



SITE PLAN
SCALE: 1" = 30'

LOT CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
C1	30.00'	45.65'	S 38°43'47" E 41.32'
C2	35.03'	14.78'	S 16°57'16" W 14.67'
C3	30.00'	19.58'	S 47°44'31" W 19.23'

LOT LINE TABLE		
LINE	LENGTH	DIRECTION
L1	5.03'	S 85°08'14" E
L2	5.03'	N 60°57'13" W
L3	10.62'	S 66°26'15" W

EASEMENT CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
EC4	175.00'	20.45'	S 7°01'14" E 20.44'
EC5	50.00'	20.58'	N 2°14'37" W 20.43'

THE PURPOSE OF THIS FINAL MINOR SUBDIVISION PLAN IS TO SUBDIVIDE LOT A (4,034 S.F.) FROM LAUREL HILL LOT 60 AND COMBINE LOT A WITH (N/F) JAMES & MYRA TYNDALL PARCEL.

SURVEY NOTES:

- ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED.
- GROSS LOT AREA IS CALCULATED TO THE TITLE LINE. NET LOT AREA WILL EXCLUDE EXISTING STREET RIGHT-OF-WAYS AND INCLUDE ANY INTERNAL EASEMENTS OR RIGHT-OF-WAYS.
- ANY REVISIONS MADE TO THESE PLANS AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION DATE SHALL NOT BE THE RESPONSIBILITY OF TOWNE SQUARE ENGINEERING.
- NO ONE SHALL SCALE FROM THESE PLANS FOR CONSTRUCTION PURPOSES.
- BENCHMARK: REBAR (FOUND) WEST CORNER OF PROPERTY ALONG SOUTH RIGHT-OF-WAY OF ETHAN DRIVE. ELEVATION = 440.93'. NAVD 88 DATUM.
- THIS PROPERTY WAS SURVEYED BY LAND GRANT SURVEYORS USING THE CURRENT DEEDS OF RECORD AND WITHOUT THE BENEFIT OF A "TITLE SEARCH". THIS SURVEY DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHT-OF-WAY, EASEMENTS, RESTRICTIONS, ETC. WHICH MAY BE DISCOVERED BY A COMPLETE "TITLE SEARCH".
- THIS PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD PLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP #42043003300 DATED 8/2/2012.
- UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND WERE DETERMINED FROM VISIBLE LOCATION, ACT 121 UTILITY RESPONSES AND/OR BEST AVAILABLE PLAN INFORMATION. (TOWNE SQUARE ENGINEERING CANNOT GUARANTEE THE EXACT LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES, AN EXACT LOCATION OR THE EXISTENCE OF OR NONEXISTENCE OF UNDERGROUND UTILITIES CAN ONLY BE OBTAINED BY SUBSURFACE EXPLORATION, WHICH IS NOT PART OF THIS CONTRACT PERFORMANCE).
- BASES OF BEARINGS TAKEN FROM A REALIZATION OF THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD 83.
- THE SURFACE AND CONTOURS FOR THIS SURVEY WAS TAKEN FROM LIDAR CONTOURS 3602210PAS FROM PASDA PENNSYLVANIA IMAGERY DCONR PA MAP PROGRAM ON 6/20/2023 AND WAS NOT FIELD SURVEYED.
- ADJOINING PLANS OF RECORD REFERENCED BY THIS SURVEY:
 - CROOKED HILL FARMS SECTION 1, PLAN BOOK T, VOL. 2, PAGE 91, DECEMBER 1975
 - INDEPENDENT AMERICAN INVESTMENTS, PLAN BOOK X, VOL. 4, PAGE 80, NOVEMBER 1989
 - FIELDSTONE FARM, PLAN BOOK Z, VOL. 6, PAGE 62, FEBRUARY 1999
 - APPLE CREEK FARMS, PHASE 2, PLAN BOOK U, VOL. 9, PAGE 28, JANUARY 2006.

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF DAUPHIN

ON THIS THE _____ DAY OF _____, 20____ BEFORE ME THE UNDERSIGNED
PERSONALLY APPEARED.

OWNER(S) _____

OWNER(S) _____

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW. WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC MY COMMISSION EXPIRES _____

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NOTARY PUBLIC MY COMMISSION EXPIRES _____

LEGEND

EXISTING	PROPERTY LINE	PROPOSED
---	RIGHT-OF-WAY LINE	---
---	EASEMENT LINE	---
---	ROADWAY CENTERLINE	---
---	CURB LINE	---
---	EDGE OF PAVEMENT	---
---	EDGE OF STONE	---
---	MIN. BLDG SETBACK LINE	---
S	SANITARY SEWER LINE	S
W	SANITARY FORCE MAIN	W
G	WATER LINE	G
OH	GAS LINE	OH
OHE	OVERHEAD UTILITIES	OHE
UE	OVERHEAD ELECTRIC	UE
OHT	UNDERGROUND ELECTRIC	OHT
UT	OVERHEAD TELEPHONE	UT
X	UNDERGROUND TELEPHONE	X
X	FENCE	X
---	INDEX CONTOUR	---
---	INTERMEDIATE CONTOUR	---
X.391.25	SPOT ELEVATION	x 392.15
---	STORM INLET & PIPING	---
---	ZONING LINE	---
---	MUNICIPALITY LINE	---
---	GUIDE RAIL	---
---	RAILROAD	---
---	EDGE OF WATER (STREAM)	---
---	SOILS LINE	---
---	TREELINE	---
○	DECIDUOUS TREE	○
○	CONIFEROUS TREE	○
○	PROPERTY CORNER MARKER FOUND	○
○	CONC. MONUMENT SET	○
○	PIN	○
○	ANGLE BREAK, PC/PT	○
○	EASEMENT CORNER	○
○	UTILITY POLE	○
○	LIGHT POLE	○
○	WELL	○
○	WATER SHUT-OFF VALVE (SERVICE)	○
○	WATER VALVE (MAIN)	○
○	FIRE HYDRANT	○
○	GAS SHUT-OFF VALVE (SERVICE)	○
○	GAS VALVE (MAIN)	○
○	SEWER VENT	○
○	SEWER CLEAN OUT	○
○	ELECTRIC MANHOLE	○
○	STORM MANHOLE	○
○	SANITARY MANHOLE	○
○	TELEPHONE MANHOLE	○
○	SIGN	○
○	MAIL BOX	○

GENERAL NOTES:

- This Lot Add-On plan takes a portion of Lot 60 in the Laurel Hill Subdivision plan and adds it to the lot currently owned by James & Myra Tyndall. This will eliminate the need for a driveway easement on Lot 60 and place the entirety of the driveway on the Tyndall property.
- Property lines have been set to take into account the required setbacks per the R-2 zoning of the Tyndall Property.
- No construction is proposed so no E&S or Sewage Module is required.
- Lot A, currently part of Lot 60, will be joined in common with lands owned by James & Myra Tyndall.



CERTIFICATE OF ACCURACY (SURVEY)

I hereby certify that, to the best of my knowledge, the survey shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Susquehanna Township.

11/3, 20_23

CERTIFICATE OF ACCURACY (PLAN)

I hereby certify that, to the best of my knowledge, the plan shown and described hereon is true and correct to the accuracy required by the Subdivision and Land Development Ordinance of Susquehanna Township.

For Towne Square Engineering

DAUPHIN COUNTY PLANNING COMMISSION

This plan reviewed by the Dauphin County Planning Commission
this _____ day of _____, 20____
Chairman _____
Secretary _____

SUSQUEHANNA TOWNSHIP ENGINEER

This plan reviewed by the Susquehanna Township Engineer
this _____ day of _____, 20____
Township Engineer _____

SUSQUEHANNA TOWNSHIP PLANNING COMMISSION

This plan recommended for approval by the Susquehanna Township Planning Commission
this _____ day of _____, 20____
Chairman _____
Secretary _____

SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS

This plan approved by the Susquehanna Township Board of Commissioners, and all conditions imposed with respect to such approval were completed on
this _____ day of _____, 20____

RECORD INFORMATION

This plan Recorded in the Office of the Recorder of Deeds in and for Dauphin County
This _____ day of _____, 20____
Plan Book _____ Volume _____ Page _____
Instrument No. _____

ZONING INFORMATION - LAUREL HILL (AKA RIVER BEND)

LOCATION: Off Ethan Drive, Susquehanna Township, Dauphin County, PA
ZONE: R-2, Medium Density Residential District
PROPOSED USE: Neighborhood Design Development - Lot 60

#	ITEM	REQUIRED	PROPOSED
1	MINIMUM LOT AREA	6,000 S.F.	16,013 ± S.F.
2	MINIMUM LOT WIDTH	45 ft.	≥ 45 ft.
3	MINIMUM SETBACK - FRONT	5 ft.	5 ft.
4	MINIMUM SETBACK - FRONT GARAGE	18 ft.	18 ft.
5	MAXIMUM SETBACK - FRONT	25 ft.	25 ft.
6	MINIMUM SETBACK - SIDE YARD	7 ft.	7 ft.
7	MINIMUM SETBACK - REAR YARD	15 ft.	15 ft.
8	MAXIMUM BUILDING COVERAGE	65%	17.8% ±
9	MAXIMUM IMPERVIOUS LOT COVERAGE	75%	20.1% ±

ZONING INFORMATION - Tyndall Property

LOCATION: Off Pebble Court, Susquehanna Township, Dauphin County, PA
ZONE: R-2, Medium Density Residential District
PROPOSED USE: Existing Single-Family Residential

#	ITEM	REQUIRED	PROPOSED
1	MINIMUM LOT AREA	10,000 S.F.	45,710 ± S.F.
2	MINIMUM LOT WIDTH	75 ft.	≥ 75 ft.
3	MINIMUM SETBACK - FRONT	30 ft.	30 ft.
4	MINIMUM SETBACK - SIDE YARD	8 ft.	8 ft.
5	MINIMUM SETBACK - REAR YARD	30 ft.	30 ft.
6	MAXIMUM IMPERVIOUS LOT COVERAGE	40%	11.2% ±

Sheet Number: 1 of 2
Project Number: 18-108
Date: OCTOBER 10, 2023

FINAL MINOR SUBDIVISION PLAN
LAUREL HILL
(AKA RIVER BEND)
SUSQUEHANNA TOWNSHIP - DAUPHIN COUNTY, PA
FINAL PLAN

Drafting: DTURNER
Project Engineer: DAVID B. KEGERIZE PE
Checked By: C. MITCHELL KING PE, PLS
Project Surveyor: _____
Scale: 1" = 30'

Seal: _____

313 W. Liberty St.,
Suite 241
Lancaster, PA 17603
Phone: (717) 283-4538
info@townesquareengineering.com

TOWNE SQUARE ENGINEERING
Civil Engineers & Land Planners

NO.	DATE	REVISIONS
1	12/15/23	REV. PER PRG REVIEW LTR. DATED 11/28/23