

GENERAL PLAN NOTES

- 1. THREE BENCHMARKS WERE USED AND CAN BE FOUND ON THE FINAL LAND DEVELOPMENT PLAN - PHASE I FOR SUSQUEHANNA UNION GREEN, PREPARED BY H. F. LENZ COMPANY, LAST REVISED JANUARY 30, 2019. DATUM IS NORTH AMERICAN DATUM OF 1983 (NAD83), PENNSYLVANIA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

UTILITY NOTES

- 1. GENERAL NOTES - SANITARY SEWER
1. THE CONTRACTOR IS RESPONSIBLE FOR ALL FIELD TESTING AND "RECORD DRAWINGS" PER THE AUTHORITY REQUIREMENTS. THE CONTRACTOR SHALL MAINTAIN FIELD RECORDS OF THE LOCATION AND DEPTH OF ALL SANITARY SEWER LATERAL LOCATIONS, AND SHALL PROVIDE THIS INFORMATION TO THE DESIGN ENGINEER FOR PREPARATION OF AS-BUILT DRAWINGS.

- 8. GENERAL NOTES - WATER SERVICE
1. CONTRACTOR SHALL INSTALL A COMPLETE WATER SYSTEM TO INCLUDE THE EXTENSION OF A DOMESTIC WATER MAIN FIRE PROTECTION LINE AND INDIVIDUAL SERVICE LATERALS (EXACT LOCATION AND SIZE TO BE DETERMINED BY NEP) IN CONFORMANCE WITH THE SPECIFICATIONS AND DETAILS OF SUEZ WATER PENNSYLVANIA, INC.
2. THE CONTRACTOR IS RESPONSIBLE FOR ALL TESTING AND "RECORD DRAWINGS" PER AUTHORITY REQUIREMENTS.

- C. GENERAL NOTES - STORM DRAINAGE
1. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES TO ENSURE THEY ARE KEPT IN DESIGN CONDITION.

- 4. ALL STORMWATER MANAGEMENT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MATERIAL SPECIFICATIONS, UNLESS OTHERWISE NOTED.
5. EASEMENT CONFLICTS PROHIBITED: NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF ANY EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT. NO PERSON SHALL PLACE ANY STRUCTURE, FILL, OR VEGETATION INTO A STORM WATER MANAGEMENT FACILITY OR WITHIN A DRAINAGE EASEMENT WHICH WILL LIMIT OR ALTER THE FUNCTIONS OF THE FACILITY OR EASEMENT IN ANY WAY.

- D. ADS PIPE INSTALLATION NOTES
1. STORMDRAIN PIPES SHALL BE ADS (N-12) HDPE PIPE WITH ADS PRO-LINK ULTRA (IN-LINE BELL) PIPE JOINTS (FOR SOIL TIGHT CONNECTIONS) AND/OR ADS PRO-LINK WT (FOR WATER TIGHT CONNECTIONS). REFER TO PLAN AND PROFILES FOR MATERIALS USED.

- E. GENERAL NOTES - OTHER
1. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND, UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL COORDINATE UNDERGROUND ELECTRICAL SERVICE.

CONTRACTOR NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF DAMAGED OR DESTROYED EXISTING VEGETATION AND OTHER SITE FEATURES WHICH ARE TO BE REMOVED.
3. PLAN LOCATION AND DIMENSIONS SHALL BE STRICTLY ADHERED TO UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE.

- 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE DRAINAGE PATTERN AS SHOWN ON THESE PLANS, AND FOR MAINTAINING POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ALSO A MINIMUM SLOPE ON ALL UNPAVED AREAS.
12. CONTRACTOR SHALL SEQUENCE THE RELOCATION OF TELECOMM/ELECTRIC SERVICES TO MINIMIZE SERVICE INTERRUPTIONS TO EXISTING BUILDINGS. THE CONTRACTOR SHALL NOTIFY ALL POTENTIALLY IMPACTED PROPERTIES PRIOR TO CONSTRUCTION.

- 21. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCES, AND PROCEDURES, AND SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY TO PERFORM SUCH WORK.

- 26. GEOTECHNICAL RECOMMENDATIONS PRESENTED IN THE REPORT PREPARED BY F. T. KTLINSKY & ASSOCIATES, INC. DATED NOVEMBER 20, 2017, SHALL BE STRICTLY FOLLOWED. ANY DEVIATION MUST BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
27. WHERE IT IS NECESSARY TO CONNECT TO, OR EXTEND TO, EXISTING PAVING, SAW CUT THE EXISTING EDGE OF PAVEMENT AND WILL ADD OVERLAY AT THE POINT OF TIE-IN TO ENSURE A SMOOTH TRANSITION AND POSITIVE DRAINAGE.

- 31. ALL ITEMS WHICH ARE REFERENCED AND NOT SPECIFICALLY DETAILED SHALL BE SELECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
32. A LICENSED PROFESSIONAL GEOLOGIST/GEOTECHNICAL ENGINEER, RGS ASSOCIATES AND THE MUNICIPALITY SHALL BE CONTACTED UPON THE DISCOVERY OF ANY SINKHOLES OR CARBONATE GEOLOGY FORMATIONS DURING CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES. IF A SINKHOLE IS ENCOUNTERED WITHIN OR IMMEDIATELY ADJACENT TO THE PROPOSED STORMWATER MANAGEMENT FACILITIES, PRIOR TO OR DURING CONSTRUCTION, THE SINKHOLE SHOULD BE PROMPTLY REPAIRED UNDER THE DIRECTION OF A QUALIFIED GEOLOGIST OR GEOTECHNICAL ENGINEER.

- 39. THE CONTRACTOR MAY NOT BEGIN CONSTRUCTION UNTIL ALL REQUIRED PERMITS HAVE BEEN ISSUED BY THE CONSERVATION DISTRICT OR PA DEP. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY WITH RGS ASSOCIATES, PRIOR TO BEGINNING CONSTRUCTION, THAT THE MOST CURRENT APPROVED PLANS ARE BEING UTILIZED.

MUNICIPAL SPECIFIC NOTES

- 1. LIGHTING SHALL BE PROVIDED IN CONFORMANCE WITH SECTION 22-506, OF THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.
2. THE MUNICIPALITY IS NOT RESPONSIBLE FOR MAINTENANCE OF ANY AREA NOT DEDICATED TO ANY USE OR RECEIVED FOR PUBLIC USE, AND NO ALTERATION TO SWALES, OR BASINS, OR PLACEMENT OF STRUCTURES SHALL BE PERMITTED WITHIN EASEMENTS.

FLOOD PLAIN NOTES

- 1. NO WORK IS BEING PROPOSED WITHIN THE 100 YEAR FLOODPLAIN. IF THE OWNER WISHES TO CONDUCT ANY WORK WITHIN THE FLOODPLAIN, IT WILL BE HIS/HER RESPONSIBILITY TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO INITIATION OF SUCH WORK.

WETLAND NOTES

- 1. WETLANDS DELINEATED ON THE PLANS SHALL BE KEPT FREE OF STRUCTURES, FILL AND OTHER ENCROACHMENTS, UNLESS OTHERWISE SHOWN ON THIS PLAN. THESE MEASURES SHALL BE COMPLETED AND IN SERVICE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR CONSTRUCTION, PER THE SEQUENCE OF CONSTRUCTION OUTLINED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLANS.

CONFORMITY WITH DESIGN GUIDELINES

- 1. ALL LIGHTING SHALL BE IN ACCORDANCE WITH SECTION 506 - SIGHT LIGHTING OF THE DESIGN GUIDELINES.
2. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH SECTION 502 AND 508 OF THE DESIGN GUIDELINES.

EROSION AND SEDIMENT CONTROL NOTES

- 1. THE MEASURES REQUIRED IN THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN SHALL APPLY AS IF SHOWN ON THIS PLAN. THESE MEASURES SHALL BE COMPLETED AND IN SERVICE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR CONSTRUCTION, PER THE SEQUENCE OF CONSTRUCTION OUTLINED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLANS.

SYMBOL

Table with 4 columns: SYMBOL, NAME, SLOPE, HYDRO GROUP. Rows include At, BnC2, BkB2, BkD2.

GRADING NOTES

- 1. THE FINISHED FLOOR ELEVATIONS (FFE) SHOWN ON THE PLAN REPRESENTS THE ELEVATION OF THE FIRST FLOOR INSIDE THE BUILDING.
2. THE FINISHED GRADE ELEVATIONS (FG) SHOWN ON THE PLAN REPRESENTS THE GRADE IMMEDIATELY ADJACENT TO THE BUILDING FOUNDATION.
3. THE BASEMENT FLOOR ELEVATIONS (BFE) SHOWN ON THE PLAN REPRESENTS THE ELEVATION OF THE BASEMENT.

GEOTECHNICAL NOTES

A. GENERAL RECOMMENDATIONS
THE FOLLOWING RECOMMENDATIONS ARE PRESENTED FOR THE SITE PREPARATION, FOUNDATION DESIGN, AND FOUNDATION CONSTRUCTION FOR THE RETAINING WALLS TO BE CONSTRUCTED AS PART OF THE SUSQUEHANNA UNION GREEN MIXED-USE TOWN CENTER TO BE LOCATED AT THE INTERSECTION OF LINGLESTOWN ROAD (S.R. 0039) AND NORTH PROGRESS AVENUE IN SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA:

- 1. PROVIDED FOUNDATION SUBGRADES ARE PROPERLY PREPARED/DENSIFIED, THE UNDISTURBED RESIDUAL POSITIONED AT DEPTHS GREATER THAN 1.5 FEET BELOW EXISTING GROUND SURFACE ELEVATIONS WILL BE ABLE TO SAFELY SUPPORT A UNIT SOIL BEARING PRESSURE OF 3,000 PSF.
2. PRIOR TO THE PLACEMENT/CONSTRUCTION OF THE RETAINING WALL AGGREGATE LEVELING COURSE, THE EXPOSED SUBGRADE SHOULD BE THOROUGHLY DENSIFIED. SOIL WHICH IS NOT ABLE TO BE DENSIFIED SHOULD BE REMOVED AND REPLACED WITH FRESH STRUCTURAL FILL MATERIAL. ALL SOFT OR WEAK AREAS DISCLOSED BY PUMPING, WEAVING, RUTTING, CRACKING, ETC. OF THE SUBGRADE SHOULD BE OVER-EXCAVATED TO A FIRM BASE AND BACKFILLED WITH SUITABLE STRUCTURAL FILL MATERIAL AS SPECIFIED HEREINAFTER.

UNDERGROUND UTILITY LINE PROTECTION ACT

IN COMPLIANCE WITH AND PURSUANT TO THE PROVISIONS OF 73 P.S. 176, AS AMENDED BY PA ACT 287 OF 1974, AS AMENDED, RGS ASSOCIATES, INC. HAS PERFORMED THE FOLLOWING REQUIREMENTS IN PREPARING THESE DRAWINGS THAT INCLUDE COORDINATION OR DEMOLITION WORK AT SITES WITHIN THE POLITICAL SUBDIVISION AND/OR LAND DEVELOPMENT SHOWN ON THE DRAWINGS HEREIN:

- 1. PURSUANT TO 73 P.S. 176(2), RGS ASSOCIATES, INC. HAS REQUESTED LINE AND FACILITY INFORMATION FROM THE ONE CALL SYSTEM NOT LESS THAN TEN (10) MORE THAN NINETY (90) BUSINESS DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED. IF SUCH INFORMATION WAS OBTAINED TO MORE THAN NINETY (90) DAYS BEFORE FINAL DESIGN IS TO BE COMPLETED, RGS HAS STATED IN THE REQUEST THAT WORK IS PRELIMINARY AND THE SERIAL NUMBER IS TO BE COMPLETED.
2. PURSUANT TO 73 P.S. 176(2), RGS ASSOCIATES, INC. HAS SHOWN, UPON THESE DRAWINGS, THE POSITION AND TYPE OF EACH FACILITY OWNER'S LINE, AS DERIVED PURSUANT TO THE REQUEST MADE AS REQUIRED BY 73 P.S. 176(2). THE ADDRESS AND TELEPHONE NUMBER.

RGS ASSOCIATES, INC. DOES NOT REPRESENT, WARRANT, ASSURE OR GUARANTEE THAT THE INFORMATION RECEIVED PURSUANT TO THE ONE CALL SYSTEM MORE ACCURATELY REFLECTS ON THESE DRAWINGS IS ACCURATE OR CORRECT. FURTHERMORE, RGS ASSOCIATES, INC. INCLUDES THE INFORMATION ONLY PURSUANT TO THE REQUIREMENTS OF THE UNDERGROUND UTILITY LINE PROTECTION ACT, AS AMENDED.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (FINAL): _____
DATE: _____ BY: _____

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (PRELIMINARY): _____
DATE: _____ BY: RAUDENBUSH ENGINEERING, INC.

PENNSYLVANIA ONE CALL SYSTEM SERIAL NO. (SURVEY): 2017141544
DATE: _____ BY: RAUDENBUSH ENGINEERING, INC.

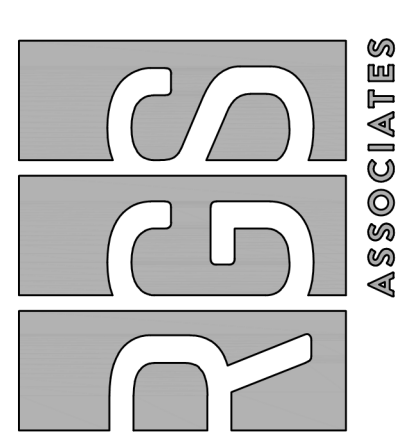
PA1 SYSTEM, INC. 1-800-242-1776. CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES (3) WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND (10) WORKING DAYS IN DESIGN STAGE - STOP CALL.

LIST OF PUBLIC UTILITIES AND CONTACTS

Table with 3 columns: Utility Name, Address, Contact Info. Includes Comcast Cable Communications Inc, UGI Utilities Inc, Verizon Pennsylvania Inc, PA Commonwealth of Office of Admin, PPL Electric Utilities Corporation.

PLOTTED: Thursday, September 07, 2012 @ 03:53:30

Project title: FINAL LAND DEVELOPMENT PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE. Client: ROCKVILLE PLACE, LLC. Manager: BENJAMIN W. MORTON, RLA. Design by: ALB. Checked by: WMF. Drawn by: ALB. Scale: NO SCALE. Date: SEPTEMBER 2, 2012. Project No: 2021878-017. Sheet No: LD-2 OF SW-28.



UNIT B				
BEARING	DISTANCE	RADIUS	ARC LENGTH	
B1	N74°57'20"W	569.53'		
B2	S24°21'34"E	466.84'		
B3	S64°22'47"W	346.67'		
B4	S45°44'52"W	83.52'		
B5	N39°09'20"W	39.33'		
B6	N70°45'30"W	133.63'	127.50'	140.65'
B7	S79°40'17"W	104.44'	1,472.50'	104.47'
B8	N03°25'12"W	70.23'		
B9	N15°02'40"W	289.51'		
B10	N32°08'50"W	51.01'		
B11	N15°02'40"W	38.25'		
AREA: 293,471 SQ. FT. OR 6.737 AC.				

ELMWOOD DRIVE				
BEARING	DISTANCE	RADIUS	ARC LENGTH	
ED1	S59°26'47"W	63.38'		
ED2	N11°43'49"W	18.92'		
ED3	N25°26'34"W	55.71'	117.50'	56.24'
ED4	N39°09'20"W	312.69'		
ED5	N70°45'30"W	70.74'	67.50'	74.46'
ED6	S85°07'49"W	399.60'	1,532.5'	400.74'
ED7	N77°58'44"W	108.61'	332.50'	109.10'
ED8	N68°34'46"W	8.76'		
ED9	N10°24'21"E	61.13'		
ED10	S68°34'46"E	20.44'		
ED11	S77°58'44"E	89.01'	272.50'	89.41'
ED12	N85°07'49"E	383.95'	1,472.50'	385.05'
ED13	S70°45'30"E	133.63'	127.50'	140.65'
ED14	S39°09'20"E	312.69'		
ED15	S25°41'21"E	82.67'	177.50'	83.44'
AREA: 60,377 SQ. FT. OR 1.386 AC.				

SITE FEATURE LEGEND

EXISTING FEATURE TO BE REMOVED
T.B.R. = TO BE REMOVED

DESIGN DRAWINGS NOTE:

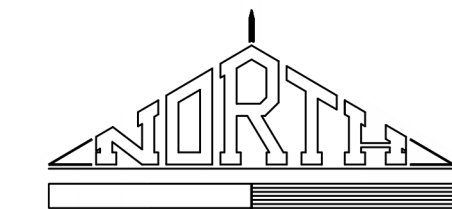
HALFTONE INFORMATION PRESENTED ON THIS AND THE FOLLOWING SHEETS DEPICTS DESIGN INFORMATION ACCORDING TO THE SUSQUEHANNA UNION GREEN PLANS PREPARED BY H.F. LENZ CO.

EXISTING GRADE INFORMATION PRESENTED ON THIS AND FOLLOWING SHEETS DEPICTS THE DESIGN TOPOGRAPHY ACCORDING TO THE SUSQUEHANNA UNION GREEN PLANS PREPARED BY H.F. LENZ CO.

LANDS N/W OF COUNTY COMMISSIONERS ASSOCIATION OF PENNSYLVANIA
PARCEL 62-012-171
DEED INSTRUMENT 20130022633
PLAN INSTRUMENT 20130022125
4.701 ACRES

2 STORY MASONRY BUILDING

LANDS N/W OF JEMM, LLC
PARCEL 62-012-171
DEED INSTRUMENT 62-012-171
PLAN BOOK 107-52 FT
51,229 SQ FT
1.1759 ACRES



LANDS N/W OF JEMM, LLC
PARCEL 62-012-171
DEED INSTRUMENT 62-012-171
PLAN BOOK 107-52 FT
51,229 SQ FT
1.1759 ACRES

LANDS N/W OF DONALD M. LEWNER
MINELLE 62-012-171
PARCEL 62-012-171
DEED INSTRUMENT 62-012-171
55.428 ACRES

UNIT B
INSTR. NO.: 20200012666
AREA: 6.737 AC.

LANDS N/W OF THE BUCNARROTT TRUST
PARCEL 62-012-171
DEED INSTRUMENT 20170008139
PLAN INSTRUMENT 20130022125
57.792 ACRES

EXISTING CONDO LINE

PREVIOUSLY PROPOSED 15" STORM SEWER PIPE AND INLET - TO BE REMOVED

PREVIOUSLY PROPOSED EDGE OF PAVEMENT AND CURB TO BE REMOVED

ELMWOOD DRIVE

SANITARY SEWER EASEMENT #
INSTRUMENT 201001194
68,291 SQUARE FEET
1.567 ACRES

NOT FOR BIDDING / NOT FOR CONSTRUCTION

PROJECT TITLE	FINAL LAND DEVELOPMENT PLAN			
	PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE			
CLIENT	ROCKVILLE PLACE, LLC	MANAGER	BENJAMIN W. MORTON, RLA	SEAL
DESIGN BY	ALB	CHECKED BY	WMF	SEAL
DRAWN BY	ALB	CHECKED BY	BWM	SEAL
PROJECT ADDRESS	ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 998-2514	SCALE	1" = 30'	90'
SHEET TITLE	EXISTING CONDITIONS AND DEMOLITION PLAN	DATE	SEPTEMBER 2, 2022	NO. BY
DATE	SEPTEMBER 2, 2022	PROJECT NO.	2021878-017	REVISION
SHEET NO.	LD-3	OF	SW-28	DATE

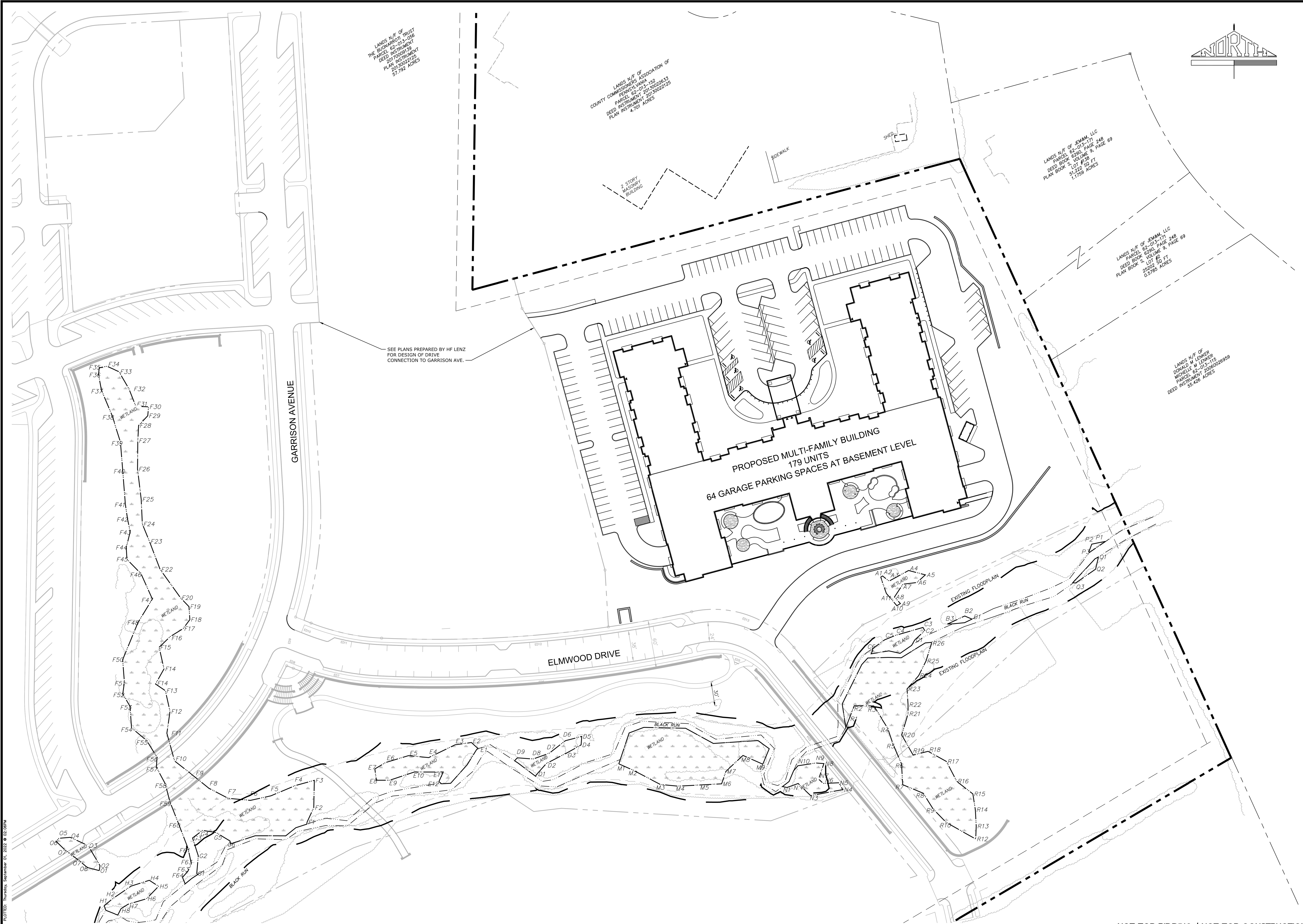
PLOTTED: Thursday, September 01, 2022 @ 02:00PM

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rgs ASSOCIATES

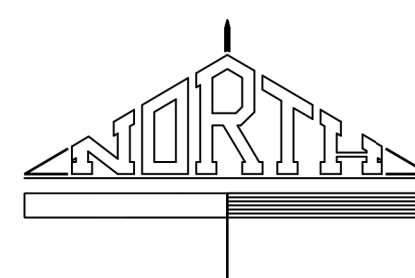
Land Planning
Landscape Architecture
Civil Engineering

63 West James Street PA 17003
315.924.8877
231 W. Philadelphia Street PA 17027
610.437.1100
220 N. Market Street PA 17401
717.858.9100
320 N. Market Street PA 17101
(717) 858-7615
www.rgsassociates.com



PLOTTED: Thursday, September 01, 2022 @ 02:00PM
 OVERALL SITE.SCR

FILENAME: P:\2021\2021878-017\CADD\FINAL\Plot\Z-Overall-Site.dwg XREFS: Layout;Existing-Lenz-2021-09-14;Titleblock;Layout-Lenz-2021-09-14



LANDS N/E OF
 THE BUNBAROTTI TRUST
 PARCEL 62-013-056
 DEED INSTRUMENT
 201709190
 PLAN INSTRUMENT
 201802125
 57.792 ACRES

LANDS N/E OF
 COUNTY COMMISSIONERS ASSOCIATION OF
 PENNSYLVANIA
 PARCEL 62-011-150
 DEED INSTRUMENT 2013002833
 PLAN INSTRUMENT 2013002125
 4.101 ACRES

LANDS N/E OF JEMM, LLC
 PARCEL 62-013-171
 DEED BOOK 6290, PAGE 248
 VOLUME 9, PAGE 69
 LOT # 50 FT
 51,025 SQ FT
 1.1759 ACRES

LANDS N/E OF JEMM, LLC
 PARCEL 62-013-171
 DEED BOOK 6290, PAGE 248
 VOLUME 9, PAGE 69
 LOT # 50 FT
 28,202 SQ FT
 0.5785 ACRES

LANDS N/E OF
 DONALD W. LENZ
 PARCEL 62-013-116
 DEED INSTRUMENT 20080026989
 55.496 ACRES

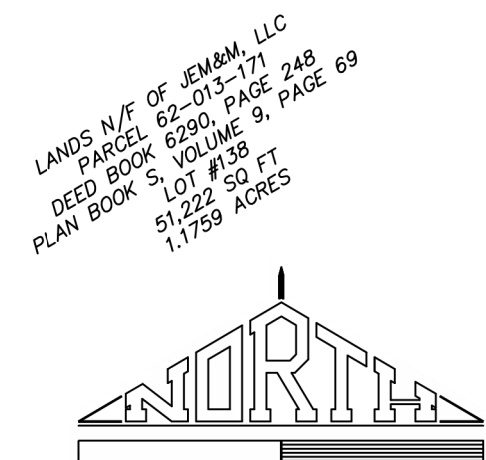
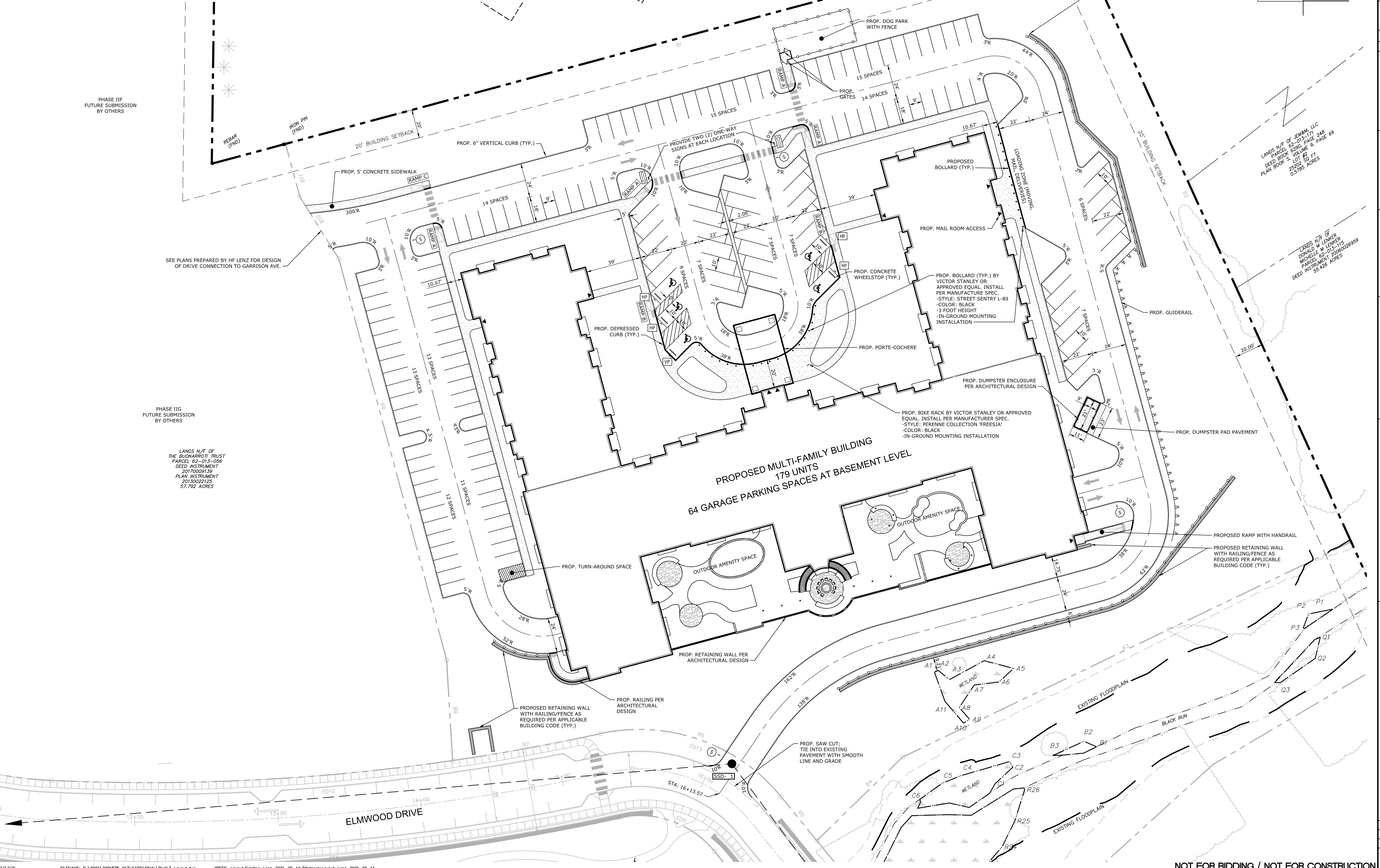
SEE PLANS PREPARED BY HF LENZ
 FOR DESIGN OF DRIVE
 CONNECTION TO GARRISON AVE.

CLIENT ROCKVILLE PLACE, LLC ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 998-2514		MANAGER BENJAMIN W. MORTON, RLA		DESIGN BY WNF		CHECKED BY WNF	
PROJECT TITLE FINAL LAND DEVELOPMENT PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA		SCALE 1" = 50' 1" = 100' 1" = 150'		NO. BY DATE		REVISION	
SHEET TITLE OVERALL SITE PLAN		SEAL		SEAL		DATE	
LAND PLANNING Landscape Architecture Civil Engineering 83 West James Street Suite 101, Lehigh Valley 221 W. Philadelphia Street Suite 101E, York, PA 17401 120 S. Main Street Suite 800W, Harrisburg, PA 17101 (717) 891-7615 www.rgsassociates.com		ASSOCIATES 		DATE: SEPTEMBER 2, 2022 PROJECT NO.: 2021878-017		SHEET NO.: LD-4 OF SW-28	

NOT FOR BIDDING / NOT FOR CONSTRUCTION

SAFE SIGHT DISTANCES					
PER EXHIBIT VI OF THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE					
LOCATION	INTERSECTION	DIRECTION	GRADE (%)	SIGHT DISTANCES (FEET)	
				REQUIRED:	ACTUAL:
SSD-1	ACCESS DRIVE AND ELMWOOD DRIVE (ELMWOOD DRIVE - 25 MPH SPEED LIMIT)	TO THE LEFT	-1% TO -5%	250'	400'±
		TO THE RIGHT	-2% TO -4%	195'	508'±

PROPOSED STREET SIGN LEGEND	
SYMBOL	SIGN DESCRIPTION
(S)	"STOP" SIGN
(HP)	HANDICAP PARKING SIGN
(VP)	VAN HANDICAP PARKING SIGN
(←)	ONE WAY SIGN



SEAL		NO. BY	DATE	REVISION

MANAGER:	BENJAMIN W. MORTON, RLA		
DESIGN BY:	ALB	CHECKED BY:	WVF
DRAWN BY:	ALB	CHECKED BY:	BVM

CLIENT:	ROCKVILLE PLACE, LLC		
PROJECT TITLE:	FINAL LAND DEVELOPMENT PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE		
ADDRESS:	ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 996-2514		

SCALE	1" = 30'	0'	60'	90'
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LINE	BEARING	LENGTH
SDE-400	N50°13'42"E	78.89'
SDE-401	N84°17'34"E	305.56'
SDE-402	N74°57'13"E	21.18'
SDE-403	N15°02'40"W	211.08'
SDE-404	N74°57'20"E	20.00'
SDE-405	S15°02'40"E	136.56'
SDE-406	N74°57'27"E	21.18'
SDE-407	S15°02'40"E	20.00'
SDE-408	S74°57'27"W	21.18'
SDE-409	S15°02'40"E	108.11'
SDE-410	N85°00'18"E	18.30'
SDE-411	N75°02'12"E	2.95'
SDE-412	S15°02'40"E	20.00'
SDE-413	S75°02'12"W	4.72'
SDE-414	S85°00'18"W	36.81'
SDE-415	N15°02'40"W	50.36'
SDE-416	S74°57'13"W	22.82'
SDE-417	S84°17'34"W	301.06'
SDE-418	S50°13'42"W	100.47'
SDE-419	N39°22'37"E	20.00'

LINE	BEARING	LENGTH
SDE-420	S50°37'23"E	60.51'
SDE-421	S14°56'04"E	49.87'
SDE-422	N74°57'15"E	70.90'
SDE-423	N15°02'42"W	42.23'
SDE-424	N74°57'18"E	20.00'
SDE-425	S15°02'42"E	42.23'
SDE-426	N74°57'22"E	70.93'
SDE-427	N15°02'32"W	48.23'
SDE-428	N19°22'19"E	61.58'
SDE-429	S70°37'41"E	20.00'
SDE-430	S19°22'19"W	55.38'
SDE-431	S15°02'50"E	142.04'
SDE-432	S74°57'00"W	20.00'
SDE-433	N15°03'00"W	80.00'
SDE-434	S74°57'22"W	80.93'
SDE-435	S74°57'15"W	80.92'
SDE-436	S15°02'24"E	80.00'
SDE-437	S74°57'20"W	32.63'
SDE-438	N15°02'40"W	20.00'
SDE-439	N74°57'20"E	12.63'

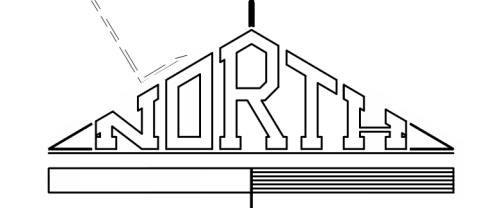
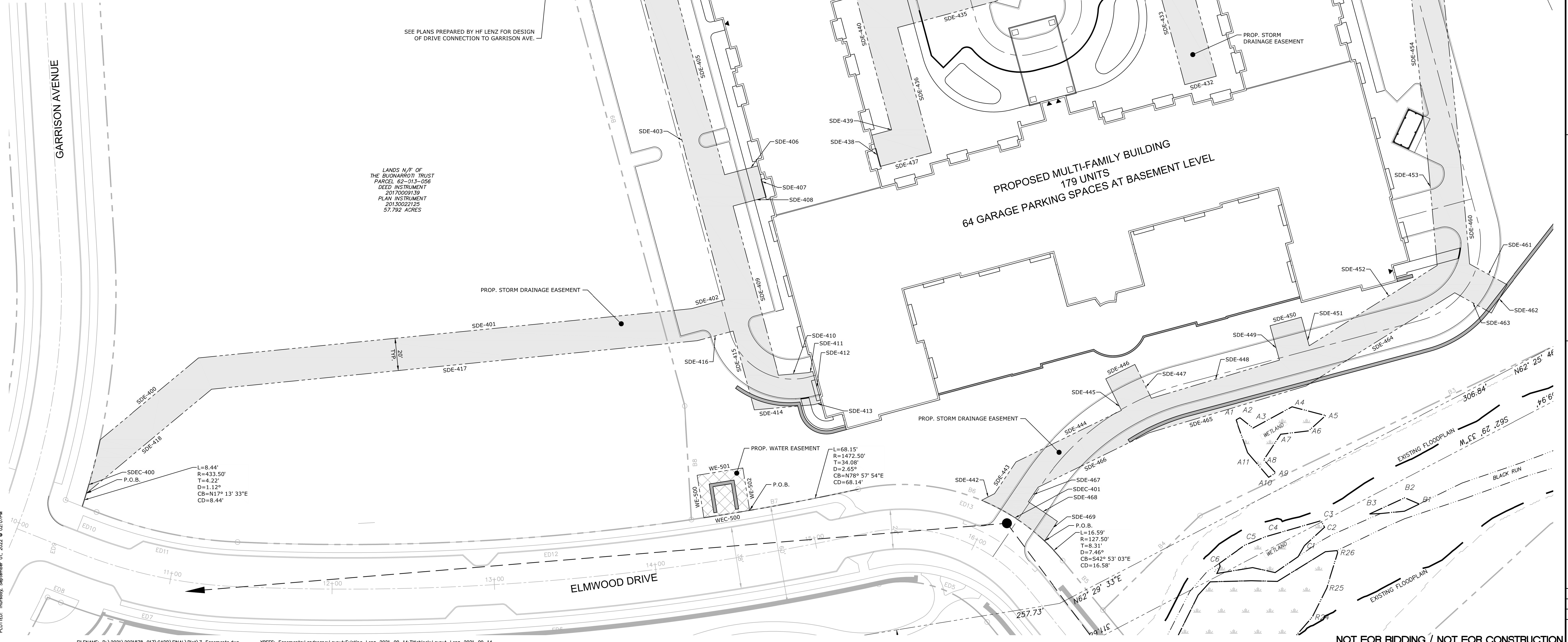
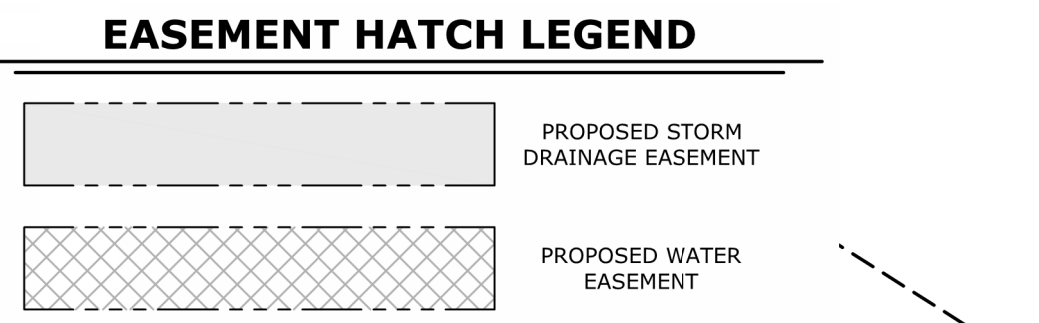
LINE	BEARING	LENGTH
SDE-440	N14°59'40"W	123.47'
SDE-441	N50°37'23"W	54.07'
SDE-442	N62°31'07"E	8.92'
SDE-443	N33°57'56"E	23.58'
SDE-444	N63°54'54"E	72.36'
SDE-445	N26°19'37"W	21.71'
SDE-446	N63°40'23"E	20.00'
SDE-447	S26°19'37"E	23.32'
SDE-448	N73°21'18"E	82.30'
SDE-449	N15°17'15"W	21.98'
SDE-450	N74°42'45"E	20.00'
SDE-451	S15°17'15"E	18.28'
SDE-452	N57°54'31"E	93.22'
SDE-453	N05°00'34"W	60.63'
SDE-454	N05°48'11"W	141.52'
SDE-455	N15°38'05"W	118.06'
SDE-456	N74°21'55"E	20.00'
SDE-457	S15°38'05"E	119.78'
SDE-458	S05°48'11"E	143.38'
SDE-459	S05°00'34"E	61.56'

LINE	BEARING	LENGTH
SDE-461	S61°00'38"E	26.42'
SDE-462	S28°59'22"W	20.00'
SDE-463	N61°00'38"W	25.84'
SDE-464	S57°54'31"W	108.26'
SDE-465	S73°21'18"W	101.03'
SDE-466	S63°54'54"W	76.23'
SDE-467	S33°57'56"W	10.77'
SDE-468	S56°02'10"E	21.75'
SDE-469	S33°57'50"W	14.51'

CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	DISTANCE
SDEC-400	433.50'	34.18'	17.10'	4°31'05"	N14°24'33"E	34.17'
SDEC-401	126.90'	46.28'	23.40'	20°53'41"	N57°00'38"W	46.02'

LINE	BEARING	LENGTH
WE-500	N09°07'57"W	26.53'
WE-501	N80°52'03"E	28.50'
WE-502	S09°07'57"E	26.52'

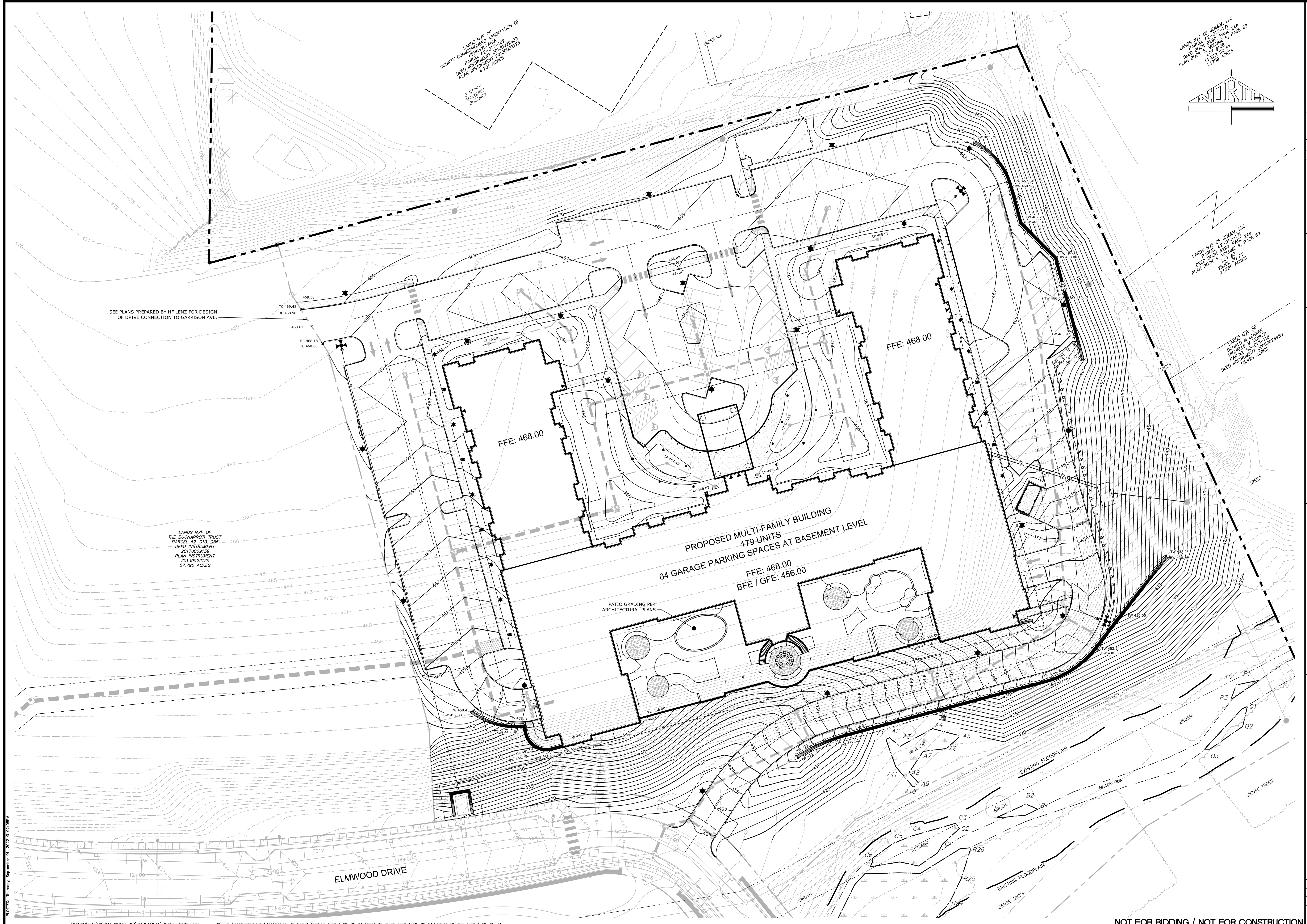
CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	DISTANCE
WEC-500	1472.50'	28.50'	14.25'	1°06'32"	S80°50'43"W	28.50'



NO.	BY	DATE	REVISION			
			DESCRIPTION	DATE	BY	NO.

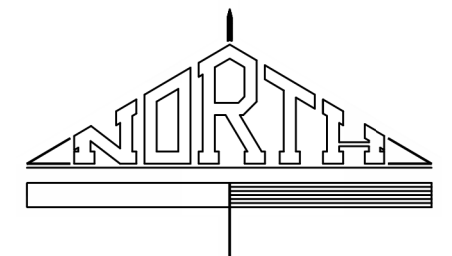
SEAL	SEAL	MANAGER: BENJAMIN W. MORTON, RLA
DESIGN BY: ALB	CHECKED BY: WMF	CLIENT: ROCKVILLE PLACE, LLC
DRAWN BY: ALB	CHECKED BY: BWM	ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 898-2514
PROJECT TITLE: FINAL LAND DEVELOPMENT PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA	SCALE: 1" = 30'	SHEET TITLE: EASEMENT PLAN
DATE: SEPTEMBER 2, 2022	PROJECT NO: 2021878-017	LAND PLANNING ARCHITECTURE LANDSCAPE ARCHITECTURE CIVIL ENGINEERING 83 West James Street, PA 17033 Phone: 610.898.2514 221 W. Philadelphia Street, PA 17027 Suite 302E, York, PA 17401 120 S. Main Street Suite 205B, Harrisburg, PA 17103 (717) 659-1616 www.rgsassociates.com

NOT FOR BIDDING / NOT FOR CONSTRUCTION



LANDS N/W OF COUNTY COMMISSIONERS ASSOCIATION OF PENNSYLVANIA DEED INSTRUMENT 20130022633 PLAN INSTRUMENT 4.701 ACRES

LANDS N/W OF SEMM, LLC PARCEL 62-013-171 DEED BOOK 6390 PAGE 248 PLAN BOOK 107 4336 FT 5129 50 FT 1.1759 ACRES



LANDS N/W OF SEMM, LLC PARCEL 62-013-171 DEED BOOK 6390 PAGE 248 PLAN BOOK 107 4336 FT 5129 50 FT 1.1759 ACRES

LANDS N/W OF DONALD M. LENNER PARCEL 62-013-115 DEED INSTRUMENT 2008028959 55.428 ACRES

SEE PLANS PREPARED BY HF LENZ FOR DESIGN OF DRIVE CONNECTION TO GARRISON AVE.

LANDS N/W OF THE BUONAROTTI TRUST PARCEL 62-013-056 DEED INSTRUMENT 20170008139 PLAN INSTRUMENT 20130022125 57.792 ACRES

FFE: 468.00

FFE: 468.00

PROPOSED MULTI-FAMILY BUILDING
179 UNITS
64 GARAGE PARKING SPACES AT BASEMENT LEVEL
FFE: 468.00
BFE / GFE: 456.00

PATIO GRADING PER ARCHITECTURAL PLANS

ELMWOOD DRIVE

EXISTING FLOODPLAIN

EXISTING FLOODPLAIN

EXISTING FLOODPLAIN

<p>MANAGER: BENJAMIN W. MORTON, RLA</p> <p>DESIGN BY: WNF</p> <p>DRAWN BY: ALB</p>	<p>CHECKED BY: WNF</p> <p>CHECKED BY: BWM</p>	<p>CLIENT: ROCKVILLE PLACE, LLC</p> <p>ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 996-2514</p>	<p>PROJECT TITLE: FINAL LAND DEVELOPMENT PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA</p>	<p>SHEET TITLE: GRADING PLAN</p>	NO BY	DATE	REVISION
					SCALE: 1" = 30'	0'	30'

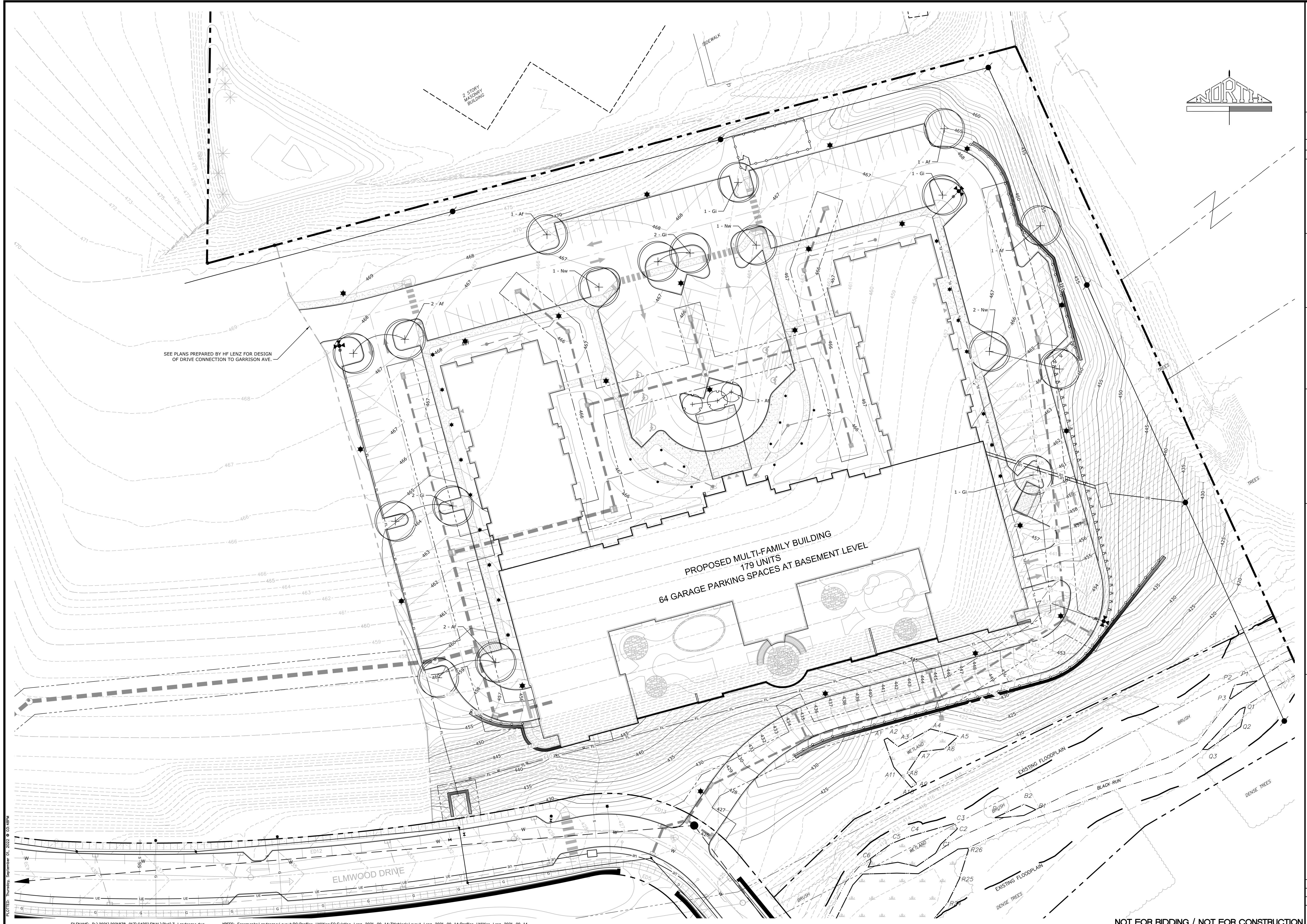
Land Planning
Landscape Architecture
Civil Engineering

63 West James Street, PA 17003
221 W. Philadelphia Street, PA 17027
221 W. Philadelphia Street, PA 17401
120 S. Main Street, PA 17401
120 S. Main Street, PA 17401
(717) 899-7616
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rgs ASSOCIATES

DATE: SEPTEMBER 2, 2022
PROJECT NO: 2021878-017

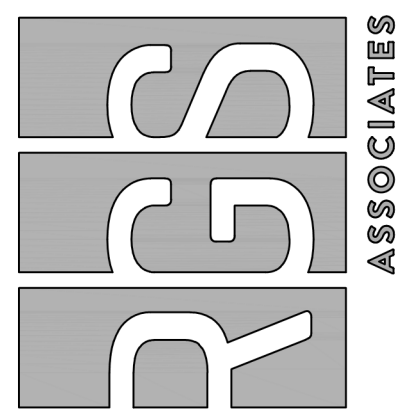
SHEET NO: LD-7 OF SW-28



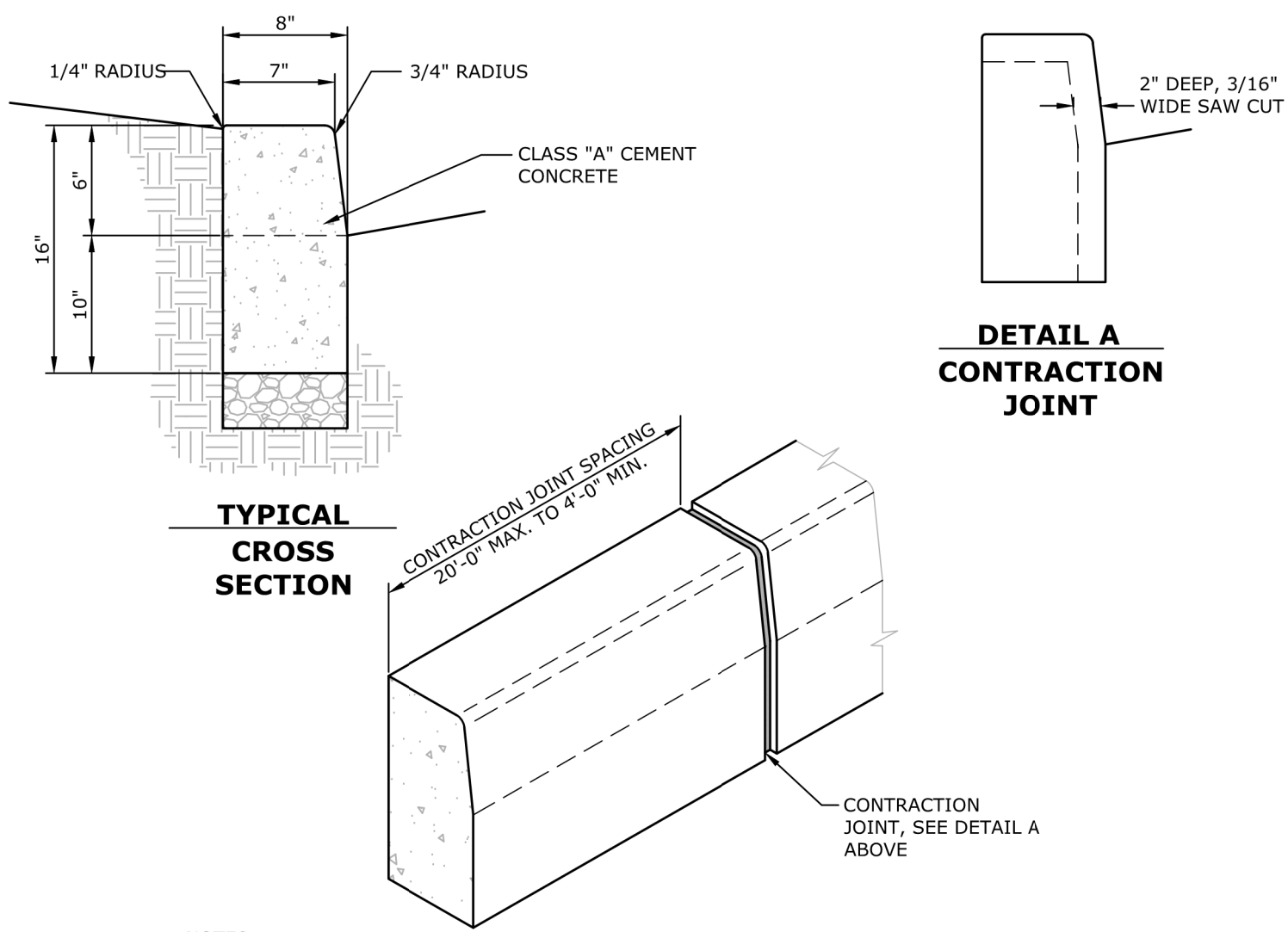
PLOTTED: Thursday, September 01, 2022 @ 03:45PM
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PROJECT TITLE FINAL LAND DEVELOPMENT PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA	CLIENT ROCKVILLE PLACE, LLC ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 996-2514	MANAGER BENJAMIN W. MORTON, RLA	DESIGN BY WNF	CHECKED BY WNF
SHEET TITLE LANDSCAPE PLAN	SCALE 1" = 30' 0' 30' 60' 90'	DESIGNED BY ALB	DRAWN BY ALB	CHECKED BY BWM
DATE: SEPTEMBER 2, 2022 PROJECT NO.: 2021878-017	SHEET NO.: LD-11 OF SW-28	DATE	NO. BY	REVISION

Land Planning
 Landscape Architecture
 Civil Engineering
 63 West James Street, PA 17033
 Suite 101, Lebanon, PA 17042
 221 W. Philadelphia Street, PA 17027
 Suite 100E, York, PA 17401
 120 S. Market Street
 Suite 800W, Harrisburg, PA 17103
 (717) 659-7615
 www.rgsassociates.com



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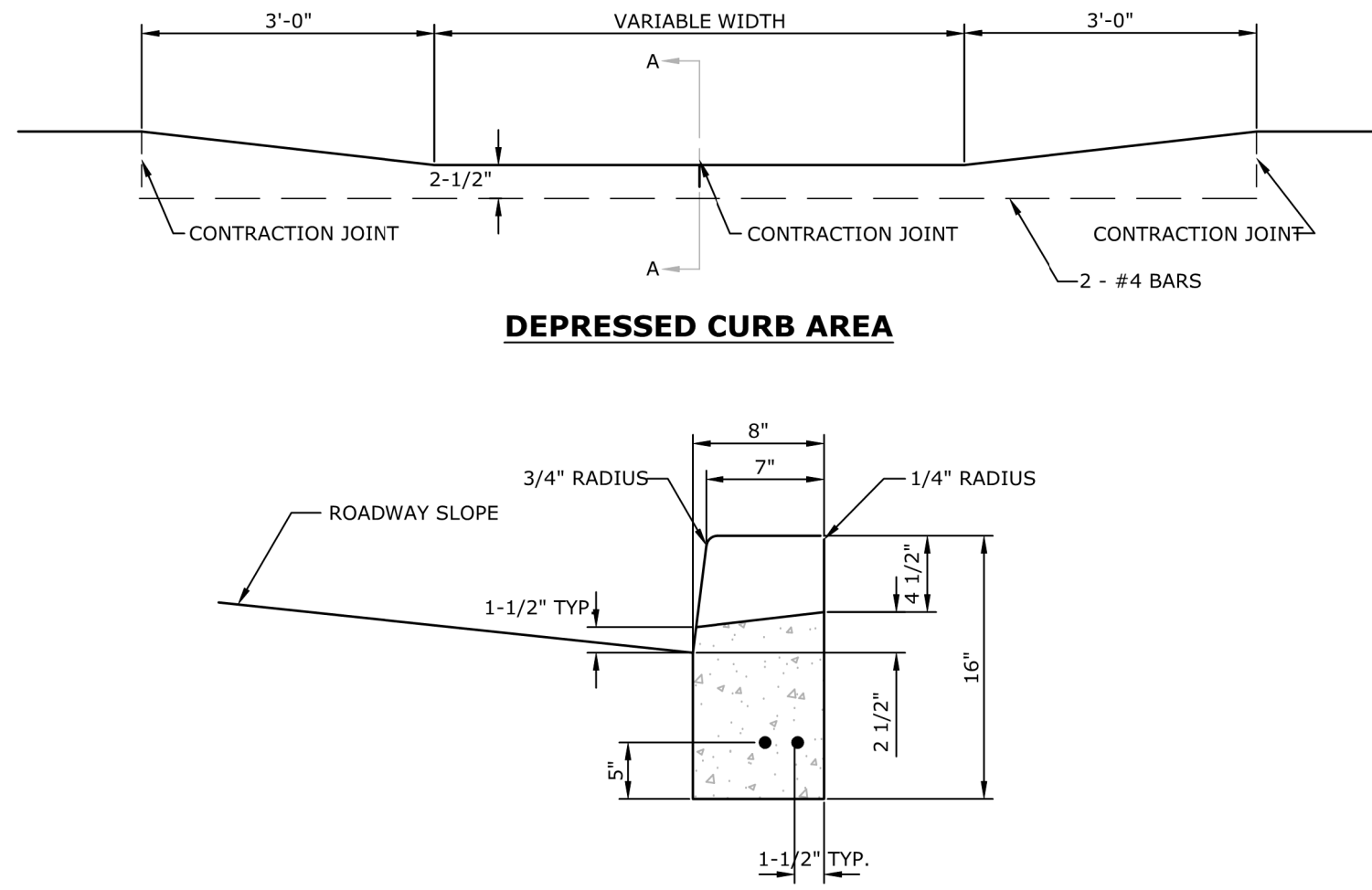
NOTES:

1. EXPANSION JOINTS SHALL CONSIST OF 1/2" THICK PREMOLDED EXPANSION JOINT FILLER MATERIAL. EXPANSION JOINTS SHALL BE LOCATED AT ALL STRUCTURES AT THE END OF THE WORK DAY AND AT INTERVALS OF 100 FEET. CUT MATERIAL TO CONFORM WITH CROSS SECTIONAL AREA OF CURB.
2. CONTRACTION JOINTS SHALL CONSIST OF A 2" DEEP, 3/16" WIDE SAW CUT AND BE PLACED AT UNIFORM LENGTHS OF 20 FOOT INTERVALS MAXIMUM AND 4 FOOT INTERVALS MINIMUM.
3. CURBS TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AS SET FORTH IN THE PENNDOT, PUBLICATION 408, AS AMENDED AND AS DETAILED ON THE ROADWAY CONSTRUCTION STANDARD DRAWINGS (RC-64).

PLAIN CEMENT CONCRETE CURB DETAIL

1

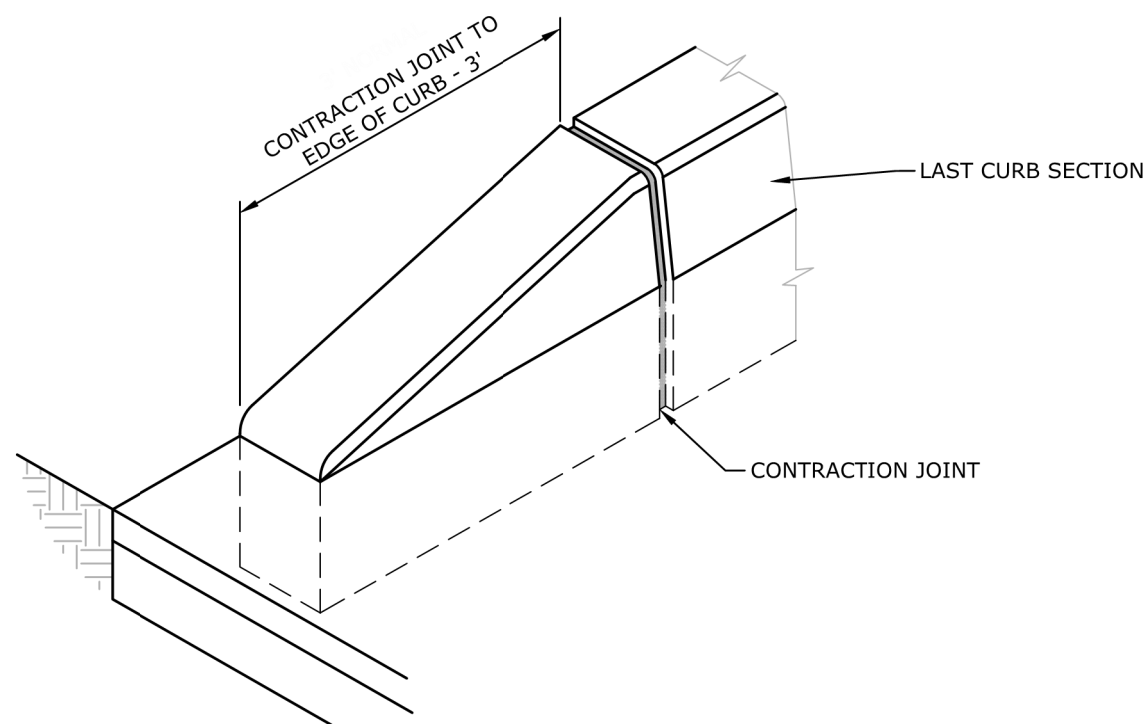
NOT TO SCALE



DEPRESSED CURB

2

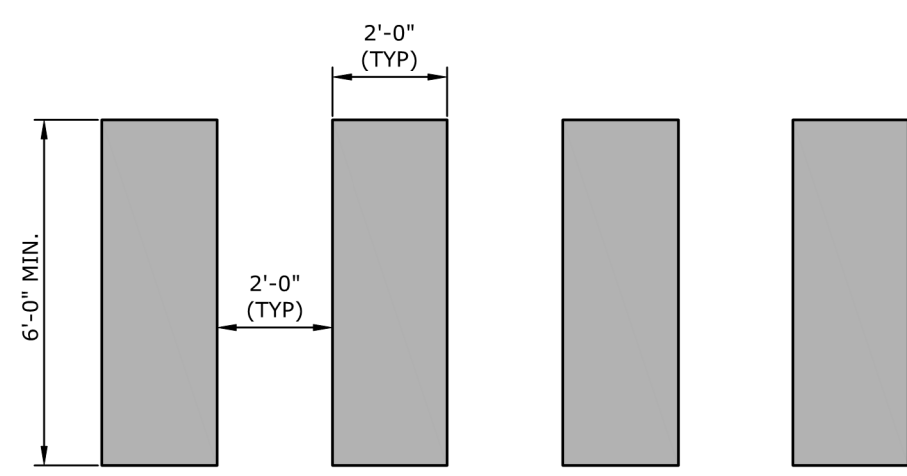
NOT TO SCALE



VERTICAL CURB TERMINATION

3

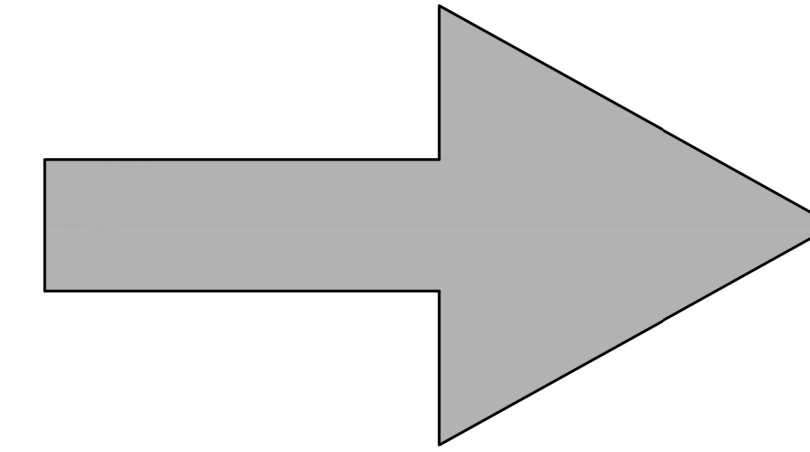
NOT TO SCALE



TYPICAL CROSSWALK DETAIL

4

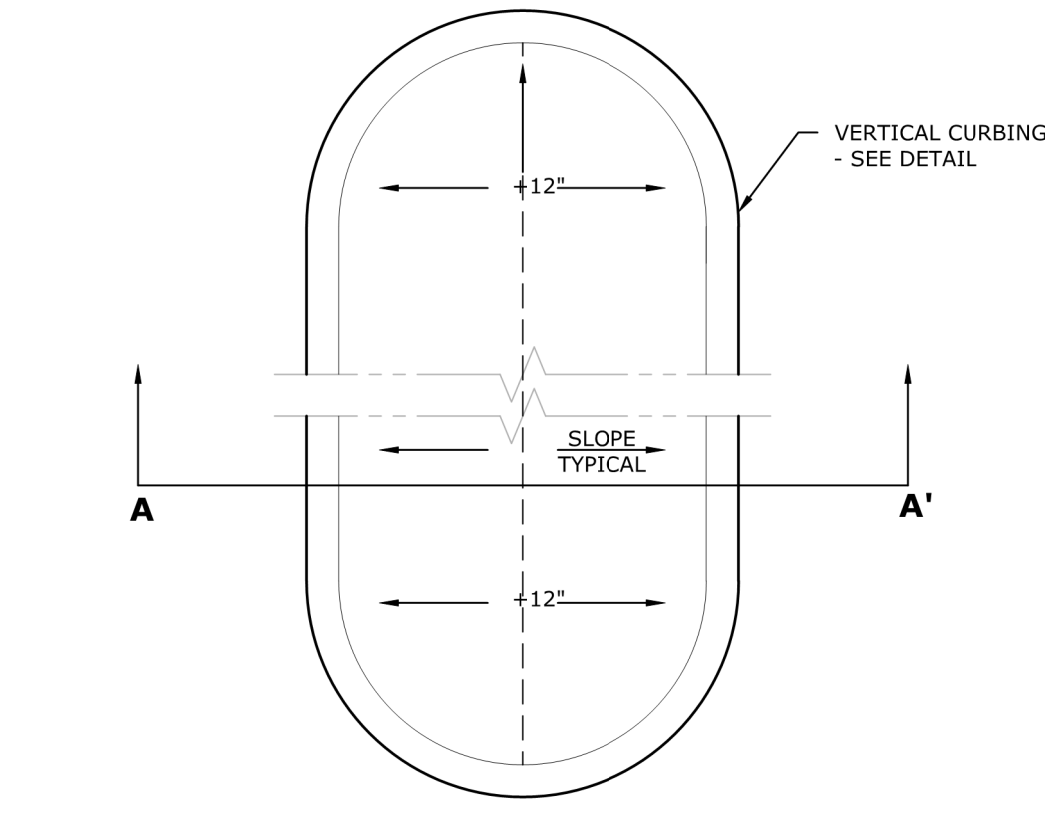
NOT TO SCALE



DIRECTIONAL ARROW DETAIL

5

NOT TO SCALE

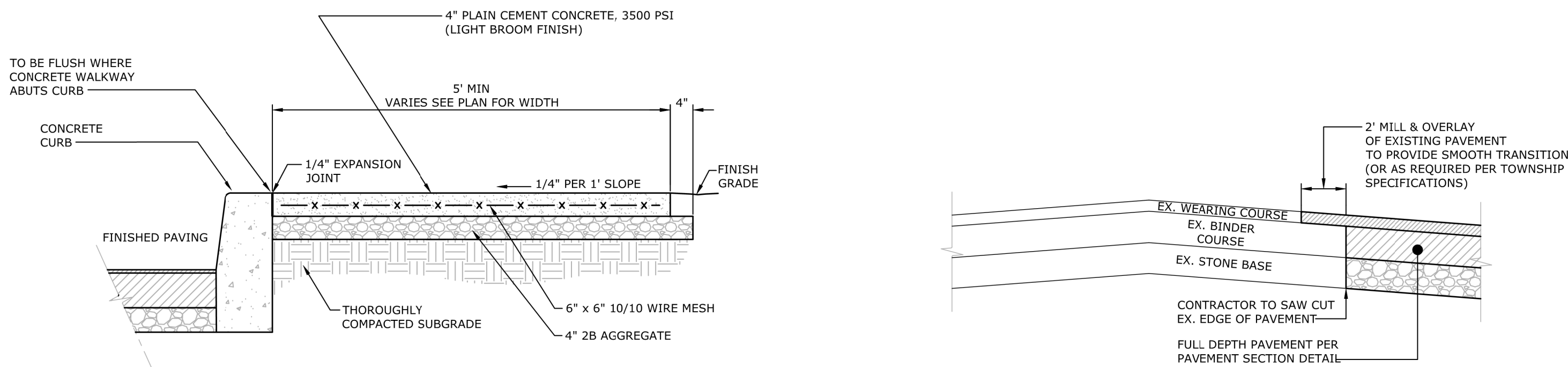


PARKING LOT CURBED ISLAND PLAN

6

TYPICAL CURBED ISLAND DETAIL

NOT TO SCALE



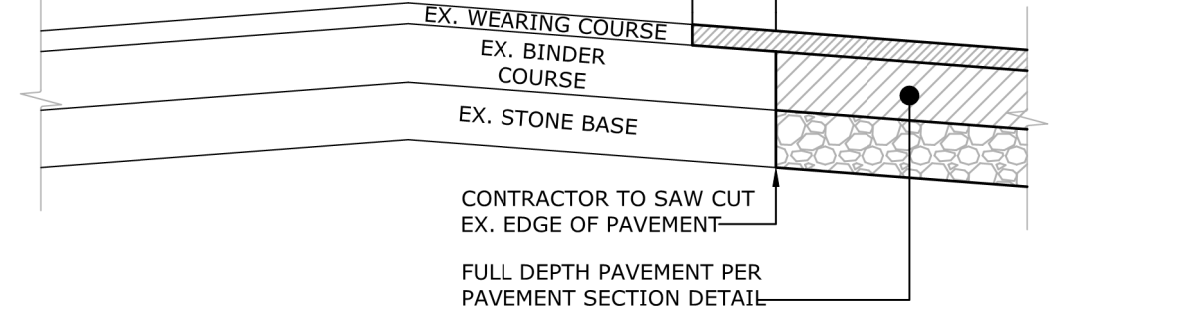
NOTES:

1. CONCRETE SHALL BE PLACED SO THAT THERE IS A SEPARATE JOINT EVERY FIVE (5) FEET WITH AN EXPANSION JOINT EVERY TWENTY (20) FEET.
2. THERE SHALL BE ONE-HALF (1/2) INCH PRE-MOLDED EXPANSION JOINTS BETWEEN EVERY FIFTH SECTION AND BETWEEN ALL POINTS WHERE CONCRETE SIDEWALK ABUTS CONCRETE CURB.
3. SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AS SET FORTH IN THE PENNDOT, PUBLICATION 408, AS AMENDED.

TYPICAL CONCRETE SIDEWALK SECTION

7

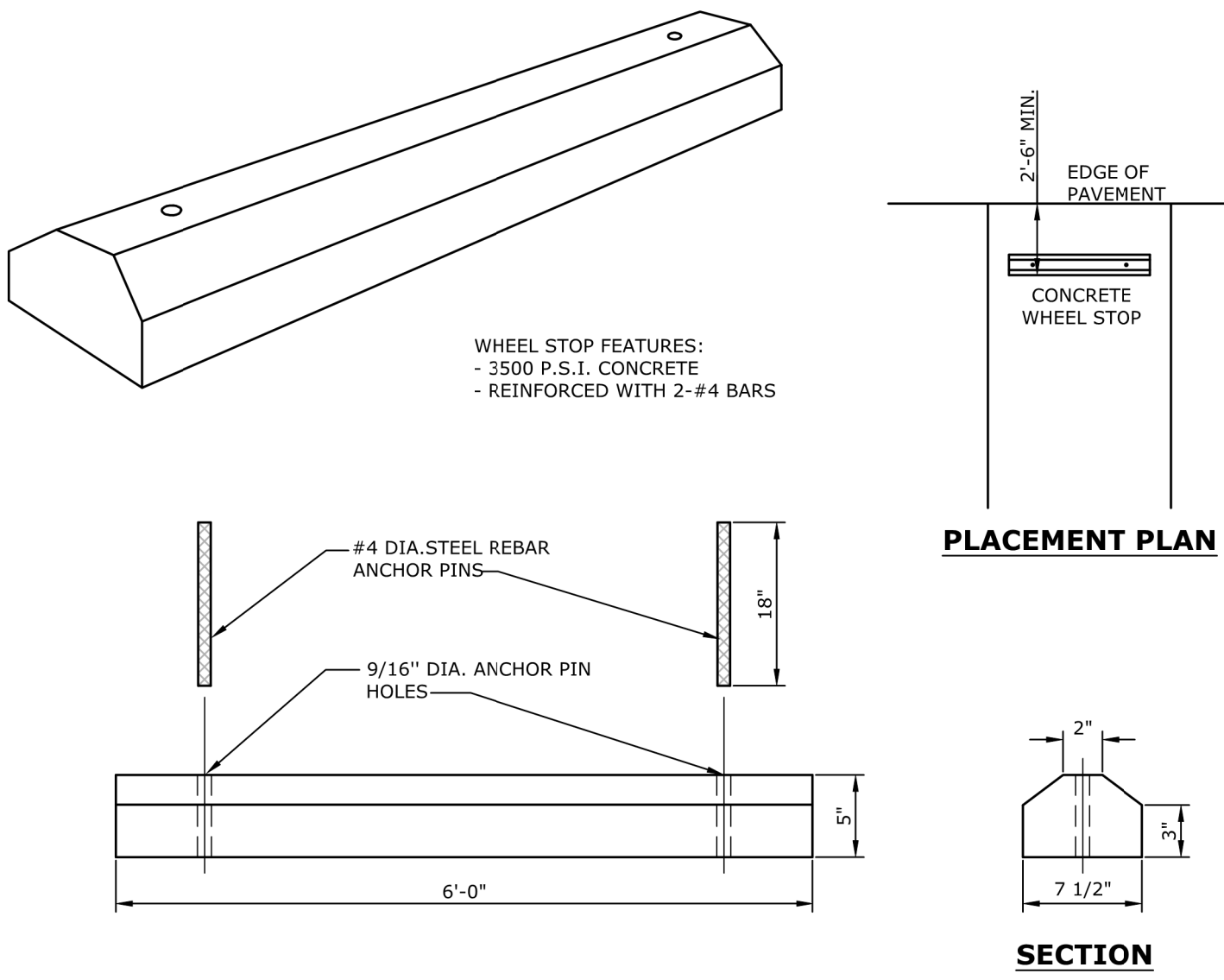
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MILLING AND OVERLAY DETAIL

8

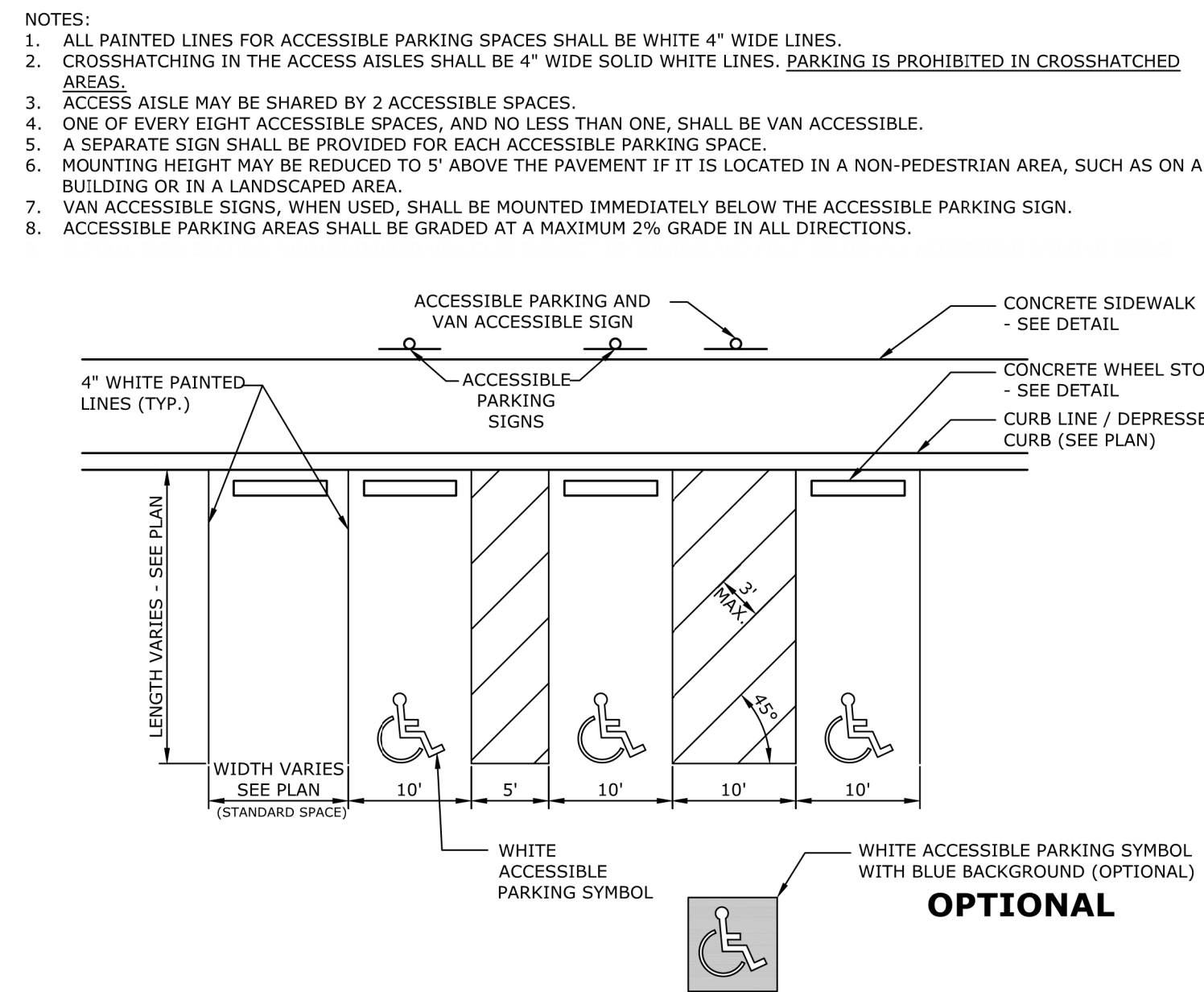
NOT TO SCALE



CONCRETE WHEEL STOP

9

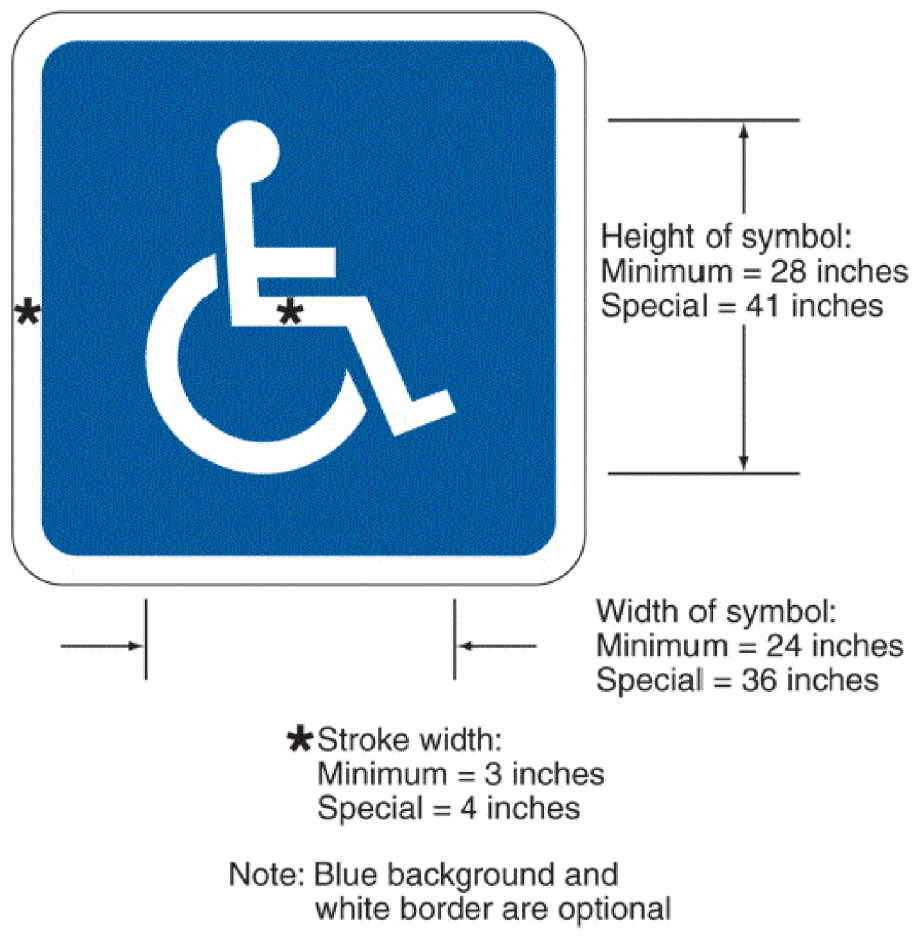
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ACCESSIBLE PARKING LAYOUT DETAIL

10

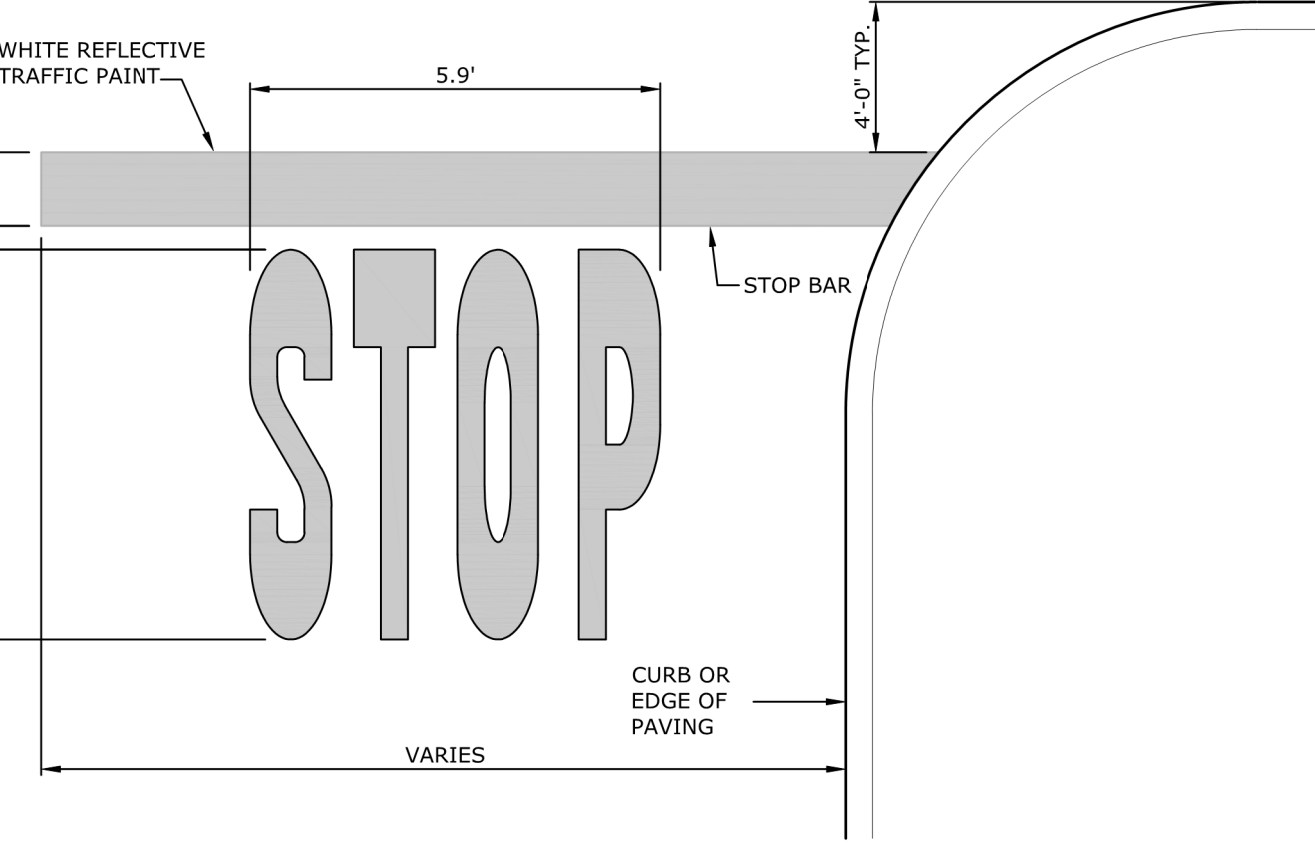
NOT TO SCALE



INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING

11

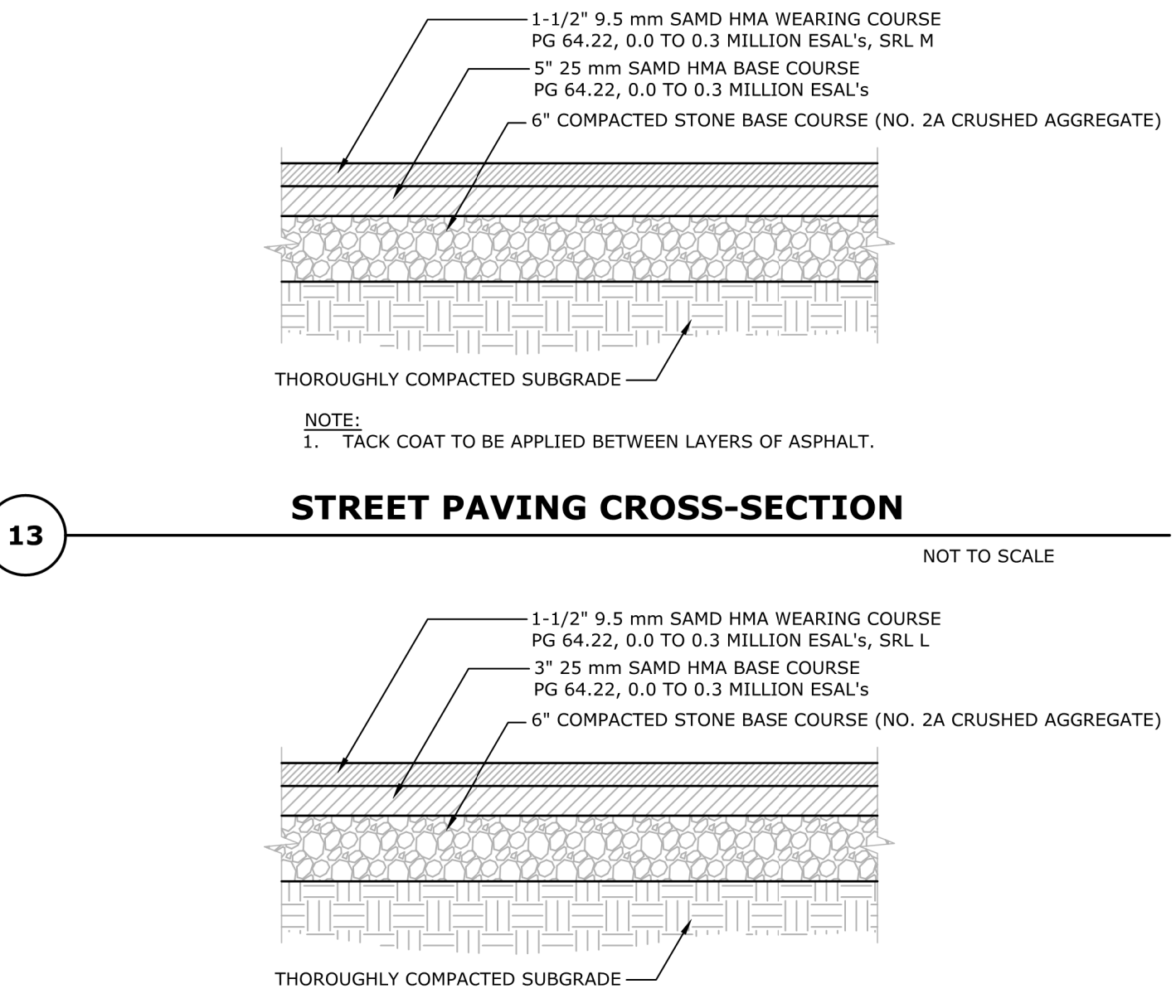
NOT TO SCALE



ON-SITE TRAFFIC STOP PAVEMENT MARKING

12

NOT TO SCALE

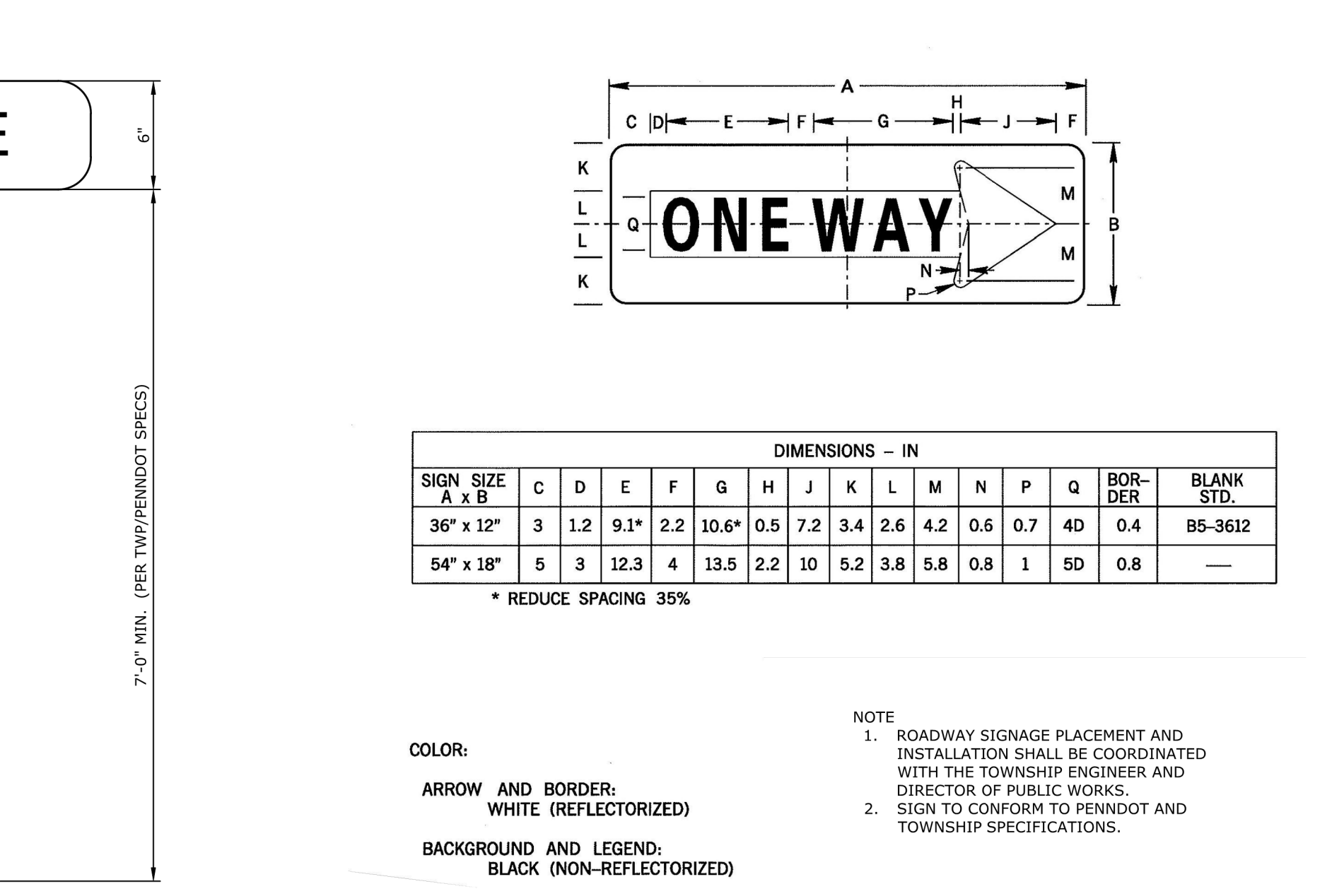
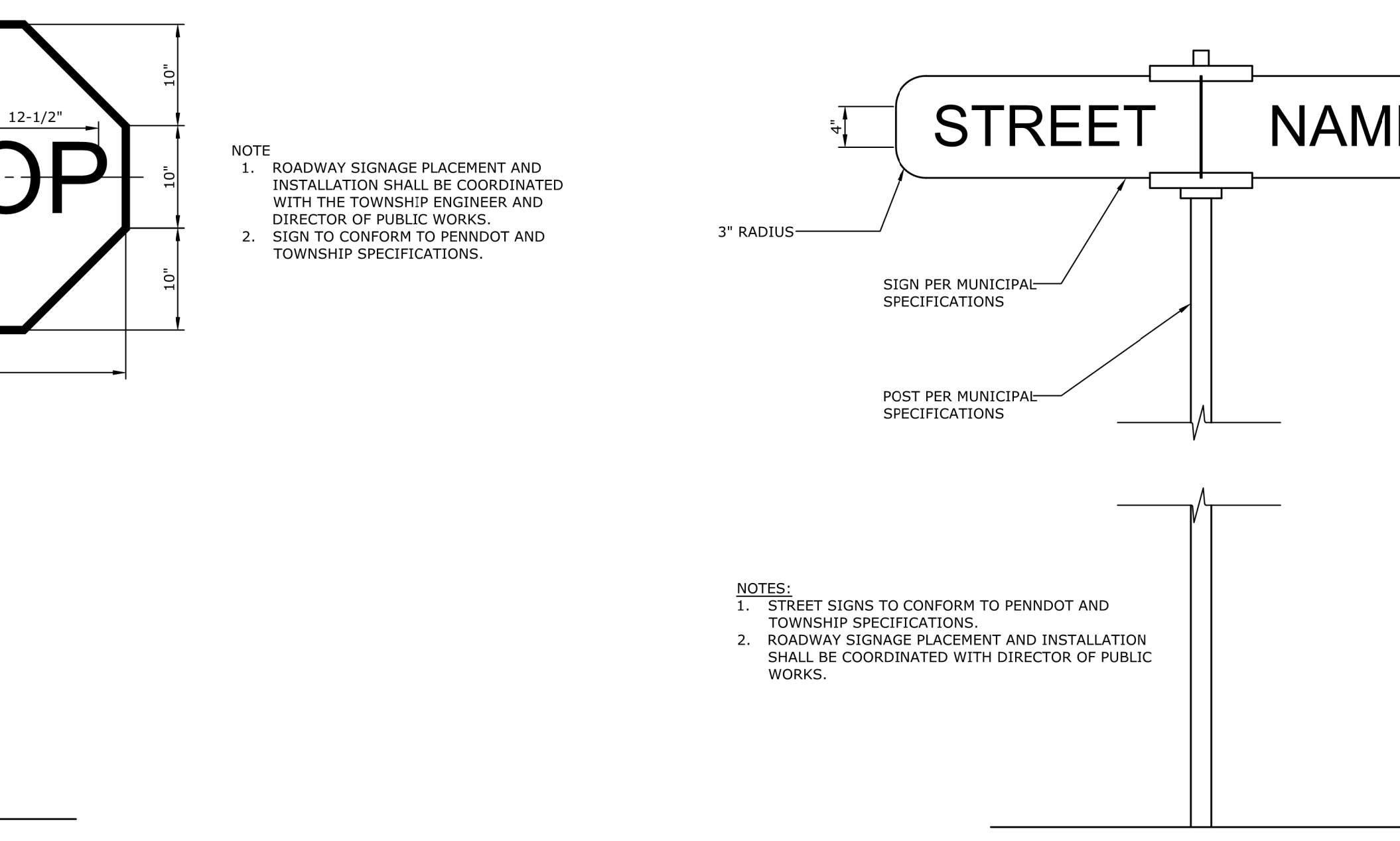
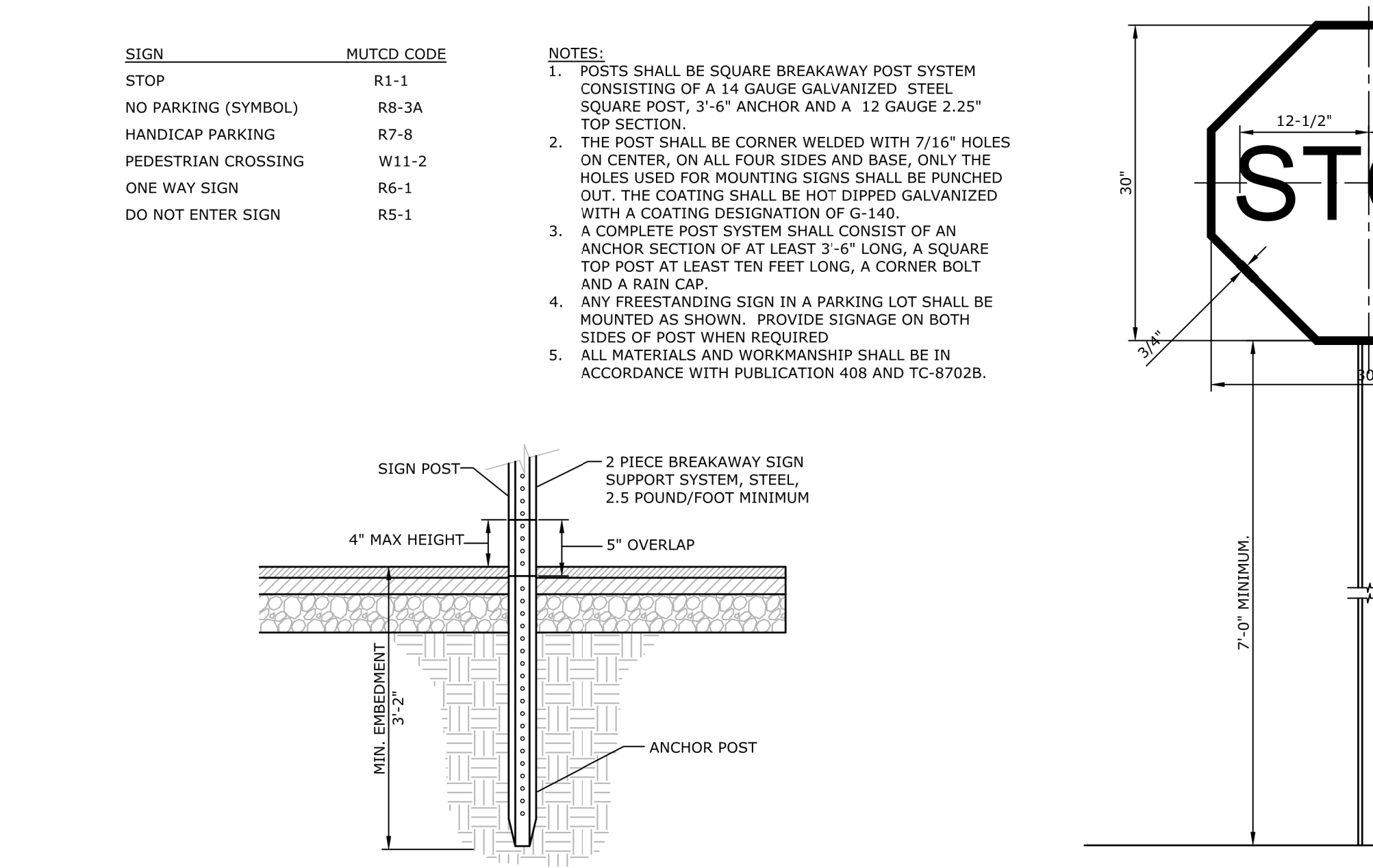
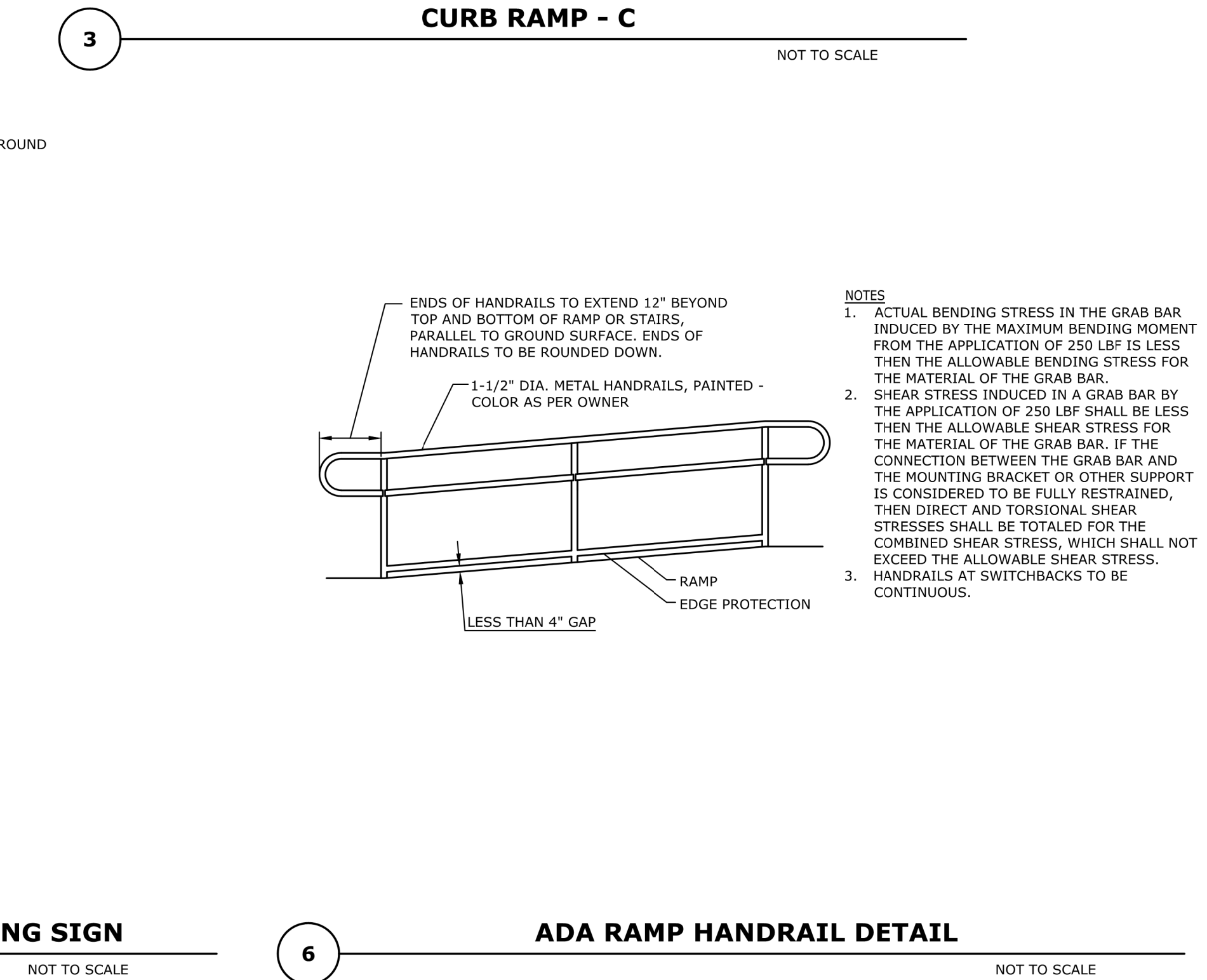
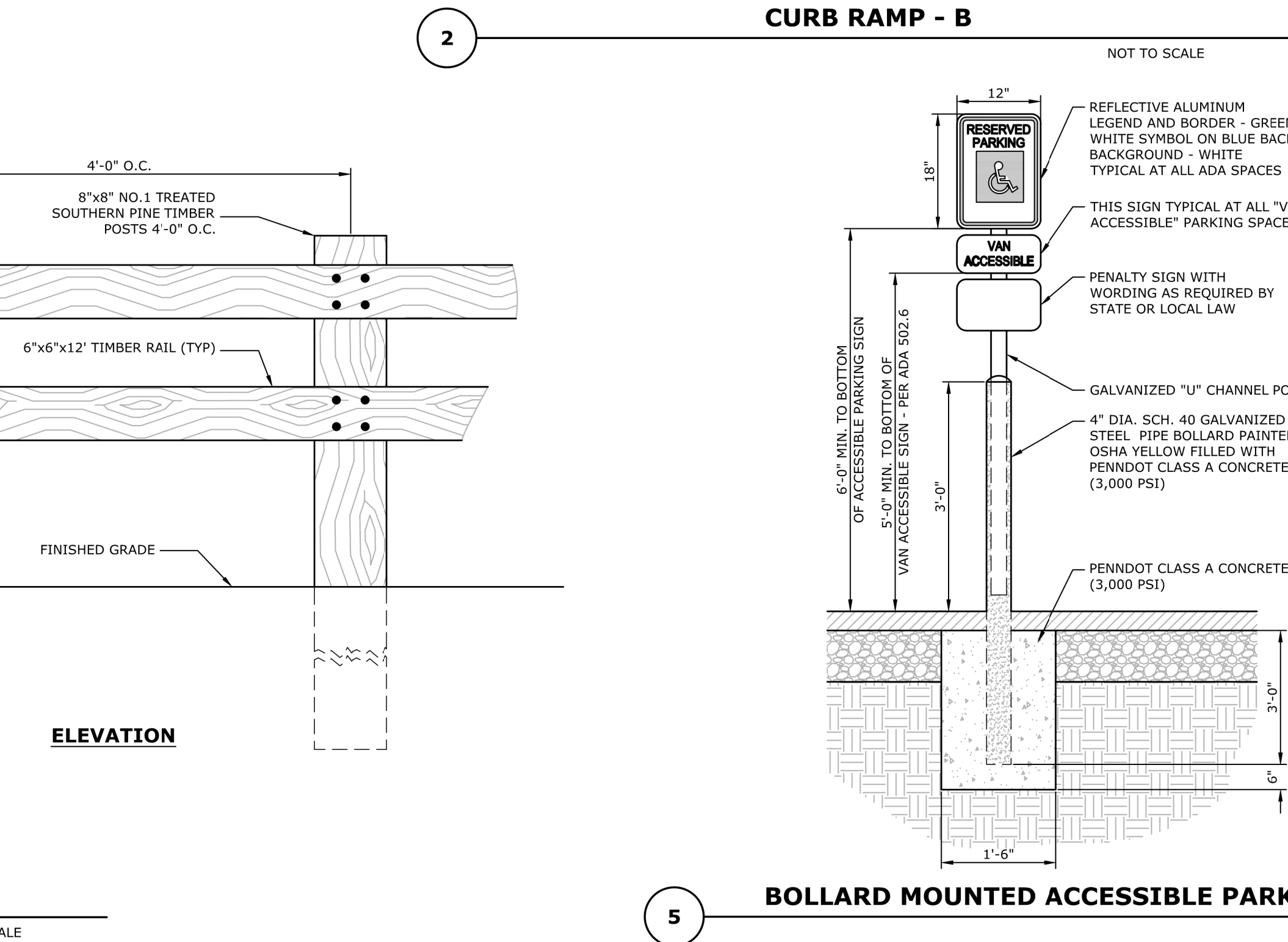
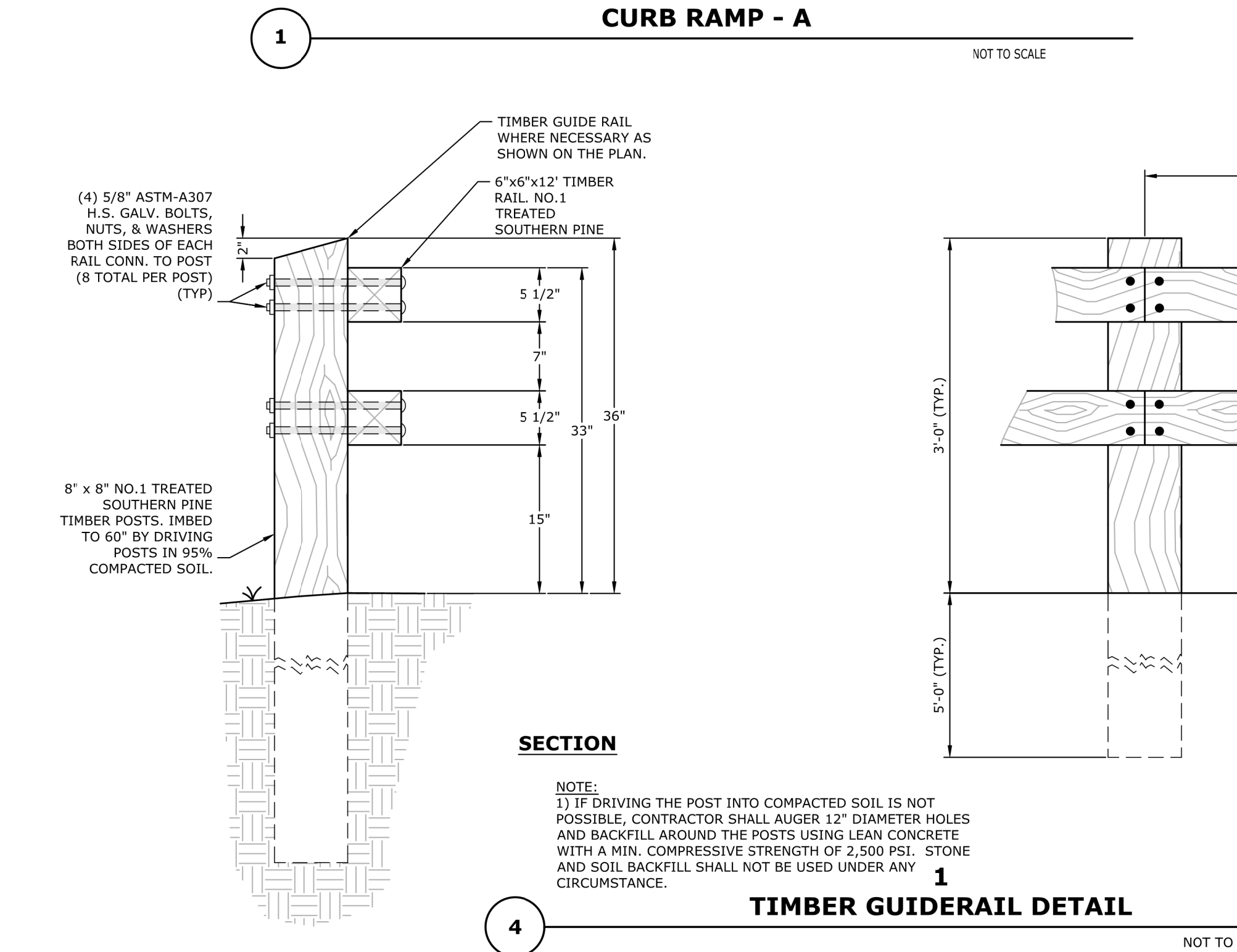
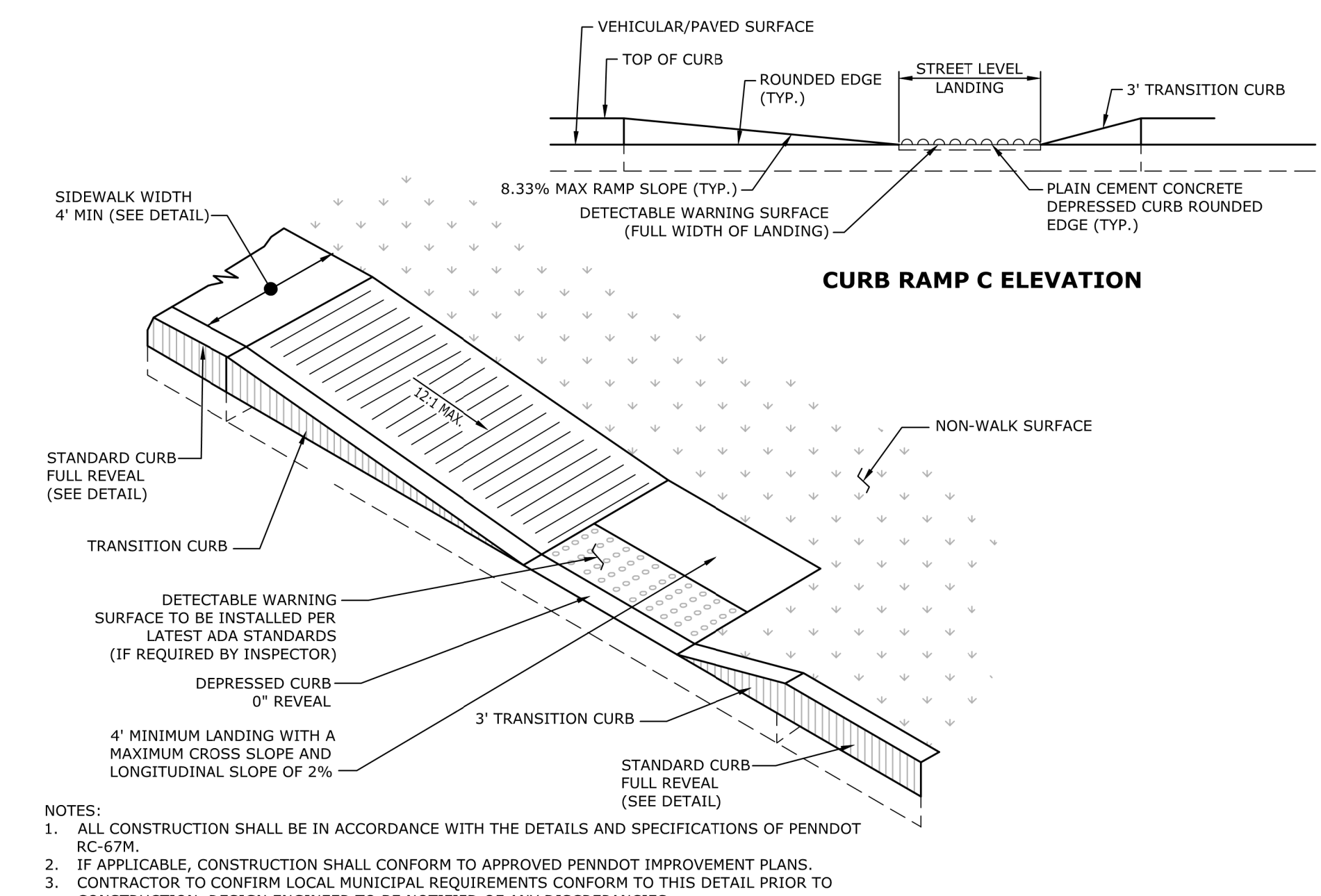
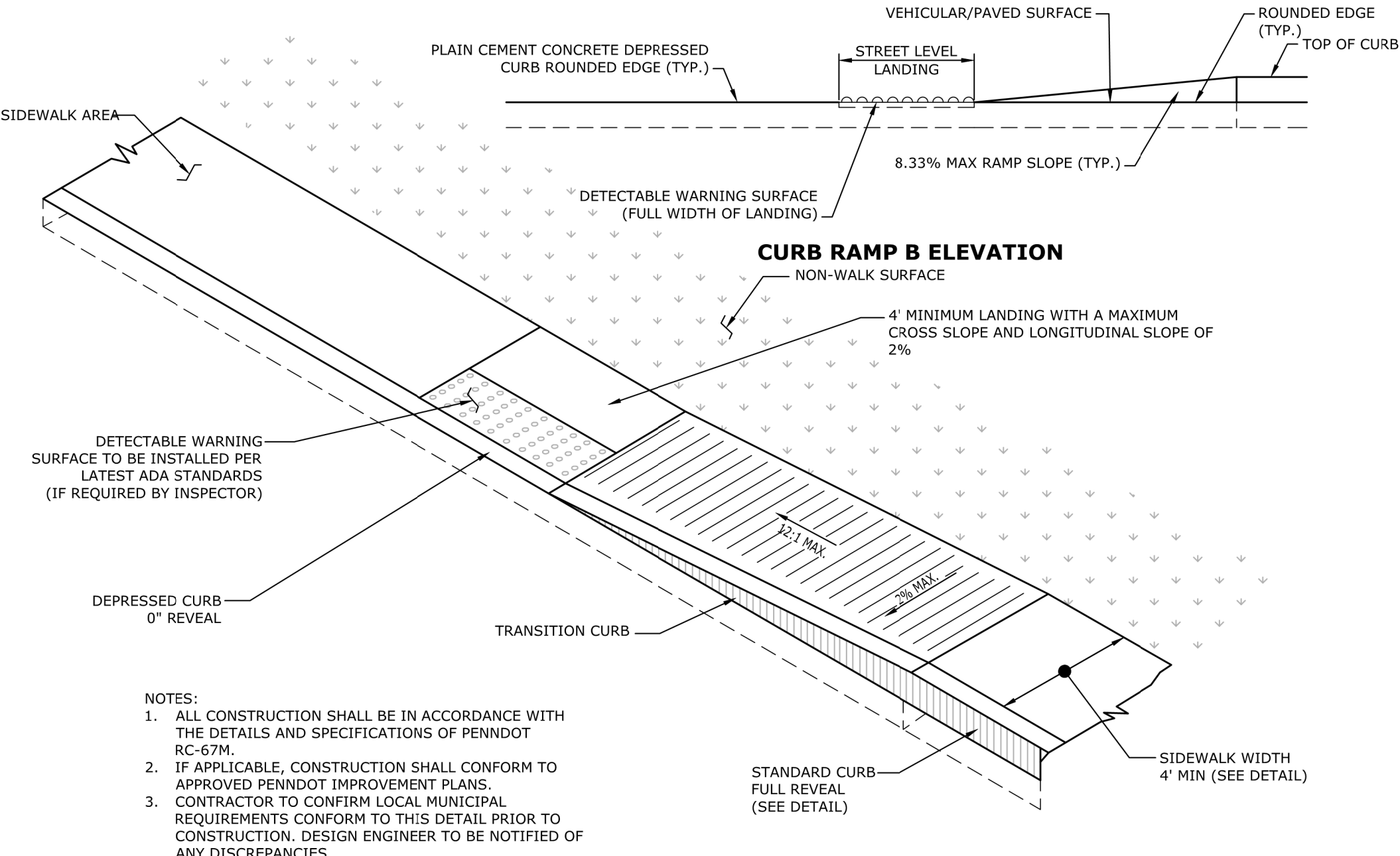
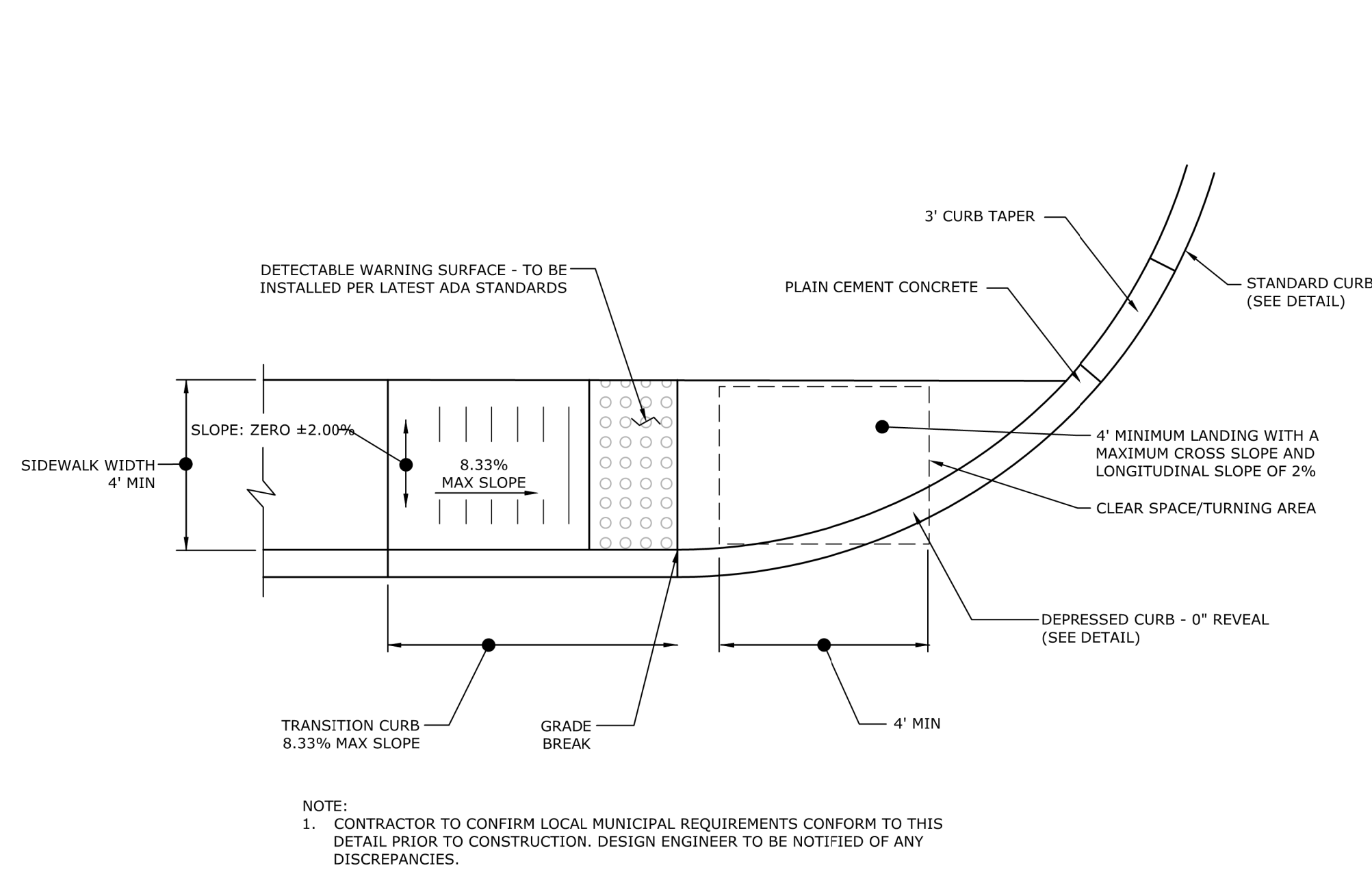


PARKING LOT AND DRIVE AISLE PAVING CROSS-SECTION

13

NOT TO SCALE

NO. BY		DATE	REVISION
SEAL			
MANAGER:	BENJAMIN W. MORTON, R.L.A.	DESIGN BY:	WMF
DESIGNED BY:	ALB	CHECKED BY:	WMF
DRAWN BY:	ALB	CHECKED BY:	WMF
SEAL			
CLIENT:	ROCKVILLE PLACE, LLC.	SCALE:	AS NOTED
PROJECT TITLE			
FINAL LAND DEVELOPMENT PLAN			
PHASE IV FOR SUSQUEHANNA UNION GREEN			
ROCKVILLE PLACE			
SUSQUEHANNA TOWNSHIP			
DAUPHIN COUNTY, PA			
SHEET TITLE			
SITE DETAILS			
Land Planning		Landscape Architecture	
Civil Engineering			
83 West James Street, PA 17033		703 S. 3rd Street, PA 17033	
P.O. Box 151, Lehigh Valley, PA 18009		P.O. Box 1077	
221 W. Philadelphia Street		221 W. Philadelphia Street	
State College, PA 17201		State College, PA 17201	
123 N. Main Street		123 N. Main Street	
State College, PA 17201		State College, PA 17201	
(717) 851-1615		(717) 851-1615	
www.rpsassociates.com		www.rpsassociates.com	
DATE: SEPTEMBER 2, 2022			
PROJECT NO.: 2021878-017			
SHEET NO.: LD-12 OF SW-28			



DIMENSIONS - IN

SIGN SIZE A x B	C	D	E	F	G	H	J	K	L	M	N	P	Q	BOR- DER	BLANK STD.
36" x 12"	3	1.2	9.1*	2.2	10.6*	0.5	7.2	3.4	2.6	4.2	0.6	0.7	4D	0.4	B5-3612
54" x 18"	5	3	12.3	4	13.5	2.2	10	5.2	3.8	5.8	0.8	1	5D	0.8	—

* REDUCE SPACING 35%

COLOR:
ARROW AND BORDER: WHITE (REFLECTORIZED)
BACKGROUND AND LEGEND: BLACK (NON-REFLECTORIZED)

NOTE:
1. ROADWAY SIGNAGE PLACEMENT AND INSTALLATION SHALL BE COORDINATED WITH THE TOWNSHIP ENGINEER AND DIRECTOR OF PUBLIC WORKS.
2. SIGN TO CONFORM TO PENNDOT AND TOWNSHIP SPECIFICATIONS.

PROJECT TITLE
FINAL LAND DEVELOPMENT PLAN
PHASE IV FOR SUSQUEHANNA UNION GREEN
ROCKVILLE PLACE

CLIENT
ROCKVILLE PLACE, LLC.
ONE TRINITY DRIVE
SUITE 202
DILLSBURG, PA 17019
(610) 996-2514

MANAGER
BENJAMIN W. MORTON, RLA

DESIGN BY
ALB

CHECKED BY
WMF

DRAWN BY
ALB

CHECKED BY
WMF

SCALE
AS NOTED

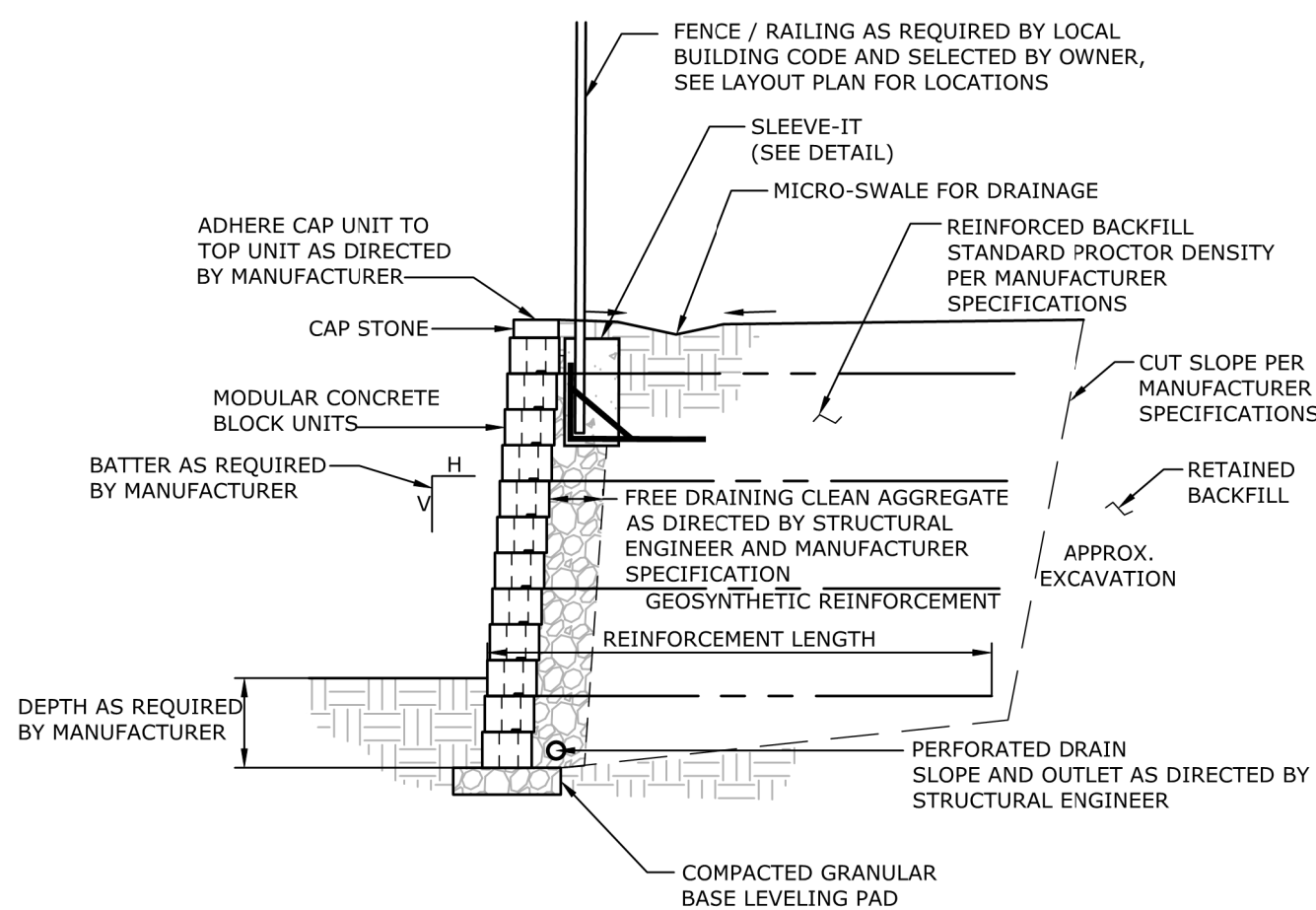
SHEET TITLE
SITE DETAILS

DATE
NO BY

REVISION

ASSOCIATES

Land Planning
Landscape Architecture
Civil Engineering
63 West James Street, PA 17003
800-541-1500
221 W. Philadelphia Street
Suite 100E, York, PA 17401
120 S. Main, York, PA 17403
Suite 850W, Harrisburg, PA 17103
(717) 897-1616
www.rpsassociates.com

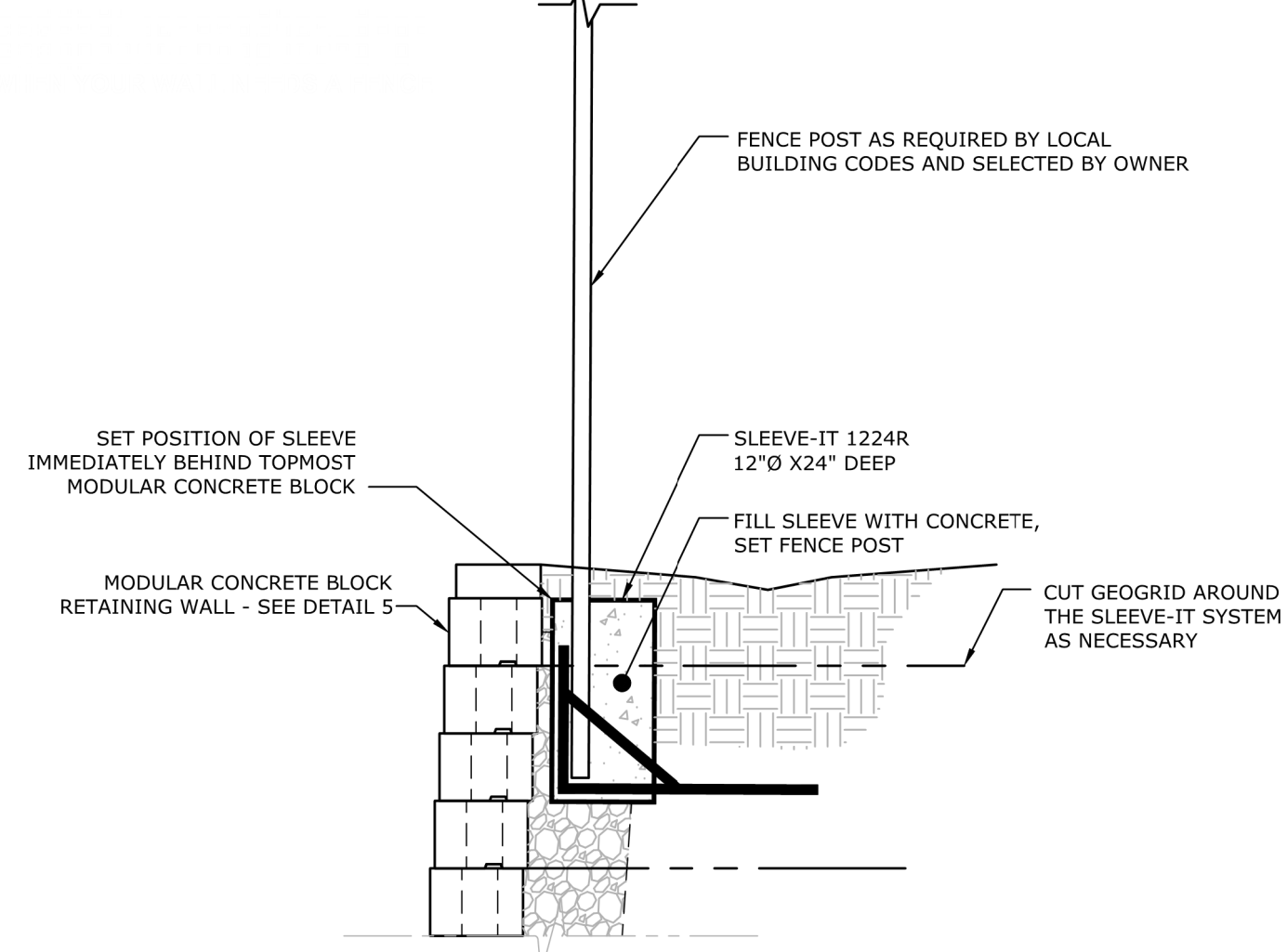


- NOTES:**
1. THE RETAINING WALLS SHOWN HEREON HAVE NOT BEEN STRUCTURALLY DESIGNED AND ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL SHAPE, HEIGHT, FOOTING, MATERIAL SELECTION, AND DESIGN OF THESE WALLS IS THE RESPONSIBILITY OF THE CONTRACTOR.
 2. MODULAR BLOCK RETAINING WALLS SHOWN ON THESE PLANS ARE FOR ILLUSTRATIVE PURPOSES ONLY. STRUCTURAL COMPUTATIONS, DESIGN, CONSTRUCTION SPECIFICATIONS, AND APPLICABLE BUILDING PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE LAYOUT AND GRADING OF THE RETAINING WALLS ASSUMES NO STORM RUNOFF OVER THE TOP OF THE WALL. IF SITE CONDITIONS ARE NOT AS ASSUMED CONTACT THE DESIGN ENGINEER PRIOR TO CONSTRUCTION OF THE RETAINING WALL.
 3. ANY RETAINING WALL GREATER THAN 3' NEED ENGINEERED PLANS PRIOR TO CONSTRUCTION.

TYPICAL SECTION MODULAR BLOCK RETAINING WALL

1

NOT TO SCALE

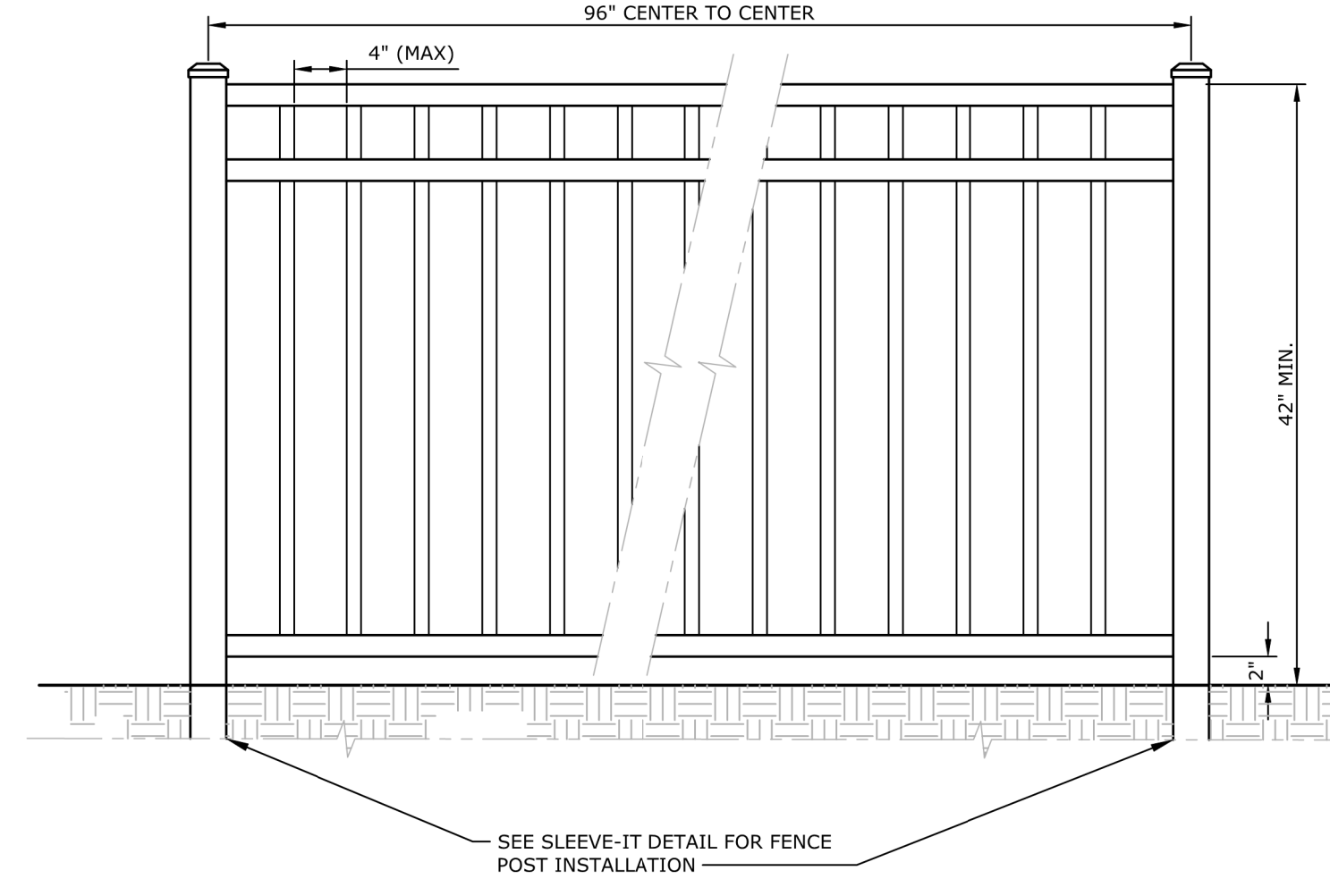


- NOTES:**
1. THIS DETAIL IS PROVIDED FOR GENERAL INFORMATION PURPOSES ONLY.
 2. SLEEVE-ITS, MANUFACTURED BY STRATA SYSTEMS, INC., 380 DAHLONEGA ROAD, CUMMING, GA 30040 (800)-680-7750, OR EQUAL SHALL BE INSTALLED.
 3. THE CONTRACTOR SHALL INSTALL THE SLEEVE-ITS PER THE MANUFACTURER'S SPECIFICATIONS.

FENCE POST INSTALLATION USING SLEEVE-IT

2

NOT TO SCALE

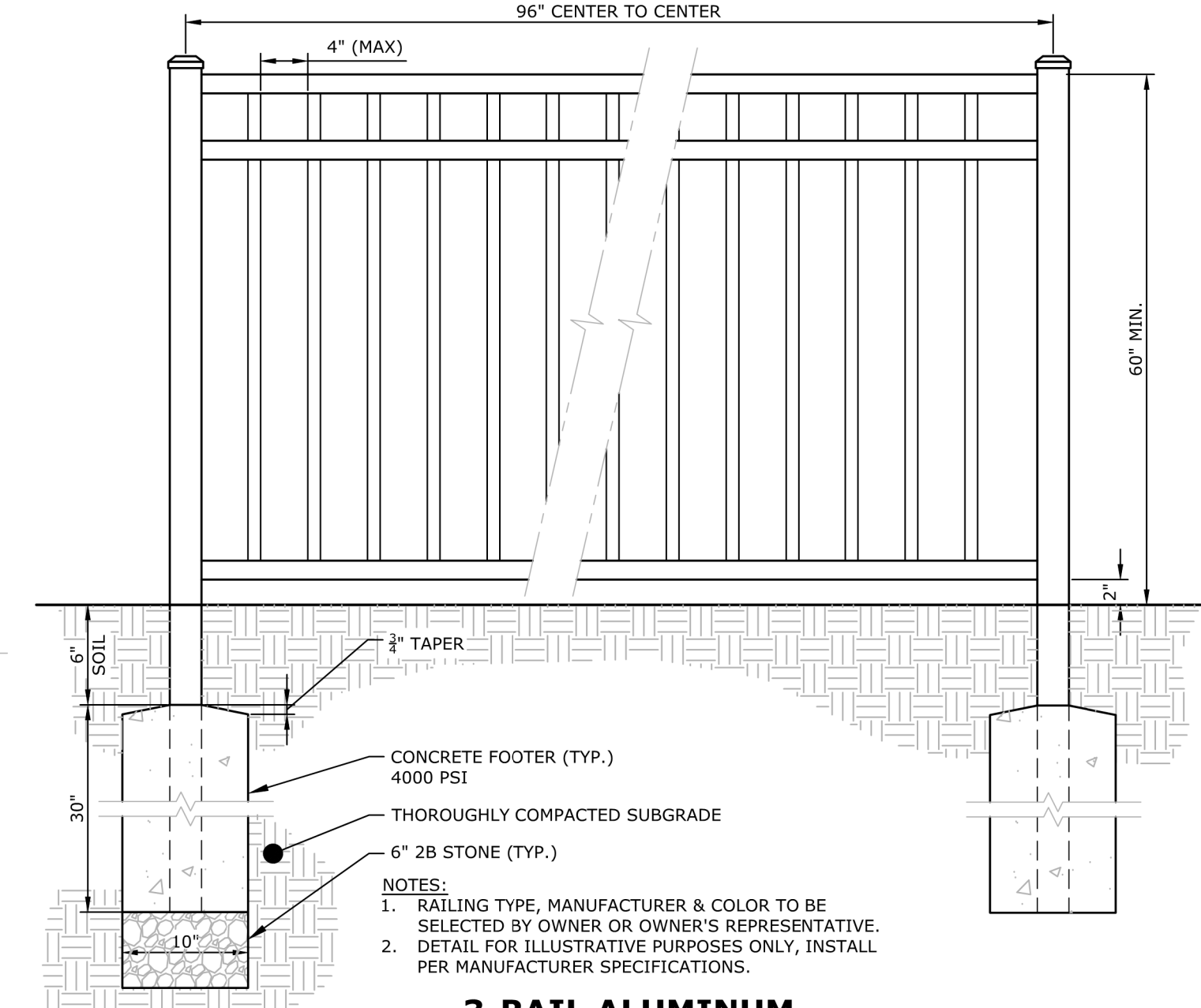


- NOTES:**
1. RAILING TYPE, MANUFACTURER & COLOR TO BE SELECTED BY OWNER OR OWNER'S REPRESENTATIVE.

3-RAIL ALUMINUM RETAINING WALL RAILING DETAIL

3

NOT TO SCALE



- NOTES:**
1. RAILING TYPE, MANUFACTURER & COLOR TO BE SELECTED BY OWNER OR OWNER'S REPRESENTATIVE.
 2. DETAIL FOR ILLUSTRATIVE PURPOSES ONLY, INSTALL PER MANUFACTURER SPECIFICATIONS.

3-RAIL ALUMINUM DOG PARK FENCE DETAIL

4

NOT TO SCALE

PLOTTED: Thursday, September 01, 2022 @ 02:10PM

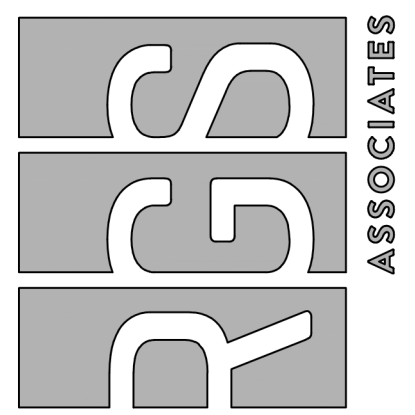
NO	BY	DATE	REVISION

MANAGER:	BENJAMIN W. MORTON, RLA
DESIGN BY:	ALB
CHECKED BY:	WMF
DRAWN BY:	ALB
CHECKED BY:	WMF

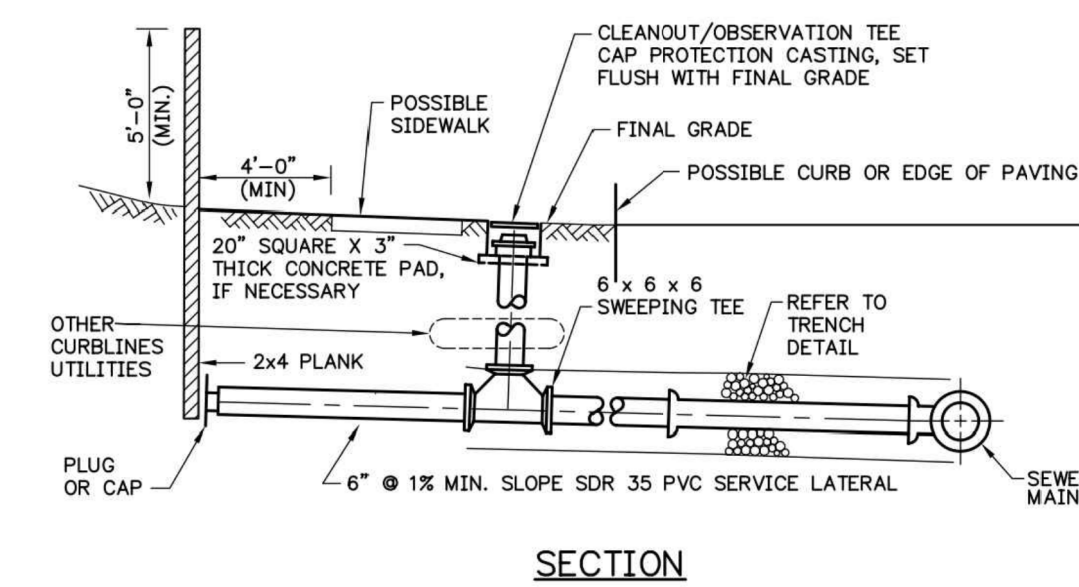
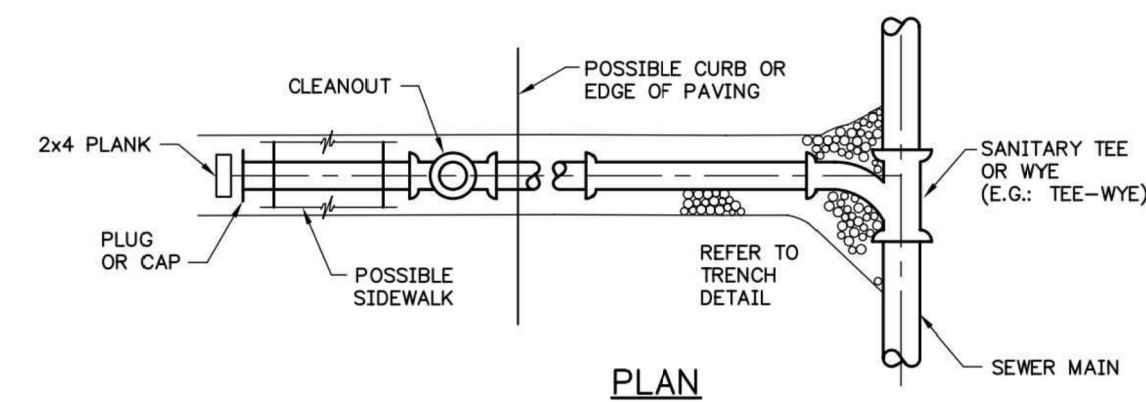
CLIENT:	ROCKVILLE PLACE, LLC.
ONE TRINITY DRIVE	SUITE 202
DILLSBURG, PA 17019	(610) 996-2514

PROJECT TITLE:	FINAL LAND DEVELOPMENT PLAN
PHASE IV FOR SUSQUEHANNA UNION GREEN	ROCKVILLE PLACE
SUSQUEHANNA TOWNSHIP	DAUPHIN COUNTY, PA
SHEET TITLE:	SITE DETAILS

Land Planning
Landscape Architecture
Civil Engineering
63 West James Street, PA 17003
800 1st, Lancaster, PA 17603
221 W. Philadelphia Street
State College, PA 16801
120 N. Main Street
State College, PA 16801
(717) 899-7616
www.rgsassociates.com



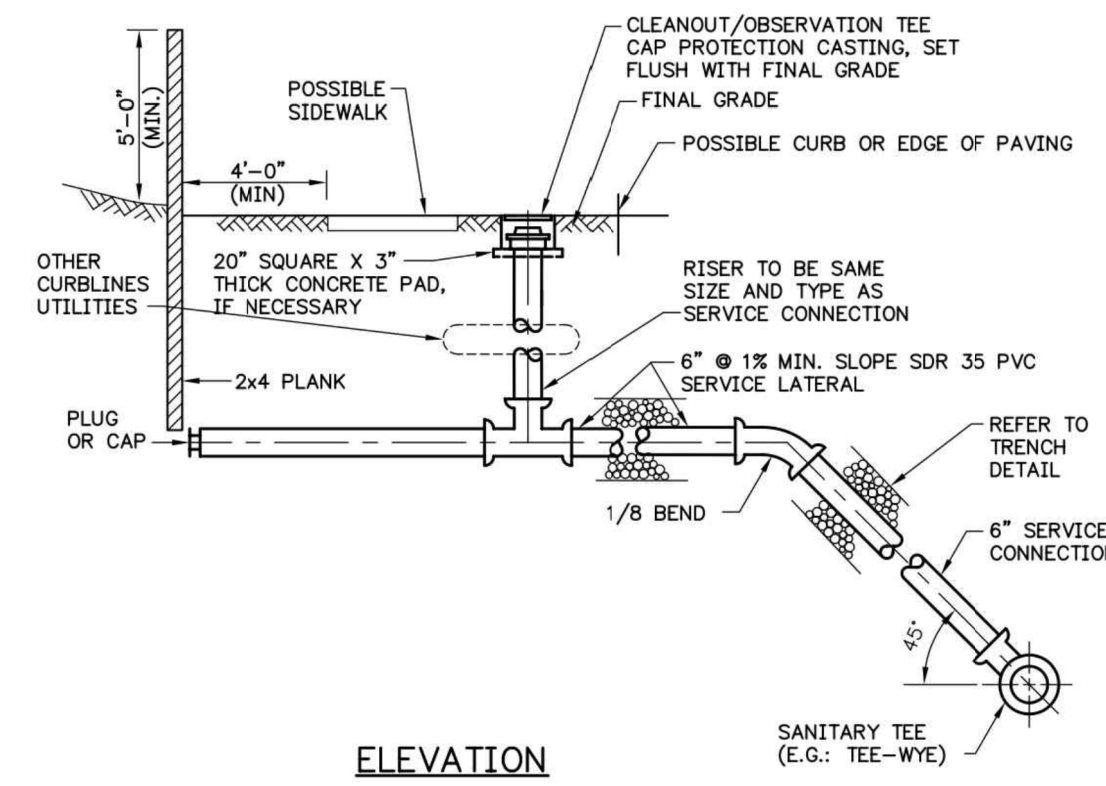
DATE:	SEPTEMBER 2, 2022
PROJECT NO.:	2021878-017
SHEET NO.:	LD-14 OF SW-28



NOTES:
1. CURB CLEANOUT NOT TO BE LOCATED IN SIDEWALK OR BENEATH OTHER CURBLINE UTILITIES.

1 SERVICE LATERAL - NORMAL DEPTH

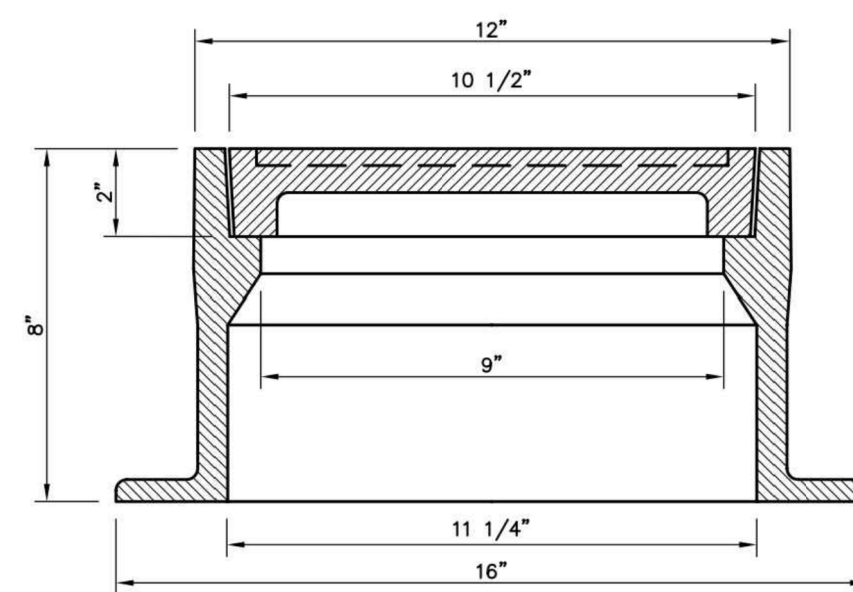
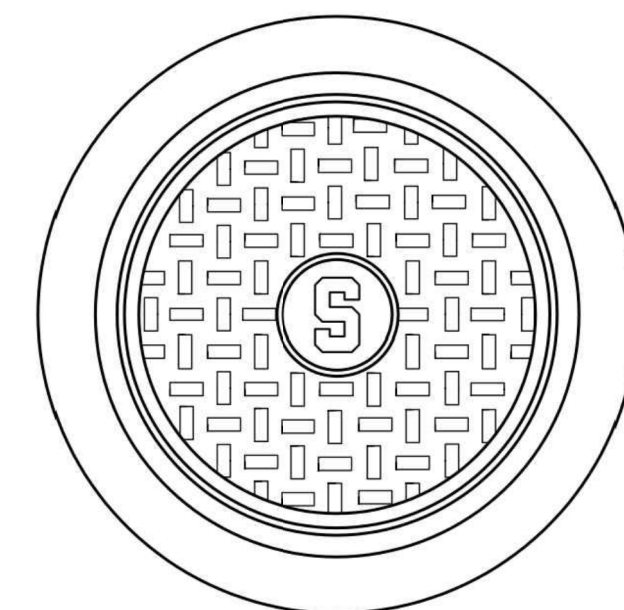
NOT TO SCALE



NOTES:
1. CURB CLEANOUT NOT TO BE LOCATED IN SIDEWALK OR BENEATH OTHER CURBLINE UTILITIES.

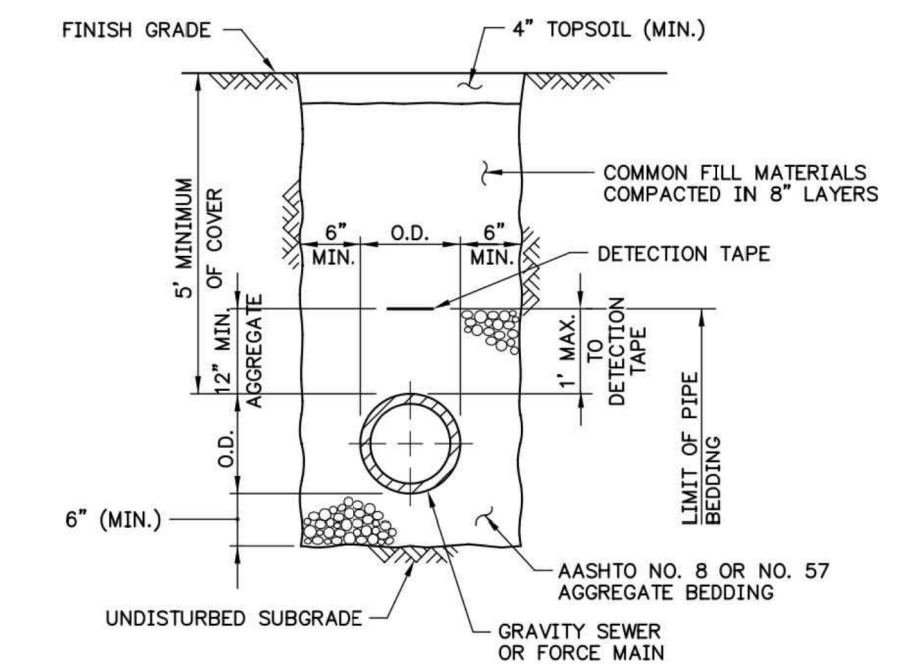
2 SERVICE LATERAL - DEEP SEWER

NOT TO SCALE



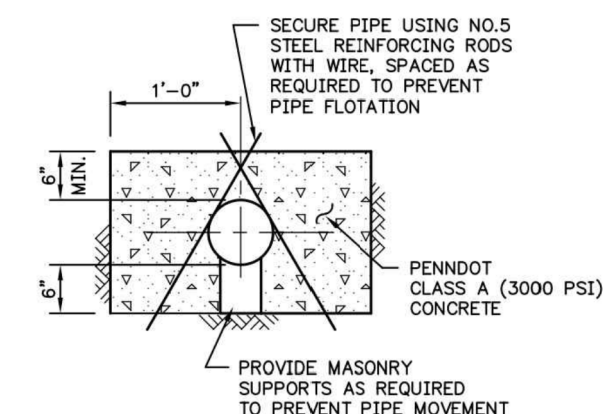
3 CLEANOUT/TEST TEE CAP PROTECTION CASTING

NOT TO SCALE



4 TRENCH DETAIL IN UNPAVED AREAS

NOT TO SCALE



5 CONCRETE ENCASEMENT DETAIL

NOT TO SCALE

MATERIAL SPECIFICATIONS				
MATERIAL	PLAN DESIGNATION	SPECIFICATION / TEST METHOD	SIZE	NOTES
SANITARY SEWER				
GRAVITY SEWER PIPE	PVC	SDR-35 (PS46) ASTM D3034 (PRODUCT STANDARD) ASTM F477 (GASKET) ASTM D3212 (INTEGRAL BELL JOINT)	REFER TO PROFILE	
WATER				
WATER DISTRIBUTION PIPE	PVC	AWWA C901 (< 3" DIA.), DR18 AWWA C900 (4 > DIA.), DR18 ASTM F477 (GASKETS) ASTM D3139 (JOINTS)	REFER TO PROFILE	
WATER LATERAL	WHC	TYPE K - COPPER	REFER TO DETAIL	
SITE FEATURES AND LANDSCAPING				
TOPSOIL		ASTM D5268 - STANDARD SPECIFICATION FOR TOPSOIL ASTM D4972 - TEST METHOD OF pH FOR SOILS	SEE GRADUATION OF ASTM STANDARD	TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GROWTH TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT.
HARDWOOD MULCH		N/A	MAXIMUM 3" IN SIZE PIECES	COMPOSITION BY VOLUME: 70% SHREDDED BARK, 30% SHREDDED HARDWOOD COLOR: BROWN FREE OF TRASH, DEBRIS AND OTHER NON-ORGANIC MATERIALS

6 MATERIAL SPECIFICATIONS

NOT TO SCALE

NO	BY	DATE	REVISION

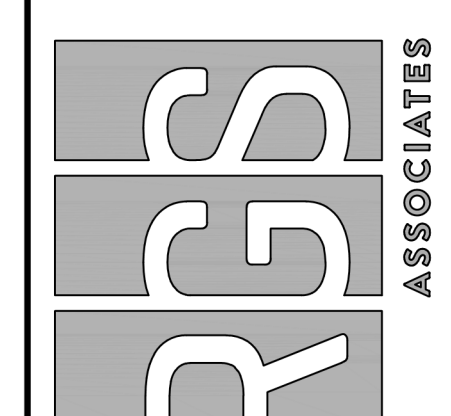
SEAL	
SEAL	

MANAGER:	BENJAMIN W. MORTON, R.L.A.
DESIGN BY:	TMM
CHECKED BY:	WMF
DRAWN BY:	KTP
CHECKED BY:	WMF

CLIENT:	ROCKVILLE PLACE, LLC.
	ONE TRINITY DRIVE
	SUITE 202
	DILLSBURG, PA 17019
	(610) 896-2514

PROJECT TITLE:	FINAL LAND DEVELOPMENT PLAN
	PHASE IV FOR SUSQUEHANNA UNION GREEN
	ROCKVILLE PLACE
	SUSQUEHANNA TOWNSHIP
	DAUPHIN COUNTY, PA

LAND PLANNING	
LANDSCAPE ARCHITECTURE	
CIVIL ENGINEERING	
63 West James Street, PA 17003	
800 N. 15th Street, PA 17003	
221 W. Philadelphia Street	
State College, PA 16801	
120 S. Main Street	
State College, PA 16801	
(717) 897-7615	
www.rpsassociates.com	

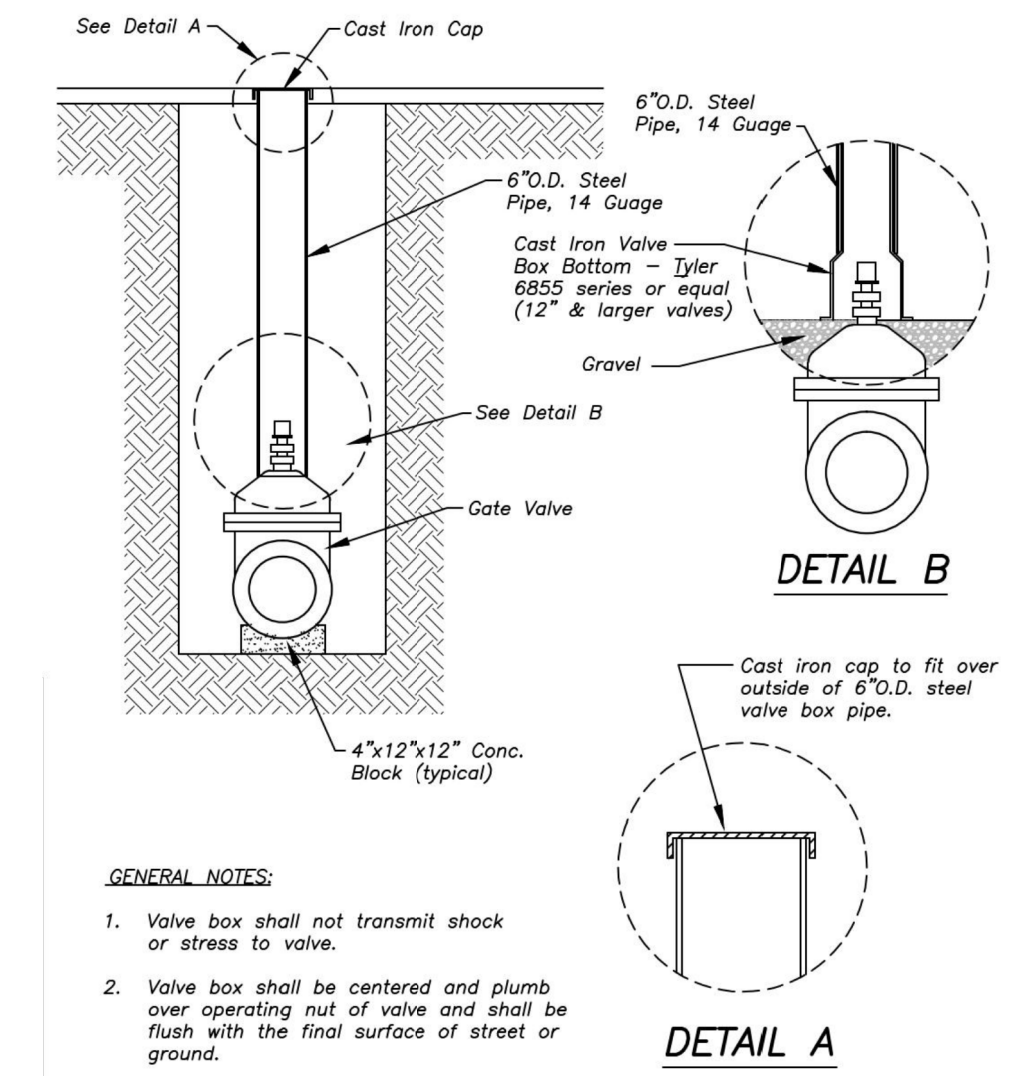
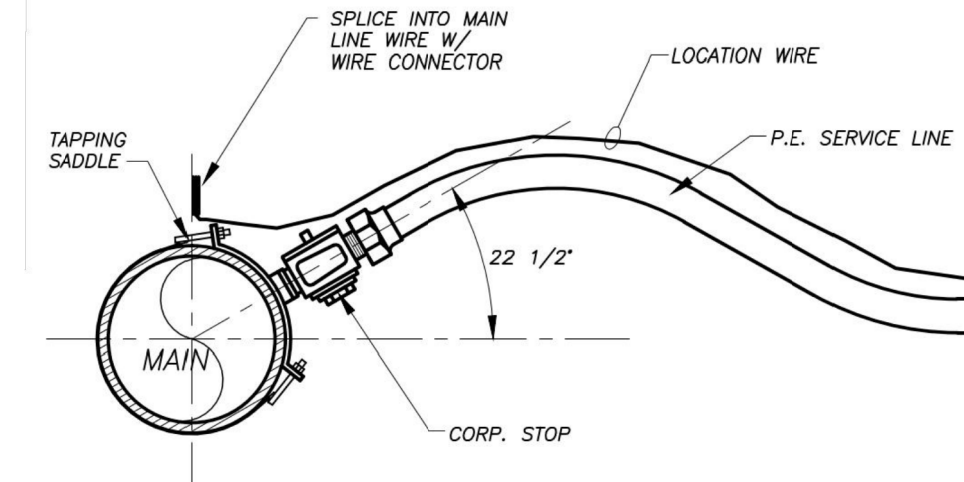
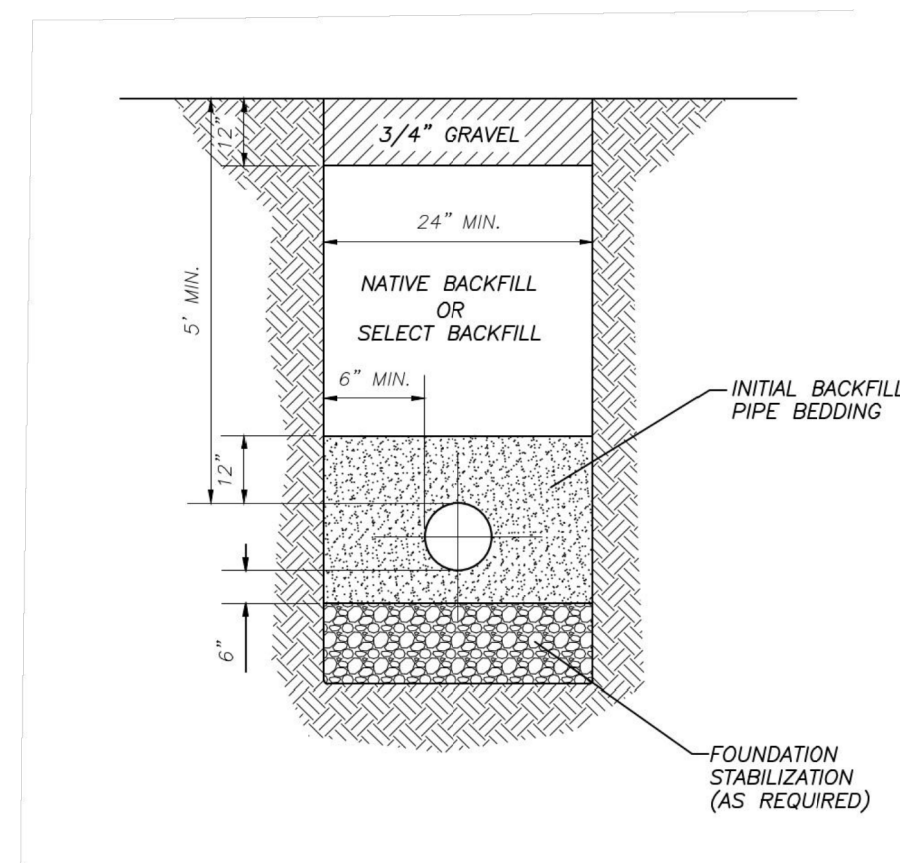
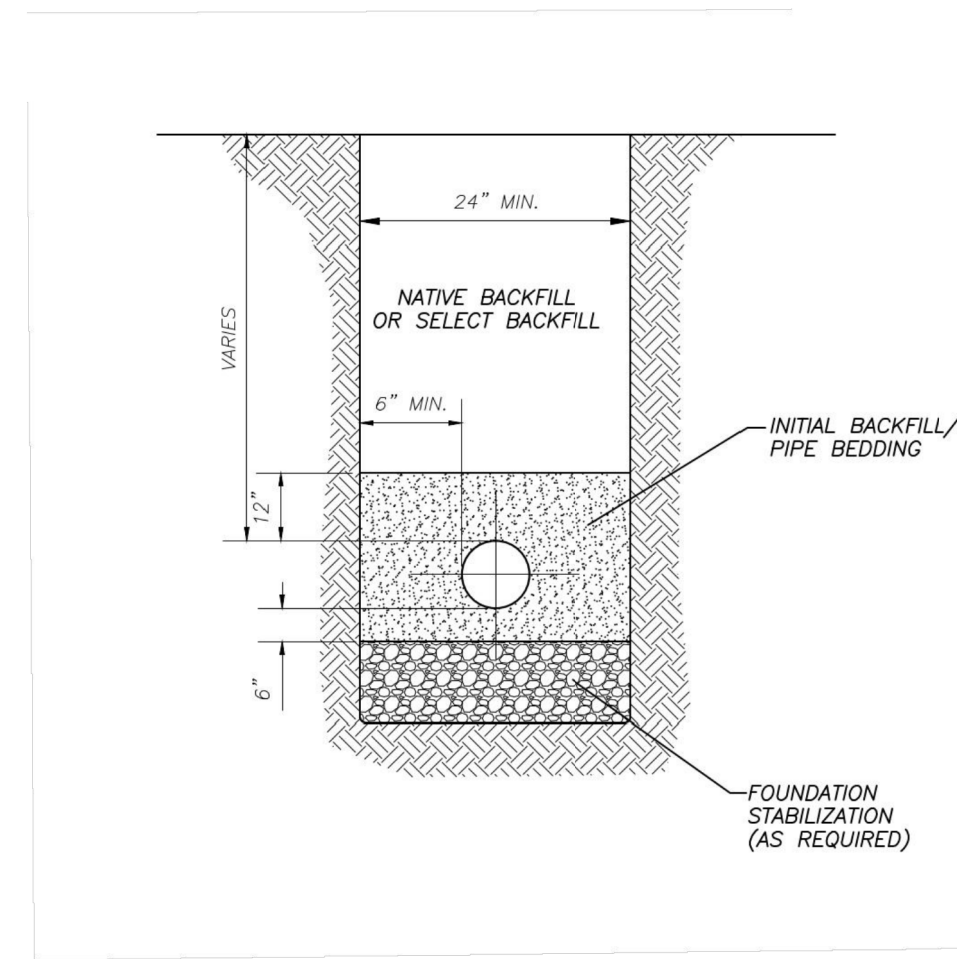


DATE:	SEPTEMBER 2, 2022
PROJECT NO.:	2021878-017

SHEET NO.: LD-15 OF SW-28

NOT FOR BIDDING / NOT FOR CONSTRUCTION

PLOTTED: Thursday, September 01, 2022 @ 02:10PM



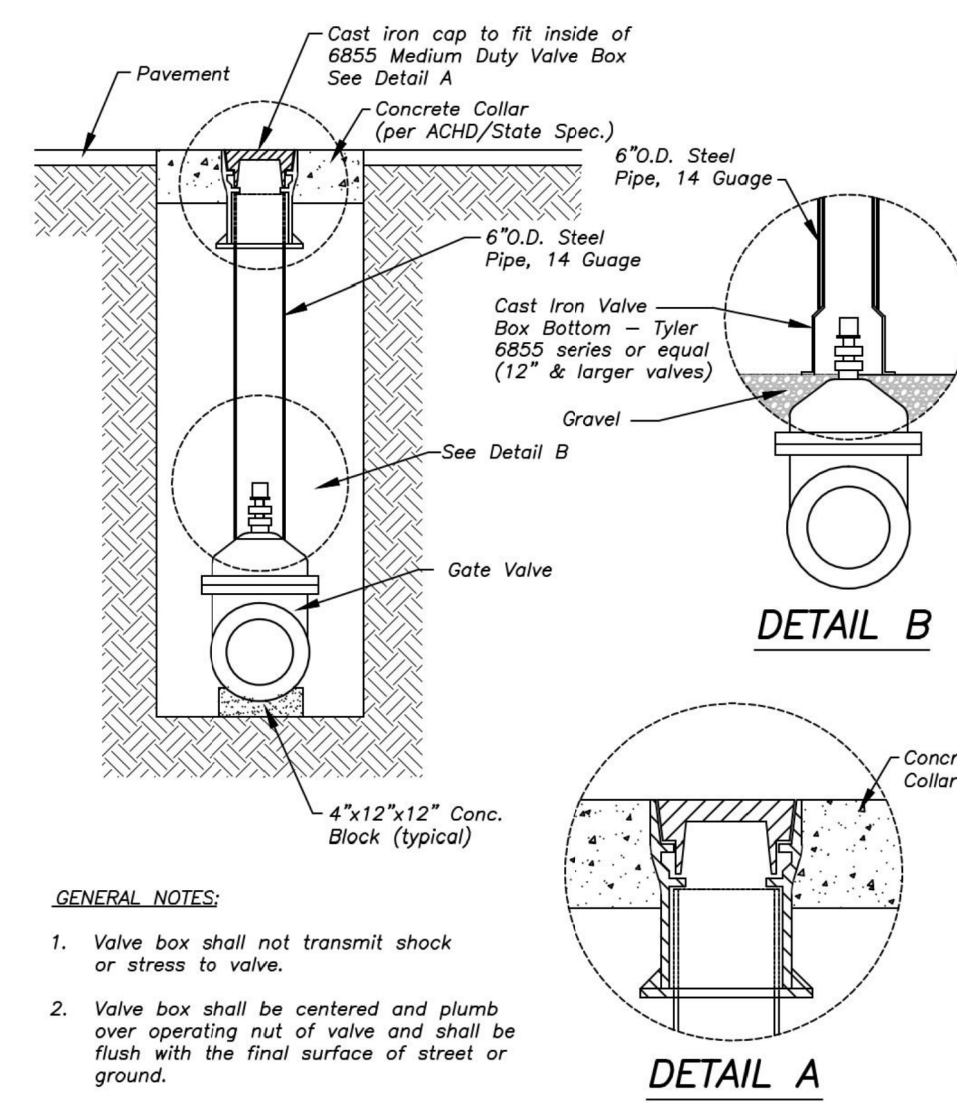
GENERAL NOTES:
1. Valve box shall not transmit shock or stress to valve.
2. Valve box shall be centered and plumb over operating nut of valve and shall be flush with the final surface of street or ground.

1 TRENCH DETAIL OUTSIDE PAVEMENT NOT TO SCALE

2 TRENCH DETAIL UNDER PAVEMENT NOT TO SCALE

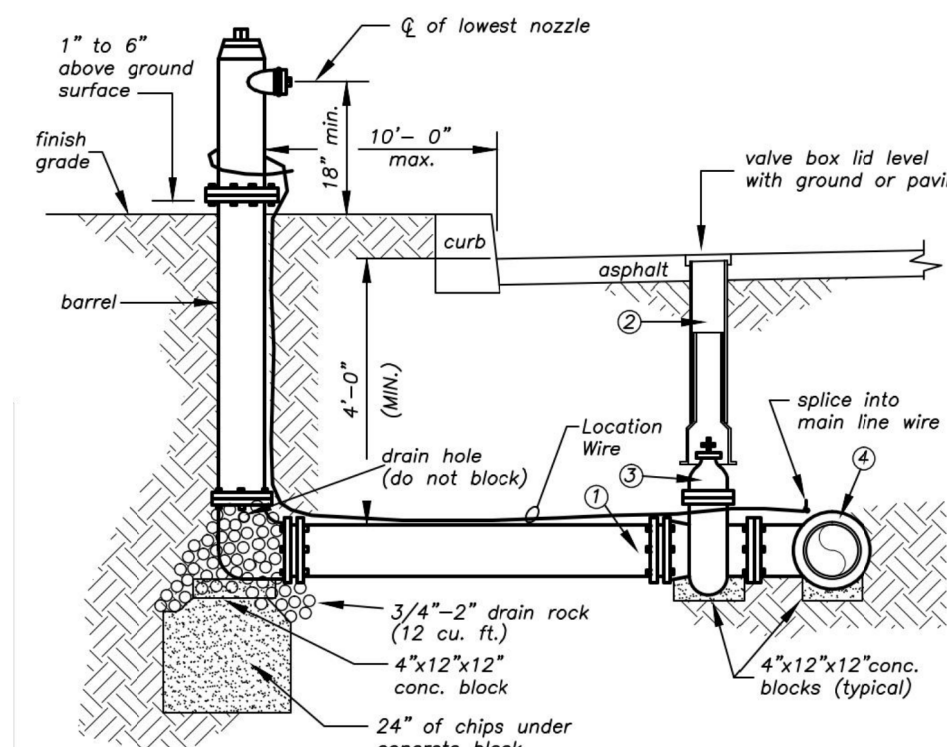
3 TYPICAL SERVICE TAP FOR SERVICES UNDER 2" NOT TO SCALE

4 STANDARD VALVE BOX INSTALLATION NOT TO SCALE



GENERAL NOTES:
1. Valve box shall not transmit shock or stress to valve.
2. Valve box shall be centered and plumb over operating nut of valve and shall be flush with the final surface of street or ground.

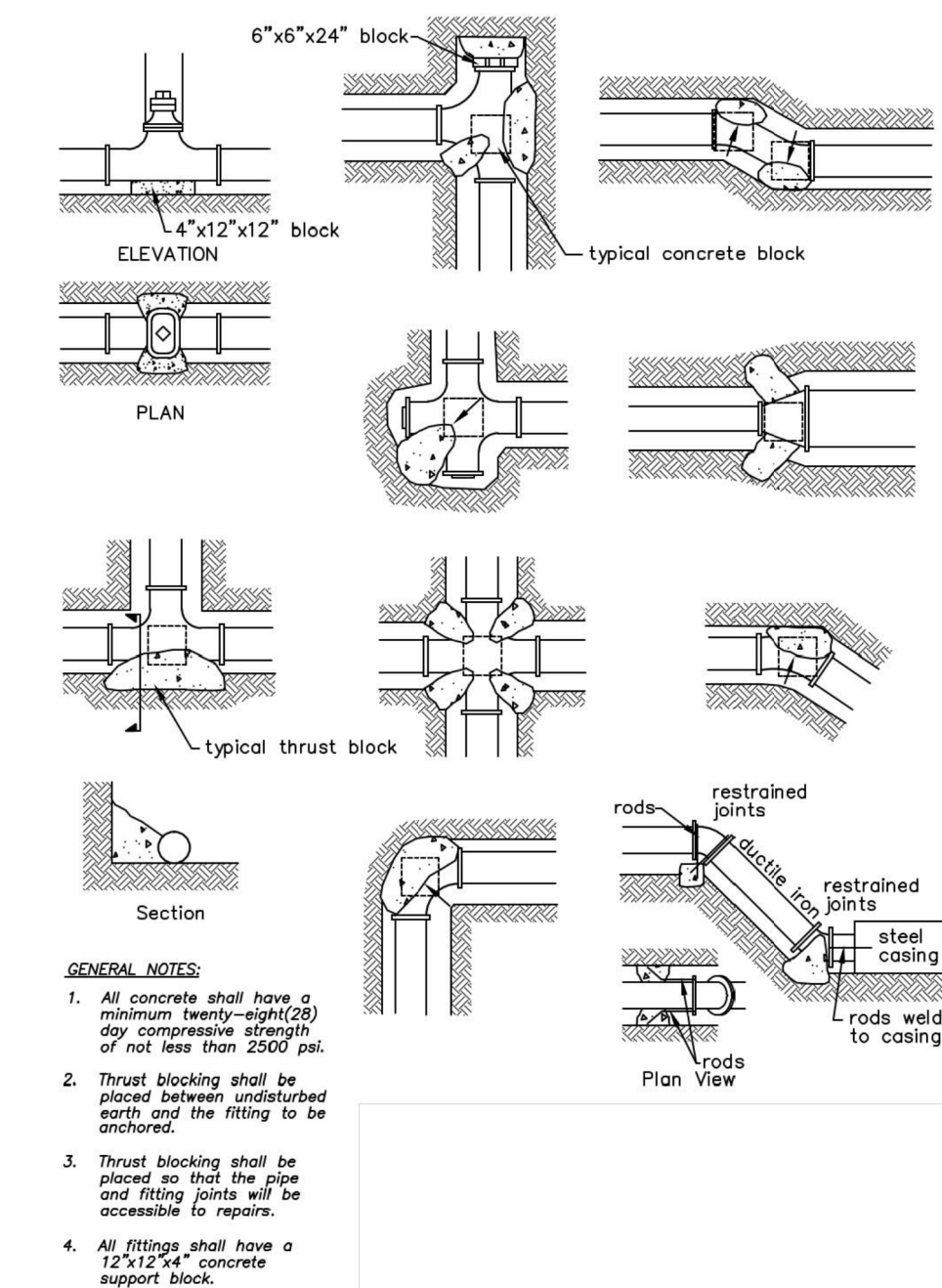
5 INSIDE VALVE BOX INSTALLATION NOT TO SCALE



CONSTRUCTION NOTES:
① 6" PVC Pipe
② 6" valve box pipe, lid and cast iron valve box bottom
③ 6" (fg x m) gate valve
④ main size (fg or m) X 6" (fg) tee

GENERAL NOTES:
1. Not closer than 10 feet to sewer.
2. 50 feet from a septic systems, 25 feet from seepage beds.
3. Must be above ground water.
4. Slope surface drainage away from fire hydrant.
5. Minimum distance from the fire hydrant to the fire hydrant gate valve shall be 5 feet
6. All joints shall be restrained.

6 FIRE HYDRANT INSTALLATION DETAIL NOT TO SCALE



GENERAL NOTES:
1. All concrete shall have a minimum twenty-eight (28) day compressive strength of not less than 2500 psi.
2. Thrust blocking shall be placed between undisturbed earth and the fitting to be anchored.
3. Thrust blocking shall be placed so that the pipe and fitting joints will be accessible to repairs.
4. All fittings shall have a 2"x12"x4" concrete support block.

7 THRUST BLOCKING NOT TO SCALE

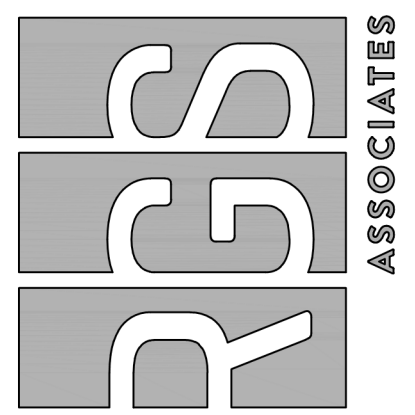
NO.	BY	DATE	REVISION

MANAGER:	BENJAMIN W. MORTON, RLA
DESIGN BY:	WMF
DRAWN BY:	KTP
CHECKED BY:	WMF
CHECKED BY:	WMF

CLIENT:	ROCKVILLE PLACE, LLC.
DESIGN BY:	ONE TRINITY DRIVE
DRAWN BY:	SUITE 202
CHECKED BY:	DILLSBURG, PA 17019
CHECKED BY:	(610) 896-2514

PROJECT TITLE:	FINAL LAND DEVELOPMENT PLAN
PROJECT TITLE:	PHASE IV FOR SUSQUEHANNA UNION GREEN
PROJECT TITLE:	ROCKVILLE PLACE
PROJECT TITLE:	SUSQUEHANNA TOWNSHIP
PROJECT TITLE:	DAUPHIN COUNTY, PA
SHEET TITLE:	WATER DETAILS
SCALE:	AS NOTED

Land Planning
Landscape Architecture
Civil Engineering
63 West James Street, PA 17003
800-541-1888
221 W. Philadelphia Street
State College, PA 16801
120 N. Main Street
Suite 850W, Harrisburg, PA 17101
(717) 891-7615
www.rgsassociates.com



DATE:	SEPTEMBER 2, 2022
PROJECT NO.:	2021878-017
SHEET NO.:	LD-16 OF SW-28

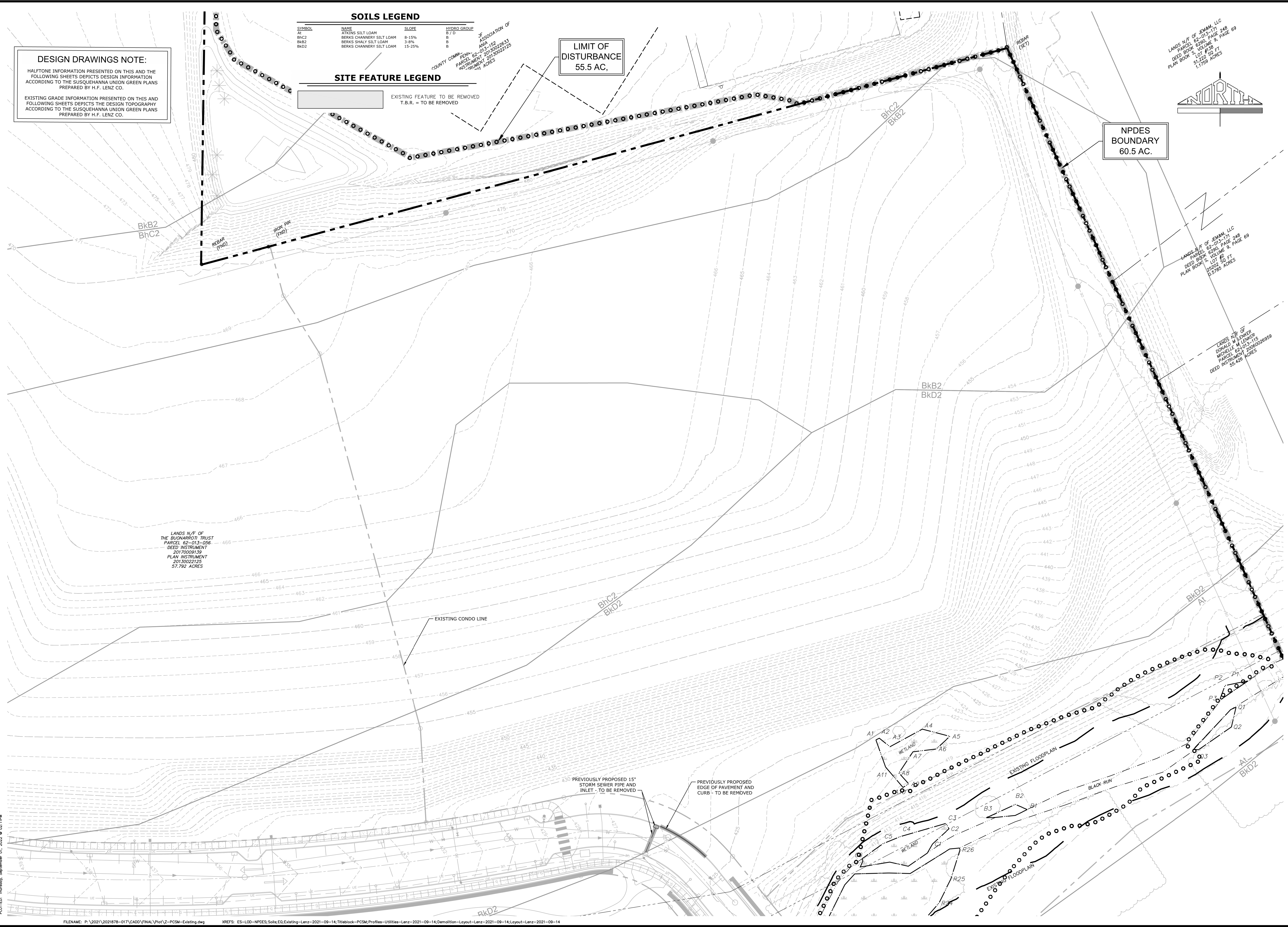
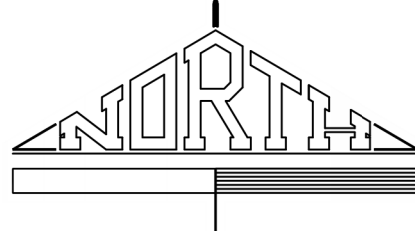
DESIGN DRAWINGS NOTE:
 HALFTONE INFORMATION PRESENTED ON THIS AND THE FOLLOWING SHEETS DEPICTS DESIGN INFORMATION ACCORDING TO THE SUSQUEHANNA UNION GREEN PLANS PREPARED BY H.F. LENZ CO.
 EXISTING GRADE INFORMATION PRESENTED ON THIS AND FOLLOWING SHEETS DEPICTS THE DESIGN TOPOGRAPHY ACCORDING TO THE SUSQUEHANNA UNION GREEN PLANS PREPARED BY H.F. LENZ CO.

SOILS LEGEND			
SYMBOL	NAME	SLOPE	HYDRO GROUP
A1	ATKINS SILT LOAM		B/D
BkC2	BERK'S CHANNERY SILT LOAM	8-15%	B
BkR2	BERK'S SHALY SILT LOAM	3-8%	B
BkD2	BERK'S CHANNERY SILT LOAM	15-25%	B

SITE FEATURE LEGEND	
	EXISTING FEATURE TO BE REMOVED
	T.B.R. = TO BE REMOVED

LIMIT OF DISTURBANCE
55.5 AC.

NPDES BOUNDARY
60.5 AC.



LANDS N/F OF THE BUNARROTT TRUST
 PARCEL 62-013-056
 DEED INSTRUMENT 20170021139
 PLAN INSTRUMENT 20170022125
 57.792 ACRES

LANDS N/F OF SEMM, LLC
 PARCEL 62-013-171
 DEED BOOK 6590, PAGE 248
 PLAN BOOK 51, PAGE 9, PAGE 69
 51,222.430 FT
 0.5202 ACRES
 1,1769 ACRES

LANDS N/F OF SEMM, LLC
 PARCEL 62-013-171
 DEED BOOK 6590, PAGE 248
 PLAN BOOK 51, PAGE 9, PAGE 69
 51,222.430 FT
 0.5202 ACRES
 0.5785 ACRES

LANDS N/F OF DONALL W. LEWIS
 MICHELLE W. LEWIS
 PARCEL 62-013-115
 INSTRUMENT 20090226959
 DEED 55,426 ACRES

MANAGER:	BENJAMIN W. MORTON, RLA
DESIGN BY:	WMF
DRAWN BY:	KTP
CHECKED BY:	WMF
CHECKED BY:	WMF

CLIENT:	ROCKVILLE PLACE, LLC.
ADDRESS:	ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 996-2514

PROJECT TITLE:	PCSM PLAN
PHASE:	PHASE IV FOR SUSQUEHANNA UNION GREEN
LOCATION:	ROCKVILLE PLACE DAUPHIN COUNTY, PA
SHEET TITLE:	EXISTING CONDITIONS PLAN

Land Planning
 Landscape Architecture
 Civil Engineering

63 West James Street, PA 17003
 Suite 101, Lebanon, PA 17042
 231 W. Philadelphia Street, PA 17027
 606 More York, PA 17401
 120 S. Market Street
 Suite 800W, Harrisburg, PA 17103
 (717) 891-7616
 www.rgsassociates.com

rgs ASSOCIATES

DATE: SEPTEMBER 2, 2022
 PROJECT NO: 2021878-017
 SHEET NO: SW-19 OF SW-28

LINE	BEARING	LENGTH
SDE-400	N50°13'42"E	78.89'
SDE-401	N84°17'34"E	305.56'
SDE-402	N74°57'13"E	21.18'
SDE-403	N15°02'40"W	211.08'
SDE-404	N74°57'20"E	20.00'
SDE-405	S15°02'40"E	136.56'
SDE-406	N74°57'27"E	21.18'
SDE-407	S15°02'40"E	20.00'
SDE-408	S74°57'27"W	21.18'
SDE-409	S15°02'40"E	108.11'
SDE-410	N85°00'18"E	18.30'
SDE-411	N75°02'12"E	2.95'
SDE-412	S15°02'40"E	20.00'
SDE-413	S75°02'12"W	4.72'
SDE-414	S85°00'18"W	36.81'
SDE-415	N15°02'40"W	50.36'
SDE-416	S74°57'13"W	22.82'
SDE-417	S84°17'34"W	301.06'
SDE-418	S50°13'42"W	100.47'
SDE-419	N39°22'37"E	20.00'

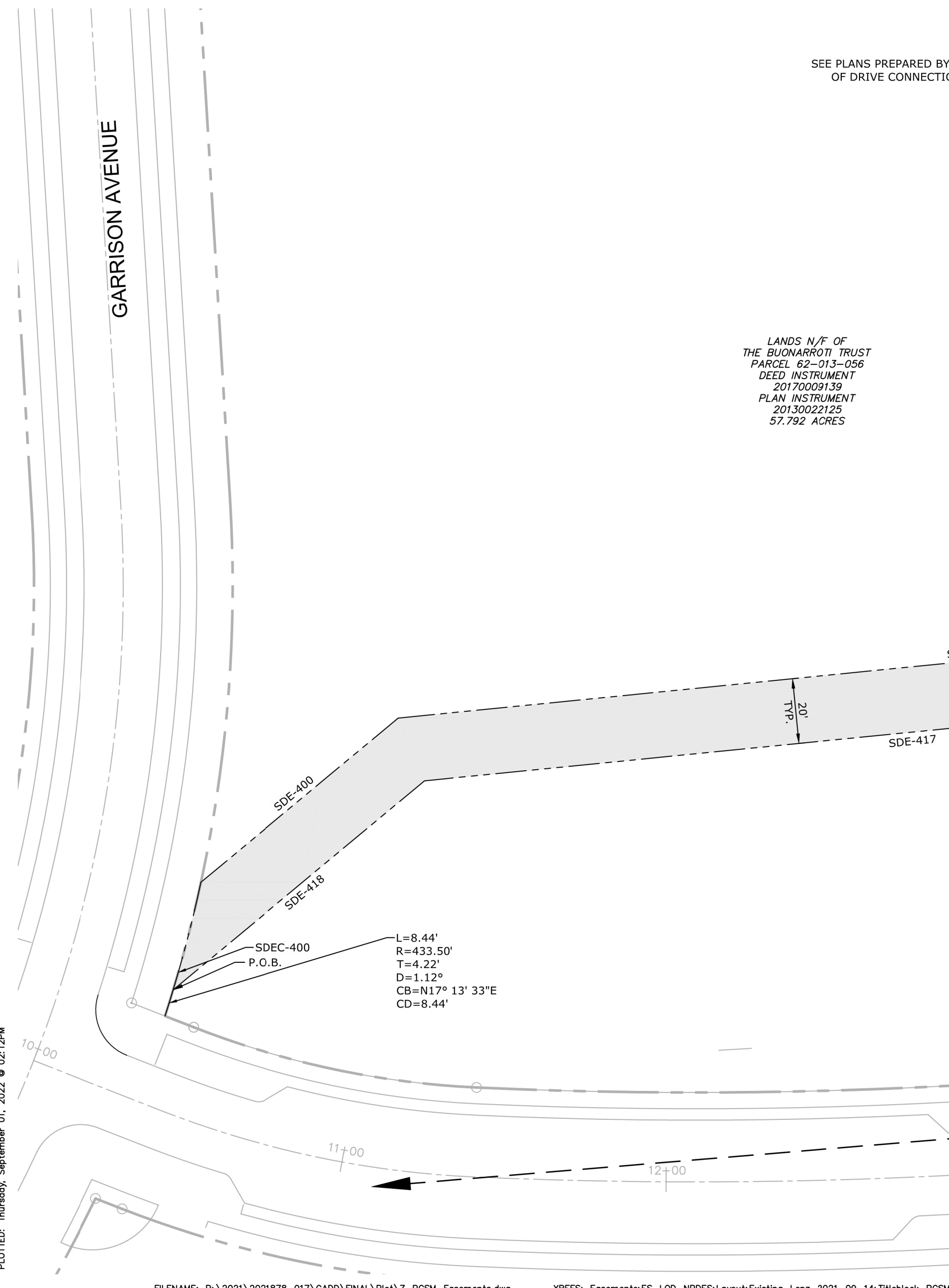
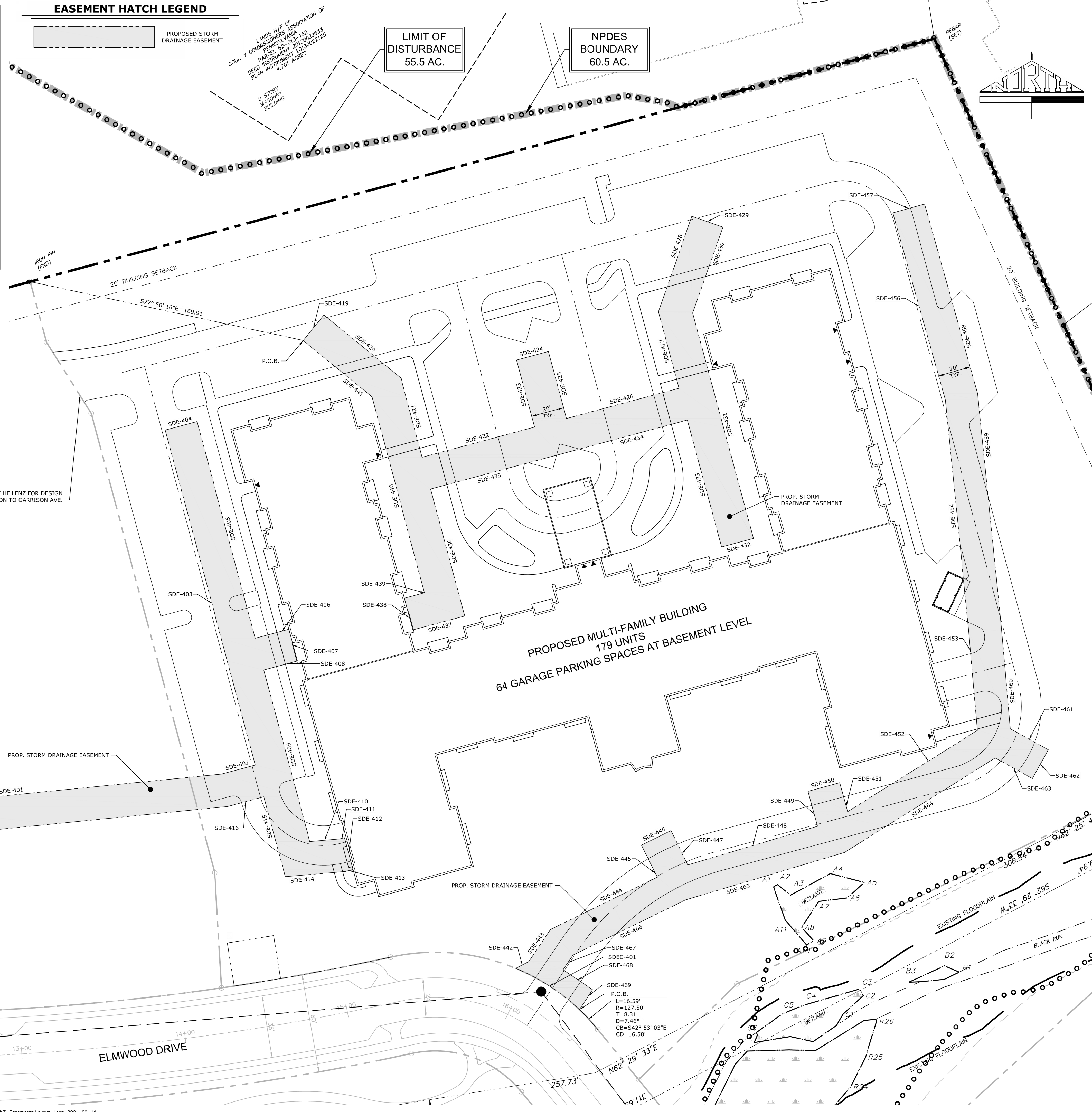
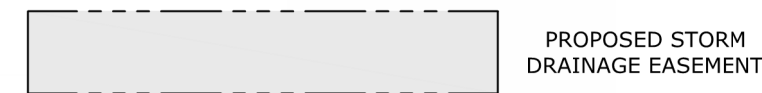
LINE	BEARING	LENGTH
SDE-420	S50°37'23"E	60.51'
SDE-421	S14°56'04"E	49.87'
SDE-422	N74°57'15"E	70.90'
SDE-423	N15°02'42"W	42.23'
SDE-424	N74°57'18"E	20.00'
SDE-425	S15°02'42"E	42.23'
SDE-426	N74°57'22"E	70.93'
SDE-427	N15°02'32"W	48.23'
SDE-428	N19°22'19"E	61.58'
SDE-429	S70°37'41"E	20.00'
SDE-430	S19°22'19"W	55.38'
SDE-431	S15°02'50"E	142.04'
SDE-432	S74°57'00"W	20.00'
SDE-433	N15°03'00"W	80.00'
SDE-434	S74°57'22"W	80.93'
SDE-435	S74°57'15"W	80.92'
SDE-436	S15°02'24"E	80.00'
SDE-437	S74°57'20"W	32.63'
SDE-438	N15°02'40"W	20.00'
SDE-439	N74°57'20"E	12.63'

LINE	BEARING	LENGTH
SDE-440	N14°59'40"W	123.47'
SDE-441	N50°37'23"W	54.07'
SDE-442	N62°31'07"E	8.92'
SDE-443	N33°57'56"E	23.58'
SDE-444	N63°54'54"E	72.36'
SDE-445	N26°19'37"W	21.71'
SDE-446	N63°40'23"E	20.00'
SDE-447	S26°19'37"E	23.32'
SDE-448	N73°21'18"E	82.30'
SDE-449	N15°17'15"W	21.98'
SDE-450	N74°42'45"E	20.00'
SDE-451	S15°17'15"E	18.28'
SDE-452	N57°54'31"E	93.22'
SDE-453	N05°00'34"W	60.63'
SDE-454	N05°48'11"W	141.52'
SDE-455	N15°38'05"W	118.06'
SDE-457	N74°21'55"E	20.00'
SDE-458	S15°38'05"E	119.78'
SDE-459	S05°48'11"E	143.38'
SDE-460	S05°00'34"E	61.56'

LINE	BEARING	LENGTH
SDE-461	S61°00'38"E	26.42'
SDE-462	S28°59'22"W	20.00'
SDE-463	N61°00'38"W	25.84'
SDE-464	S57°54'31"W	108.26'
SDE-465	S73°21'18"W	101.03'
SDE-466	S63°54'54"W	76.23'
SDE-467	S33°57'56"W	10.77'
SDE-468	S56°02'10"E	21.75'
SDE-469	S33°57'50"W	14.51'

CURVE	RADIUS	LENGTH	TANGENT	DELTA	BEARING	DISTANCE
SDEC-400	433.50'	34.18'	17.10'	4°31'05"	N14°24'33"E	34.17'
SDEC-401	126.90'	46.28'	23.40'	20°53'41"	N57°00'38"W	46.02'

EASEMENT HATCH LEGEND



MANAGER: BENJAMIN W. MORTON, RLA
DESIGN BY: TMW
CHECKED BY: WMF
DRAWN BY: KTP
CHECKED BY: WMF

CLIENT: ROCKVILLE PLACE, LLC
 ONE TRINITY DRIVE
 SUITE 202
 DILLSBURG, PA 17019
 (610) 996-2514

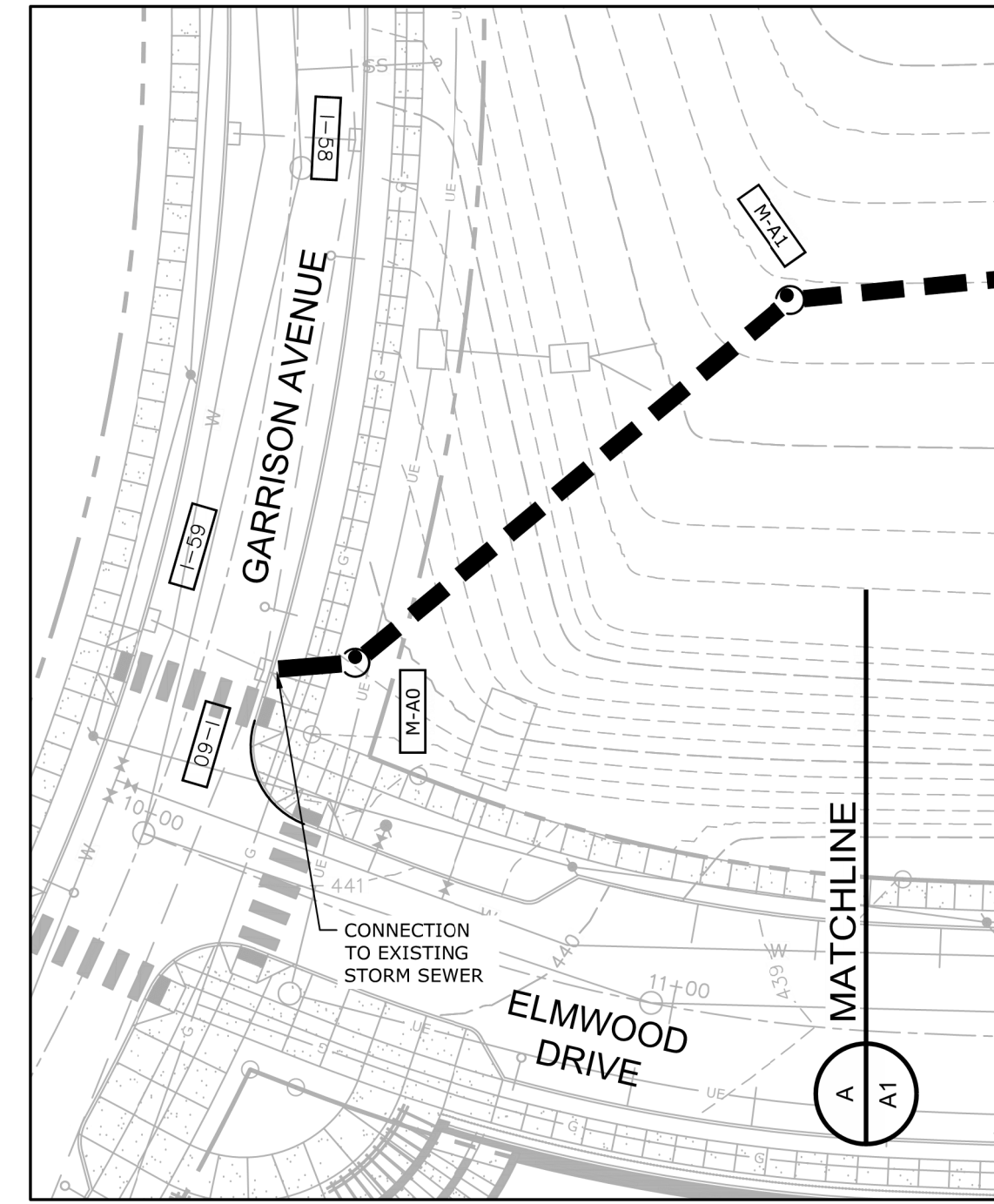
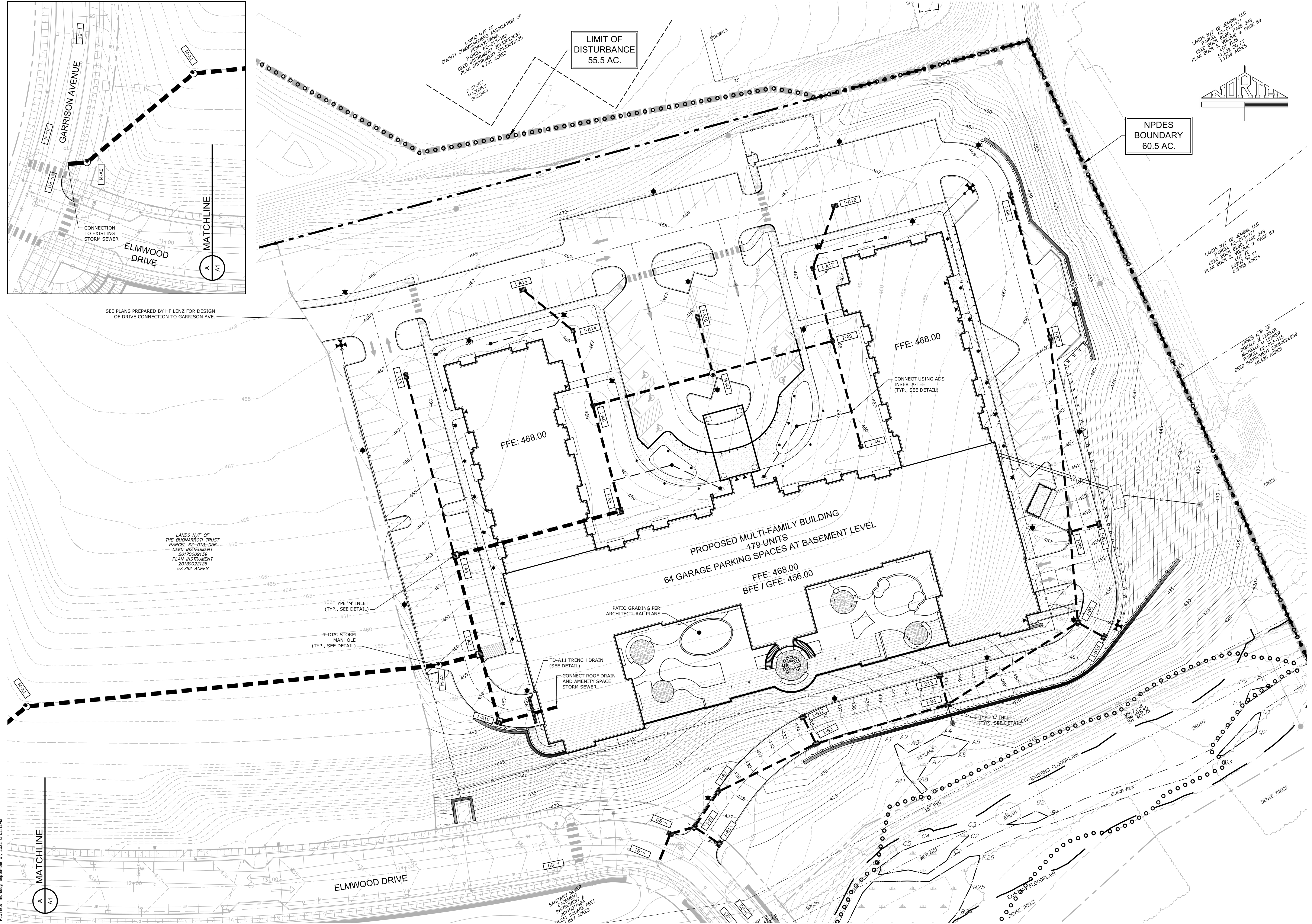
PROJECT TITLE: PCSM PLAN
 PHASE IV FOR SUSQUEHANNA UNION GREEN
 ROCKVILLE PLACE
 SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA

SHEET TITLE: PCSM EASEMENT PLAN

Scale: 1" = 30'

DATE: SEPTEMBER 2, 2022
PROJECT NO.: 2021878-017
SHEET NO.: SW-20 OF SW-28

PLOTTED: Thursday, September 01, 2022 @ 02:12:29



SEE PLANS PREPARED BY HF LENZ FOR DESIGN OF DRIVE CONNECTION TO GARRISON AVE.

LANDS N/W/ OF THE BUCARROTTI TRUST PARCEL 62-013-056 DEED INSTRUMENT 20170209139 PLAN INSTRUMENT 20130022125 37.752 ACRES

LANDS N/E/ OF COUNTY COMMISSIONERS ASSOCIATION OF PENNSYLVANIA PARCEL 62-013-152 DEED INSTRUMENT 20130202633 PLAN INSTRUMENT 20130022125 7.172 ACRES

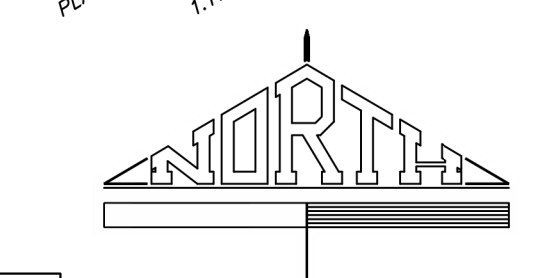
LIMIT OF DISTURBANCE 55.5 AC.

NPDES BOUNDARY 60.5 AC.

LANDS N/E/ OF EXHAM, LLC PARCEL 62-013-171 DEED BOOK 6304 VOLUME 9, PAGE 248 51,226 SQ. FT. 0.788 ACRES

LANDS N/W/ OF EXHAM, LLC PARCEL 62-013-171 DEED BOOK 6304 VOLUME 9, PAGE 248 25,869 SQ. FT. 0.595 ACRES

LANDS N/E/ OF DANIEL M LEWIS MICHELLE M LEWIS PARCEL 62-013-115 DEED INSTRUMENT 2006020999 55.426 ACRES

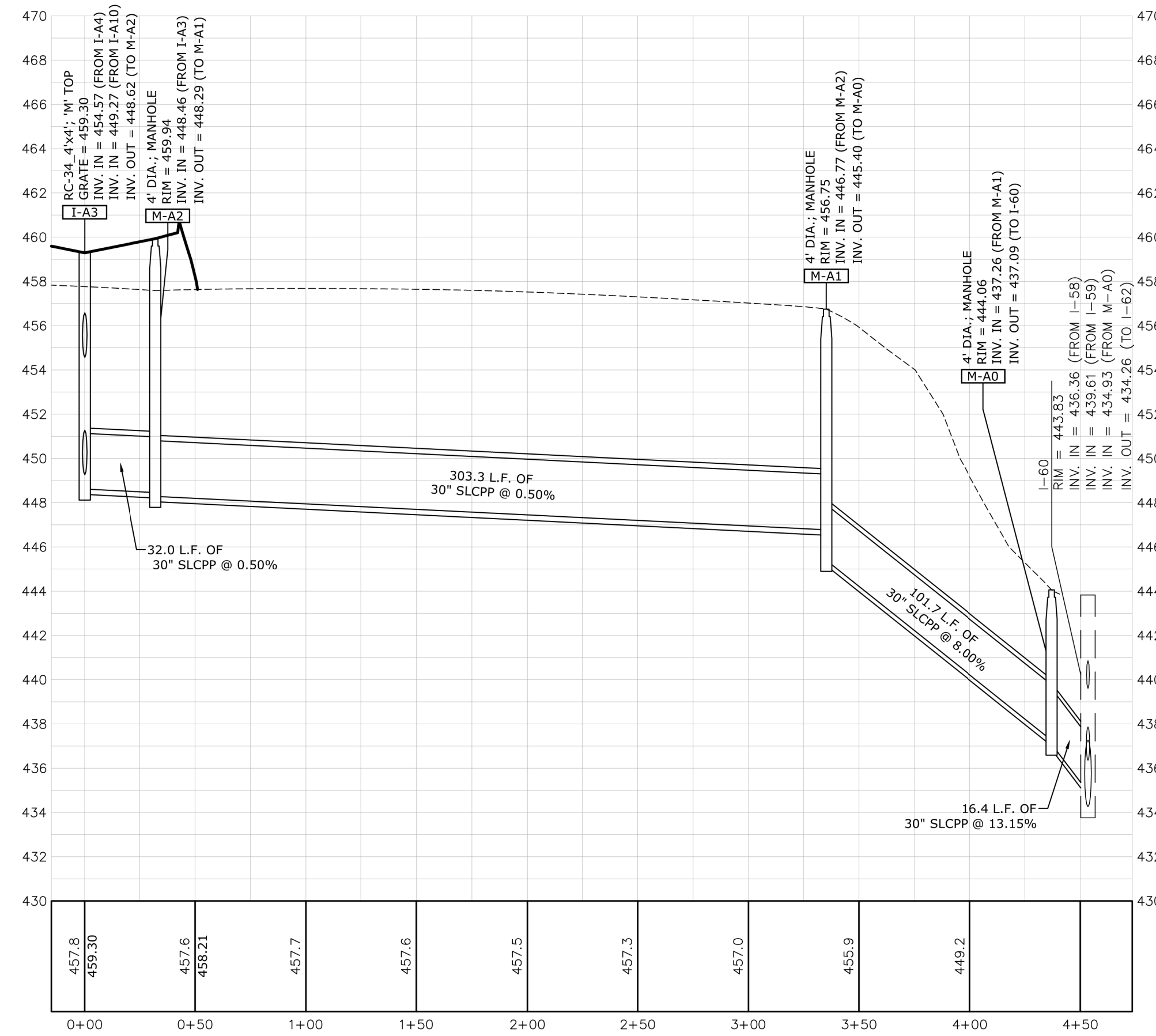


MATCHLINE A A1

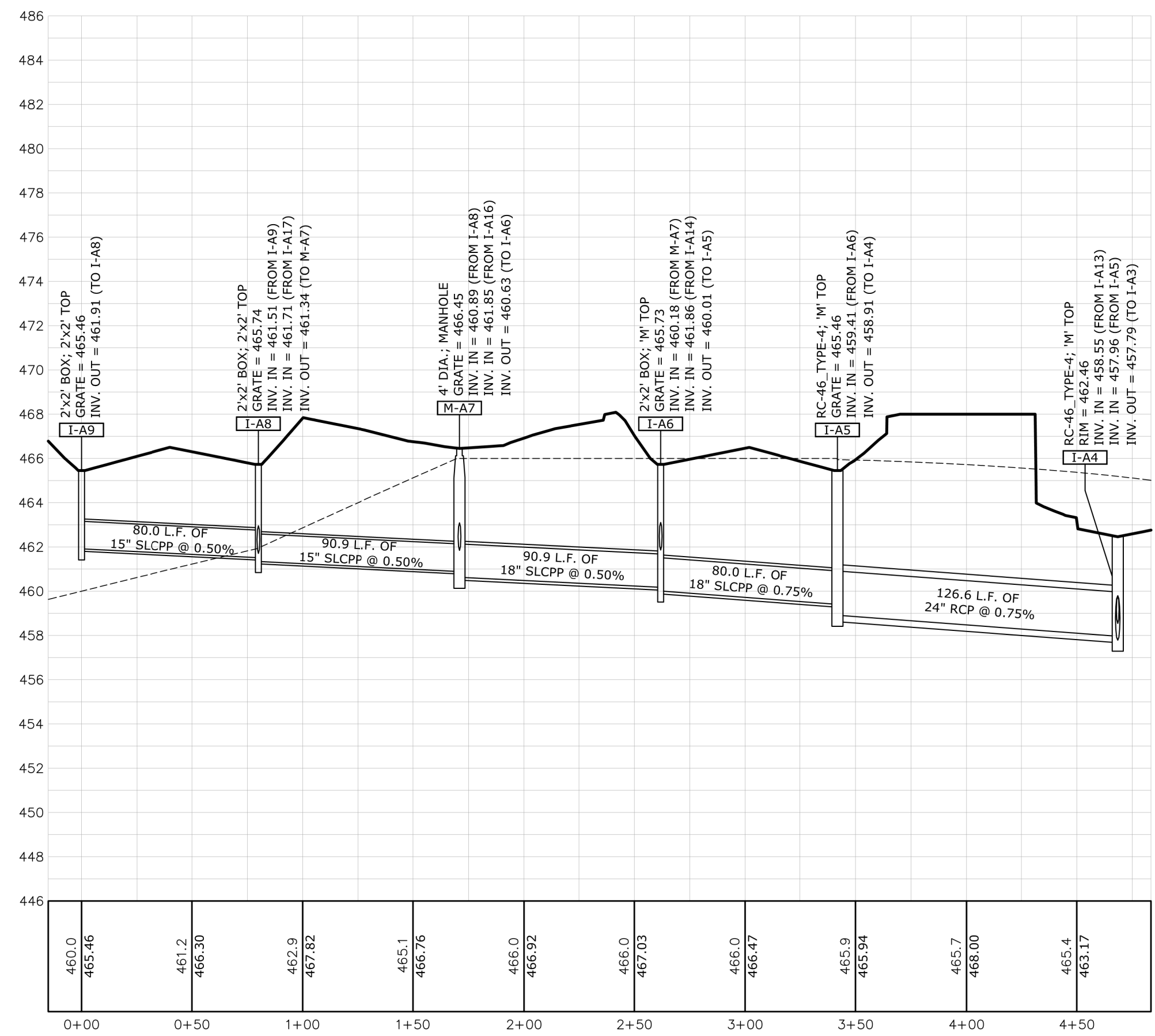
MATCHLINE A A1

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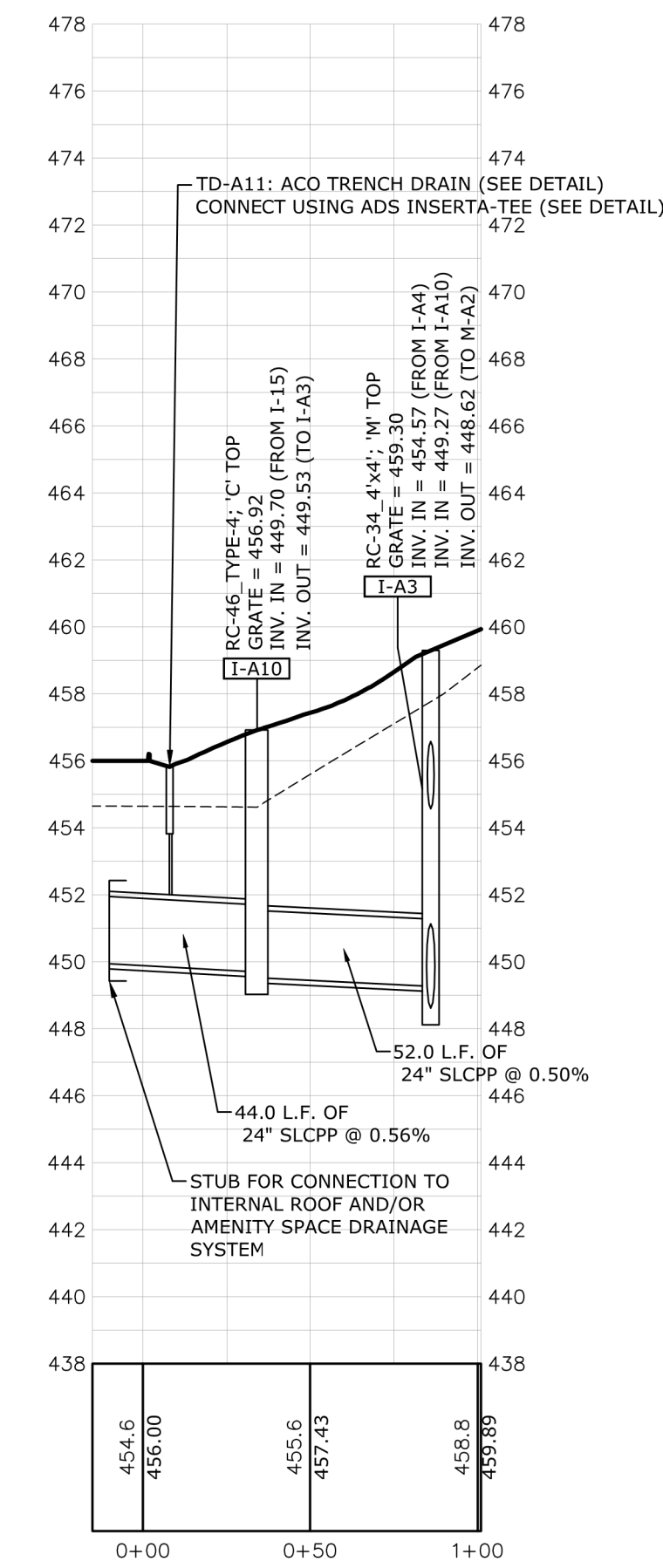
	NO. BY	DATE	REVISION
SEAL			
SEAL			
MANAGER: BENJAMIN W. MORTON, R.L.A.	CHECKED BY: WMF		
DESIGN BY: TMW	DESIGNED BY: WMF		
DRAWN BY: KTP	CHECKED BY: WMF		
CLIENT: ROCKVILLE PLACE, LLC.	ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 996-2514	SCALE: 1" = 30'	60' 30'
PROJECT TITLE: PCSM PLAN	PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA		
SHEET TITLE: PCSM GRADING PLAN			
Land Planning Landscape Architecture Civil Engineering	63 West James Street Suite 101, Lancaster, PA 17603 (717) 391-7615 www.rgsassociates.com		
DATE: SEPTEMBER 2, 2022 PROJECT NO: 2021878-017			
SHEET NO: SW-21 OF SW-28			



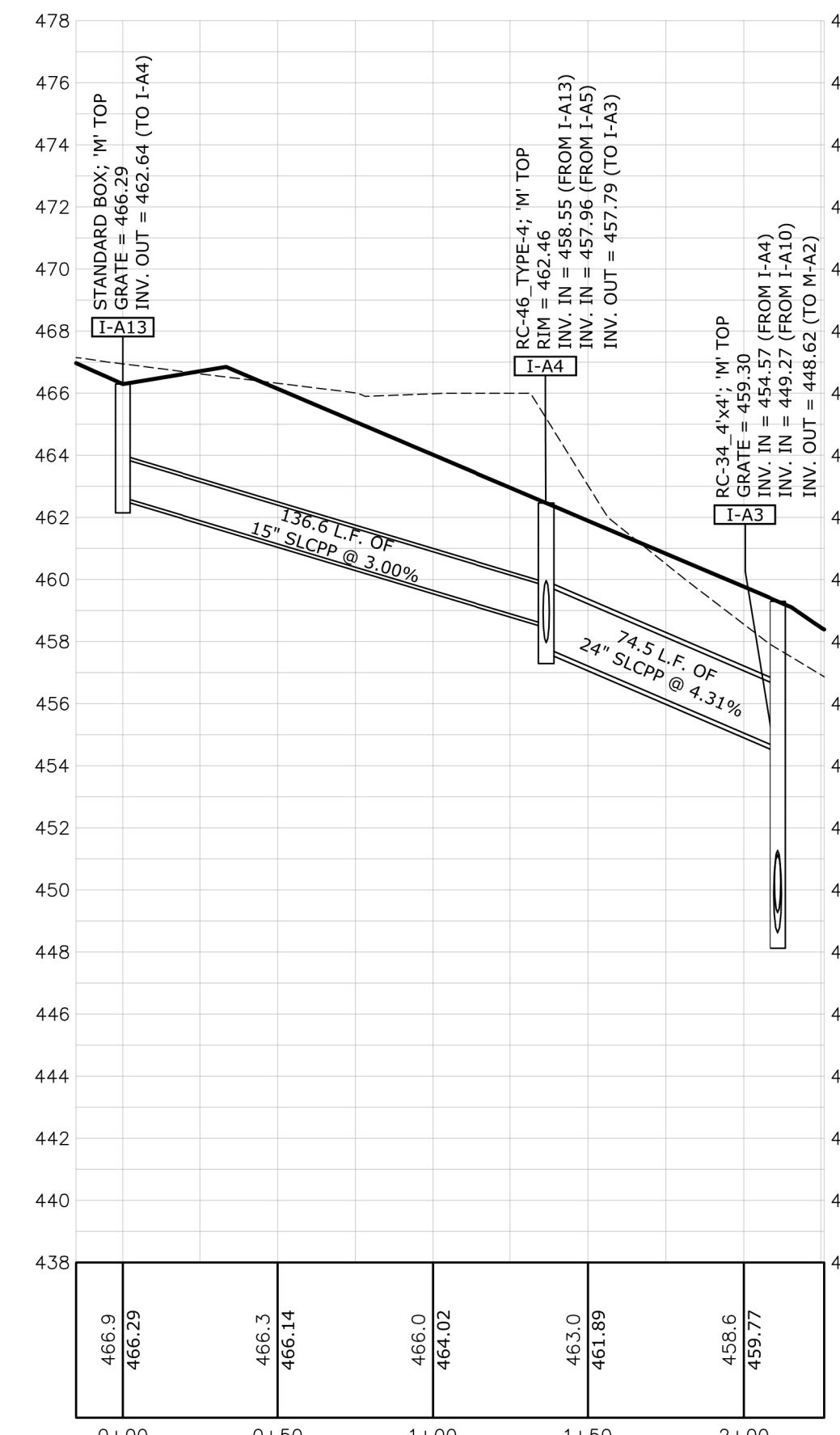
I-A3 TO I-60
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



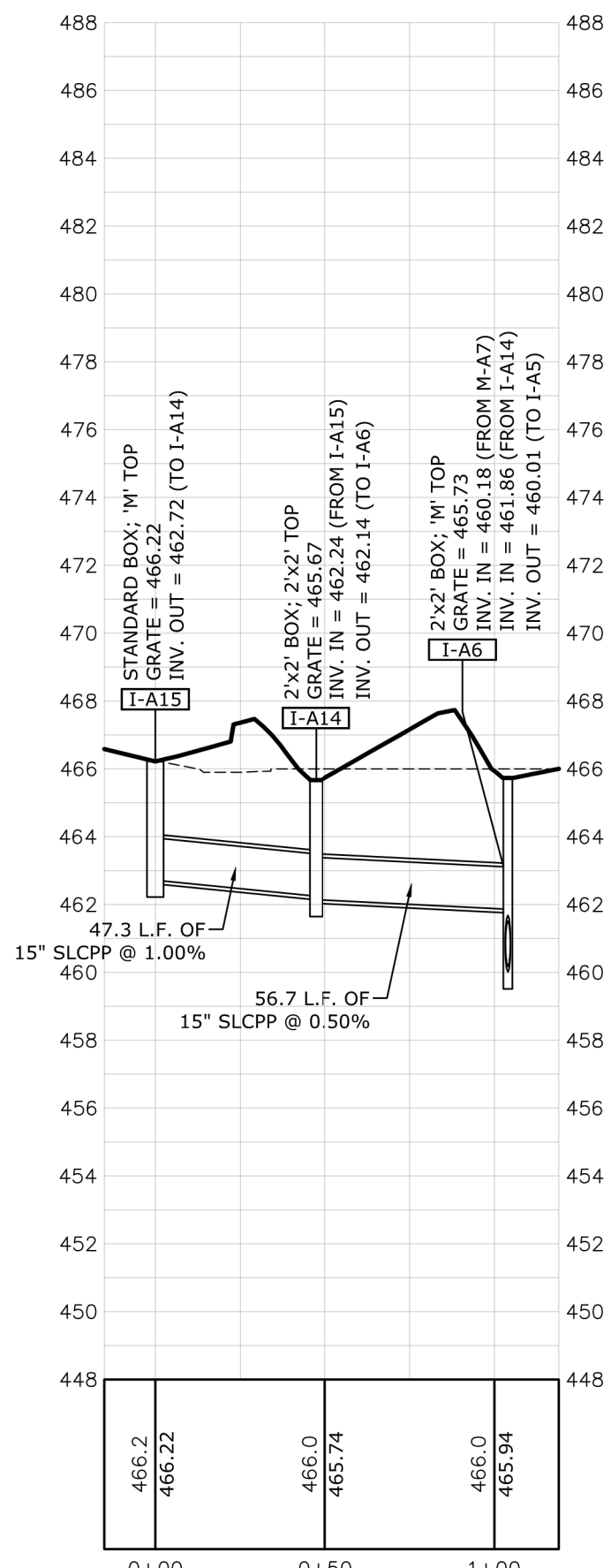
I-A9 TO M-A4
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



I-A11 TO I-A3
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



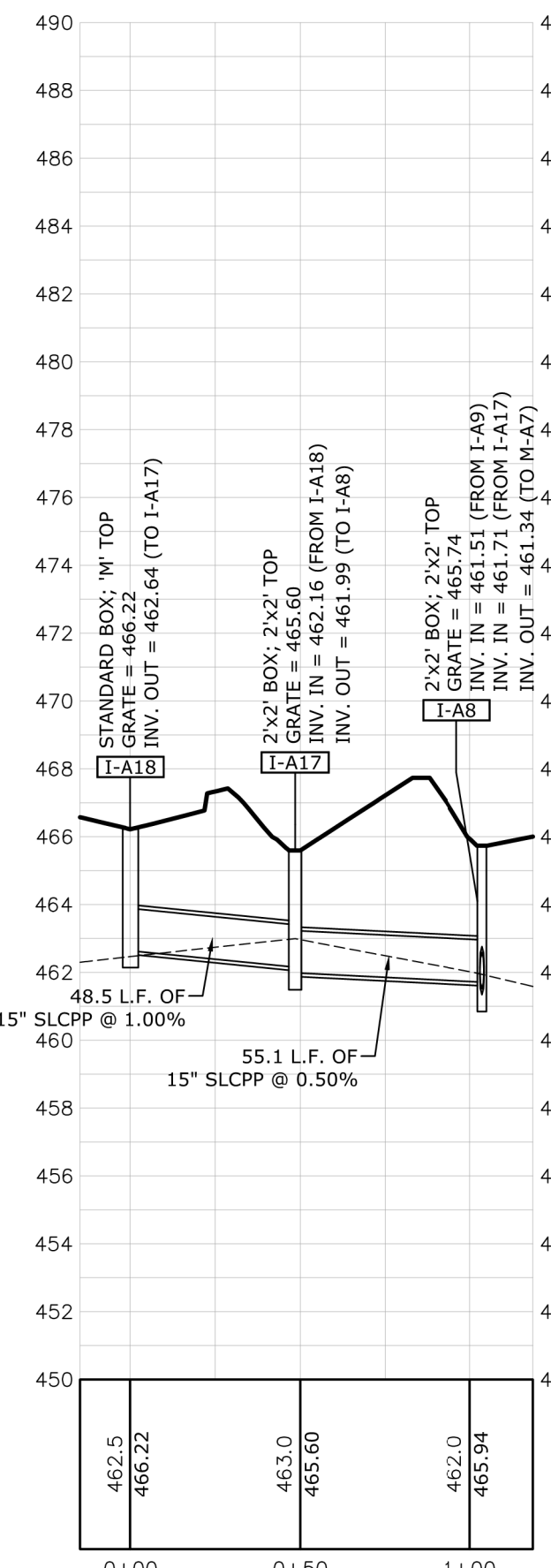
I-A13 TO I-A3
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



I-A15 TO I-A6
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



I-A16 TO I-A7
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



I-A18 TO I-A8
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'

LEGEND
 --- EXISTING GRADE
 — PROPOSED GRADE

PROJECT TITLE
 PCSM PLAN
 PHASE IV FOR SUSQUEHANNA UNION GREEN
 ROCKVILLE PLACE
 SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA

CLIENT
 ROCKVILLE PLACE, LLC
 ONE TRINITY DRIVE
 SUITE 202
 DILLSBURG, PA 17019
 (610) 996-2514

MANAGER
 BENJAMIN W. MORTON, RLA

DESIGN BY
 TMM

CHECKED BY
 WMF

DRAWN BY
 KTP

CHECKED BY
 WMF

SCALE
 AS NOTED

DATE
 SEPTEMBER 2, 2022

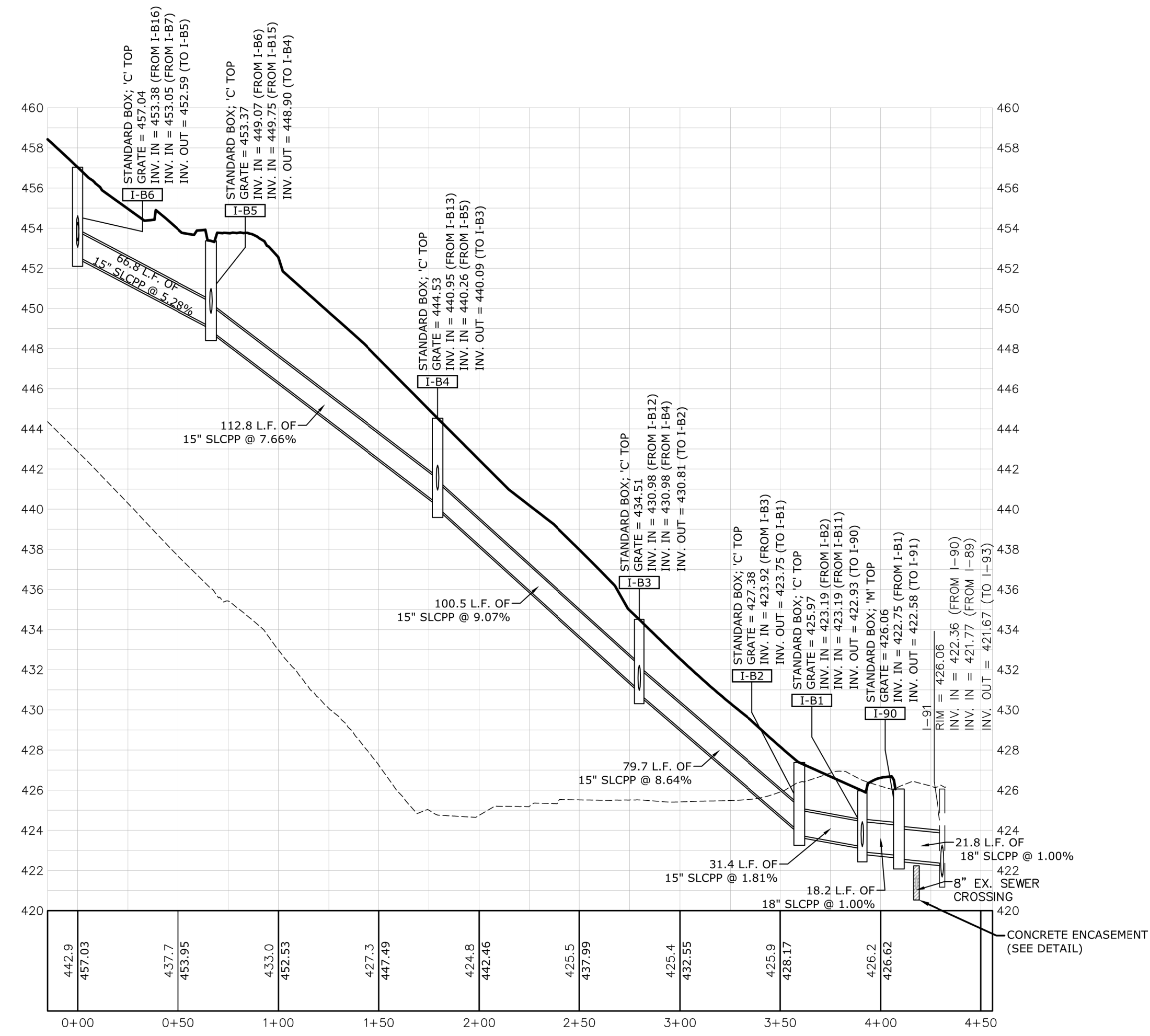
NO. BY

REVISION

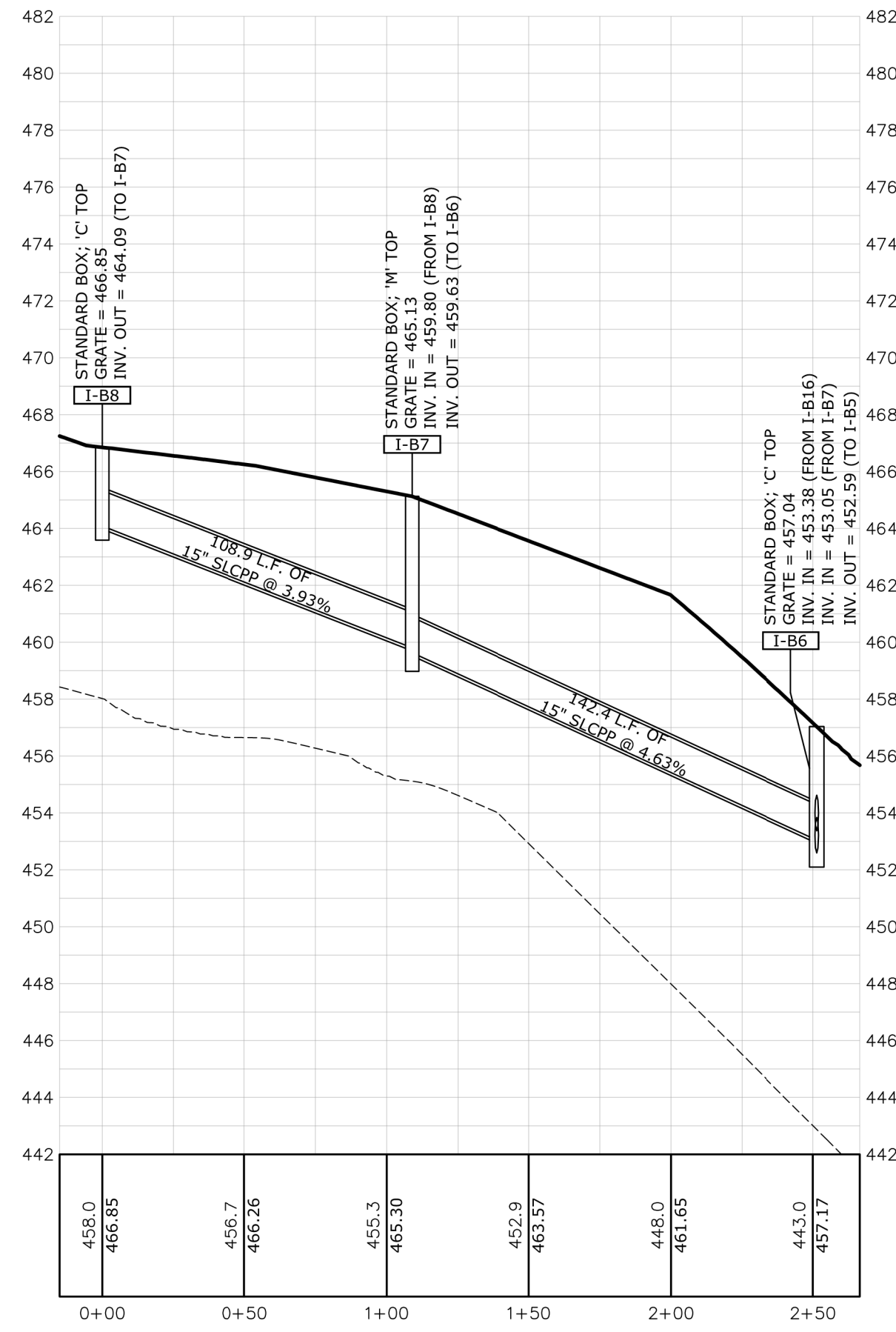
PLANNING
 Land Planning
 Landscape Architecture
 Civil Engineering
 63 West James Street, PA 17033
 Suite 101, Lancaster, PA 17303
 221 W. Philadelphia Street, PA 17027
 Suite 101E, York, PA 17401
 120 N. Market Street
 Suite 200W, Harrisburg, PA 17101
 (717) 591-7616
 www.plrassociates.com

ASSOCIATES

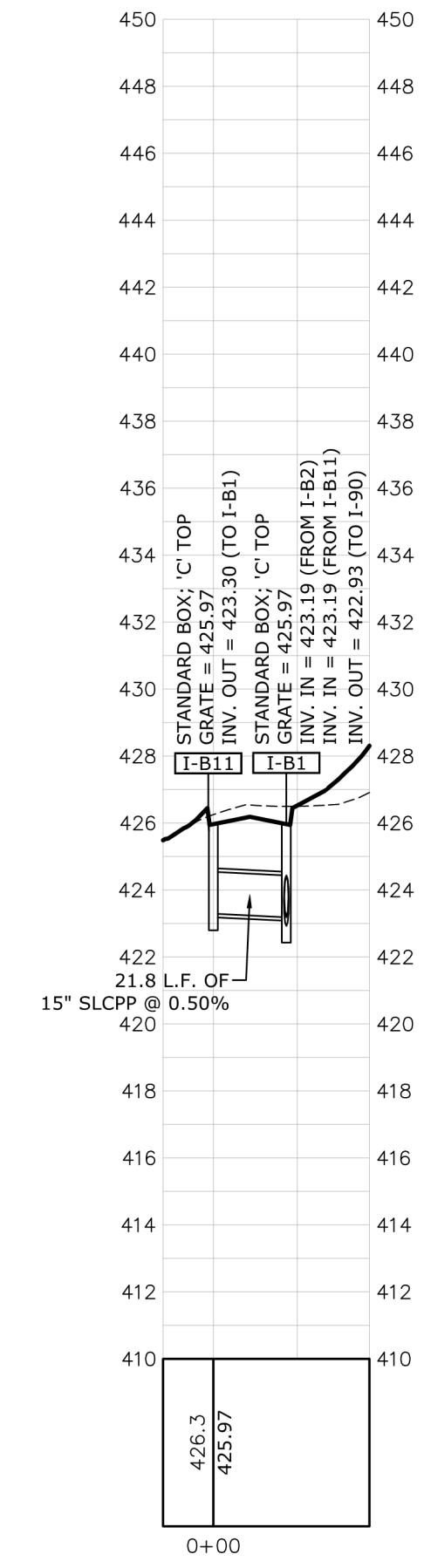
SHEET NO. SW-22 OF SW-28



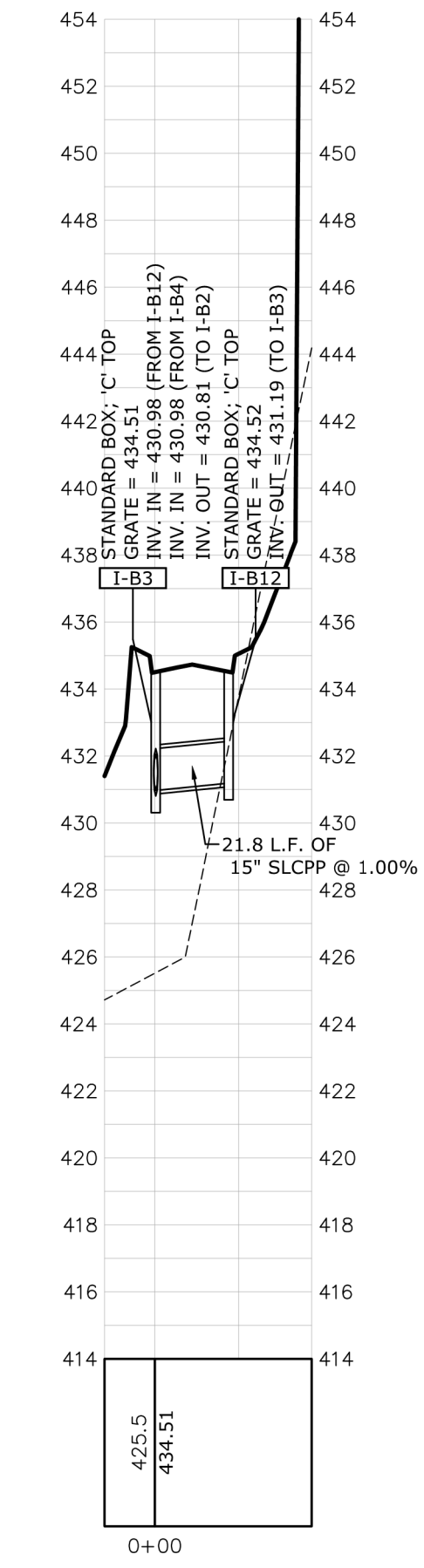
I-B6 TO I-91
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 VERT. SCALE: 1"= 5'



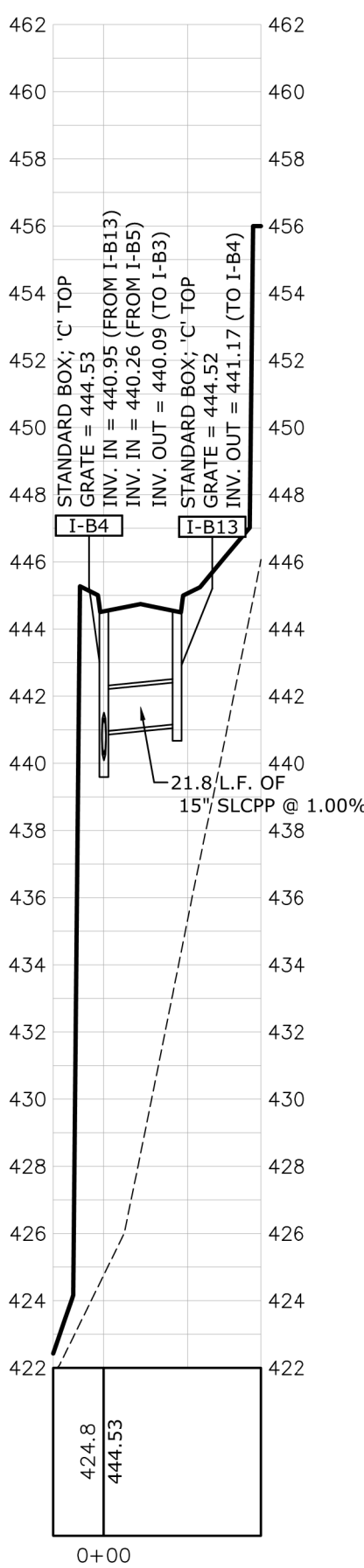
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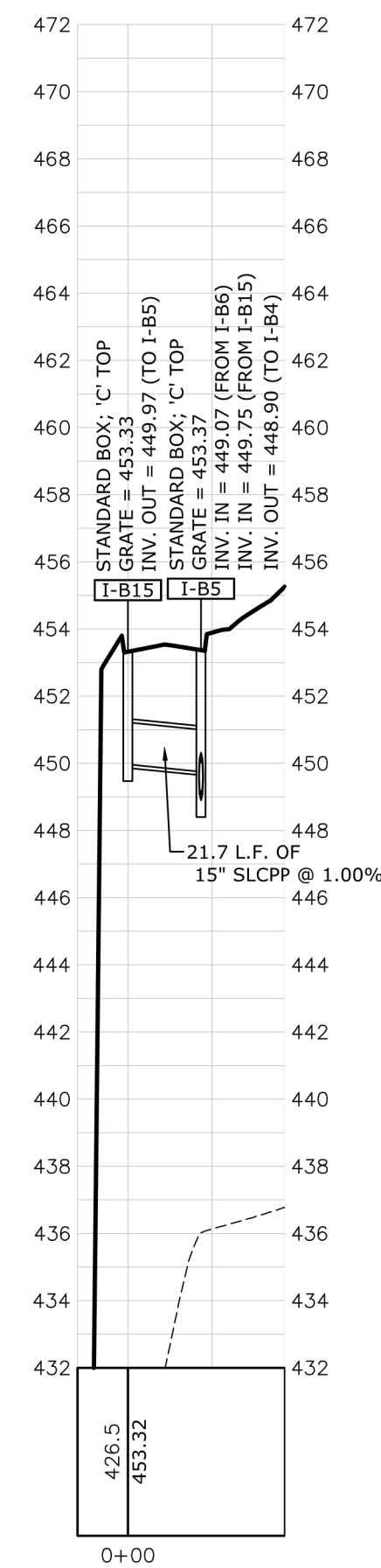
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 VERT. SCALE: 1"= 5'



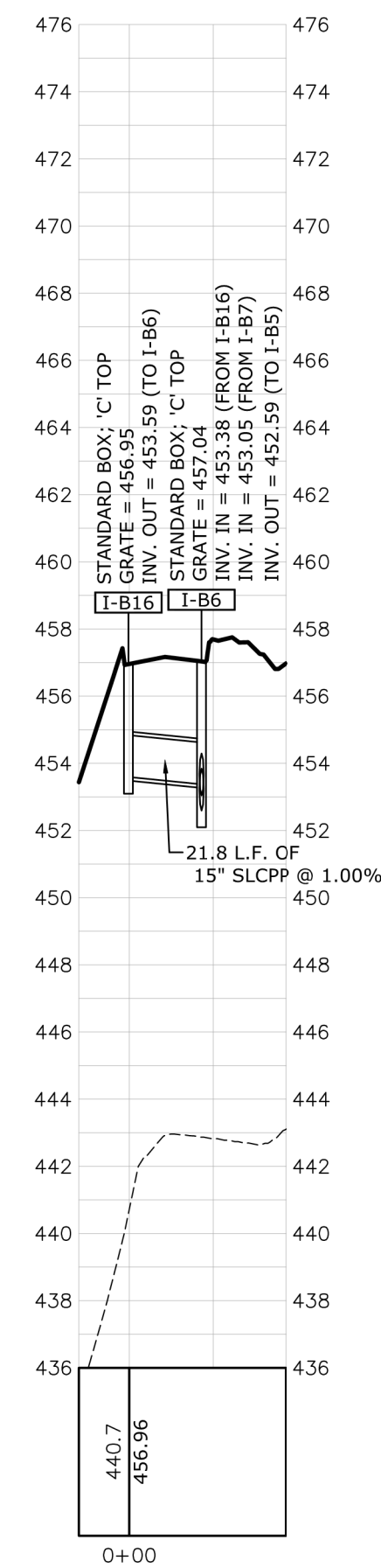
I-B12 TO I-B3
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 VERT. SCALE: 1"= 5'



EW-B13 TO I-B4
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



I-B15 TO I-B5
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'



I-B16 TO I-B6
 HORZ. SCALE: 1"=50'
 VERT. SCALE: 1"= 5'

LEGEND
 - - - - - EXISTING GRADE
 ————— PROPOSED GRADE

NO	BY	DATE	REVISION

MANAGER:	BENJAMIN W. MORTON, RLA
DESIGN BY:	WMF
TRW	WMF
DRAWN BY:	WMM
KTP	WMM

CLIENT:	ROCKVILLE PLACE, LLC.
ONE TRINITY DRIVE	
SUITE 202	
DILLSBURG, PA 17019	
(610) 896-2514	

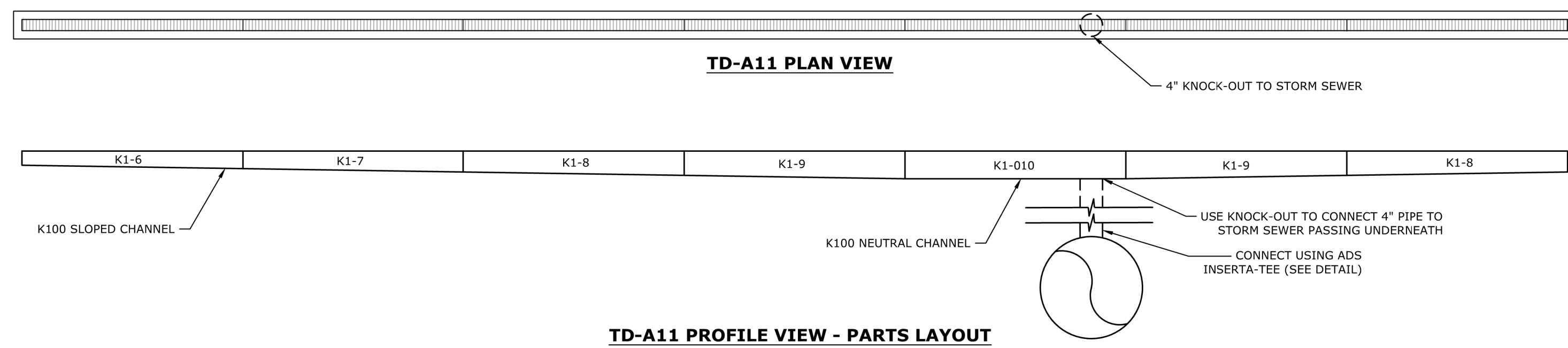
PROJECT TITLE:	PCSDM PLAN
PHASE IV FOR SUSQUEHANNA UNION GREEN	
ROCKVILLE PLACE	
SUSQUEHANNA TOWNSHIP	DAUPHIN COUNTY, PA
SHEET TITLE:	STORM PROFILES

Land Planning
 Landscape Architecture
 Civil Engineering

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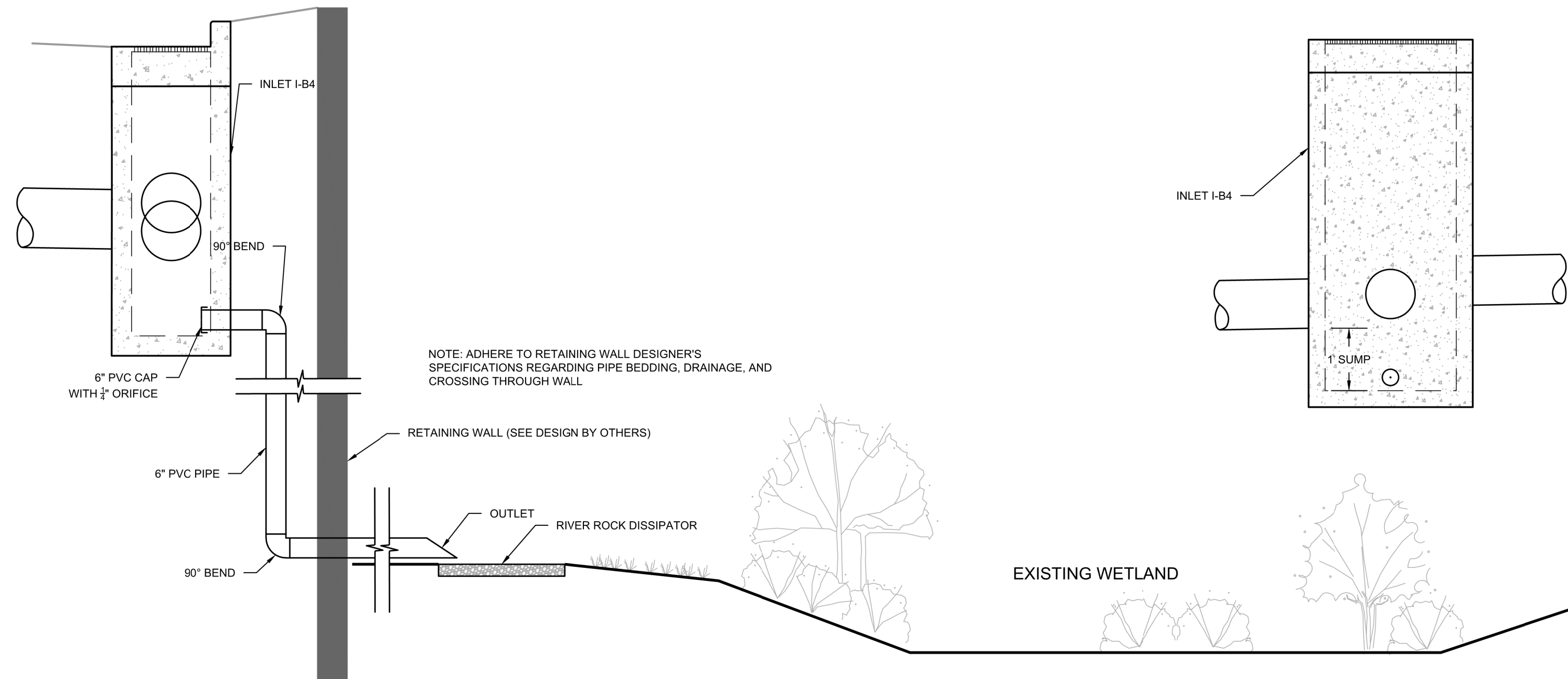
rgs ASSOCIATES

DATE:	SEPTEMBER 2, 2022
PROJECT NO.:	2021878-017
SHEET NO.:	SW-23 OF SW-28



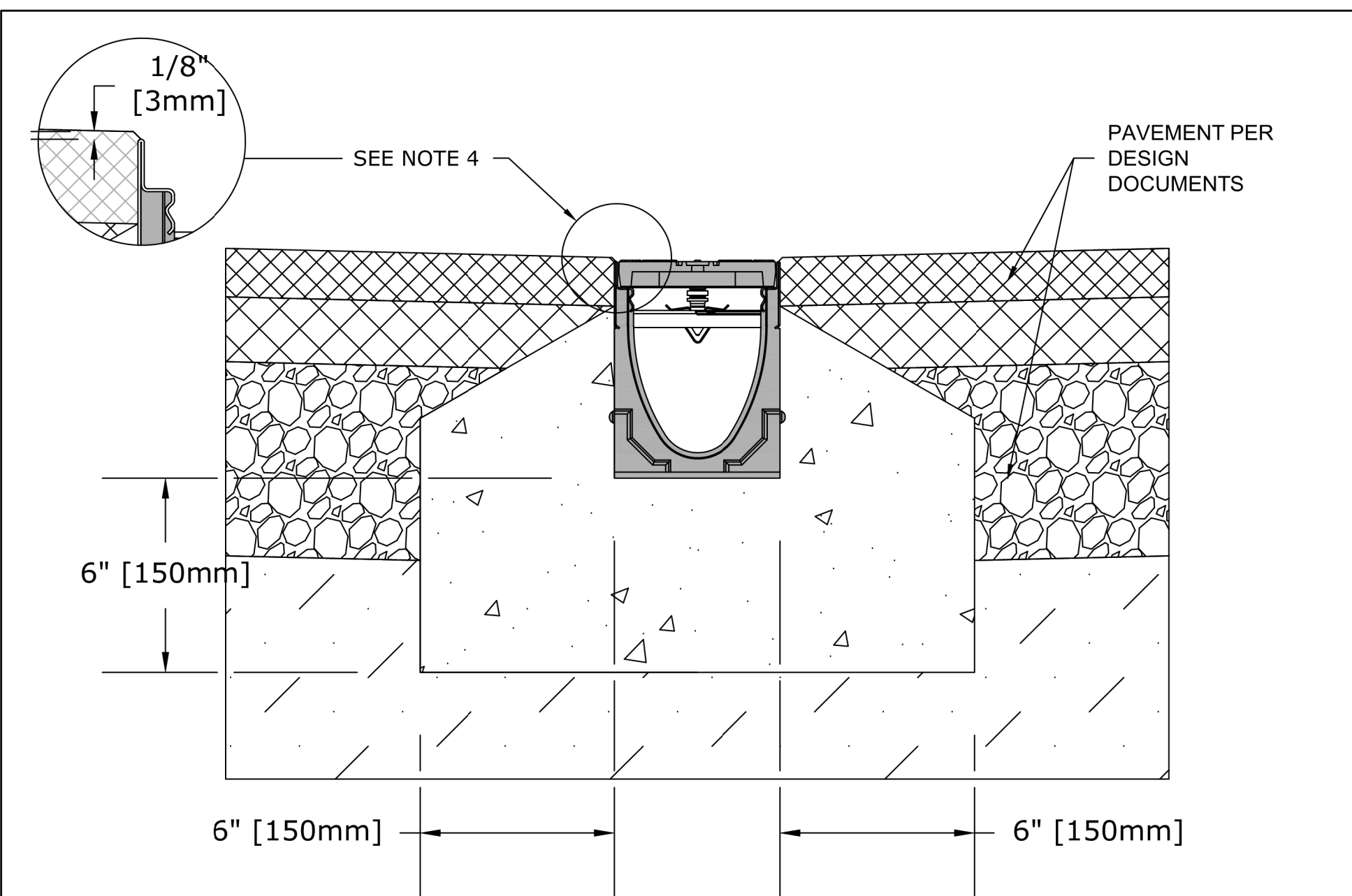
4" ACO TRENCH DRAIN (TD-A11) PARTS LAYOUT

NOT TO SCALE



INLET I-B4 WETLAND DIVERSION PIPE DETAIL

NOT TO SCALE



4" ACO TRENCH DRAIN INSTALLATION DETAIL

NOT TO SCALE

SPECIFICATION CLAUSE

K100 KLASSIKDRAIN 'QUICKLOK' LOAD CLASS C

GENERAL
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE K100 CHANNEL SYSTEM WITH GALVANIZED STEEL EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN GALVANIZED STEEL EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:

COMPRESSIVE STRENGTH:	14,000 PSI
FLEXURAL STRENGTH:	4,000 PSI
TENSILE STRENGTH:	1,500 PSI
WATER ABSORPTION:	0.07%
FROST PROOF:	YES
DILUTE ACID AND ALKALI RESISTANT:	YES
B117 SALT SPRAY TEST COMPLIANT:	YES

THE SYSTEM SHALL BE 4" (100mm) NOMINAL INTERNAL WIDTH WITH A 5.1" (130mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING 'QUICKLOK' BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. *ENGINEERING ADVICE MAY BE REQUIRED.*
 - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. *ENGINEERING ADVICE MAY BE REQUIRED.*
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
 - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. *ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.*
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

BMP TYPE	FACILITY NOS.	CONSTRUCTION NOTES	CRITICAL STAGES OF PROFESSIONAL OVERSIGHT	OPERATION AND MAINTENANCE
CONVEYANCE FACILITIES (NOT A PCSM BMP)		1. ALL STORM DRAIN AND CONVEYANCE SWALES SHALL BE INSTALLED AT THE LOCATION AND IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS INCLUDED ON THIS PLAN, UNLESS OTHERWISE REQUIRED BY THE MUNICIPALITY.	1. VERIFICATION OF INLET STRUCTURE LOCATION, SIZE, DEPTH, AND CONNECTING PIPE INVERTS OR CHANNEL GEOMETRY BMP MAINTENANCE SHALL BE THE RESPONSIBILITY OF VARTAN GROUP, INC. OR THEIR HEIRS OR ASSIGNS. THE RESPONSIBLE PARTY SHALL SUBMIT MAINTENANCE REPORTS ON AN ANNUAL BASIS (BY JUNE 1st OF EACH YEAR).	<p>GENERAL REQUIREMENTS:</p> <ul style="list-style-type: none"> THE FACILITY SHALL ALSO BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES (BUT NOT LIMITED TO THE PA DEP AND THE TOWNSHIP) IN THE EVENT OF A SPILL AND CLEANUP OPERATION. CLEAN OUT AND DISPOSE OF ACCUMULATED OIL, GREASE, AND SEDIMENTS. REMOVE ACCUMULATED TRASH AND DEBRIS. THE CLEAN OUT AND DISPOSAL TECHNIQUES SHOULD BE ENVIRONMENTALLY ACCEPTABLE AND IN ACCORDANCE WITH LOCAL REGULATIONS. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND SWM FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL DISPOSE OF REMOVED SEDIMENT AND DEBRIS IN ACCORDANCE WITH THE RECYCLING AND DISPOSAL NOTES. <p>REGULAR MAINTENANCE (AFTER EACH 3 INCH RAINFALL EVENT OR A MINIMUM OF TWICE PER YEAR):</p> <ul style="list-style-type: none"> REMOVE ACCUMULATED SEDIMENT, TRASH, AND DEBRIS FROM THE FACILITY. CLEAN OUT AND DISPOSE OF ACCUMULATED OIL, GREASE, AND SEDIMENTS. REMOVE ACCUMULATED TRASH AND DEBRIS. THE CLEAN OUT AND DISPOSAL TECHNIQUES SHOULD BE ENVIRONMENTALLY ACCEPTABLE AND IN ACCORDANCE WITH LOCAL REGULATIONS. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND SWM FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL DISPOSE OF REMOVED SEDIMENT AND DEBRIS IN ACCORDANCE WITH THE RECYCLING AND DISPOSAL NOTES. COSTS ASSOCIATED WITH THIS BMP FOR MAINTENANCE AND INSPECTION ACTIVITIES IS APPROXIMATED AT \$500 ANNUALLY. PRICES MAY VARY DEPENDING ON THE AMOUNT OF MAINTENANCE, FREQUENCY OF INSPECTIONS, AND AVAILABILITY OF PERSONNEL. <p>DOCUMENTATION REQUIREMENTS:</p> <ul style="list-style-type: none"> PREPARE ANNUAL INSPECTION REPORTS AS REQUIRED BY THE MUNICIPAL ORDINANCE AND STORMWATER AGREEMENT. PREPARE AND MAINTAIN INSPECTION, REPAIR, AND REPLACEMENT LOGS/REPORTS IN ACCORDANCE WITH PA DEP CHAPTER 102 REGULATIONS AND THE CONDITIONS OF THE NPDES PERMIT.
OUTLET PROTECTION (NOT A PCSM BMP)		1. PLUNGE POOLS SHALL BE INSTALLED AT THE LOCATION AND IN ACCORDANCE WITH THE DETAILS INCLUDED ON THIS PLAN.	1. VISUAL INSPECTION OF THE PLUNGE POOLS TO ENSURE INSTALLATION IS IN GENERAL CONFORMANCE WITH THE PLAN. BMP MAINTENANCE SHALL BE THE RESPONSIBILITY OF VARTAN GROUP, INC. OR THEIR HEIRS OR ASSIGNS. THE RESPONSIBLE PARTY SHALL SUBMIT MAINTENANCE REPORTS ON AN ANNUAL BASIS (BY JUNE 1st OF EACH YEAR).	<p>GENERAL REQUIREMENTS:</p> <ul style="list-style-type: none"> THE FACILITY SHALL ALSO BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES (BUT NOT LIMITED TO THE PA DEP AND THE TOWNSHIP) IN THE EVENT OF A SPILL AND CLEANUP OPERATION. CLEAN OUT AND DISPOSE OF ACCUMULATED OIL, GREASE, AND SEDIMENTS. REMOVE ACCUMULATED TRASH AND DEBRIS. THE CLEAN OUT AND DISPOSAL TECHNIQUES SHOULD BE ENVIRONMENTALLY ACCEPTABLE AND IN ACCORDANCE WITH LOCAL REGULATIONS. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND SWM FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL DISPOSE OF REMOVED SEDIMENT AND DEBRIS IN ACCORDANCE WITH THE RECYCLING AND DISPOSAL NOTES. <p>REGULAR MAINTENANCE (AFTER EACH 3 INCH RAINFALL EVENT OR A MINIMUM OF TWICE PER YEAR):</p> <ul style="list-style-type: none"> REMOVE ACCUMULATED SEDIMENT, TRASH, AND DEBRIS FROM THE FACILITY. CLEAN OUT AND DISPOSE OF ACCUMULATED OIL, GREASE, AND SEDIMENTS. REMOVE ACCUMULATED TRASH AND DEBRIS. THE CLEAN OUT AND DISPOSAL TECHNIQUES SHOULD BE ENVIRONMENTALLY ACCEPTABLE AND IN ACCORDANCE WITH LOCAL REGULATIONS. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND SWM FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL DISPOSE OF REMOVED SEDIMENT AND DEBRIS IN ACCORDANCE WITH THE RECYCLING AND DISPOSAL NOTES. <p>DOCUMENTATION REQUIREMENTS:</p> <ul style="list-style-type: none"> PREPARE ANNUAL INSPECTION REPORTS AS REQUIRED BY THE MUNICIPAL ORDINANCE AND STORMWATER AGREEMENT. PREPARE AND MAINTAIN INSPECTION, REPAIR, AND REPLACEMENT LOGS/REPORTS IN ACCORDANCE WITH PA DEP CHAPTER 102 REGULATIONS AND THE CONDITIONS OF THE NPDES PERMIT.

MATERIAL SPECIFICATIONS				
MATERIAL	PLAN DESIGNATION	SPECIFICATION / TEST METHOD	SIZE	NOTES
STORMWATER CONVEYANCE				
SOIL TIGHT (ST) STORM DRAIN	SLCPP	AASHTO M252, TYPE S (4- THROUGH 10-INCH) AASHTO M294, TYPE S (12- THROUGH 60-INCH) ASTM F2306	REFER TO PROFILE	
ROOF LEADER	SDR-35 OR HDPEP	SDR-35 (PS46) - ASTM D3034 (4"-15") (PRODUCT STANDARD) - ASTM F477 (GASKET) - ASTM D3212 (INTEGRAL BELL JOINT) HDPEP - ASTM F758 (TYPE PS 28) - AASHTO M252-S, OR - AASHTO M294-S	REFER TO PROFILE	
STORMWATER MANAGEMENT				
EROSION CONTROL BLANKET	ECB	REFER TO THE MATERIAL AND PERFORMANCE SPECIFICATIONS INCLUDED ON THE PLAN.	COCONUT MATTING, ECS-1B, NAG 575, OR EQUIVALENT	
STONE BED		AASHTO-M-43	0.375"-0.75"	DOUBLE WASHED NO. 57 STONE (WASH LOSS OF NO MORE THAN 0.5%)
SITE FEATURES AND LANDSCAPING				
TOPSOIL		ASTM D5268 - STANDARD SPECIFICATION FOR TOPSOIL ASTM D4972 - TEST METHOD OF PH FOR SOILS	SEE GRADUATION OF ASTM STANDARD	TOPSOIL MUST BE FREE OF LARGE DEBRIS, ROOTS, ROCKS, BRUSH, SOD, FROZEN PARTICLES, OR OTHER FOREIGN OR OBJECTIONABLE MATERIAL THAT WOULD INHIBIT VEGETATIVE ESTABLISHMENT AND GROWTH TO MEET THE PROJECT REQUIREMENTS. TOPSOIL MUST BE SUITABLE TO SUPPORT A DENSE AND DIVERSE VEGETATIVE COVER, AS DIRECTED BY THE OWNER OR LANDSCAPE ARCHITECT.
HARDWOOD MULCH		N/A	MAXIMUM 3" IN SIZE PIECES	COMPOSITION BY VOLUME: 70% SHREDDED BARK, 30% SHREDDED HARDWOOD COLOR: BROWN FREE OF TRASH, DEBRIS AND OTHER NON-ORGANIC MATERIALS

MATERIAL SPECIFICATIONS

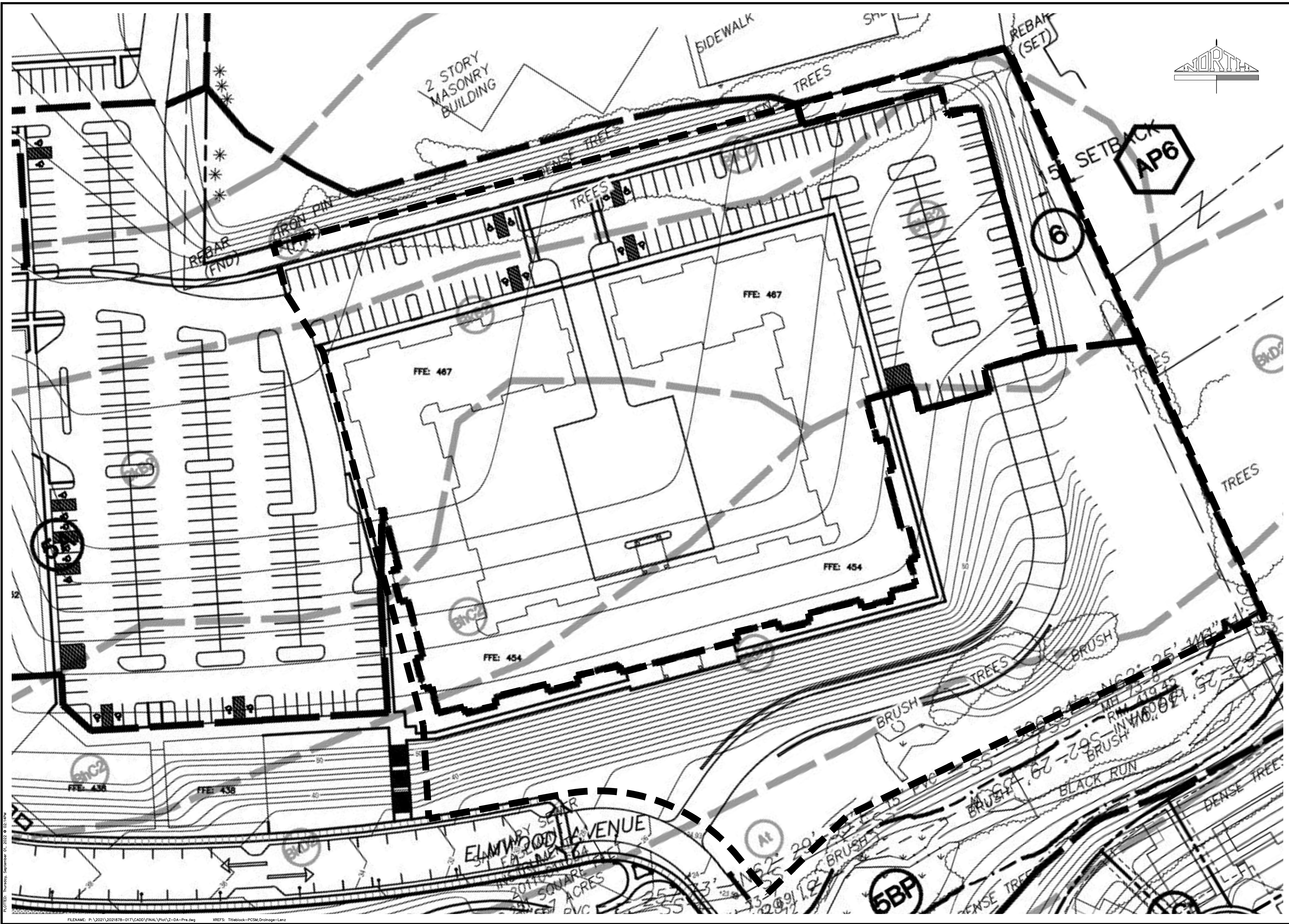
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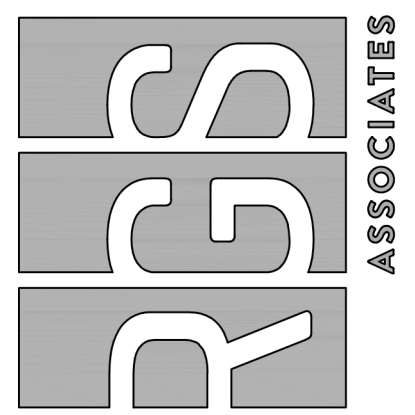
5

OPERATION & MAINTENANCE NOTES

MANAGER:	BENJAMIN W. MORTON, RLA	CHECKED BY:	
DESIGN BY:	ROCKVILLE PLACE, LLC.	CHECKED BY:	
DRAWN BY:	ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 896-2514	CHECKED BY:	
CLIENT:	ROCKVILLE PLACE, LLC.	SCALE:	1" = 50' 0' 50' 100' 150'
PROJECT TITLE:	PCSM PLAN	SHEET TITLE:	STORMWATER MANAGEMENT DETAILS
PHASE IV FOR SUSQUEHANNA UNION GREEN			
ROCKVILLE PLACE			
SUSQUEHANNA TOWNSHIP			
DAUPHIN COUNTY, PA			
Land Planning Landscape Architecture Civil Engineering			
83 West James Street PA 17013 800-451-1888 231 W. Philadelphia Street Suite 100E, York, PA 17401 1700 N. Market Street Suite 800W, Harrisburg, PA 17103 (717) 899-7616 www.rgsassociates.com			
DATE:	SEPTEMBER 2, 2022		
PROJECT NO.:	2021878-017		
SHEET NO.:	SW-25 OF SW-28		

PLOTED: Thursday, September 01, 2022 @ 03:05PM



 ASSOCIATES		
Land Planning Landscape Architecture Civil Engineering 93 West James Street, PA 17033 Suite 101, Lewisburg, PA 17033 221 W. Philadelphia Street, PA 17019 One Horse Lane, PA 17401 126 S. Main Street Suite 300W, Harrisburg, PA 17101 (717) 891-7616 www.rgsassociates.com		
PROJECT TITLE PCSM PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PA		SHEET TITLE PREVIOUSLY APPROVED DRAINAGE AREA MAP
CLIENT ROCKVILLE PLACE, LLC ONE TRINITY DRIVE SUITE 202 DILLSBURG, PA 17019 (610) 996-2514		SCALE 1" = 30' 0' 30' 60' 90'
MANAGER BENJAMIN W. MORTON, RLA	DESIGN BY TMM	CHECKED BY WMF
DRAWN BY KTP	CHECKED BY WMF	
SEAL	SEAL	NO BY DATE REVISION
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PLOTTED: Thursday, September 01, 2022 @ 02:14PM

DATE: SEPTEMBER 2, 2022
 PROJECT NO: 2021878-017
 SHEET NO: SW-26 OF SW-28



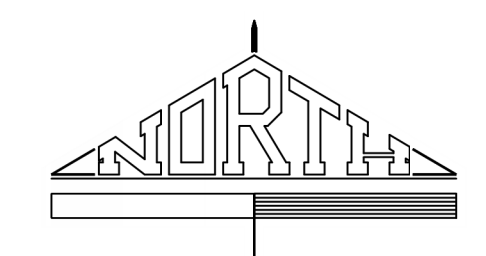
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MANAGER:	BENJAMIN W. MORTON, RLA	CHECKED BY:	WMF															
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DRAWN BY:	KTP	CHECKED BY:	WMF															
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CLIENT:	ROCKVILLE PLACE, LLC.																	
PROJECT TITLE:	PCSM PLAN PHASE IV FOR SUSQUEHANNA UNION GREEN ROCKVILLE PLACE																	
SHEET TITLE:	POST DEVELOPMENT DRAINAGE AREA MAP																	
<table border="1" style="font-size: 8px;"> <tr> <td>LAND PLANNING ARCHITECTURE</td> <td>63 West James Street, PA 17033</td> </tr> <tr> <td>CIVIL ENGINEERING</td> <td>221 W. Philadelphia Street, PA 17027</td> </tr> <tr> <td></td> <td>221 W. Philadelphia Street, PA 17401</td> </tr> <tr> <td></td> <td>320 N. Market Street</td> </tr> <tr> <td></td> <td>State College, PA 16801</td> </tr> <tr> <td></td> <td>(717) 859-1616</td> </tr> <tr> <td></td> <td>www.rgsassociates.com</td> </tr> </table>	LAND PLANNING ARCHITECTURE	63 West James Street, PA 17033	CIVIL ENGINEERING	221 W. Philadelphia Street, PA 17027		221 W. Philadelphia Street, PA 17401		320 N. Market Street		State College, PA 16801		(717) 859-1616		www.rgsassociates.com				
LAND PLANNING ARCHITECTURE	63 West James Street, PA 17033																	
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DATE:	SEPTEMBER 2, 2022																	
PROJECT NO.:	2021878-017																	
SHEET NO.:	SW-27 OF SW-28																	



SEE PLANS PREPARED BY HF LENZ FOR DESIGN OF DRIVE CONNECTION TO GARRISON AVE.



NO	BY	DATE	REVISION

SEAL	
SEAL	

MANAGER:	BENJAMIN W. MORTON, RLA
DESIGN BY:	WWMF
DRAWN BY:	KTP
CHECKED BY:	WWMF
CHECKED BY:	WWMF

CLIENT:	ROCKVILLE PLACE, LLC.
PROJECT TITLE:	PCSM PLAN
PROJECT TITLE:	PHASE IV FOR SUSQUEHANNA UNION GREEN
PROJECT TITLE:	ROCKVILLE PLACE
PROJECT TITLE:	SUSQUEHANNA TOWNSHIP
PROJECT TITLE:	DAUPHIN COUNTY, PA
PROJECT TITLE:	POST DEVELOPMENT SUB-DRAINAGE AREA MAP

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DATE:	SEPTEMBER 2, 2022
PROJECT NO.:	2021878-017
SHEET NO.:	SW-28 OF SW-28

PLOT10: Thursday, September 01, 2022 @ 02:22PM