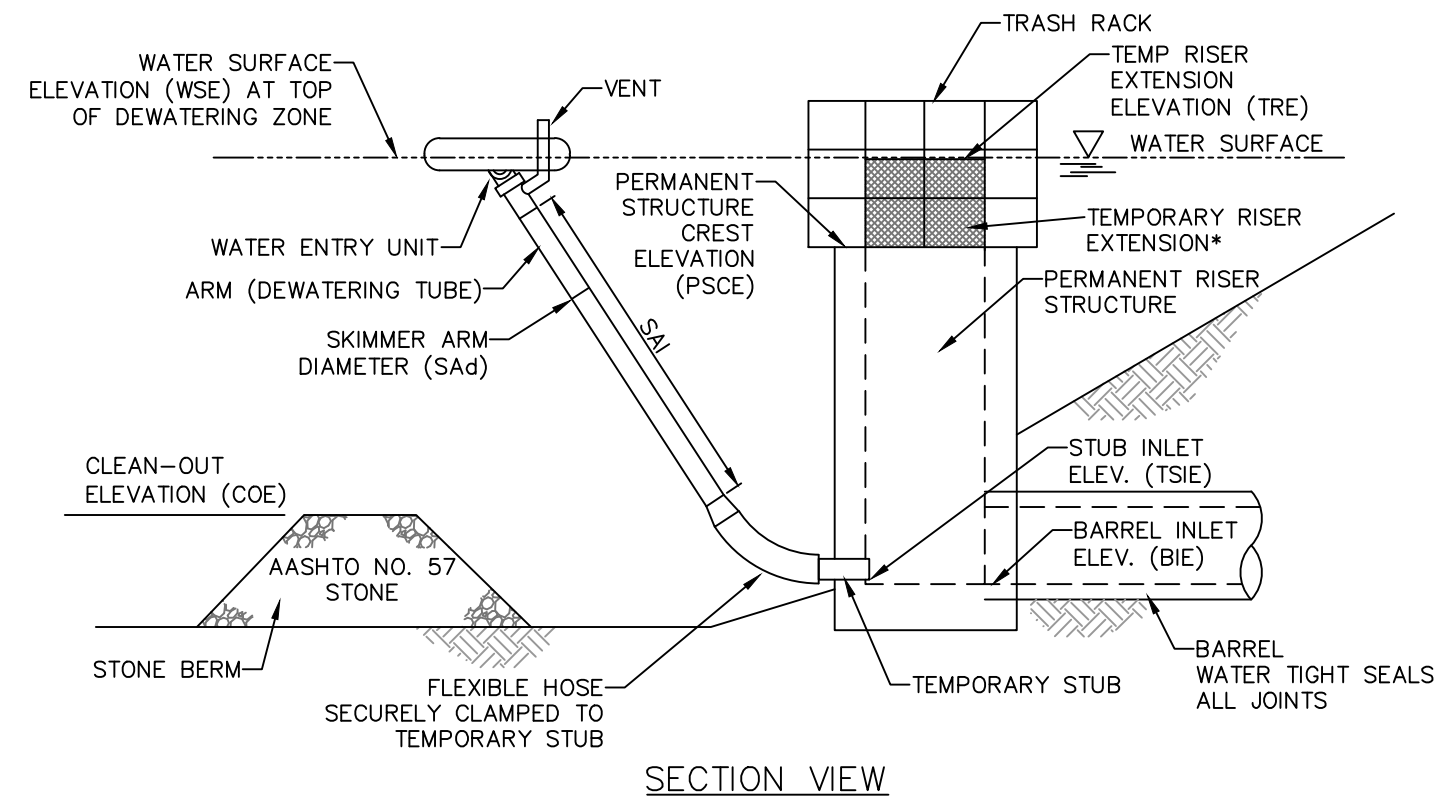
**STANDARD CONSTRUCTION DETAIL #7-2**  
SEDIMENT BASIN EMBANKMENT AND SPILLWAY DETAILS - SKIMMER  
NOT TO SCALE



BASIN OR TRAP NO.	LENGTH Bbl (FT)	HEIGHT Bbh (FT)	PERMANENT RISER CREST ELEV. (FT)	BOTTOM ELEV. BE (FT)

NOTES:  
 SEE APPROPRIATE BASIN DETAIL FOR PROPER LOCATION AND ORIENTATION.  
 AN ACCEPTABLE ALTERNATIVE IS TO INSTALL A SUPER SILT FENCE AT THE BAFFLE LOCATION  
 IN POOLS WITH DEPTHS EXCEEDING 7', THE TOP OF THE PLYWOOD BAFFLE DOES NOT NEED TO EXTEND TO THE TEMPORARY RISER CREST. SUPER SILT FENCE BAFFLES NEED NOT EXTEND TO TRACE ELEVATION.  
 BAFFLES SHALL BE TIED INTO ONE SIDE OF THE BASIN UNLESS OTHERWISE SHOWN ON THE PLAN DRAWINGS.  
 SUBSTITUTION OF MATERIALS NOT SPECIFIED IN THIS DETAIL SHALL BE APPROVED BY THE DEPARTMENT OR THE LOCAL CONSERVATION DISTRICT BEFORE INSTALLATION.  
 DAMAGED OR WARPED BAFFLES SHALL BE REPLACED WITHIN 7 DAYS OF INSPECTION.  
 BAFFLES REQUIRING SUPPORT POSTS SHALL NOT BE INSTALLED IN BASINS REQUIRING IMPERVIOUS LINERS.

**STANDARD CONSTRUCTION DETAIL #7-14**  
BAFFLE  
N.T.S.

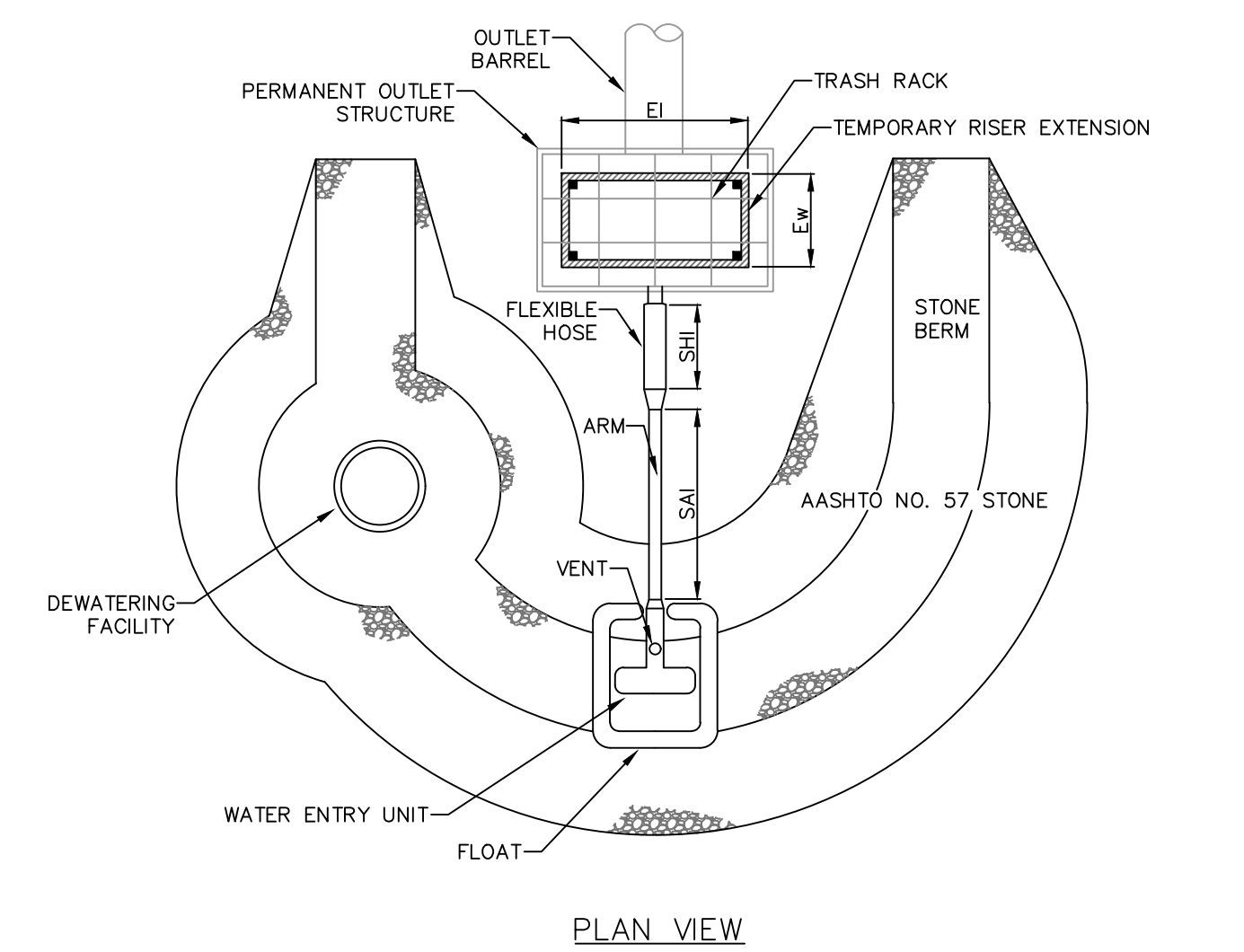


BASIN NO.	WATER SURFACE ELEV. WSE (FT)	SKIMMER			
		ORIFICE DIA. (IN)	HEAD (FT)	DIA. SAd (IN)	LENGTH SA (FT)
1	510.00	4	5	4	5.66
2	486.00	2.6	3	2.6	6.58

BASIN NO.	INVERT DIA. (IN)	TEMPORARY STUB MATL	PERMANENT RISER CREST ELEV. PSCE (FT)	RISER EXTENSION		BARREL INLET ELEV. BIE (FT)
				LENGTH (IN)	WIDTH (IN)	
4	505.50	PVC	510.00	48	24	N/A
2.6	480.00	PVC	486.00	48	24	N/A

NOTES:  
 ALL ORIFICES ON PERMANENT RISER BELOW TEMPORARY RISER EXTENSION SHALL HAVE WATER-TIGHT TEMPORARY SEALS PROVIDED. TEMPORARY STUB INVERT ELEVATION SHALL BE SET AT OR BELOW SEDIMENT CLEAN-OUT ELEVATION.  
 A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.  
 SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.  
 ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS.  
 SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE STONE BERM. SEE STANDARD CONSTRUCTION DETAIL #7-3 FOR CONFIGURATION OF STONE BERM.

**STANDARD CONSTRUCTION DETAIL #7-2**  
SKIMMER ATTACHED TO PERMANENT RISER  
NOT TO SCALE



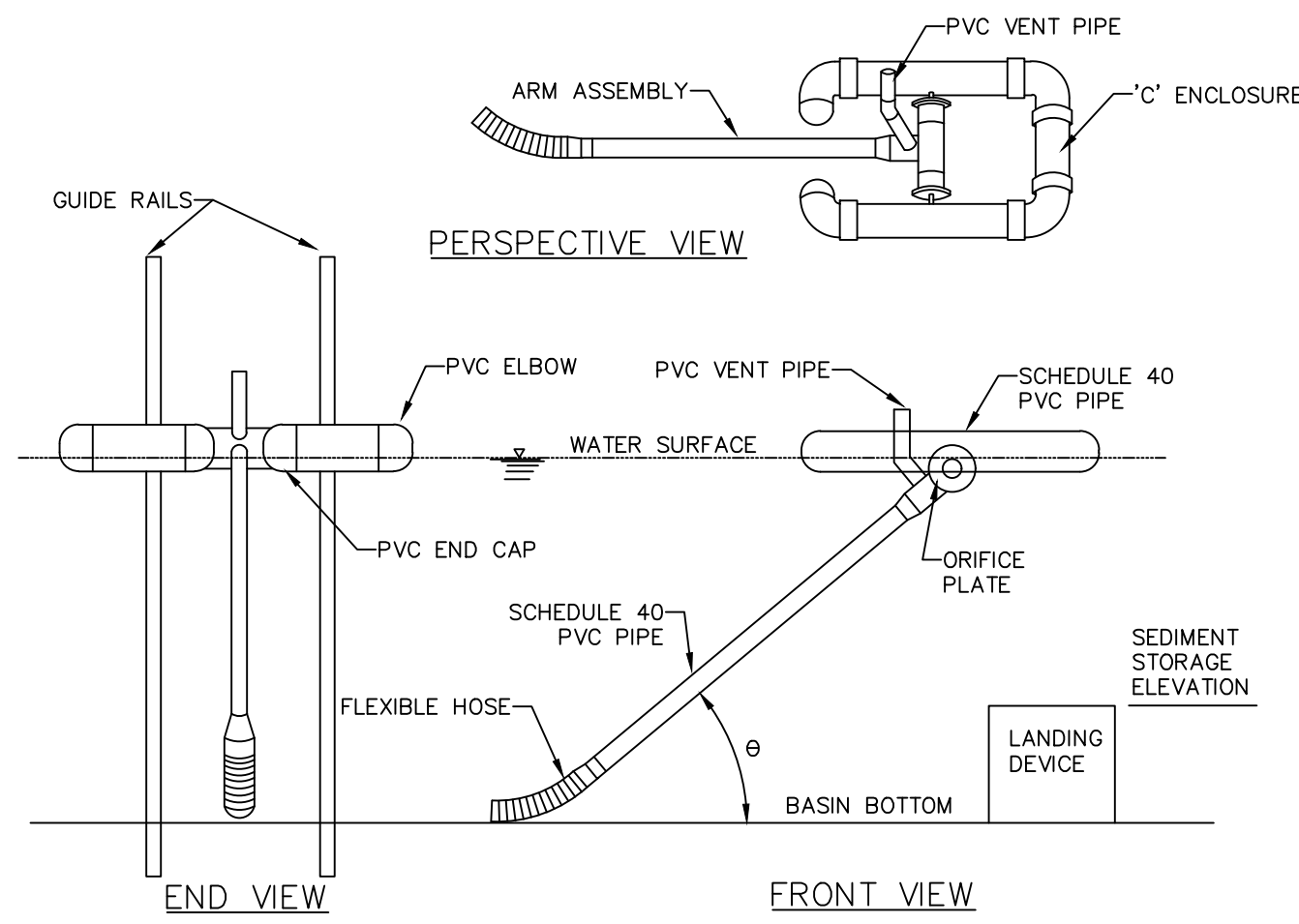
NOTES:  
 NO GUIDE RAILS SHALL BE REQUIRED FOR THIS INSTALLATION.  
 THIS DETAIL SHALL BE USED IN CONJUNCTION WITH STANDARD CONSTRUCTION DETAILS #7-2 AND #7-4.  
**STANDARD CONSTRUCTION DETAIL #7-3**  
SKIMMER WITH STONE LANDING BERM  
NOT TO SCALE

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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**E & S DETAILS FOR PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA

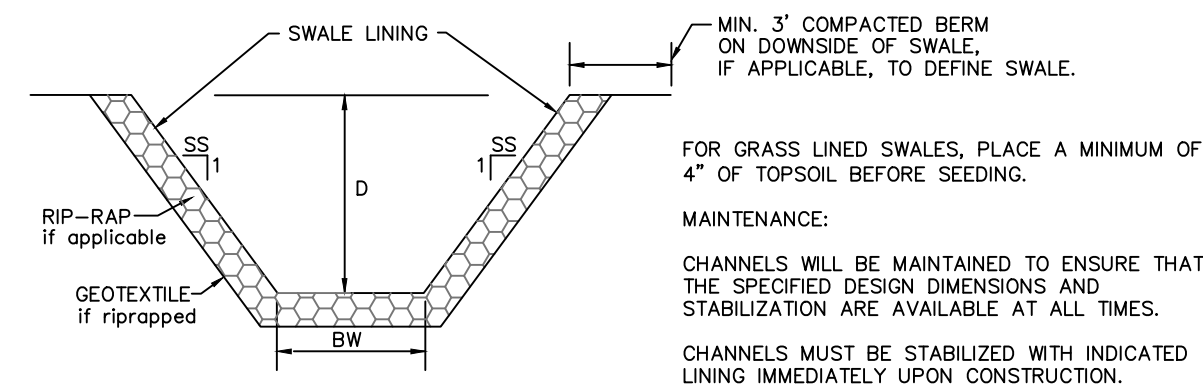


BASIN NO.	WATER SURFACE ELEVATION (FT)	ARM LENGTH (FT)	ARM DIA. (IN)	ORIFICE DIA. (IN)	TOP OF LANDING DEVICE ELEVATION (FT)	FLEXIBLE HOSE LENGTH (IN)	FLEXIBLE HOSE ATTACHMENT ELEVATION (FT)
1	510.00	5.66	4	4	506.00	12	505.50
2	486.00	6.58	2.6	2.6	481.35	12	480.00

**NOTES:**

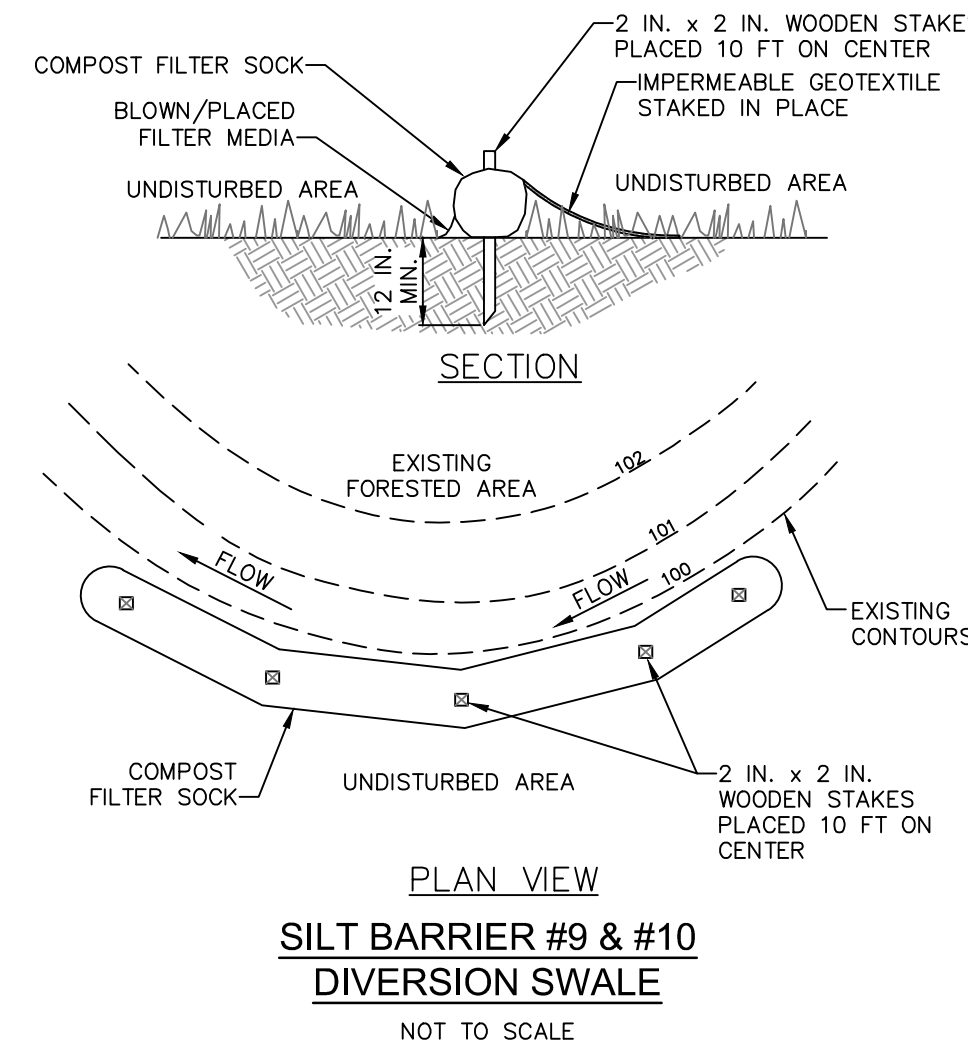
ORIFICE DIAMETER MUST BE EQUAL TO OR LESS THAN ARM DIAMETER  
 A ROPE SHALL BE ATTACHED TO THE SKIMMER ARM TO FACILITATE ACCESS TO THE SKIMMER ONCE INSTALLED.  
 SKIMMER SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. ANY MALFUNCTIONING SKIMMER SHALL BE REPAIRED OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 ICE OR SEDIMENT BUILDUP AROUND THE PRINCIPAL SPILLWAY SHALL BE REMOVED SO AS TO ALLOW THE SKIMMER TO RESPOND TO FLUCTUATING WATER ELEVATIONS.  
 SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE LEVEL MARKED ON THE SEDIMENT CLEAN-OUT STAKE OR THE TOP OF THE LANDING DEVICE.  
 A SEMI-CIRCULAR LANDING ZONE MAY BE SUBSTITUTED FOR THE GUIDE RAILS (STANDARD CONSTRUCTION DETAIL # 7-3).

**STANDARD CONSTRUCTION DETAIL #7-1  
 SKIMMER  
 NOT TO SCALE**



SWALE DESIGNATION	CHANNEL SLOPE (%)	SS	BW (FT.)	D (MIN.) (FT.)	ROCK SIZE	MIN ROCK SIZE DEPTH OR LINING TEMPORARY	MIN ROCK SIZE DEPTH OR LINING PERMANENT
SWALE P-1	3.00	3	4.0	2.50	--	N.A.G. S75	CLASS C VEG.
SWALE P-2	1.50	3	6.0	2.00	--	N.A.G. S75	CLASS C VEG.
SWALE P-3	1.00	3	4.0	2.00	--	N.A.G. S75	CLASS C VEG.
SWALE P-4	11.06	3.6.5	0.0	2.00	--	N.A.G. SC250	CLASS C VEG.
SWALE T-1	2.00	3.6	6.0	2.50	--	N.A.G. S75	CLASS C VEG.
SWALE T-2, SEG. 1	1.20	3	2.0	1.50	--	N.A.G. S75	CLASS C VEG.
SWALE T-2, SEG. 2	3.50	3	2.0	2.00	--	N.A.G. SC150	CLASS C VEG.
SWALE T-3	8.00	6	6.0	1.50	--	N.A.G. S75	CLASS C VEG.
STREAM RELOCATION	10.00	5	4.0	2.50	--	N.A.G. SHOREMAX WITH SC250	CLASS C VEG.

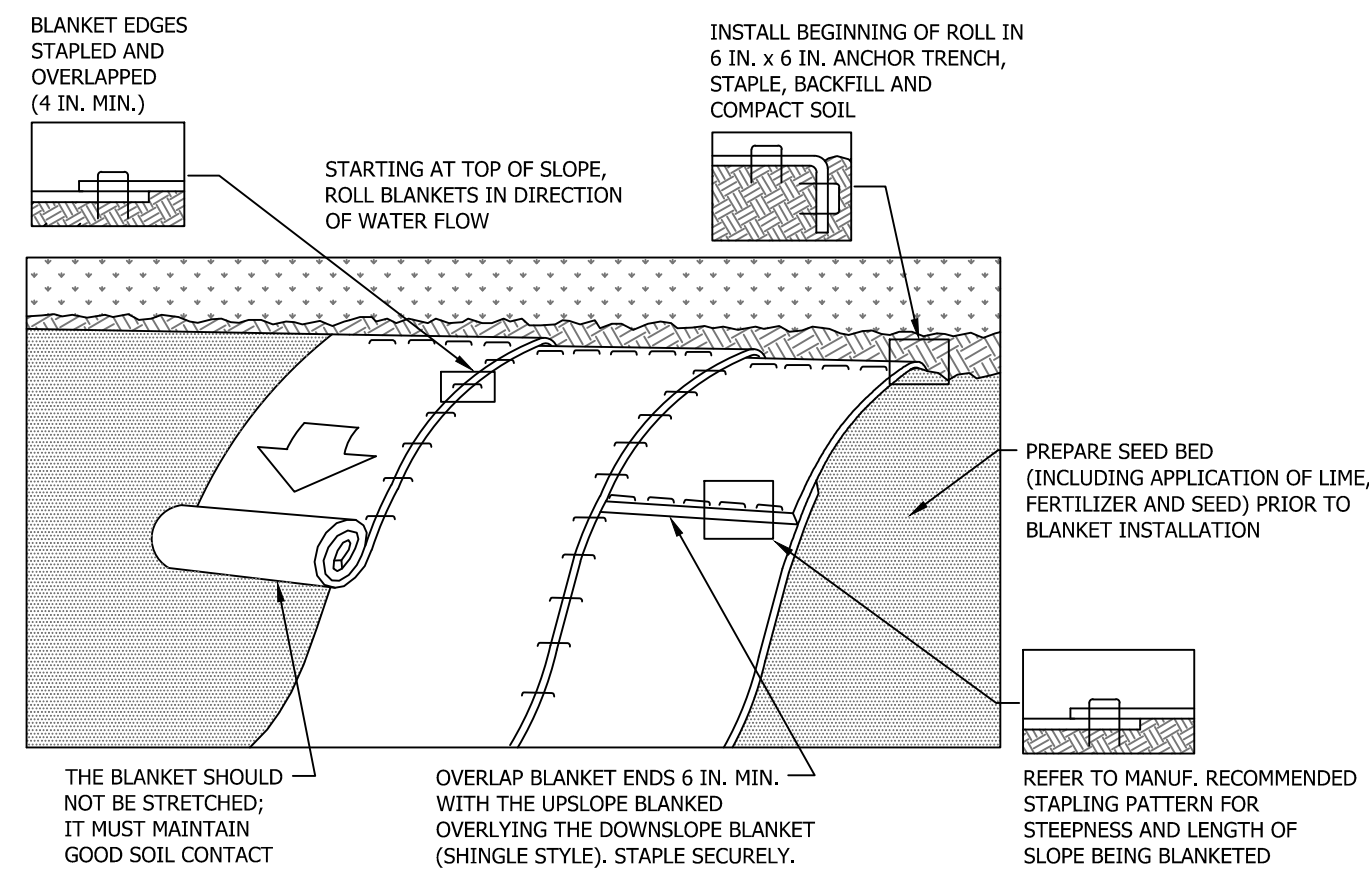
**SWALE DETAIL  
 N.T.S.**



**SILT BARRIER #9 & #10  
 DIVERSION SWALE  
 NOT TO SCALE**

**NOTES:**

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.  
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.  
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.  
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.  
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.  
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.



**NOTES:**

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.  
 PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.  
 SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.  
 BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.  
 THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.  
 BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

**STANDARD CONSTRUCTION DETAIL #11-1  
 EROSION CONTROL BLANKET INSTALLATION  
 NOT TO SCALE**

No.	REVISION	DATE
1	TOWNSHIP COMMENTS	09/19/23
2		
3		
4		

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**E & S DETAILS**  
 FOR  
**PHASES 1 & 2 BLUE MOUNTAIN APARTMENTS**  
 LOCATED IN  
 SUSQUEHANNA & LOWER PAXTON TWP., DAUPHIN COUNTY, PA