

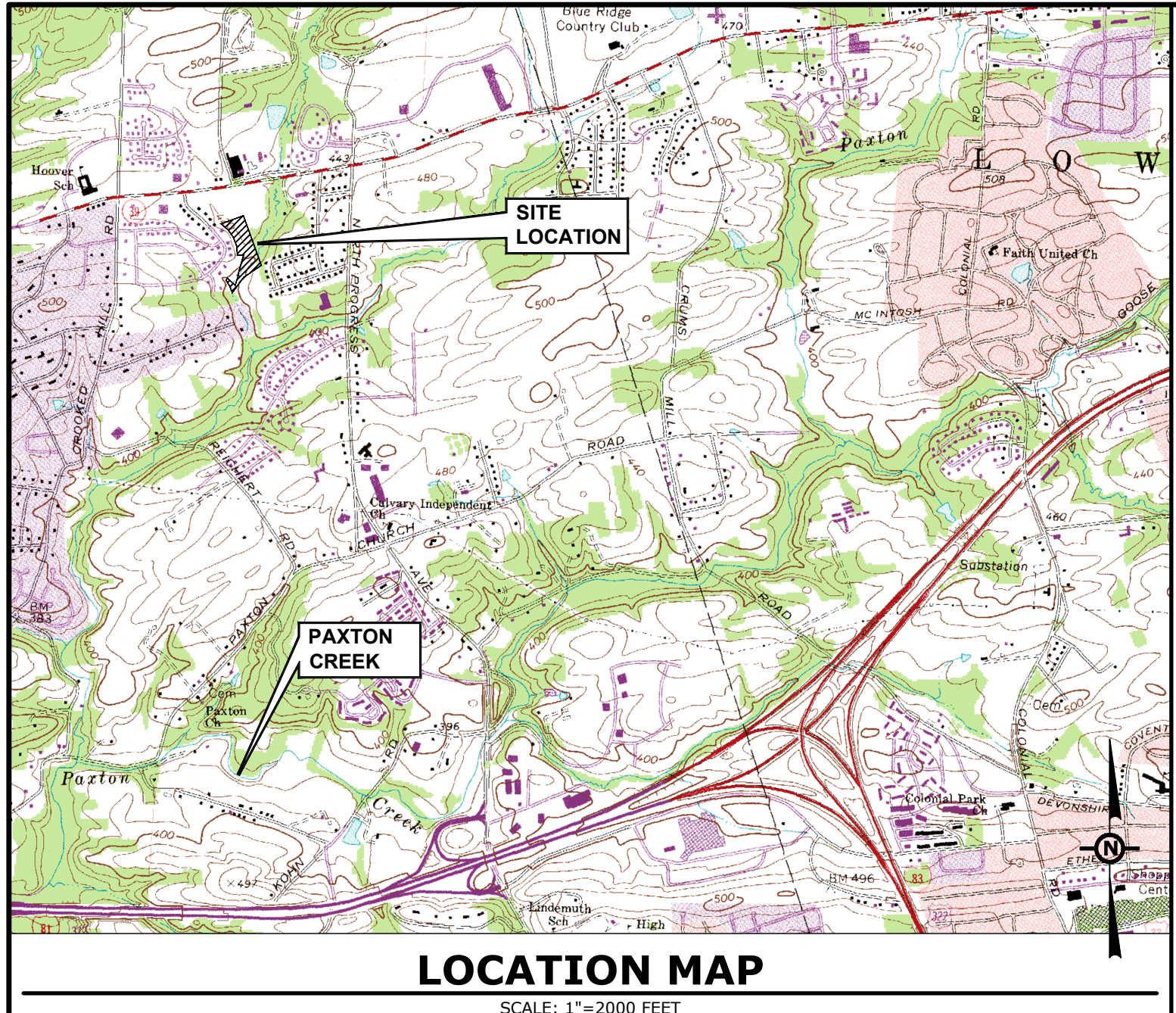


Table with columns: REVISIONS (NO., DATE, DESCRIPTION), PLAN TYPE (COVER SHEET), SHEET (1 OF 17)

SUBDIVISION/ PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT

FOR CHRIS DAWSON ARCHITECTS SUSQUEHANNA TOWNSHIP DAUPHIN COUNTY, PENNSYLVANIA



PLAN PREPARER

KUROWSKI & WILSON, LLC 2201 N FRONT ST, SUITE 200 HARRISBURG, PA 17110

SITE SURVEYOR

KUROWSKI & WILSON, LLC 2201 N FRONT ST, SUITE 200 HARRISBURG, PA 17110

UTILITY INFORMATION

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA.

VEOLIA WATER PENNSYLVANIA INC 6310 ALLENTOWN BOULEVARD HARRISBURG, PA 17112

FRONTIER COMMUNICATIONS OF PA INC 300E LAIRD ST WILKES BARRE, PA 18702

VERIZON PENNSYLVANIA LLC 1026 HAY ST PITTSBURGH, PA 15221

RPL ELECTRIC UTILITIES CORPORATION 437 BLUE CHURCH RD PAXINOS, PA 17850

CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN AND OFFER OF DEDICATION (OWNER)

COMMONWEALTH OF PENNSYLVANIA COUNTY OF DAUPHIN ON THIS THE ___ DAY OF ___, 20__ BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED.

SUSQUEHANNA TOWNSHIP PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS ___ DAY OF ___, 20__.

RECORDER OF DEEDS

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

STORMWATER MANAGEMENT CERTIFICATE

I, J. MARC KUROWSKI, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN AND REPORT MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.



J. MARC KUROWSKI, P.E. mkurovski@kandwengineers.com

CERTIFICATE OF ACCURACY (PLAN)

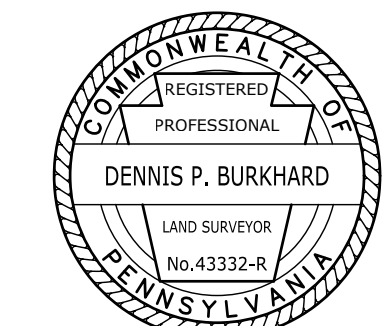
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SUBDIVISION PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT. _____, 20__.



J. MARC KUROWSKI, P.E.

CERTIFICATE OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.



DENNIS P. BURKHARD, P.L.S.

OWNER STORMWATER STATEMENT

I, _____ (OWNER) ACKNOWLEDGE THAT THE STORMWATER BMP'S SHOWN WITHIN THESE PLANS ARE PERMANENT FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY SUSQUEHANNA TOWNSHIP.

WETLANDS STATEMENT

I, _____ HEREBY CERTIFY THAT THERE ARE/ARE NOT WETLANDS ON THE SUBJECT PROPERTY, THE PROPOSED PROJECT (WILL/WILL NOT) IMPACT OFF-SITE WETLANDS, AND PERMITS (ARE/ARE NOT) REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

SUSQUEHANNA TOWNSHIP PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS ___ DAY OF ___, 20__.

RECORDER OF DEEDS

RECORDED IN THE OFFICE FOR RECORDING OF DEEDS, IN AND FOR DAUPHIN COUNTY, PENNSYLVANIA, IN PLAN BOOK _____, PAGE _____, THIS ___ DAY OF ___, A.D. 20__.

DEVELOPER

ADDRESS: ROOP SINGH 813 S. 29TH STREET HARRISBURG, PA 17111

SITE DATA

SITE OWNER: PARAMJIT SINGH & RAVINDER KAUR 4209 CUMBERLAND AVE. HARRISBURG, PA 17110

TAX PARCEL ID: 62-013-142 DEED REFERENCE: INST. 20210032325 DEED AREA: 4.98 ACRES PLAN REFERENCE: PB. H-9, PG. 47

ZONING DATA

R-2, MEDIUM RESIDENTIAL DISTRICT CDO, DESIGNATED GREENWAY AREAS FOR THE CONSERVATION DISTRICT OVERLAY ADJUTING DISTRICT: BOR - BUSINESS / OFFICE / RESIDENTIAL

PERMITTED USE:

Table with columns: MIN. LOT AREA, MIN. LOT WIDTH, MIN. SETBACKS, FRONT YARD, SIDE YARD, REAR YARD, MAX. IMPERV. COV., MAX. BLDG. HEIGHT.

EXISTING ZONING NON-CONFORMITIES

Table with columns: LOT, REQUIRED, PROVIDED. Rows for Lot 2 and Lot 3.

WAIVER REQUESTS

THE FOLLOWING WAIVER OF THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE REQUESTED BY THE APPLICANT:

DAUPHIN COUNTY PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS ___ DAY OF ___, 20__.

SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS APPROVAL

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS ___ DAY OF ___, 20__.

SHEET INDEX

Table with columns: Sheet Number, Sheet Title. Lists sheets 1 through 17 including Cover Sheet, Existing Features Plan, Demolition Plan, etc.

SEQUENCE OF CONSTRUCTION

- 1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED.
2. AT LEAST THREE (3) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1376 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL CLEARLY MARK THE LIMIT OF DISTURBANCE AS SHOWN ON THE PLAN. ORANGE CONSTRUCTION FENCE OR MODERN STAKES WITH FLAG TAPE ARE ADEQUATE FOR FIELD MARKING. ADDITIONALLY, CONTRACTOR SHALL CLEARLY MARK ALL WATERS OF THE COMMONWEALTH.
4. INSTALL ALL SEGMENTS OF COMPOST FILTER SOCK IN THE LOCATIONS SHOWN ON THE PLANS.
5. IMMEDIATELY CONSTRUCT THE TEMPORARY ROCK CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. ALL VEHICLES ENTERING THE SITE SHALL DO SO VIA THE ROCK CONSTRUCTION ENTRANCE. ANY MUD OR SEDIMENT TRACKED ONTO MACADAM ROADWAYS SHALL BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORKING DAY. WASHING OF THE ROADWAY IS NOT PERMITTED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL TRAFFIC CONTROL DEVICES ASSOCIATED WITH THE ACCESS DRIVE THROUGHOUT THE TERM OF CONSTRUCTION ACTIVITIES.
6. CRITICAL STAGE: COMPLETE EXCAVATION OF THE STORMWATER FACILITIES PER THE PCSM PLAN AND DETAILS. INSTALL THE OUTLET STRUCTURES, AVOID COMPACTION AND DO NOT DRIVE OVER THE BASIN BOTTOM AREA WITH HEAVY EQUIPMENT.
7. ROUGH GRADE SITE DRIVEWAY AND MODIFY ROCK CONSTRUCTION ENTRANCE ACCORDING TO THE PROPOSED GRADES.
8. INSTALL ALL STORMWATER COLLECTION AND CONVEYANCE FACILITIES WITHIN THE SITE WORKING FROM DOWNSTREAM TO UPSTREAM. ALL STORM SEWER CONSTRUCTION INCLUDES TRENCHING, BACKFILLING, AND APPLYING FINAL STABILIZATION. INSTALL RIPRAP APRONS AS SHOWN ON THE PLAN.
9. CLEAR AND GRUB THE REMAINING PORTIONS OF THE SITE AND DEMO ITEMS AS REQUIRED. STRIP TOPSOIL AND STOCKPILE AT THE TEMPORARY AREA PROVIDED, SURROUNDING WITH COMPOST FILTER SOCK AND SEED PER TEMPORARY SEEDING SPECIFICATIONS, FERTILIZE AND MULCH. BEGIN BULK EXCAVATION OF THE SITE TO THE REQUIRED GRADES AS SHOWN ON THE PLANS. ANY EXCAVATED SOIL MATERIAL REMOVED FROM THE SITE SHALL ONLY BE PLACED IN AN AREA THAT HAS AN APPROVED EROSION CONTROL PLAN. ENSURE SEDIMENT LADEN RUNOFF IS DIRECTED TO AN APPROPRIATE EROSION CONTROL BMP.
10. PLACE STONE SUBBASE IN AREAS OF PAVING AS SOON AS PRACTICAL TO PREVENT EROSION. EBS MATTING SHALL BE INSTALLED ON DISTURBED SLOPES WHICH ARE 3:1 OR GREATER. CONTRACTOR TO ENSURE SEDIMENT LADEN RUNOFF IS DIRECTED TO AN EBS CONTROL BMP.
11. UPON ACHIEVING FINAL ELEVATIONS, CONSTRUCT BUILDINGS, WHEN CONDITIONS WARRANT, THE FOOTERS AND FOUNDATION WALLS MAY BE BACKFILLED. FILL MATERIAL SHALL BE FREE OF ROOTS, SOD, AND OTHER ORGANIC MATERIAL. FROZEN SOIL, STONES, AND DISCARDED CONSTRUCTION MATERIAL SHALL NOT BE PLACED IN 8" LAYERS, WITH EACH LAYER BEING ROLLED AND COMPACTED PRIOR TO THE NEXT LAYER BEING PLACED. WHEN THE AREA REACHES THE PRESCRIBED ELEVATION, THE SUBBASE SHOULD BE THOROUGHLY ROLLED AND COMPACTED TO ELIMINATE ANY SOFT OR UNSETTLING AREAS.
12. INSTALL PAVEMENT OR CONCRETE TO ALL AREAS INDICATED ON THE PLANS AND APPLY TOPSOIL WITH PERMANENT SEEDING TO ALL AREAS TO REMAIN AS LANDSCAPE OR GRASS. IF NEEDED, IMPORT TOPSOIL AND APPLY THE MINIMUM REQUIRED DEPTH TO ESTABLISH PERMANENT VEGETATION. SEED, FERTILIZE, AND MULCH EXPOSED OR DISTURBED AREAS. THE CONTRACTOR SHALL REMOVE TEMPORARY INLET PROTECTION AND FLUSH ALL STORM SEWER PIPES AFTER THE SITE IS COMPLETELY STABILIZED.
13. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, REMOVAL OF ALL TEMPORARY BMPs, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE DAUPHIN COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION. PROPER DISPOSAL AND/OR RECYCLING OF THE BMPs IS REQUIRED BY THE SITE CONTRACTOR.
* STABILIZATION/PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
**IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

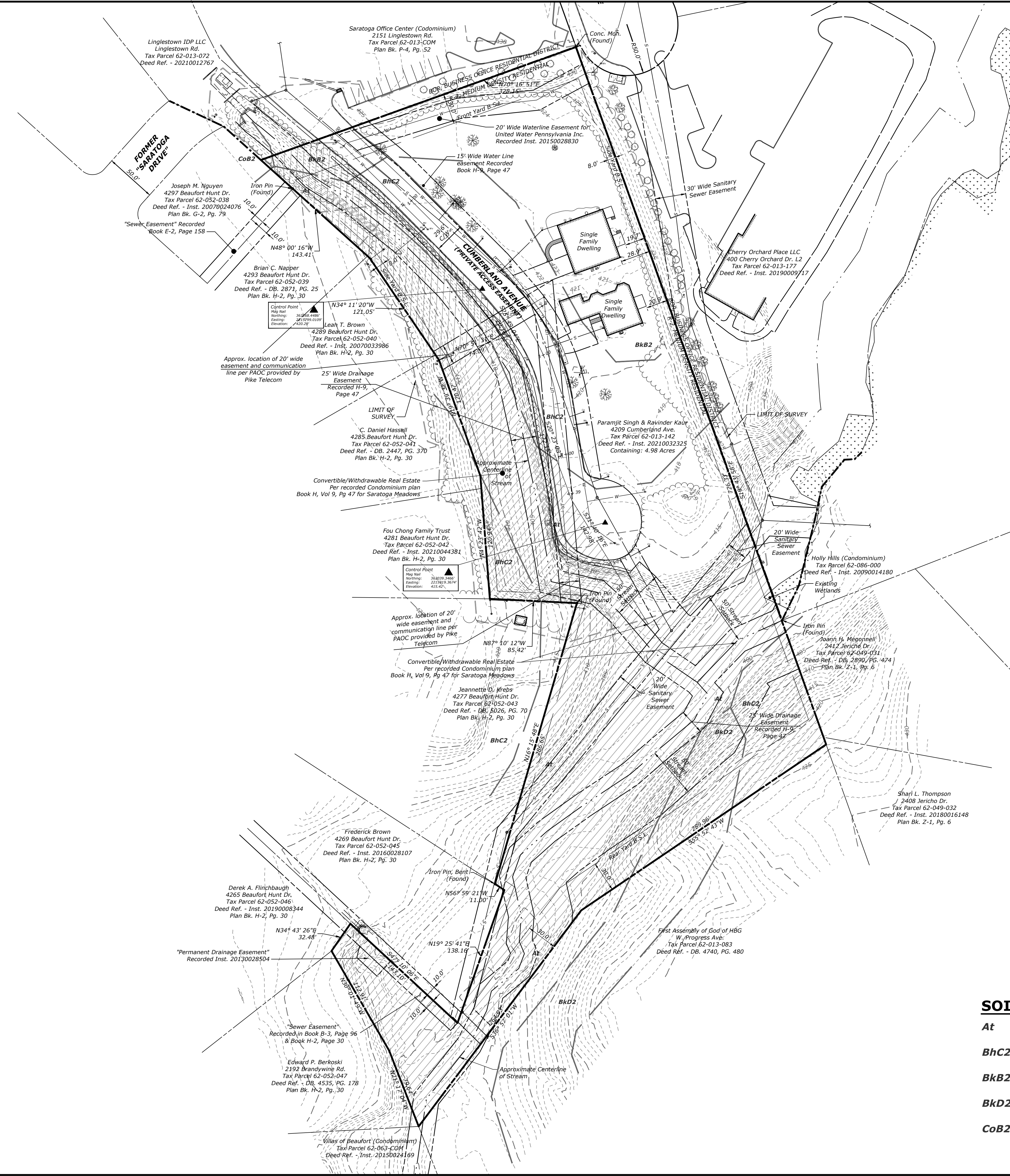
GENERAL NOTES

- 1. THE PURPOSE OF THIS PLAN IS FOR THE SUBDIVISION OF EXISTING PROPERTY AND THE CONSTRUCTION OF THREE (3) SINGLE FAMILY HOMES WITH ASSOCIATED SITE IMPROVEMENTS, GRADING, UTILITY CONNECTIONS, AND OTHER ASSOCIATED IMPROVEMENTS.
2. THE EXISTING SITE FEATURES, TOPOGRAPHY AND PROPERTY BOUNDARY LINES SHOWN HEREON ARE OBTAINED FROM A DRAWING OF SURVEY INFORMATION PRODUCED BY KUROWSKI & WILSON, LLC. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITY LINES PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. KUROWSKI AND WILSON, LLC ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND UTILITIES AS DEPICTED HEREON. ANY REQUEST FOR ADDITIONAL UTILITY INFORMATION SHOULD BE DIRECTED TO THAT RESPECTIVE UTILITY COMPANY.
3. PUBLIC WATER TO BE PROVIDED BY VEOLIA WATER.
4. PUBLIC SEWER TO BE PROVIDED BY SUSQUEHANNA TOWNSHIP.
5. THE SITE DEVELOPMENT WILL COMPLY WITH ALL APPLICABLE TOWNSHIP ORDINANCES IN EFFECT AT THE TIME OF THIS LAND DEVELOPMENT PLAN SUBMISSION.
6. ALL CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 & 72 STANDARDS AND ALL APPLICABLE SUSQUEHANNA TOWNSHIP ORDINANCES.
7. ALL PAVEMENT MARKINGS OTHER THAN PARKING SPACE LINES SHALL BE HOT THERMOPLASTIC. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS.
8. AN OPERATION AND MAINTENANCE AGREEMENT WITH SUSQUEHANNA TOWNSHIP MUST BE COMPLETED.
9. ANTICIPATED CONSTRUCTION SCHEDULE (NO PHASING): APRIL 2024-MAY 2024
10. THERE ARE NO NON EXISTING COVENANTS FOR THE SUBJECT TRACT.
11. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE SUSQUEHANNA TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
12. SITE DISTURBANCE IS PERMITTED TO START ONLY IF AND WHEN SUFFICIENT TIMES IS AVAILABLE TO STABILIZE DISTURBED AREAS IN ACCORDANCE WITH PADEP REQUIREMENTS AND WITH THE APPROVED PLAN.
13. A SMALL AREA OF WETLANDS EXISTS TO THE SOUTH EAST OF THE PROPOSED LOTS, AS WELL AS RIVERINE WETLANDS EXIST ALONG THE STREAM. NO WETLAND AREA WILL BE DISTURBED OR AFFECTED AS PART OF THIS PLAN.
14. NO PORTIONS OF THE SITE LIES WITHIN THE 100 YEAR FLOODPLAIN AS DEFINED BY F.E.M.A. MAPPING.
15. EROSION AND SEDIMENTATION CONTROL ARE INCORPORATED FOR REFERENCE.
16. ALL TRASH PICK UP WILL BE COORDINATED WITH LOCAL TRASH REMOVAL COMPANY.
17. A PENNDOT HOP PERMIT IS NOT REQUIRED.
18. ALL ADDRESSES SHALL BE ASSIGNED IN ACCORDANCE WITH SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE §22-111.
19. THE OPERATION AND MAINTENANCE AGREEMENT IS CONSIDERED PART OF THIS PLAN SET.
20. CUMBERLAND AVENUE WILL REMAIN A PRIVATE ACCESS DRIVE PER THE RECORDED PLAN H-9, PAGE 47 AND NOT DEDICATED AS RIGHT-OF-WAY.
21. A HOME OWNER'S ASSOCIATION WILL BE CREATED AS PART OF THIS PLANS AND RESPONSIBLE FOR OPERATIONS AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES AND CONVEYANCE SYSTEMS.
22. PROPOSED PROPERTY MARKERS AND/OR MONUMENTS SHALL BE INSTALLED AND INSPECTED BY THE TOWNSHIP ENGINEER PRIOR TO RECORDING OF THE PLAN.
23. RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF FINANCIAL SECURITY.
24. SUSQUEHANNA TOWNSHIP SHALL BE NOTIFIED 24 HOURS PRIOR TO INFILTRATION TESTING BEING CONDUCTED.
25. NOTHING SHALL BE PLANTED OR PLACED WITHIN ANY EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT.
26. SUSQUEHANNA TOWNSHIP OR ITS DESIGNEE'S SHALL HAVE ACCESS TO ALL EASEMENTS VIA THE NEAREST PUBLIC RIGHT-OF-WAY.

Table with columns: IMPERVIOUS AREAS, Existing Conditions, Proposed Conditions. Rows for Lot 1-5 and Remaining Lands.

Table with columns: SUBSURFACE INFILTRATION BASINS / BEDS, OPERATION & MAINTENANCE PROCEDURES, ACTIVITY, SCHEDULE.

Table with columns: STORMWATER COLLECTION/CONVEYANCE, OPERATION & MAINTENANCE PROCEDURES, ACTIVITY, SCHEDULE.



LEGEND

EXISTING FEATURES

- EDGE OF PAVED BITUMINOUS SURFACE
- EDGE OF GRAVEL OR CRUSHED STONE SURFACE
- EDGE OF ROADWAY SHOULDER
- CENTER LINE
- PROPERTY BOUNDARY LINE
- ZONING DISTRICT BOUNDARY LINE
- IRON PIN OR PIPE
- CONCRETE MONUMENT
- FENCE POST
- ADJOINING PROPERTY BOUNDARY LINE
- EASEMENT LINE
- LEGAL RIGHT OF WAY LINE
- MINIMUM BUILDING SETBACK LINE
- EDGE OF EXISTING SURFACE WATERCOURSE
- INDEX CONTOUR LINE
- 420
- 421
- INTERMEDIATE CONTOUR LINE
- BUILDING
- CONCRETE SURFACE
- CURB
- MANHOLE
- UTILITY POLE
- GUY WIRE
- LIGHT STANDARD OR LAMPOST
- BOLLARD
- ELECTRIC METER
- ELECTRIC BOX
- TELEPHONE BOX
- CABLE TV BOX
- UNDERGROUND TELECOM LINES
- DOWNSPOUT
- DRAINAGE PIPE
- DRAINAGE INLET
- UNDERGROUND NATURAL GAS LINE
- GAS VALVE
- GAS METER
- TREELINE
- WALL
- SANITARY SEWER GRAVITY LINE
- SANITARY SEWER CLEANOUT
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- WATER LINE MARKER
- WETLAND
- MAILBOX
- SIGN
- SOIL TYPE BOUNDARY LINE

SURVEY NOTES

- THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY K&W ENGINEERS AND CONSULTANTS, COMPLETED IN MAY, 2023.
- PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND, CURRENT DEEDS OF RECORD, AND THE FOLLOWING PLAN(S):
PB, B-3, PG. 96
PB, H-9, PG. 47
PB, G-2, PG. 79
- "LOT A" AS SHOWN ON A FINAL SUBDIVISION PLAN PREPARED FOR BEAUFORT EAST DEVELOPMENT CORP., BY VARTAN ASSOCIATES, INC., DATED 1978, RECORDED IN PLAN BOOK B-3, PAGE 96.
- CONTOURS AND ELEVATIONS ARE BASED ON NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND LIMITED PA ONE-CALL MARKINGS EVIDENT AT THE TIME OF THE FIELD SURVEY. PA ONE-CALL SERIAL NO. 20231294392 WAS ASSIGNED ON MAY 9, 2023.
- SOME UTILITIES AND UNDERGROUND PIPE LOCATIONS COULD NOT BE VERIFIED AND FURTHER INVESTIGATION IS REQUIRED.
- THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR SUSQUEHANNA TOWNSHIP, COMMUNITY PANEL NO. 420397, MAP NO. FM42043C03300, EFFECTIVE DATE AUGUST 2, 2012.
- "PROPOSED ACCESS DRIVE (30")", AS SHOWN IN PB, H-9, PG. 47, IS A PRIVATE ACCESS EASEMENT FOR THE SARATOGA MEADOWS DEVELOPMENT, AND IS INTENDED TO FOLLOW THE FULL WIDTH OF THE ACCESS DRIVE. A 30' WIDE UTILITY ACCESS EASEMENT IS

SOILS INFORMATION

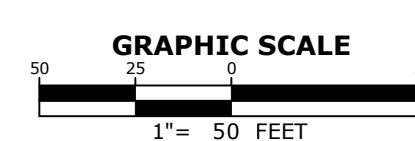
At ATKINS SILT LOAM, [HYDROLOGIC GROUP B/D]

BhC2 BERKS CHANNERY SILT LOAM, 8 TO 15 PERCENT SLOPES [HYDROLOGIC GROUP B]

BkB2 BERKS SHALY SILT LOAM, 3 TO 8 PERCENT SLOPES [HYDROLOGIC GROUP B]

BkD2 BERKS CHANNERY SILT LOAM, 15 TO 25 PERCENT SLOPES [HYDROLOGIC GROUP B]

CoB2 COMLY SILT LOAM, 2 TO 8 PERCENT SLOPES [HYDROLOGIC GROUP C]



DESIGNING ENVIRONMENTS
2201 North Front Street, Suite 200
Harrisburg, PA 17110
P: 717.635.2835
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SUBDIVISION/PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT

FOR

CHRIS DAWSON ARCHITECTS

SUSQUEHANNA TOWNSHIP

DAUPHIN COUNTY, PA

NO.	DATE	DESCRIPTION
1	10/31/2023	REVISED PER COMMENT LETTERS
2	02/20/2024	REVISION TO REMOVE LOT 6
3		
4		
5		
6		
7		

SCALE: AS SHOWN
DATE: SEPTEMBER 1, 2023
K&W PROJECT: 2160.016
DRAWN BY: PKS
CAD DRAWING: 2160016-9_M EXIF.dwg

PLAN TYPE: **EXISTING FEATURES PLAN**

SHEET: **2 OF 17**



LEGEND

EXISTING FEATURES

- EDGE OF PAVED BITUMINOUS SURFACE
- EDGE OF GRAVEL OR CRUSHED STONE SURFACE
- EDGE OF ROADWAY SHOULDER
- CENTER LINE
- PROPERTY BOUNDARY LINE
- ZONING DISTRICT BOUNDARY LINE
- IRON PIN OR PIPE
- CONCRETE MONUMENT
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SUBDIVISION/PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT

FOR

CHRIS DAWSON ARCHITECTS

SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PA



PROFESSIONAL SEAL

SCALE: AS SHOWN

DATE: SEPTEMBER 1, 2023

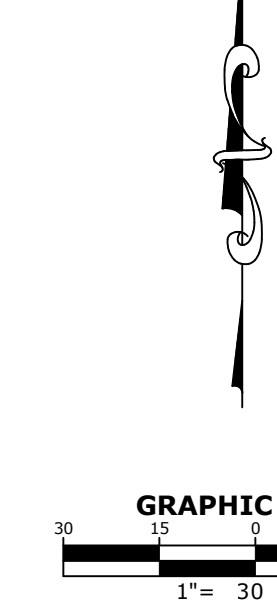
K&W PROJECT: 2160.016

DRAWN BY: PKS

CAD DRAWING: 2160016-9_M_EUP.dwg

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7		

PLAN TYPE: **EXISTING FEATURES PLAN**





LEGEND

DEMOLITION FEATURES

--- PROPOSED SAWCUT

TBD DENOTES A FEATURE TO BE DEMOLISHED

EX BITUMINOUS PAVEMENT SURFACE TO BE REMOVED

- DEMOLITION NOTES**
- ALL FEATURES IN BOLD PRINT AND SO LABELED SHALL BE DEMOLISHED, REMOVED, OR RELOCATED AS INDICATED.
 - ITEMS LABELED TO BE REMOVED BY OTHERS WILL BE RELOCATED AND/OR DEMOLISHED BY THE OWNER OR A CONTRACTOR HIRED BY THE OWNER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK TO BE PERFORMED BY OTHERS.
 - ALL EXISTING UTILITY LIDS (MANHOLE, CLEANOUTS, VALVE COVERS, ETC.) AND ASSOCIATED APPURTENANCES TO REMAIN SHALL BE BROUGHT TO FINAL FINISHED GRADE AS PART OF CONSTRUCTION.



K&W
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4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT

FOR

CHRIS DAWSON ARCHITECTS

COMMONWEALTH OF PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER

J. MARC KUROWSKI

ENGINEER No. 053032-E

PROFESSIONAL SEAL

SCALE: AS SHOWN

DATE: SEPTEMBER 1, 2023

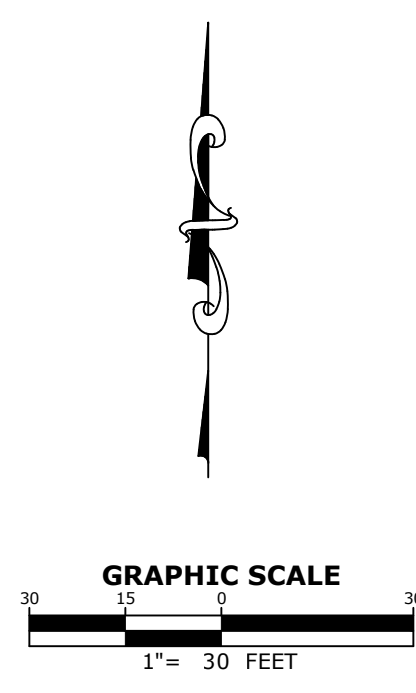
K&W PROJECT: 2160.016

DRAWN BY: PKS

CAD DRAWING: 2160016-C-16 DEMO.dwg

NO.	DATE	DESCRIPTION
1	10/31/2023	REVISED PER COMMENT LETTERS
2	02/20/2024	REVISION TO REMOVE LOT 6
3		
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6		
7		

PLAN TYPE: **DEMOLITION PLAN**



LEGEND

----- PROPERTY LINE

--- BUILDING SETBACK

● IRON PIN

○ PROPERTY CORNER MARKER

K&W

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FOR

CHRIS DAWSON ARCHITECTS

COMMONWEALTH OF PENNSYLVANIA

REGISTERED PROFESSIONAL ENGINEER

J. MARC KUROWSKI

No. 053032-E

SCALE: AS SHOWN

DATE: SEPTEMBER 1, 2023

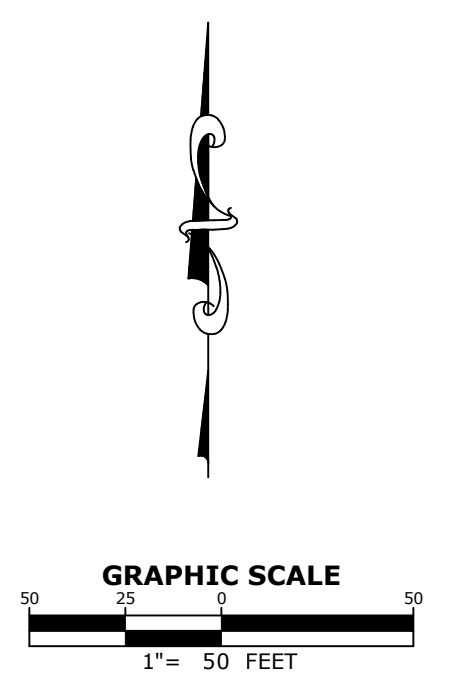
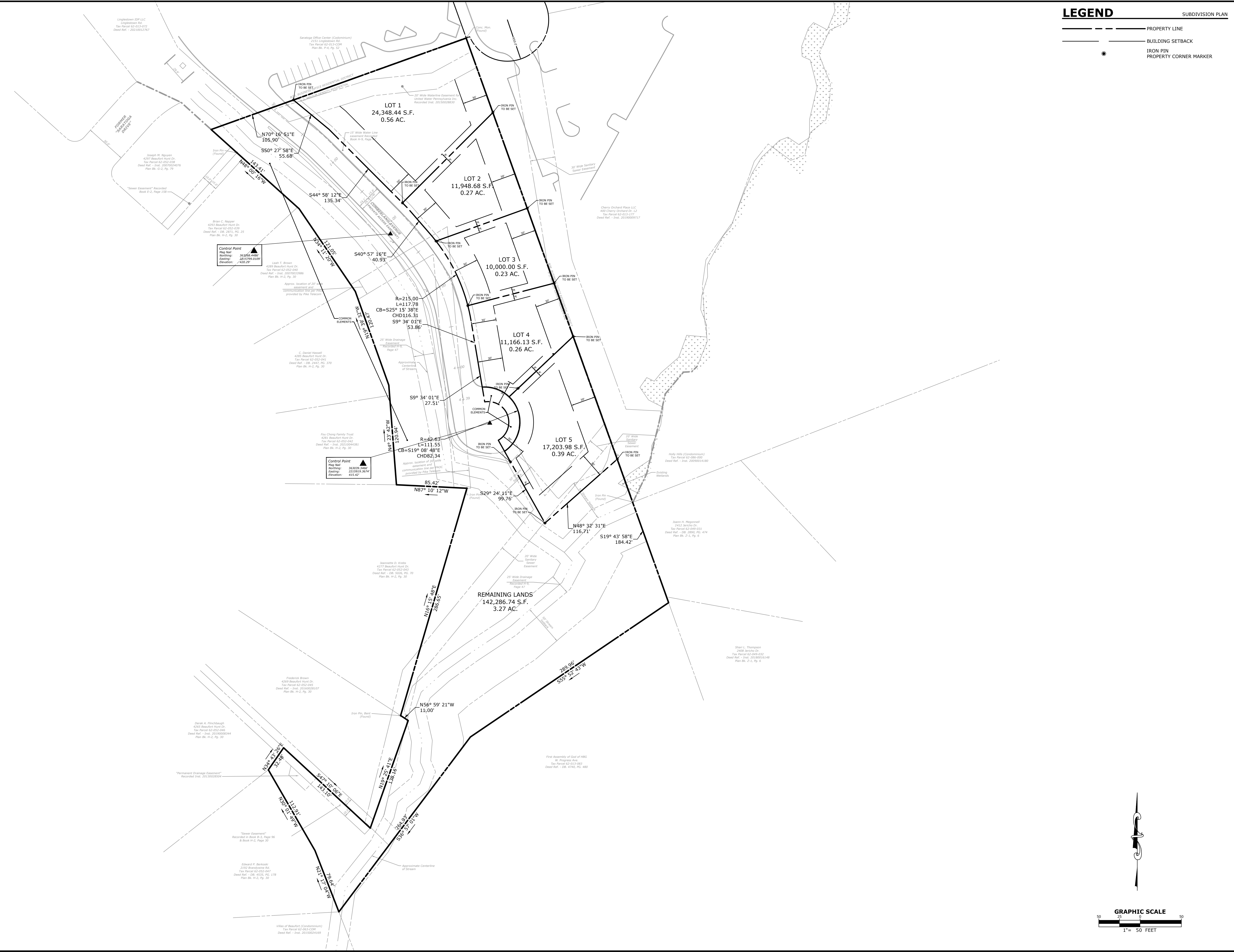
K&W PROJECT: 2160.016

DRAWN BY: PK5

CAD DRAWING: 2160016-C-16 SUB.dwg

NO.	DATE	DESCRIPTION
1	10/31/2023	REVISED PER COMMENT LETTERS
2	02/20/2024	REVISION TO REMOVE LOT 6
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OVERALL SUBDIVISION PLAN



P:\2023\216016-C-16 SUB.dwg - 4209 Cumberland Ave Residential Final Subdivision Plan.dwg (2/20/24) 2:58:44 PM 11/15/2023 10:58:44 AM

LEGEND

----- PROPERTY LINE

----- BUILDING SETBACK

● IRON PIN

○ PROPERTY CORNER MARKER

K&W
DESIGNING ENVIRONMENTS
2201 North Front Street, Suite 200
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SUBDIVISION/PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT

FOR

CHRIS DAWSON ARCHITECTS

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL ENGINEER
J. MARC KUROWSKI
No. 053032-E

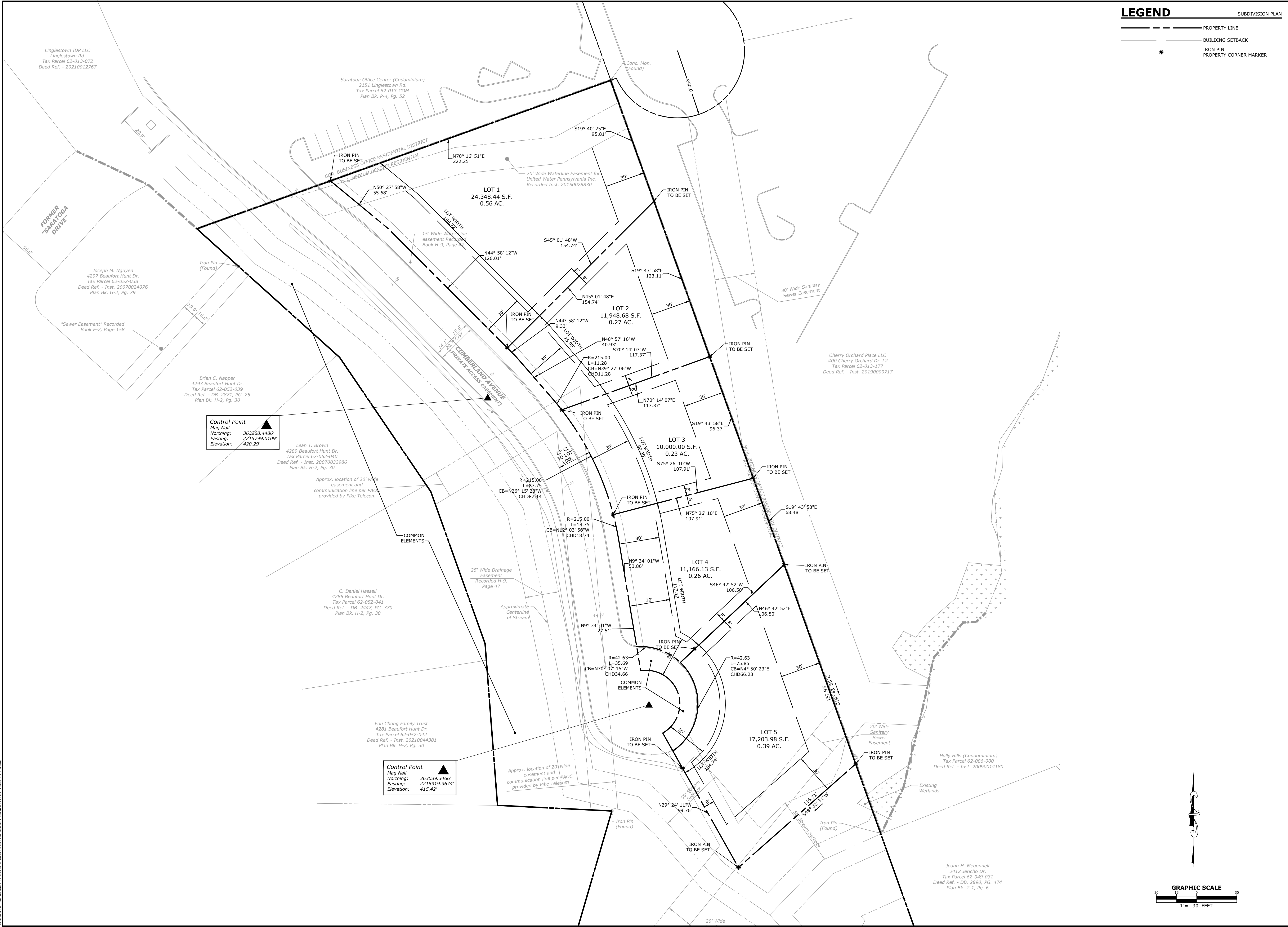
PROFESSIONAL SEAL

SCALE:	AS SHOWN
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K&W PROJECT:	2160.016
DRAWN BY:	PKS
CAD DRAWING:	2160016-C-16 SUB.dwg

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PLAN TYPE:
SUBDIVISION PLAN

SHEET:
6 OF 17



Control Point
Mag Nail
Northing: 363268.4486'
Easting: 2215799.0109'
Elevation: 420.29'

Control Point
Mag Nail
Northing: 363039.3466'
Easting: 2215919.3674'
Elevation: 415.42'

GRAPHIC SCALE

1" = 30 FEET



LEGEND PROPOSED SITE FEATURES

- BUILDING
- CONCRETE SURFACE
- EDGE OF BITUMINOUS PAVEMENT
- STANDARD DUTY PAVEMENT
- PROPERTY LINE
- BUILDING SETBACK
- IRON PIN PROPERTY CORNER MARKER
- WALL

- SITE PLAN NOTES**
- MAXIMUM SIDEWALK CROSS SLOPE = 2%.
 - DRIVEWAYS SHALL NOT EXCEED 20 FEET IN WIDTH.

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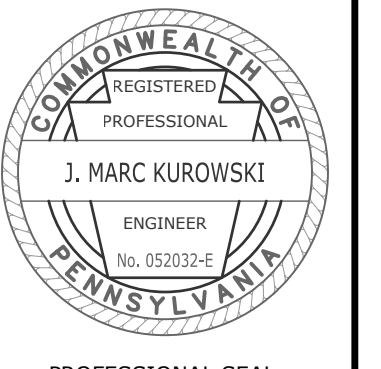
SUBDIVISION/PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT

FOR

CHRIS DAWSON ARCHITECTS

SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PA

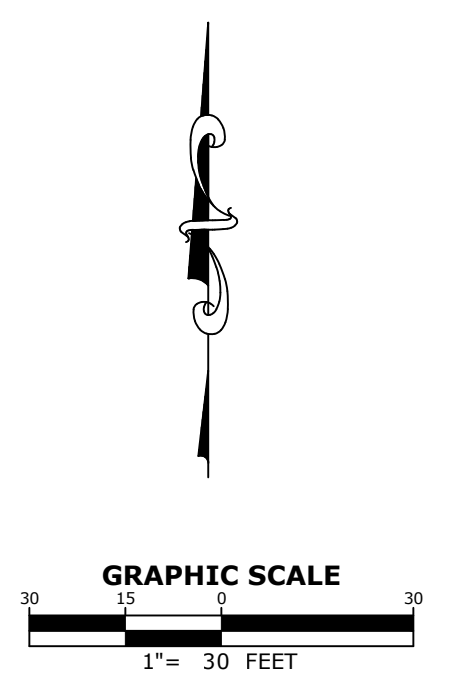


PROFESSIONAL SEAL
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DRAWN BY: PKS
CAD DRAWING: 2160016-D_16 SITE.dwg

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PLAN TYPE: **SITE PLAN**

SHEET: **7 OF 17**





PROFESSIONAL SEAL
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PLAN TYPE:
GRADING PLAN

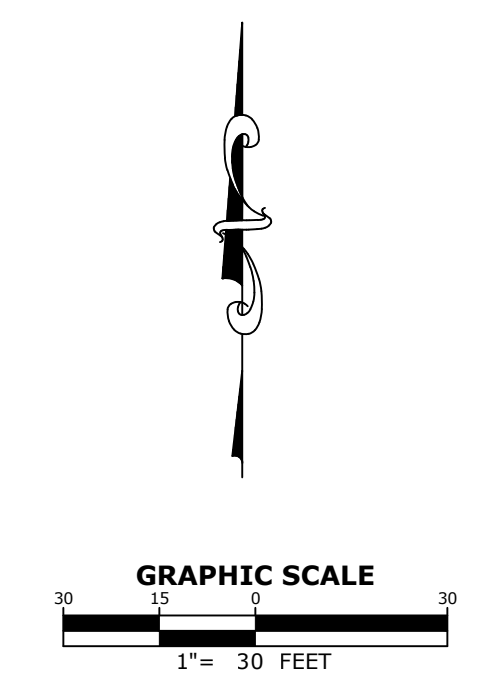
- LEGEND**
- PROPOSED GRADING FEATURES
 - 421 INTERMEDIATE CONTOUR LINES
 - 420 INDEX CONTOUR LINES
 - 422.53 SPOT ELEVATIONS
 - 2.00% SLOPE OR GRADE LABEL
 - TEST PIT
 - SPOT LABEL ABBREVIATIONS:
TC TOP OF CURB
BC BOTTOM OF CURB
 - LIMIT OF DISTURBANCE

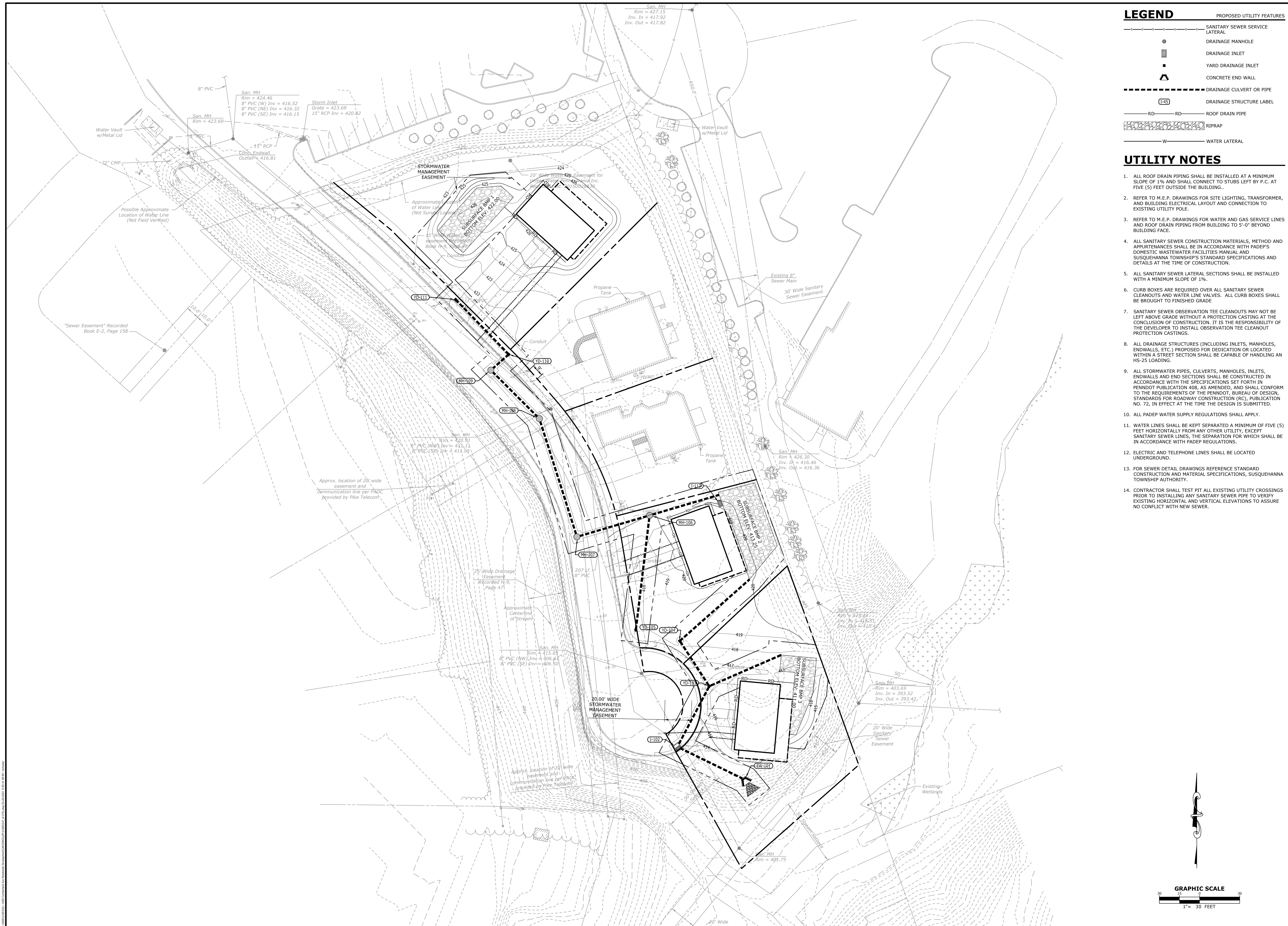
- GRADING NOTES**
- POSITIVE DRAINAGE SHALL BE PROVIDED ACROSS THE ENTIRE PROJECT AREA AND DIRECTED TOWARDS EXISTING AND PROPOSED DRAINAGE FACILITIES.



TEST LOCATION	APPROXIMATE SURFACE ELEVATION (FT)	ACTUAL TEST ELEVATION (FT)	LIMITING ZONES	INFILTRATION RATE (IN/HR)*
IT-1A	423.50	423.00	Bedrock @ 420.00	0.51**
IT-1B	423.50	422.00	Bedrock @ 420.50	0.34**
IT-2A	423.50	423.50	No Limiting Zones @ 411.75	0.17**
IT-2B	423.50	422.50	No Limiting Zones @ 411.75	0.00**
IT-3A	418.75	414.75	Bedrock @ 417.00	6.35**
IT-3B	418.75	413.75	Bedrock @ 417.00	6.79**
IT-4A	418.50	No Infiltration Testing Completed Due to Bedrock @ 417.00 Feet		
IT-4B	418.50	No Infiltration Testing Completed Due to Bedrock @ 417.50 Feet		
IT-5A	415.00	411.00	No Limiting Zones @ 408.00	0.69**
IT-5B	415.00	410.00	No Limiting Zones @ 408.00	0.81**

* - Field infiltration rates do not include a safety factor for design purposes
 ** - Percolation tests completed due to soil conditions; rates include a reduction factor





LEGEND PROPOSED UTILITY FEATURES

- SANITARY SEWER SERVICE LATERAL
- DRAINAGE MANHOLE
- DRAINAGE INLET
- YARD DRAINAGE INLET
- CONCRETE END WALL
- DRAINAGE CULVERT OR PIPE
- DRAINAGE STRUCTURE LABEL
- ROOF DRAIN PIPE
- RIPRAP
- WATER LATERAL

- UTILITY NOTES**
- ALL ROOF DRAIN PIPING SHALL BE INSTALLED AT A MINIMUM SLOPE OF 1% AND SHALL CONNECT TO STUBS LEFT BY P.C. AT FIVE (5) FEET OUTSIDE THE BUILDING.
 - REFER TO M.E.P. DRAWINGS FOR SITE LIGHTING, TRANSFORMER, AND BUILDING ELECTRICAL LAYOUT AND CONNECTION TO EXISTING UTILITY POLE.
 - REFER TO M.E.P. DRAWINGS FOR WATER AND GAS SERVICE LINES AND ROOF DRAIN PIPING FROM BUILDING TO 5'-0" BEYOND BUILDING FACE.
 - ALL SANITARY SEWER CONSTRUCTION MATERIALS, METHOD AND APPURTENANCES SHALL BE IN ACCORDANCE WITH PADEP'S DOMESTIC WASTEWATER FACILITIES MANUAL AND SUSQUEHANNA TOWNSHIP'S STANDARD SPECIFICATIONS AND DETAILS AT THE TIME OF CONSTRUCTION.
 - ALL SANITARY SEWER LATERAL SECTIONS SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1%.
 - CURB BOXES ARE REQUIRED OVER ALL SANITARY SEWER CLEANOUTS AND WATER LINE VALVES. ALL CURB BOXES SHALL BE BROUGHT TO FINISHED GRADE.
 - SANITARY SEWER OBSERVATION TEE CLEANOUTS MAY NOT BE LEFT ABOVE GRADE WITHOUT A PROTECTION CASTING AT THE CONCLUSION OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL OBSERVATION TEE CLEANOUT PROTECTION CASTINGS.
 - ALL DRAINAGE STRUCTURES (INCLUDING INLETS, MANHOLES, ENDWALLS, ETC.) PROPOSED FOR DEDICATION OR LOCATED WITHIN A STREET SECTION SHALL BE CAPABLE OF HANDLING AN HS-25 LOADING.
 - ALL STORMWATER PIPES, CULVERTS, MANHOLES, INLETS, ENDWALLS AND END SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN PENNDOT PUBLICATION 408, AS AMENDED, AND SHALL CONFORM TO THE REQUIREMENTS OF THE PENNDOT, BUREAU OF DESIGN, STANDARDS FOR ROADWAY CONSTRUCTION (RC), PUBLICATION NO. 72, IN EFFECT AT THE TIME THE DESIGN IS SUBMITTED.
 - ALL PADEP WATER SUPPLY REGULATIONS SHALL APPLY.
 - WATER LINES SHALL BE KEPT SEPARATED A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM ANY OTHER UTILITY, EXCEPT SANITARY SEWER LINES, THE SEPARATION FOR WHICH SHALL BE IN ACCORDANCE WITH PADEP REGULATIONS.
 - ELECTRIC AND TELEPHONE LINES SHALL BE LOCATED UNDERGROUND.
 - FOR SEWER DETAIL DRAWINGS REFERENCE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS, SUSQUEHANNA TOWNSHIP AUTHORITY.
 - CONTRACTOR SHALL TEST PIT ALL EXISTING UTILITY CROSSINGS PRIOR TO INSTALLING ANY SANITARY SEWER PIPE TO VERIFY EXISTING HORIZONTAL AND VERTICAL ELEVATIONS TO ASSURE NO CONFLICT WITH NEW SEWER.



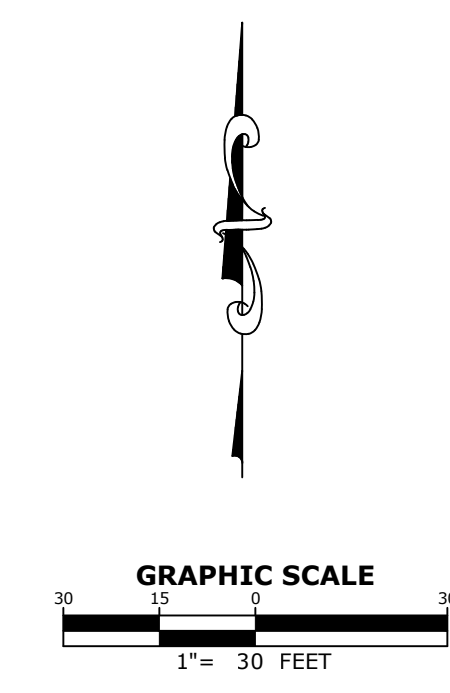
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4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT
 FOR
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PLAN TYPE:
UTILITY PLAN





PLANT SCHEDULE

STREET TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
Jz	ZELKOVA SERRATA/ JAPANESE ZELKOVA	5	1 1/2" CAL.	B&B
Sm	ACER 'JFS-KW249'/ RUBY SUNSET MAPLE	5	1 1/2" CAL.	B&B

BUFFER TREES

SYMBOL	BOTANICAL NAME/ COMMON PLANT NAME	QUANTITY	SIZE	ROOT
Ns	PICEA ABIES/ NORWAY SPRUCE	4	6' HT.	B&B
Ro	QUERCUS RUBRA RED OAK	3	1 1/2" CAL.	B&B

LEGEND

PROPOSED LANDSCAPE PLAN FEATURES

- DECIDUOUS STREET TREE
- EVERGREEN TREE
- PLANTING LABEL

LANDSCAPE NOTES

SITE PREPARATION

- PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS. CONTACT PA-1-CALL 1-800-242-1776 AT A MINIMUM OF THREE WORKING DAYS PRIOR TO COMMENCEMENT OF WORK.
- PROVIDE EROSION CONTROL MEASURE TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING WATER RUN-OFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
- ALL TREE AND SHRUB REMOVAL AS SHOWN ON THE DEMOLITION PLAN SHALL HAVE ALL STUMPS AND ROOTS REMOVED BY MEANS OF STUMP GRINDING AND/OR BACKHOE. ALL BIODEGRADABLE PLANT MATERIAL FROM THE REMOVAL PROCESS SHALL BE COLLECTED AND REMOVED FROM THE SITE.

PLANT BED ESTABLISHMENT

- CONTRACTOR TO CONFIRM EXISTING TOPSOIL DEPTH AND SHALL FURNISH SOIL ANALYSIS BY QUALIFIED LAB STATING PERCENTAGES OF ORGANIC MATTER, GRADUATION OF SAND, SILT AND CLAY CONTENT, DELETERIOUS MATERIAL, PH AND MINERAL AND PLANT-NUTRIENT content of topsoil. Contractor to provide data at a minimum of 5 different planting areas. Contractor to SUBMIT EXISTING TOPSOIL DEPTH AND RECOMMENDED QUANTITIES OF NITROGEN, PHOSPHORUS AND POTASH INGREDIENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL TO LANDSCAPE ARCHITECT FOR APPROVAL.
- TOPSOIL SHALL HAVE ACIDITY RANGE OF PH 5.0 TO PH 7.0 AND AN ORGANIC CONTENT OF AT LEAST 3-4%. MINIMUM TOPSOIL DEPTH IN PLANTING BEDS SHALL BE 12" BUT 18" IS RECOMMENDED. ADDITIONAL TOPSOIL SHALL BE ADDED WHEN POSSIBLE.
- APPLY APPROVED SOIL AMENDMENTS AND FERTILIZER ON SURFACE AND THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BACKFILL.
- LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECTS ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.

PLANT MATERIAL

- FURNISH NURSERY-GROWN TREES COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK-FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALE, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- PROVIDE TREES OF SIZES AND GRADES COMPLYING WITH ANSI Z60.1 FOR THE TYPE OF TREES REQUIRED. TREES OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF TREES IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.

CLEANUP AND PROTECTION

- DURING EXTERIOR PLANTING, KEEP ADJACENT PAVING AND CONSTRUCTION CLEAN AND WORK AREA IN AN ORDERLY CONDITION.
- PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.

DISPOSAL

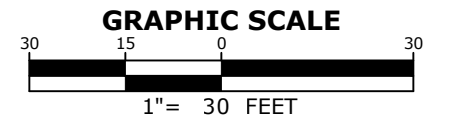
- REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

WARRANTY

- WARRANT THE FOLLOWING EXTERIOR PLANTS FOR THE WARRANTY PERIOD INDICATED IN THE SPECIFICATIONS, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. WARRANTY PERIODS FOR ALL PLANT MATERIAL AND SOD: ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- REMOVE DEAD EXTERIOR PLANTS IMMEDIATELY. REPLACE IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON.
- REPLACE EXTERIOR PLANTS THAT ARE MORE THAN 25 PERCENT DEAD OR IN AN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.
- A LIMIT OF ONE REPLACEMENT OF EACH EXTERIOR PLANT WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.

MISC. PLANTING NOTES

- ALL PLANTING MATERIAL TO BE INSTALLED AS PER SIZE INDICATED ON PLANT SCHEDULE.
- ANY SUBSTITUTIONS THAT MAY BE REQUIRED SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIAL.
- ALL PLANTINGS AND PLANTING PROCEDURES SHALL CONFORM TO GOOD NURSERY AND LANDSCAPE PRACTICE AND THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PRIOR TO COMMENCEMENT OF WORK ALL UTILITIES BOTH ABOVE AND BELOW GROUND SHALL BE LOCATED THROUGH THE PA 1CALL SYSTEM AND/OR THE GENERAL CONTRACTOR ON SITE. IF ANY CONFLICTS DO OCCUR THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR RELOCATION.
- CONTRACTOR TO VERIFY ALL PLANT COUNTS AND LOCATIONS PRIOR TO ORDERING MATERIAL. K&W AND THE OWNER ACCEPT NO RESPONSIBILITY FOR TYPOGRAPHICAL ERRORS AND MISCOUNTS.
- ALL PLANTINGS SHALL HAVE WATER RETAINING CRYSTALS SUCH AS TERRASORB, OR APPROVED EQUAL, INCORPORATED INTO PLANTING SOIL AS RECOMMENDED BY MANUFACTURER.
- ANY PLANT NOT INCLUDED IN A PLANTING BED SHALL HAVE A MULCHED CIRCLE. THE SIZE OF THE MULCHED CIRCLE SHALL BE DETERMINED ACCORDING TO THE OVERALL PLANT SIZE OR CALIPER. CONSULT THE LANDSCAPE ARCHITECT FOR CLARIFICATION IF REQUIRED.
- EACH PLANT SHALL BE PLANTED SUCH THAT THE ROOT FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT, AT ANY TIME, COVER THE ROOTBALL WITH TOPSOIL BACKFILL.
- THE TOPSOIL BACKFILL SHALL BE FIRMLY TAMPED, COMPARABLE TO FOOT PRESSURE, IN 3" LIFTS TO STABILIZE THE ROOT BALL AND TO PREVENT AIR POCKETS.
- WATER ALL PLANTINGS INDIVIDUALLY WITH AN OPEN ENDED GARDEN HOSE SUBSEQUENT TO INSTALLATION. DO NOT USE MECHANICAL SPRINKLERS TO WATER PLANTINGS.
- STREET TREES SHALL BE LOCATED SIX (6) FEET FROM EDGE OF ADJACENT SIDEWALK OR CURB UNLESS OTHERWISE DEPICTED.



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4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT
 FOR
CHRIS DAWSON ARCHITECTS
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PA



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PLAN TYPE:
LANDSCAPE PLAN

SHEET:
10 OF 17



LEGEND PROPOSED E&S CONTROL PLAN FEATURES

- LIMIT OF DISTURBANCE
- STABILIZED ROCK CONSTRUCTION ENTRANCE
- EROSION PREVENTION MATTING
- SOIL MATERIAL STOCKPILE
- SILT SOCKS
- INLET PROTECTION

SOIL LIMITATION RESOLUTIONS

1. **SLOPES** - EXCAVATIONS SHOULD BE STABILIZED TO PREVENT EROSION AND CONTRACTOR SHOULD EMPLOY PROPER CONSTRUCTION TECHNIQUES TO ENSURE SAFETY ON STEEP SLOPE AREAS.
2. **DEPTH OF ROCK** - IF BEDROCK IS ENCOUNTERED, REMOVE AS NECESSARY IN ACCORDING WITH PROJECT SPECIFICATIONS.
3. **FROST ACTION** - CONTRACTOR SHALL CONSULT PROJECT GEOTECHNICAL ENGINEER/INSPECTOR REGARDING ANY SPECIAL MEASURES TO BE TAKEN FOR EARTHWORK WHICH IS TO OCCUR DURING PERIODS OF FROST.
4. **SOIL pH LEVELS** - CONTRACTOR SHALL HAVE SOIL pH TESTED TO DETERMINE CORRECT FERTILIZER APPLICATION RATES.
5. **FLOODING POTENTIAL** - ENSURE THAT THE SITE HAS PROPER DRAINAGE.
6. **HIGH GROUNDWATER LEVEL** - CONTRACTOR SHALL EMPLOY DEWATERING TECHNIQUES AS APPROVED BY THE CONSERVATION DISTRICT. PUMPED WATER FILTER BAGS SHALL BE USED TO DEWATER UTILITY TRENCHES AND BELOW GRADE EXCAVATIONS.
7. **EROSION** - ANY EROSION THAT OCCURS THAT CAN NOT BE ADDRESSED BY MEASURES FOUND IN THE PLANS THE CONTRACTOR SHALL CONTACT THE SITE DESIGN ENGINEER AND THE CONSERVATION DISTRICT.
8. **Basin Areas and Embankments** - FILL FOR BASIN EMBANKMENTS SHALL BE COMPACTED IN 8" LIFTS TO 98% MAXIMUM DRY DENSITY (STANDARD PROCTOR) ±2% MOISTURE CONTENT PER ASTM D-1557. ANTI-SEEP COLLARS SHALL BE INSTALLED ON A BASIN DISCHARGE PIPING TO PREVENT SEEPAGE OF WATER FROM THE BASIN. CONSULT WITH SITE DESIGN ENGINEER FOR THE SPECIFIC ANTI-SEEP COLLAR SIZE REQUIREMENTS.

GENERAL E&S NOTES

1. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE DAUPHIN COUNTY CONSERVATION DISTRICT.
2. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
3. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
4. SPECIAL CARE SHALL BE TAKEN TO PREVENT SEDIMENT LADEN STORMWATER FROM ENTERING ALL STORMWATER MANAGEMENT AND CONVEYANCE FACILITIES UNTIL THE SITE HAS BEEN PROPERLY STABILIZED.
5. ANY SITES TO BE UNDISTURBED FOR LONGER THAN THREE DAYS SHALL BE TEMPORARILY STABILIZED FOLLOWING THE PROCEDURES SET FORTH IN THE PA EROSION AND SEDIMENT CONTROL MEASURES MANUAL.

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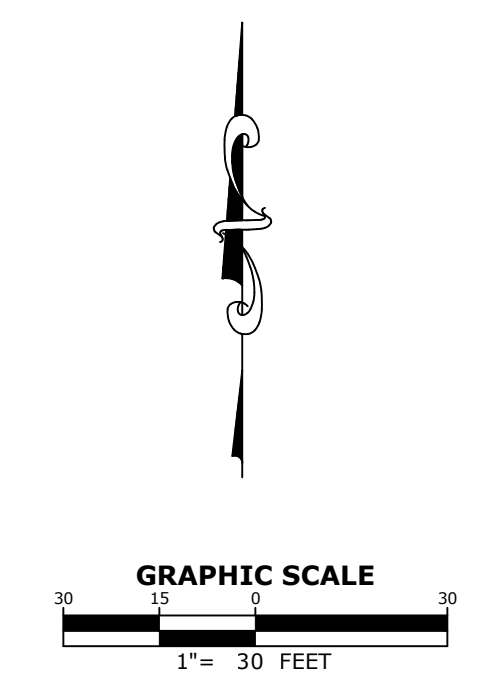
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EROSION & SEDIMENTATION CONTROL PLAN

SHEET:
11 OF 17

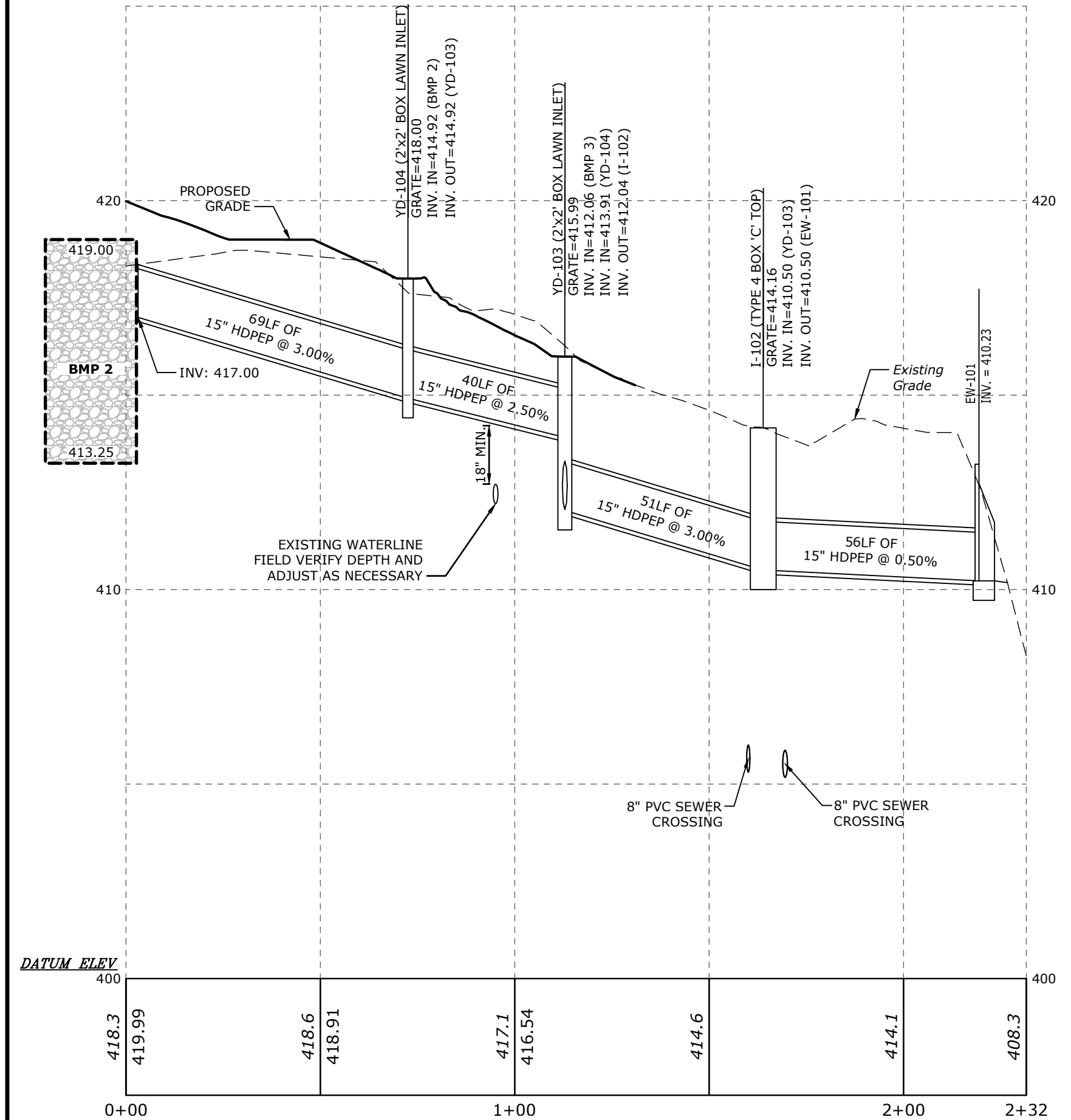




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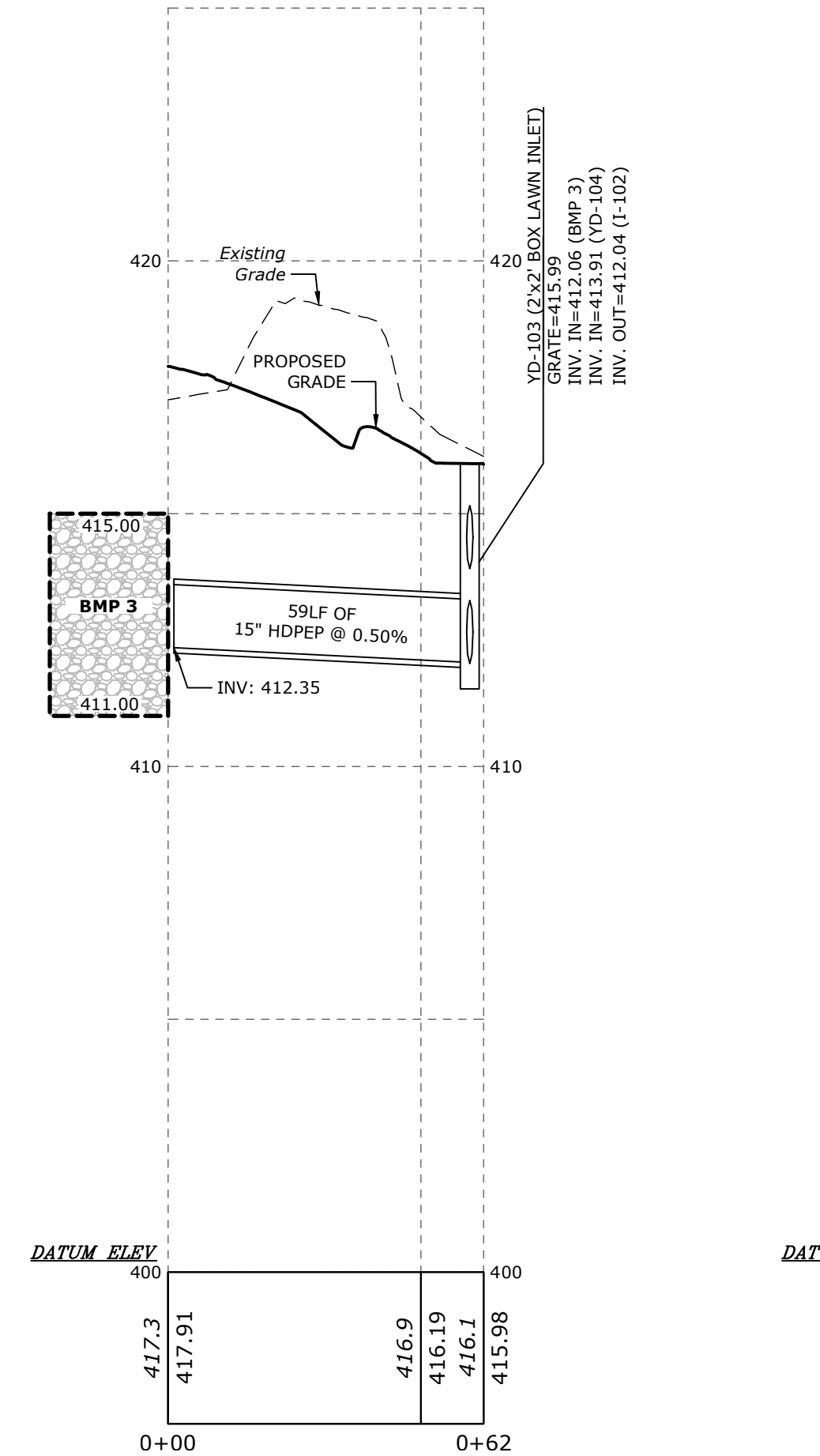
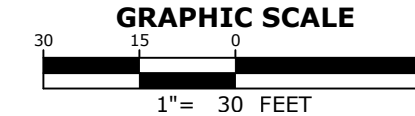
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PLAN TYPE:
ROAD & STORMWATER PROFILES



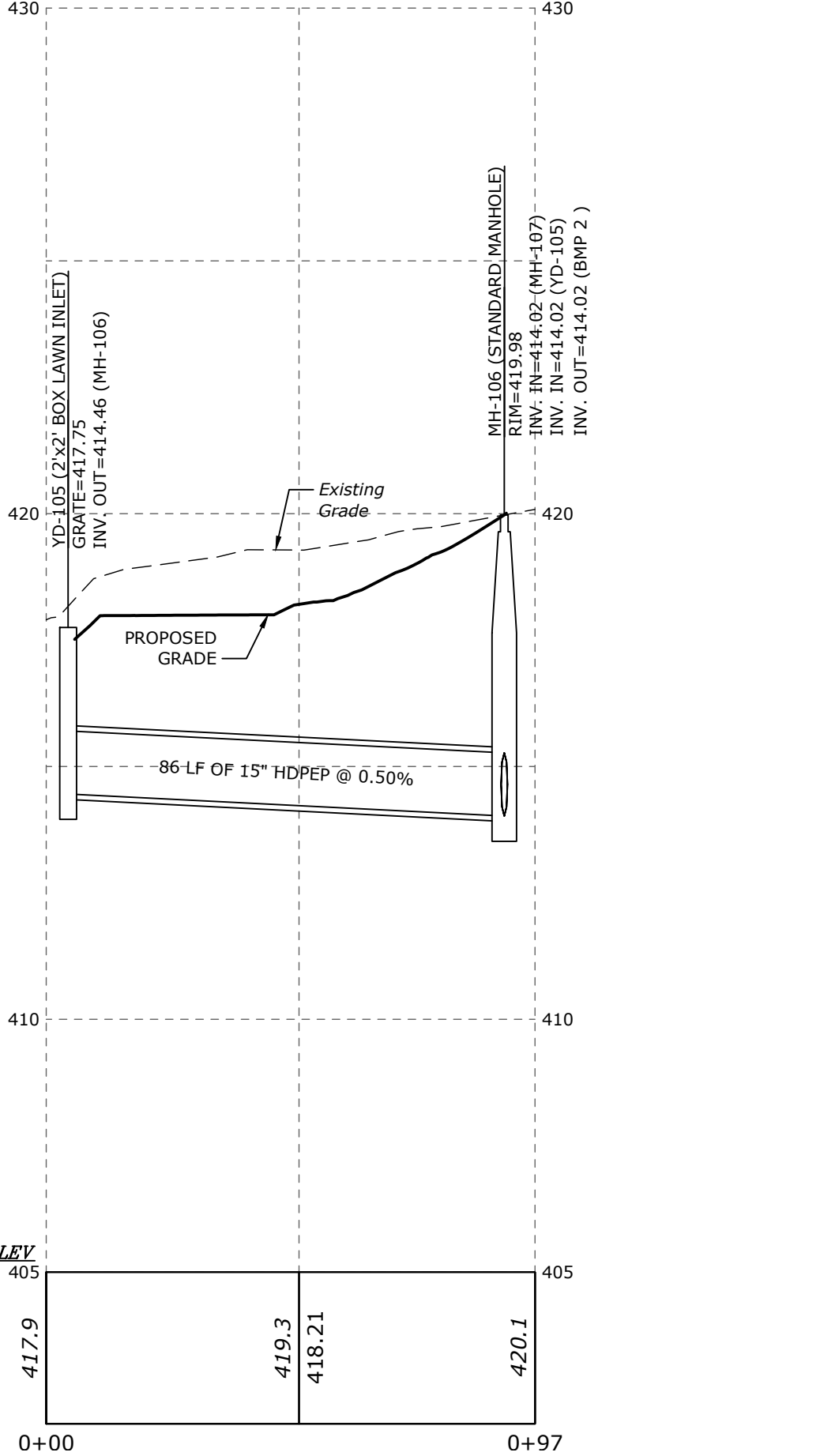
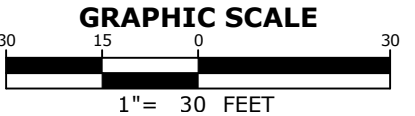
BMP 2 TO EW-101

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



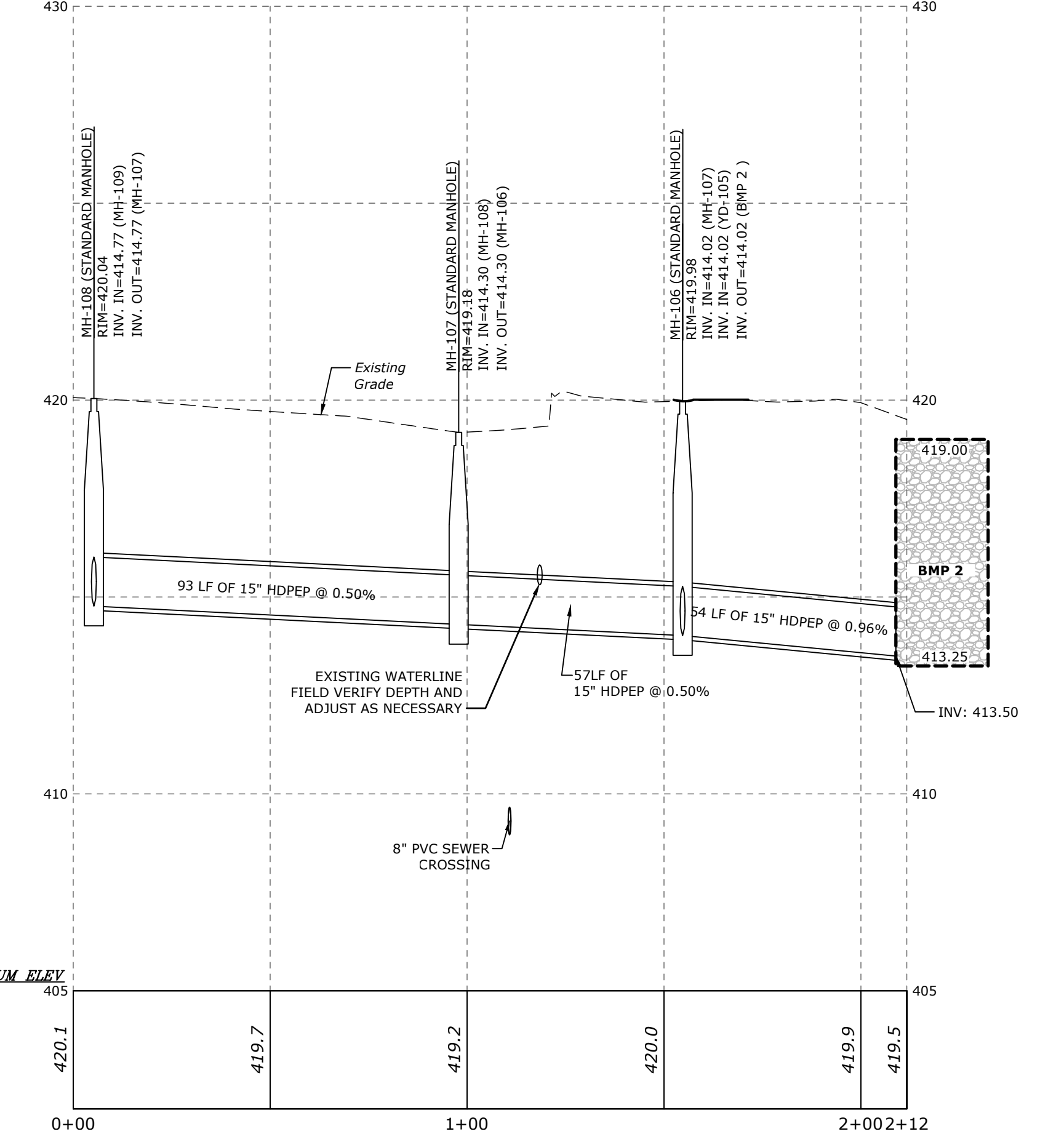
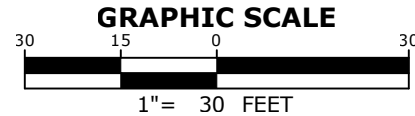
BMP 3 TO YD-103

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



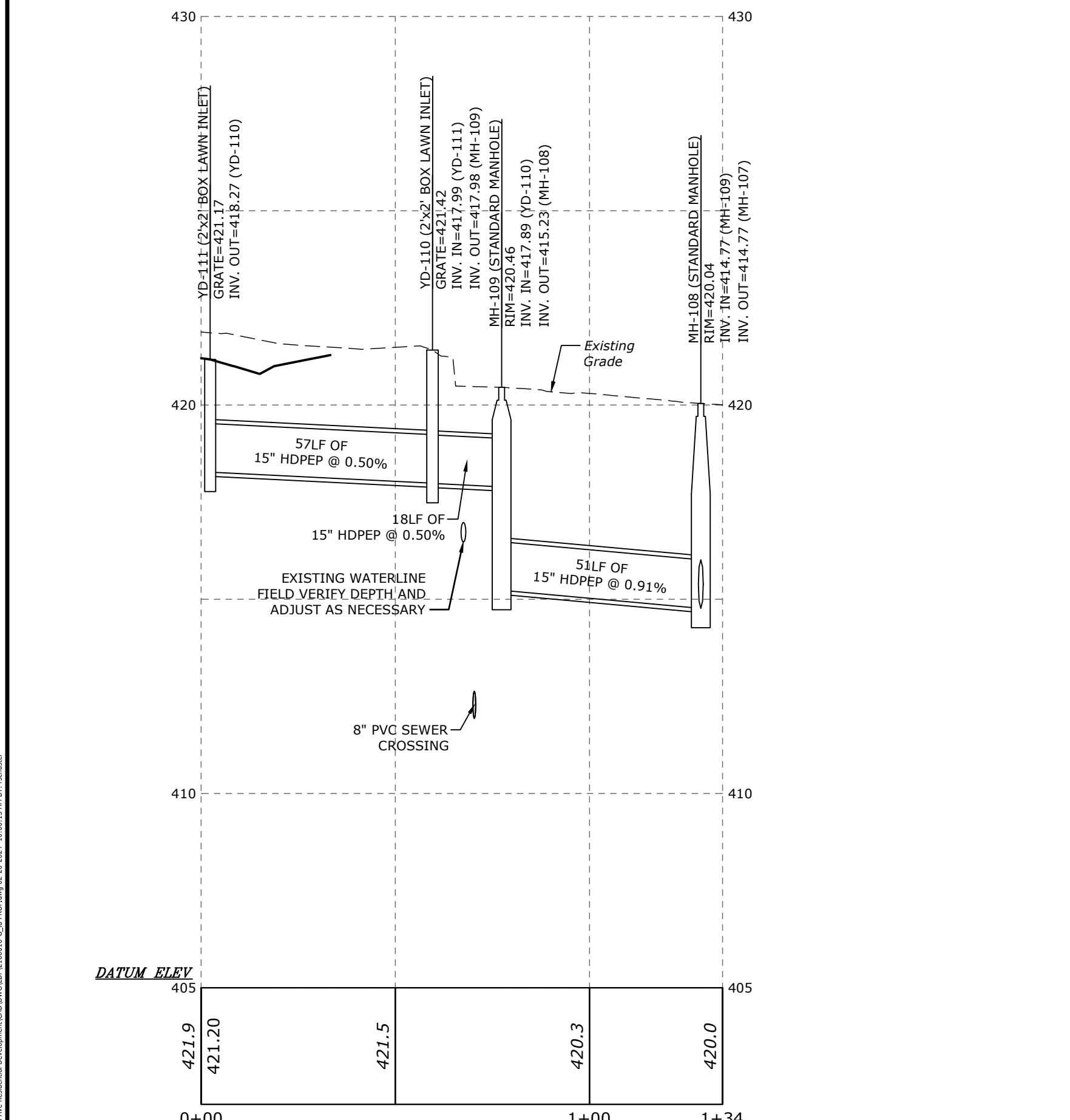
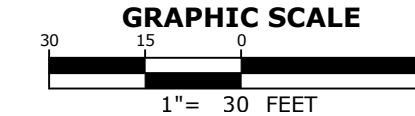
YD-105 TO MH-106

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



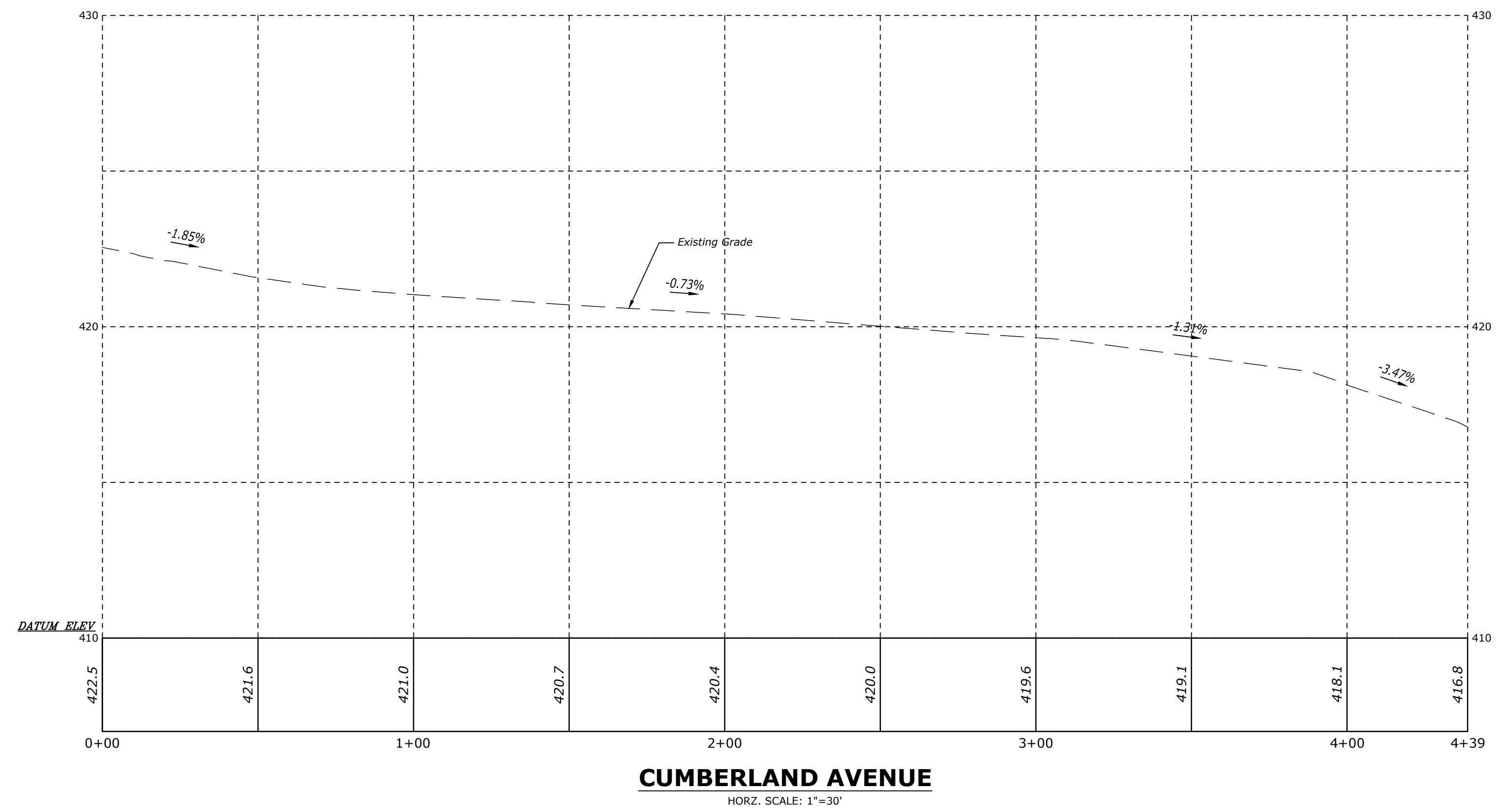
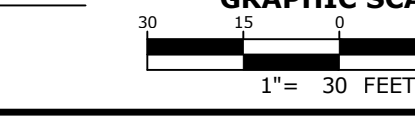
MH-108 TO BMP 2

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



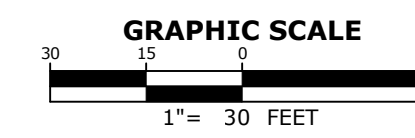
YD-111 TO MH-108

HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'

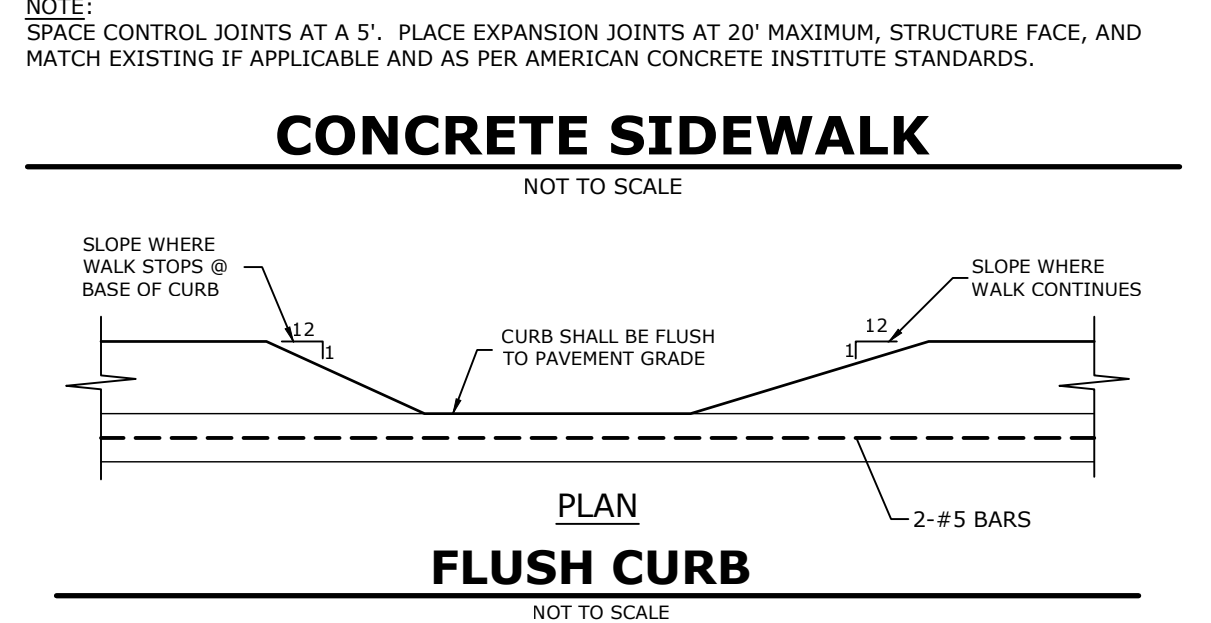
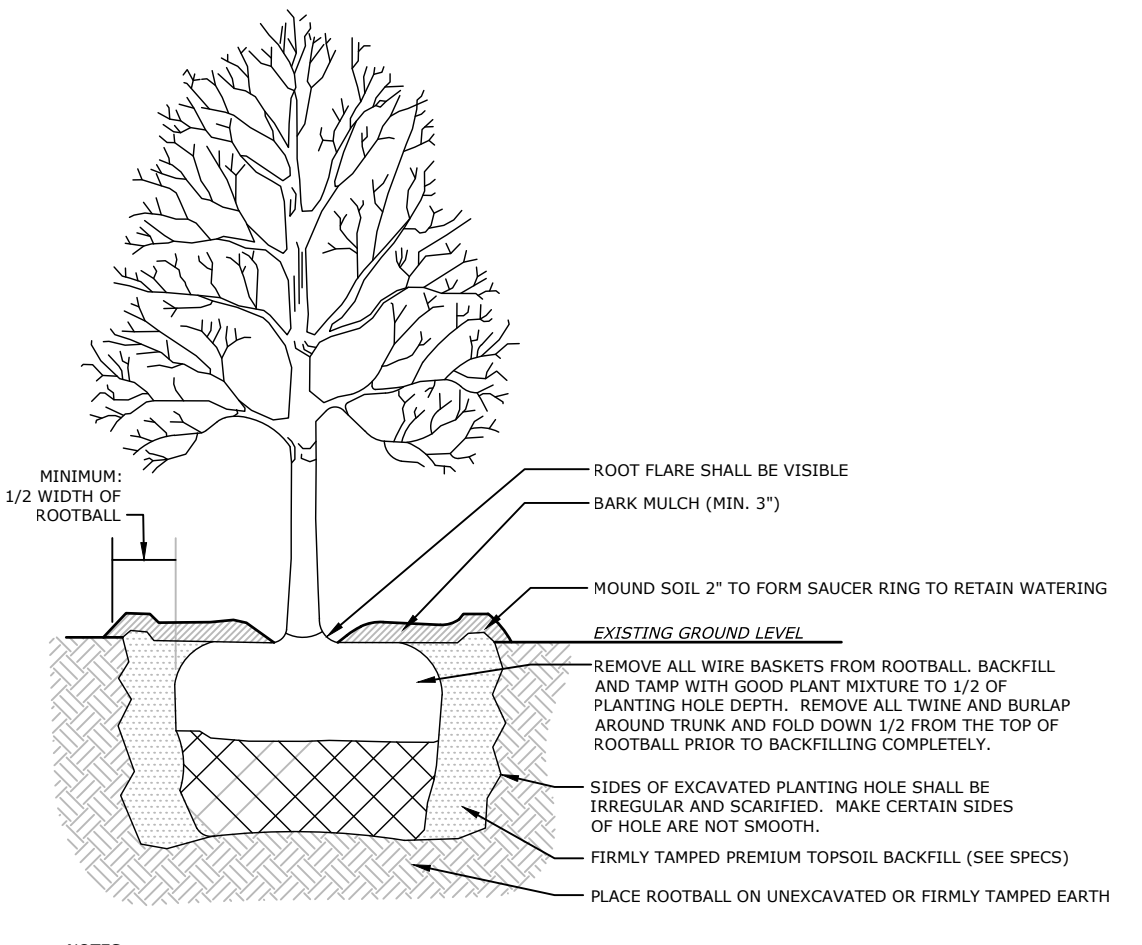
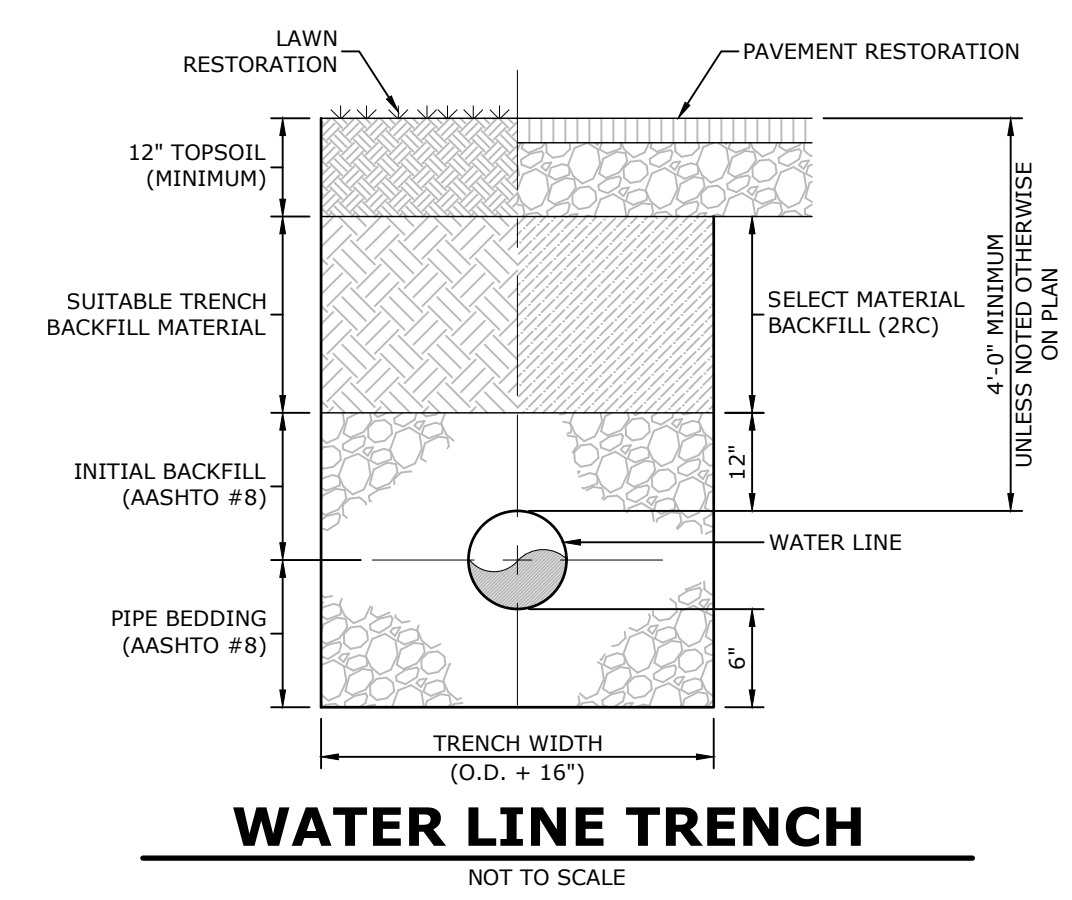
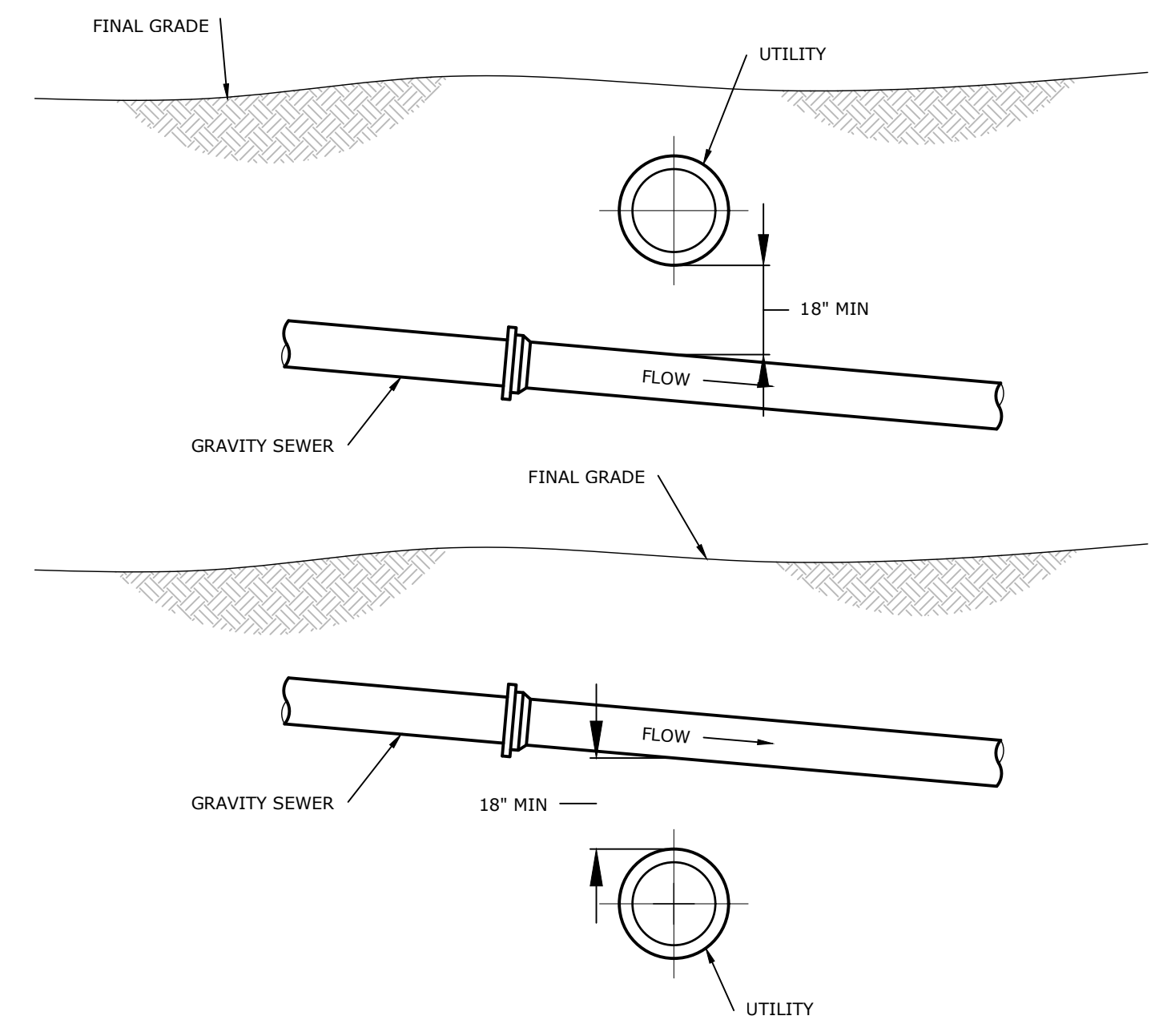
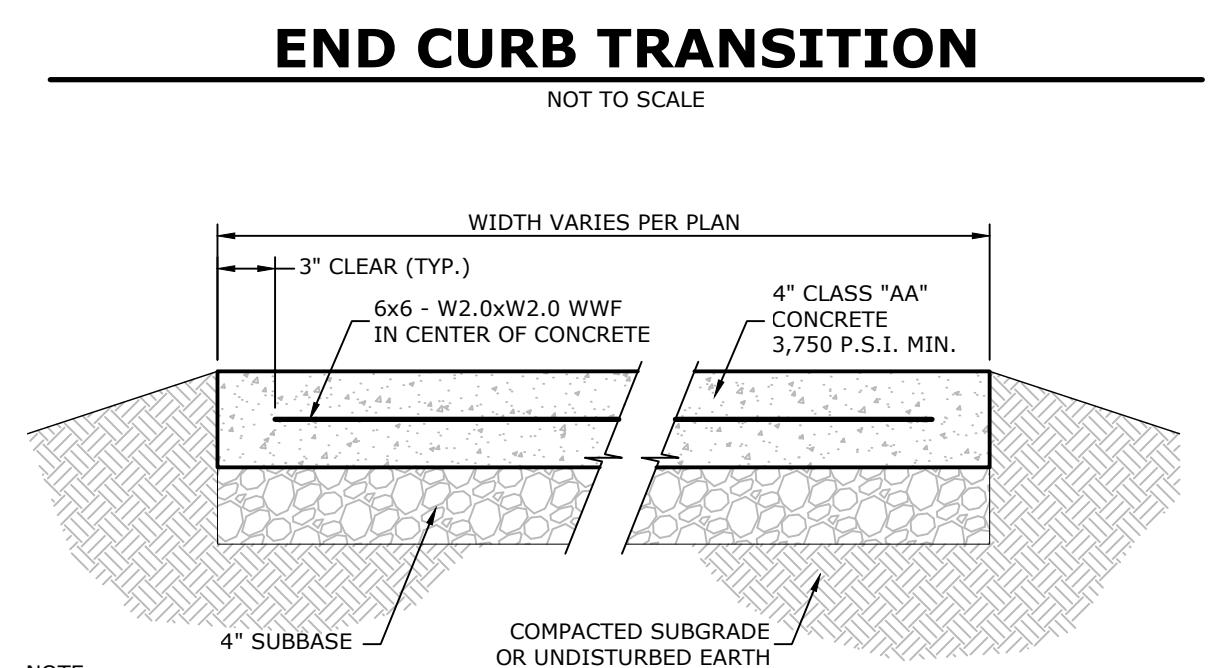
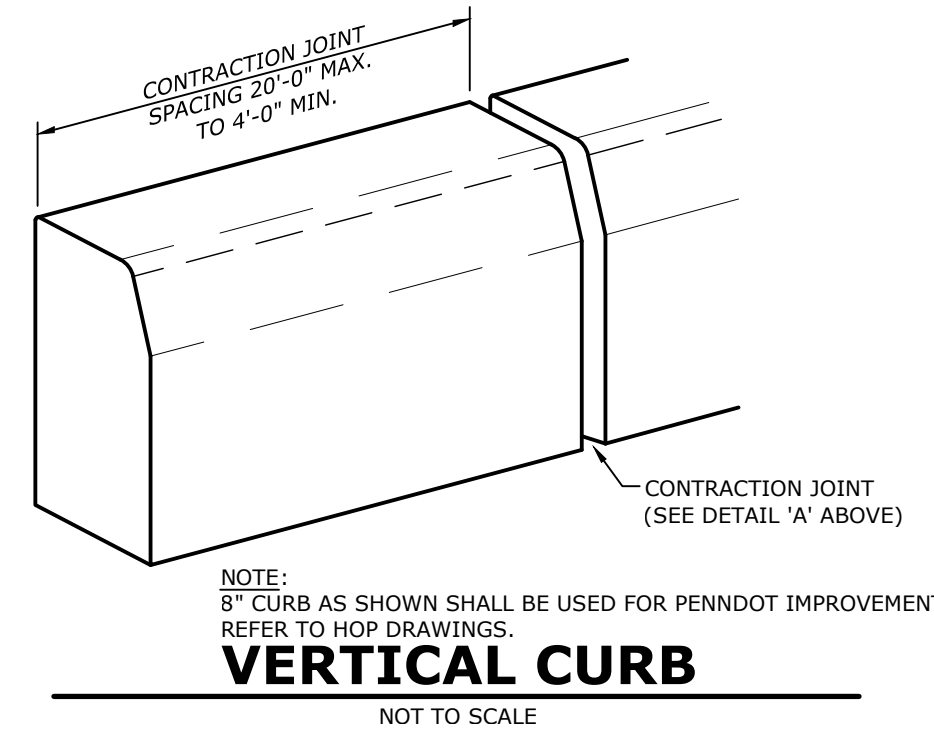
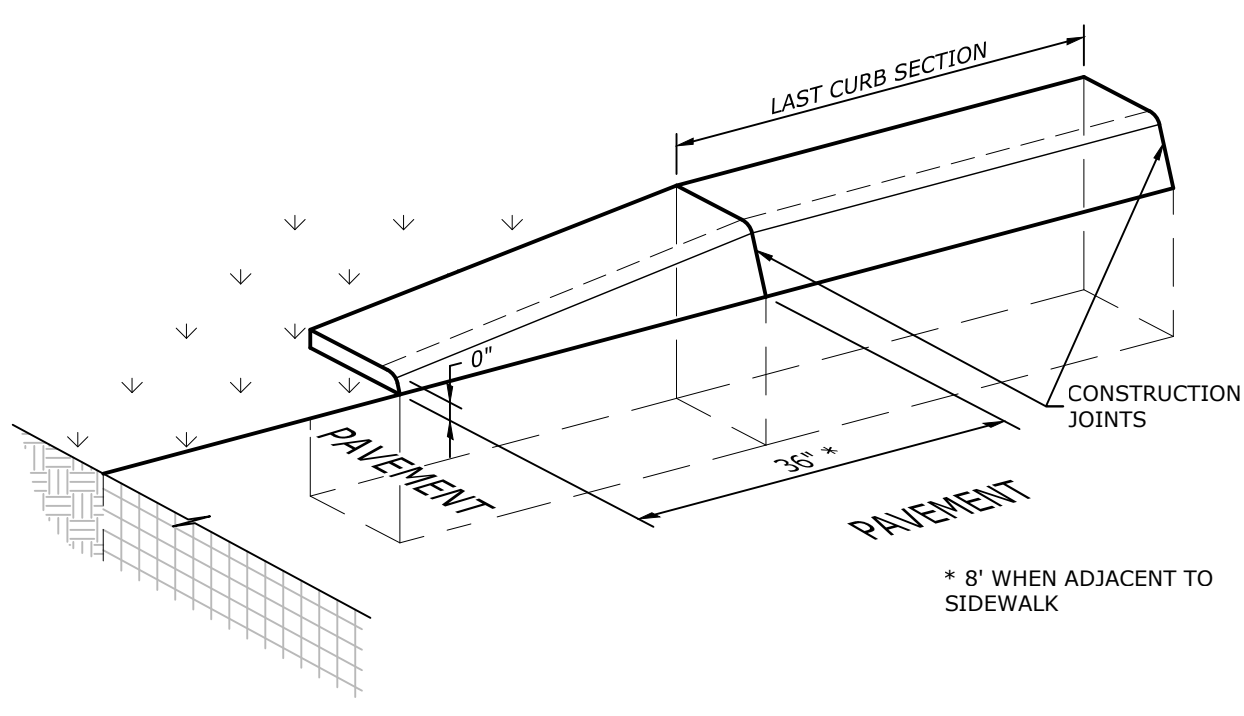
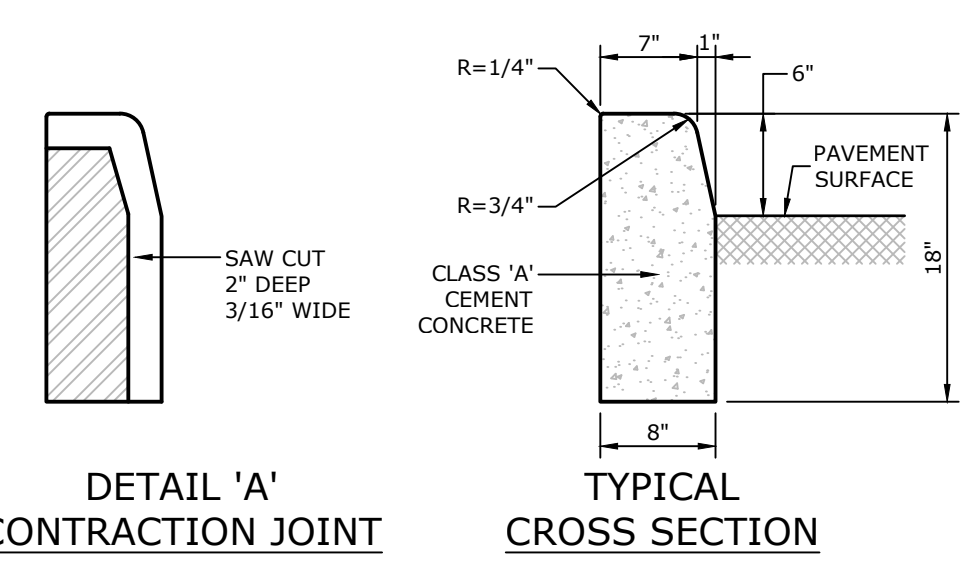


CUMBERLAND AVENUE

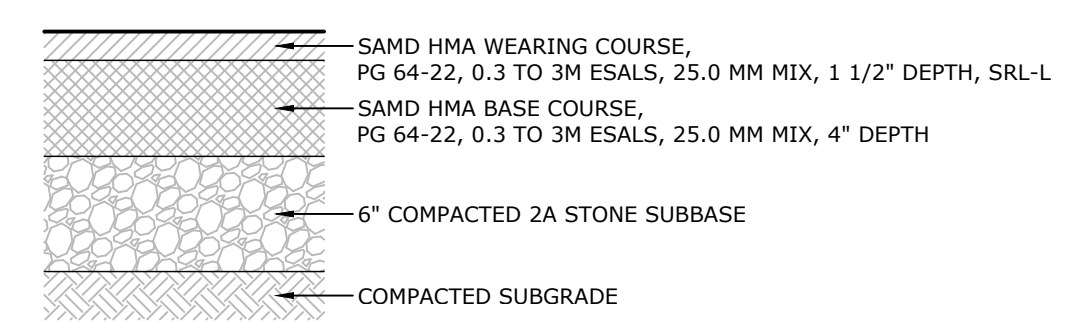
HORZ. SCALE: 1"=30'
VERT. SCALE: 1"= 3'



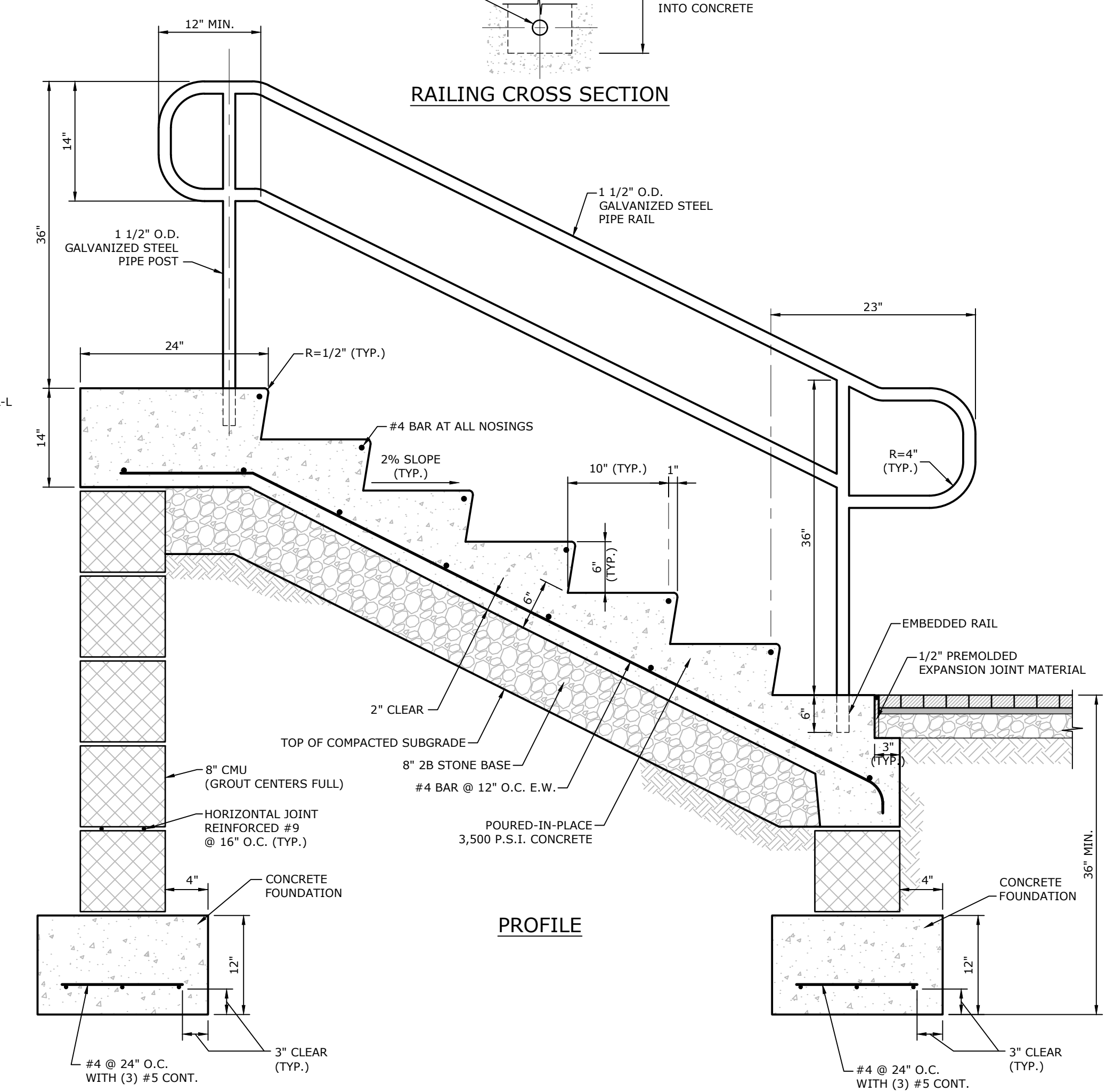
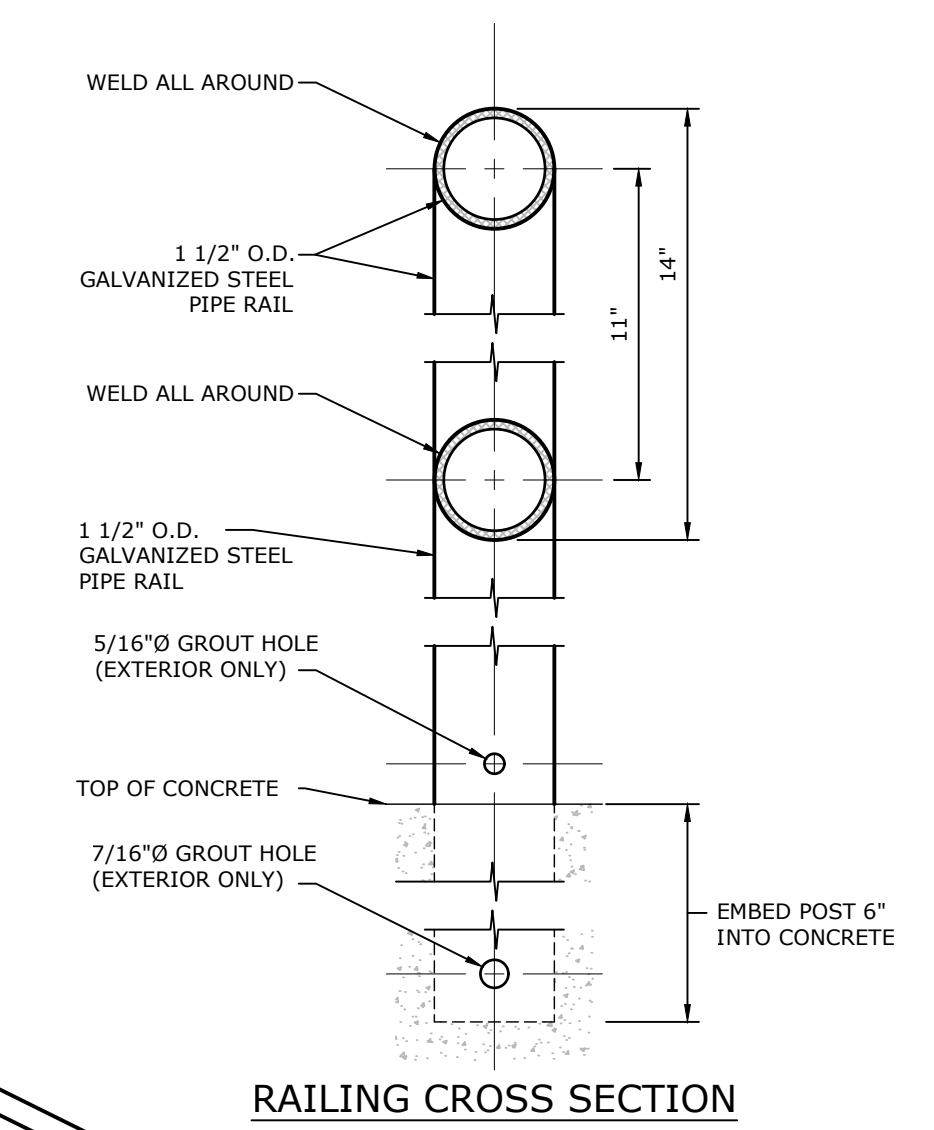
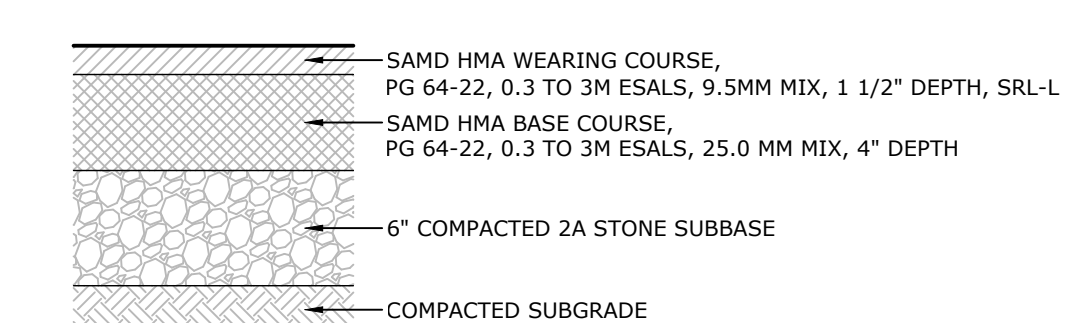
NO.	DATE	DESCRIPTION
1	10/31/2023	REVISED PER COMMENT LETTERS
2	02/20/2024	REVISION TO REMOVE LOT 6
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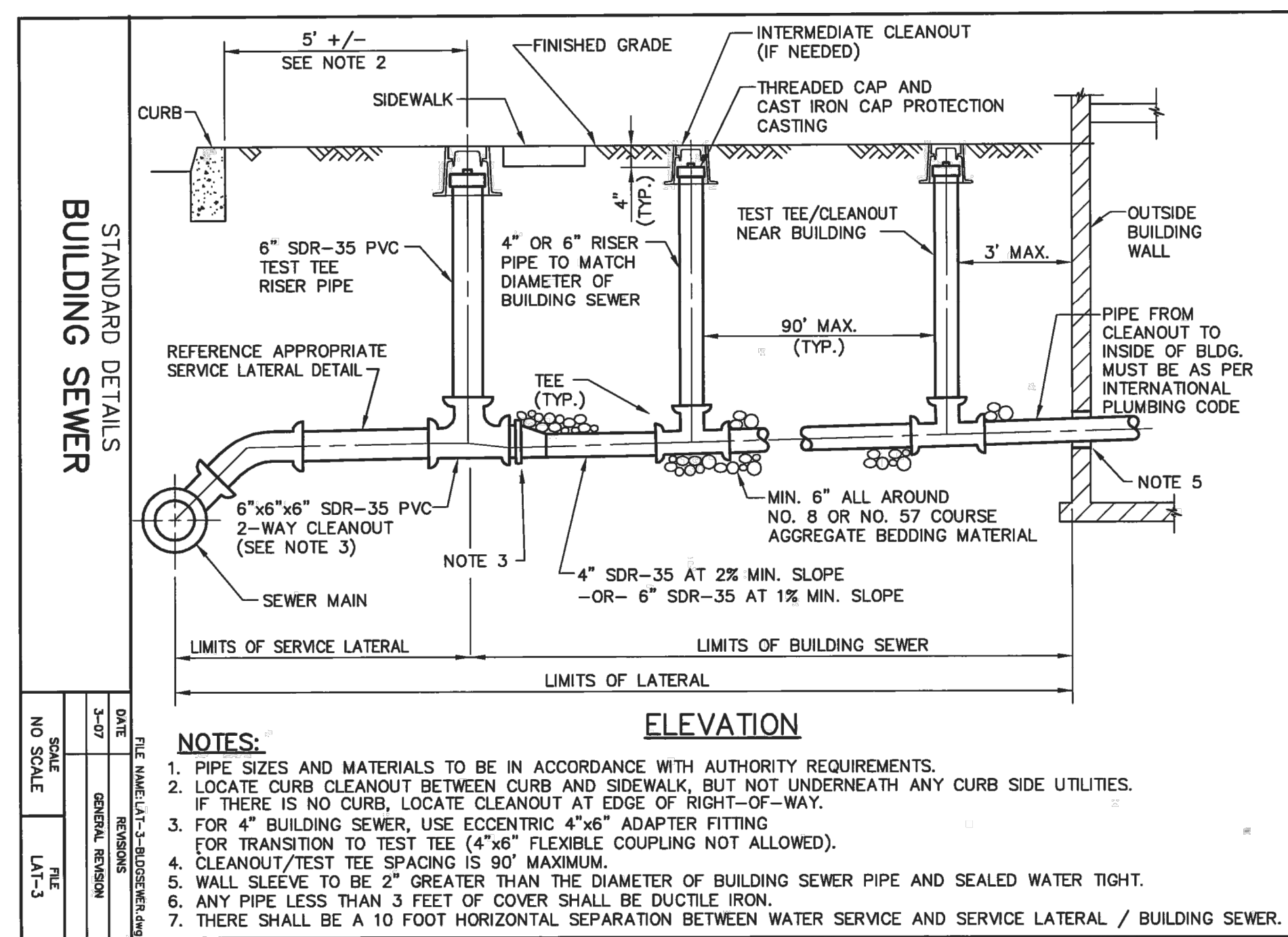
GRAVITY SEWER CROSSING UTILITIES DETAIL
NOT TO SCALE



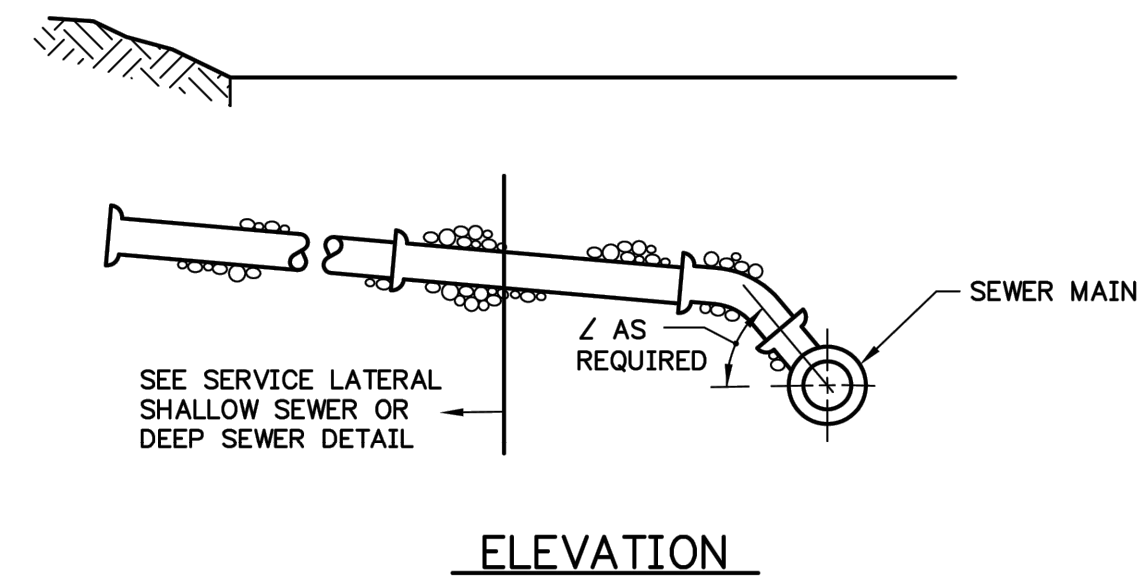
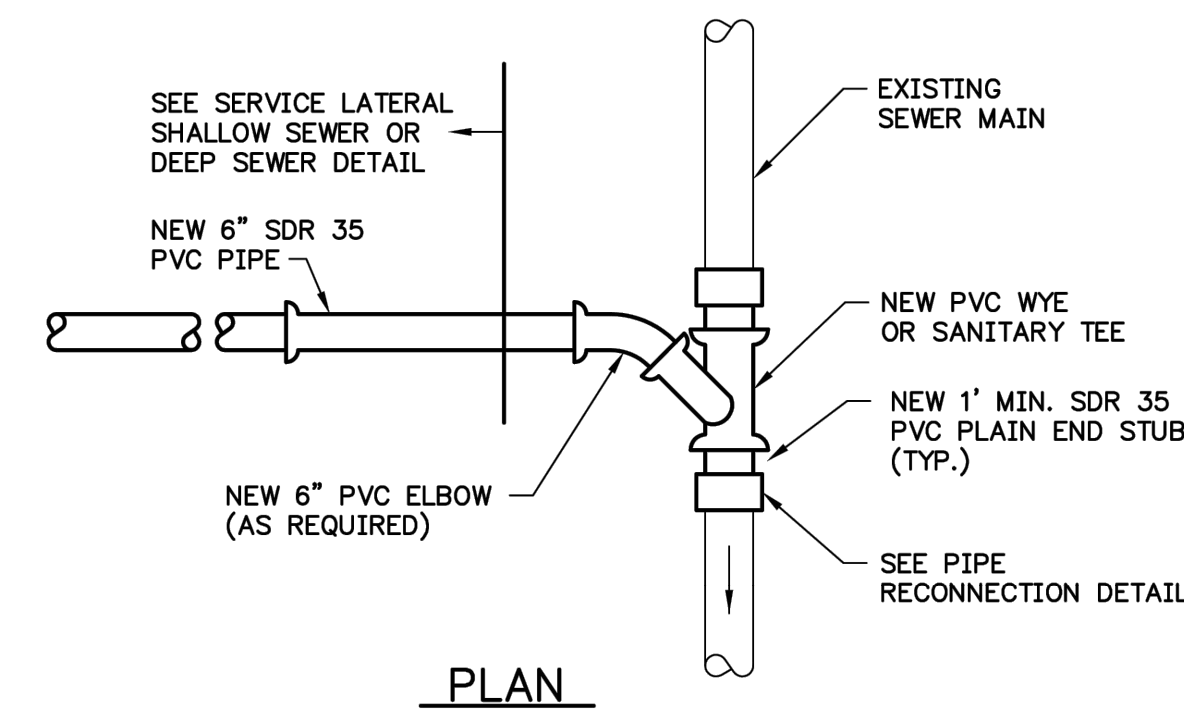
STANDARD DUTY PAVEMENT SECTION
NOT TO SCALE



DECIDUOUS TREE PLANTING
NOT TO SCALE



- NOTES:**
- PIPE SIZES AND MATERIALS TO BE IN ACCORDANCE WITH AUTHORITY REQUIREMENTS.
 - LOCATE CURB CLEANOUT BETWEEN CURB AND SIDEWALK BUT NOT UNDERNEATH ANY CURB SIDE UTILITIES. IF THERE IS NO CURB, LOCATE CLEANOUT AT EDGE OF RIGHT-OF-WAY.
 - FOR 4" BUILDING SEWER, USE ECCENTRIC 4"x6" ADAPTER FITTING FOR TRANSITION TO TEST TEE (4"x6" FLEXIBLE COUPLING NOT ALLOWED).
 - CLEANOUT/TEST TEE SPACING IS 90" MAXIMUM.
 - WALL SLEEVE TO BE 2" GREATER THAN THE DIAMETER OF BUILDING SEWER PIPE AND SEALED WATER TIGHT.
 - ANY PIPE LESS THAN 3 FEET OF COVER SHALL BE DUCTILE IRON.
 - THERE SHALL BE A 10 FOOT HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND SERVICE LATERAL / BUILDING SEWER.

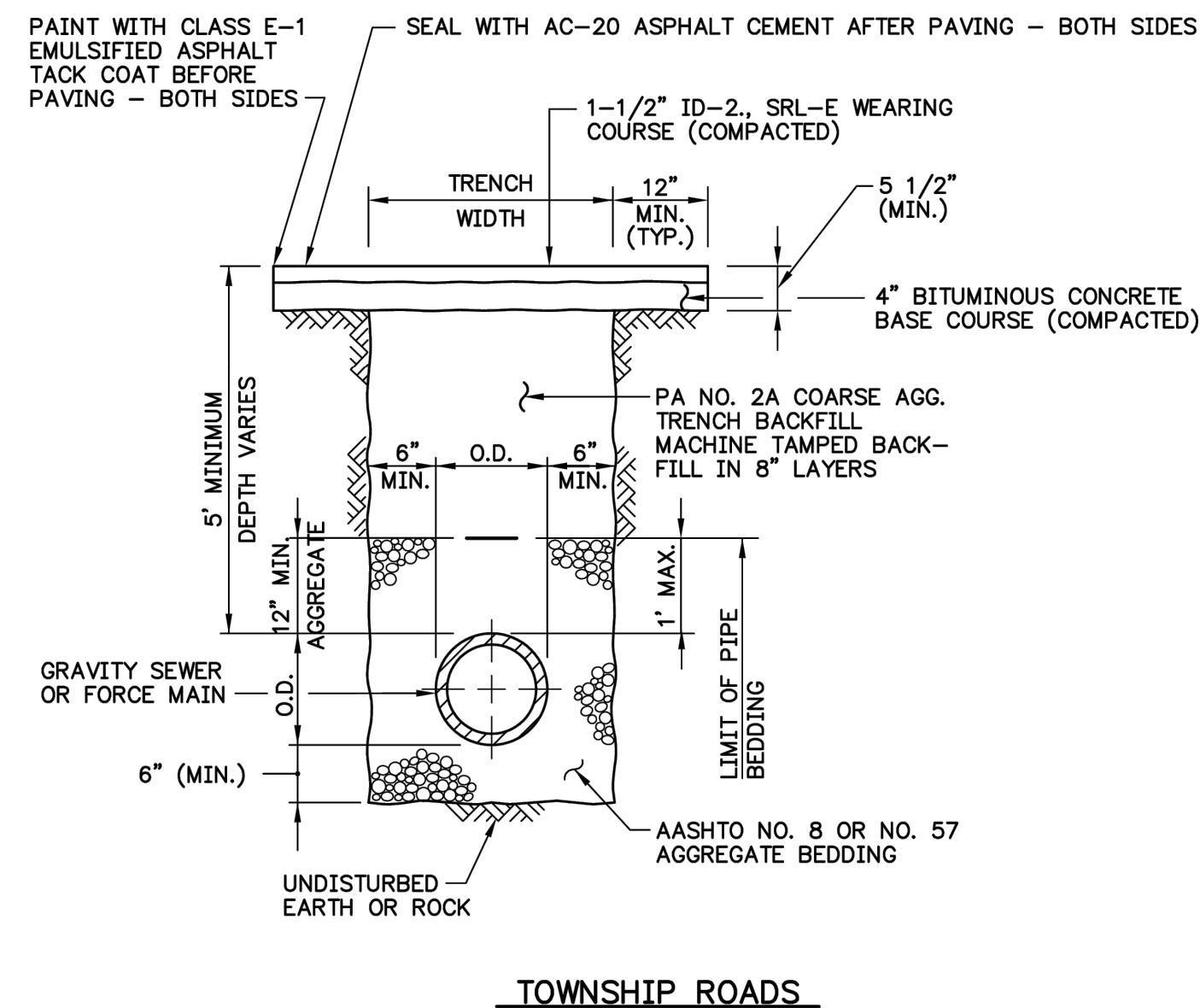


NOTES:
1. EXISTING MAIN SEWER TO BE SAW CUT.

SERVICE LATERAL CONNECTION TO EXISTING SEWER MAIN

DATE	REVISIONS

SCALE	FILE
NO SCALE	SERLATERAL

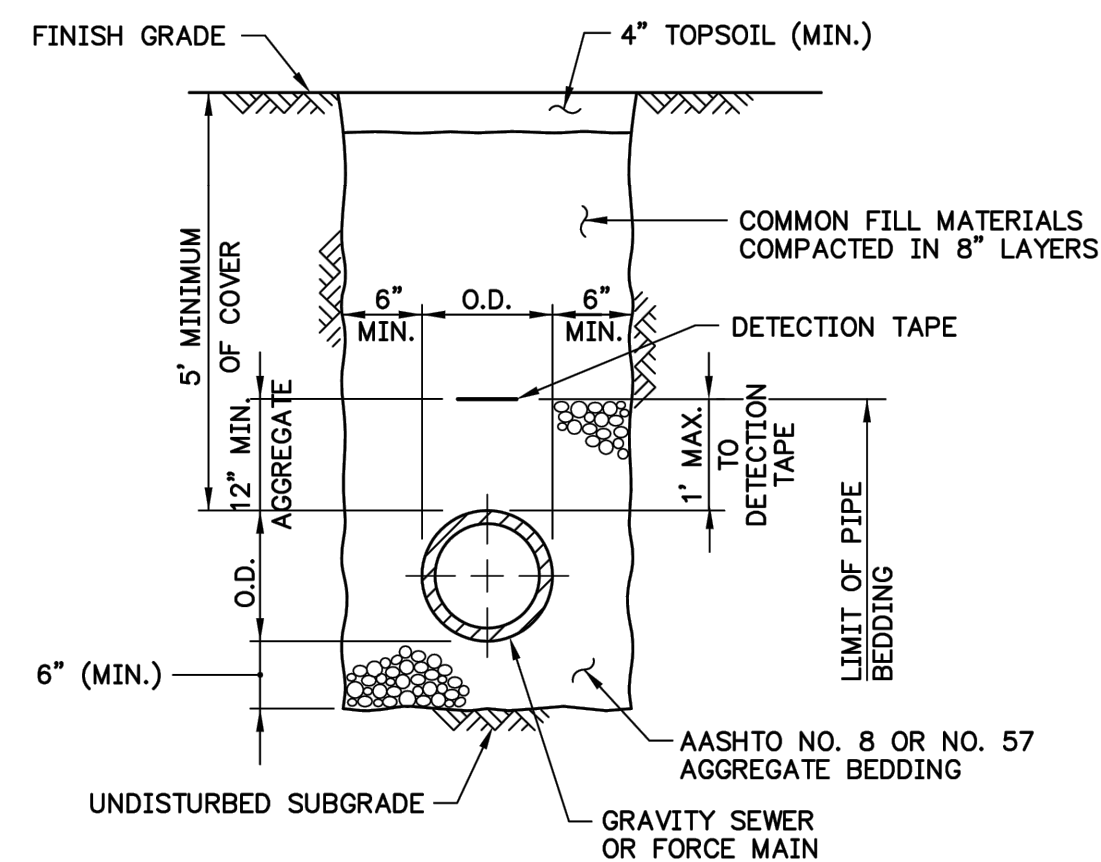


NOTE:
WHEN IN PAVED AREAS SUCH AS DRIVEWAYS OR PARKING LOTS, PAVING RESTORATION SHALL BE IN ACCORDANCE WITH CONTRACT DOCUMENTS.

TRENCH DETAIL IN PAVED AREAS

DATE	REVISIONS

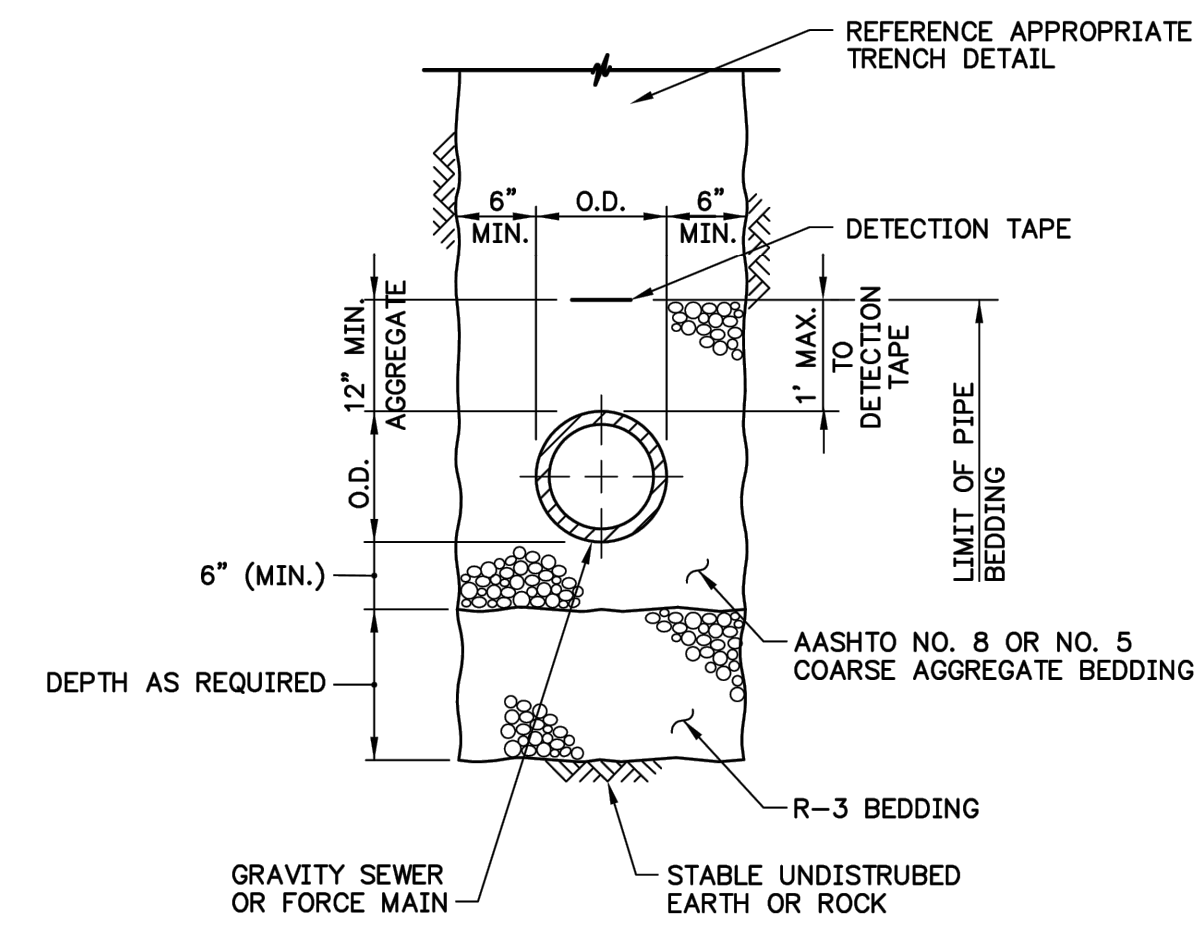
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TRENCH DETAIL IN UNPAVED AREAS

DATE	REVISIONS

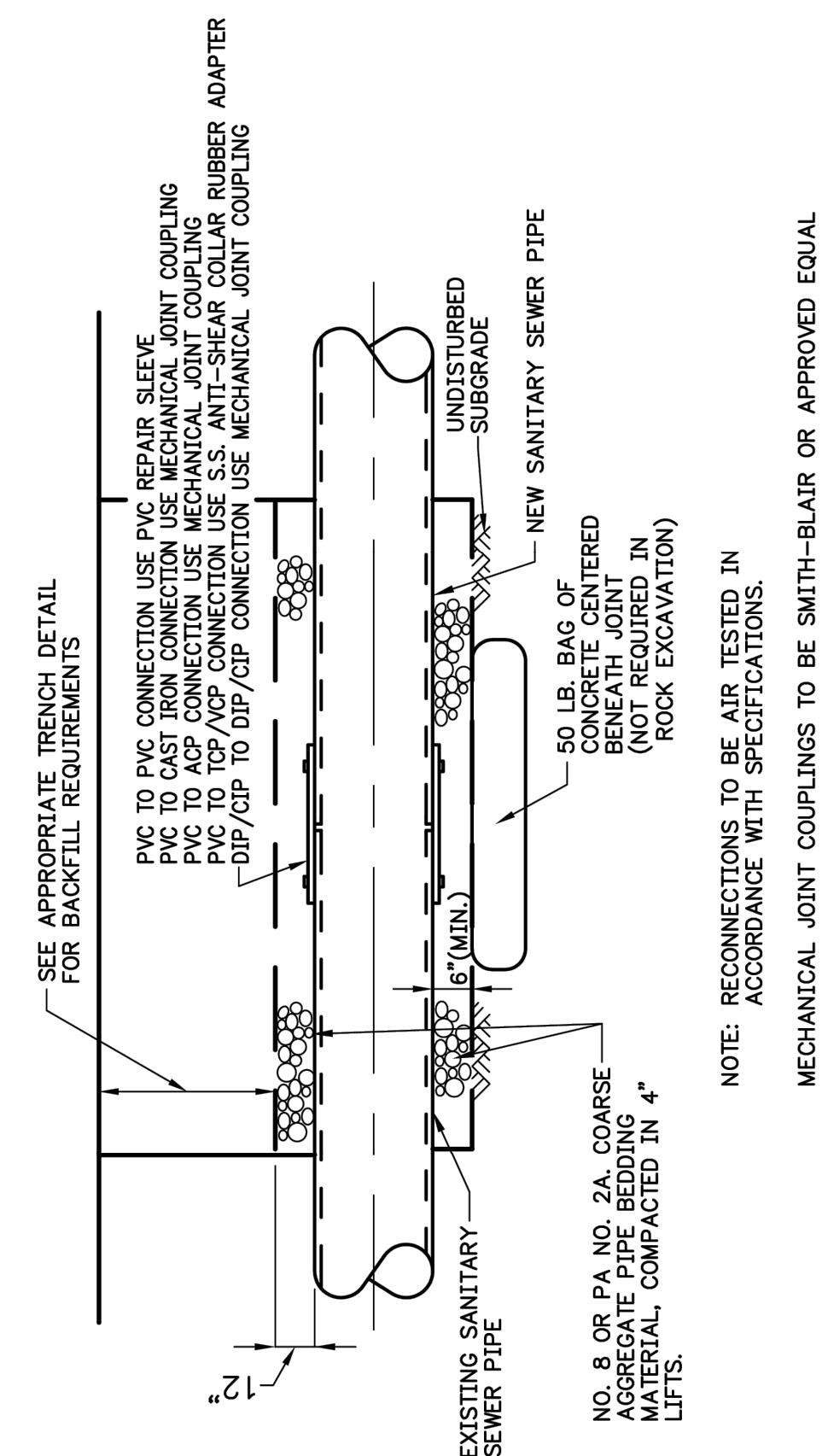
SCALE	FILE
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UNSUITABLE MATERIAL EXCAVATION

DATE	REVISIONS

SCALE	FILE
NO SCALE	TRENCH-UME

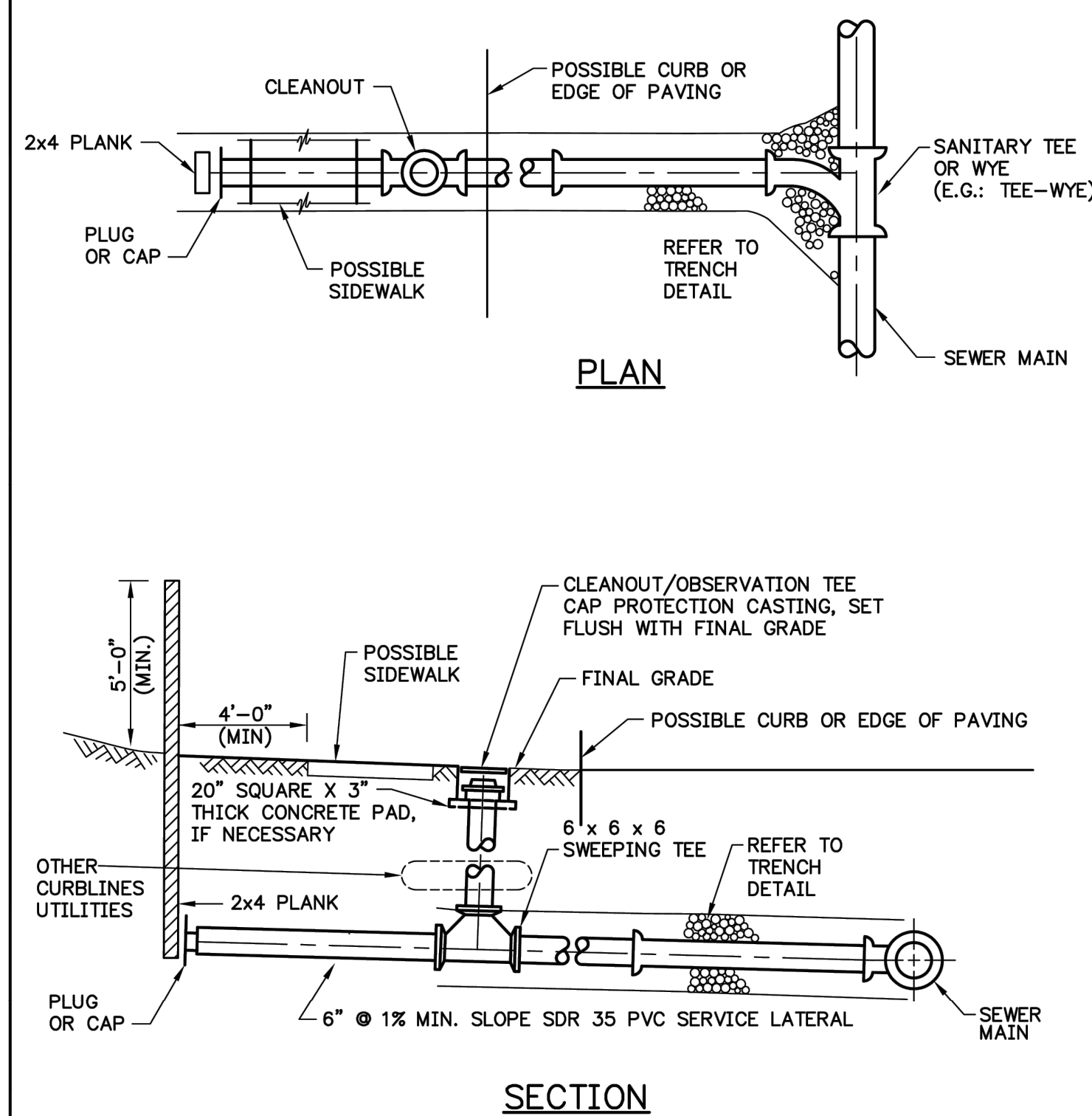


NOTE: RECONNECTIONS TO BE AIR TESTED IN ACCORDANCE WITH SPECIFICATIONS.
MECHANICAL JOINT COUPLINGS TO BE SMITH-BLAIR OR APPROVED EQUAL

PIPE RECONNECTION DETAIL

DATE	REVISIONS

SCALE	FILE
NO SCALE	PIPERECON

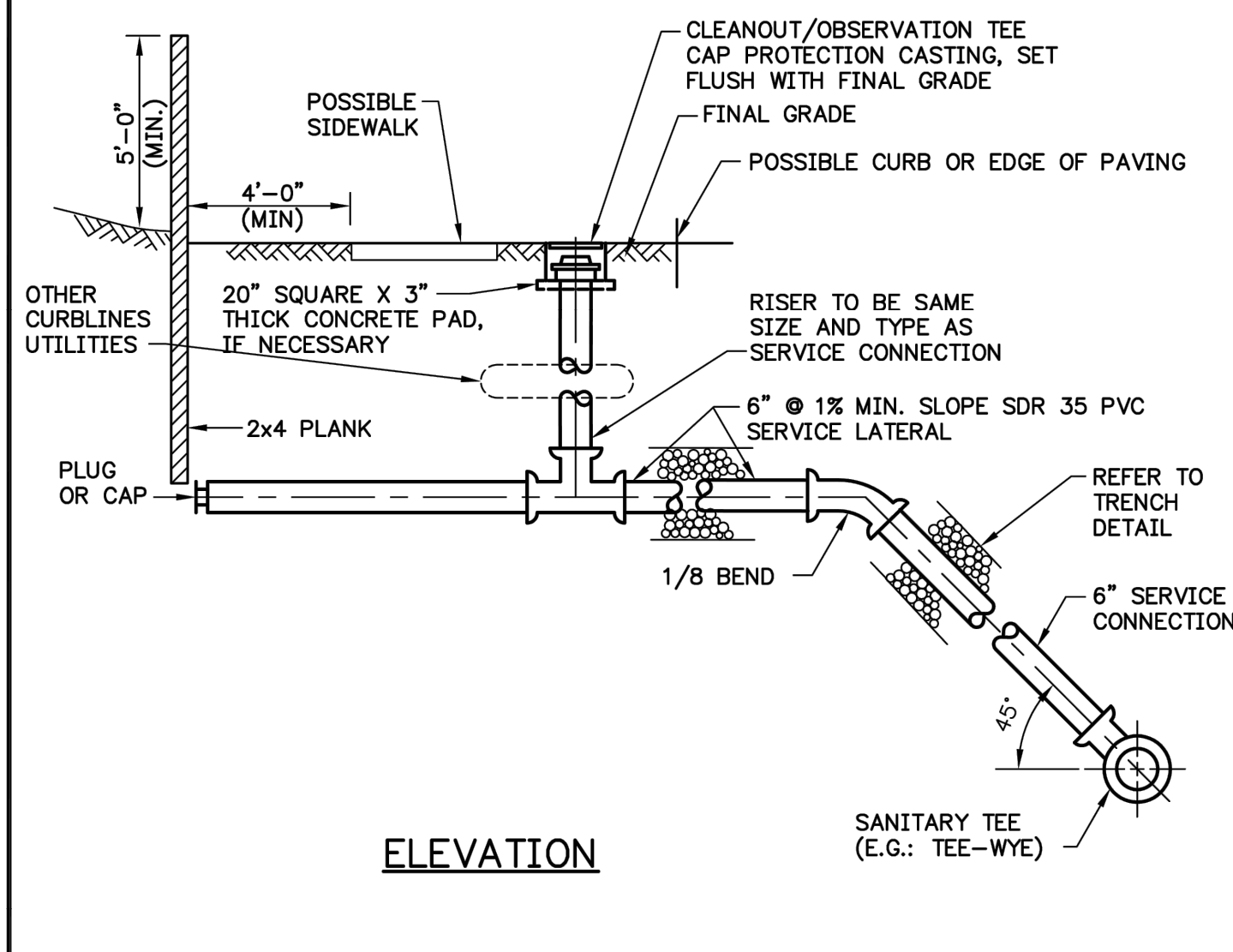


NOTES:
1. CURB CLEANOUT NOT TO BE LOCATED IN SIDEWALK OR BENEATH OTHER CURBLINE UTILITIES.

SERVICE LATERAL - NORMAL DEPTH

DATE	REVISIONS

SCALE	FILE
NO SCALE	SHALLOWSEWERLTR

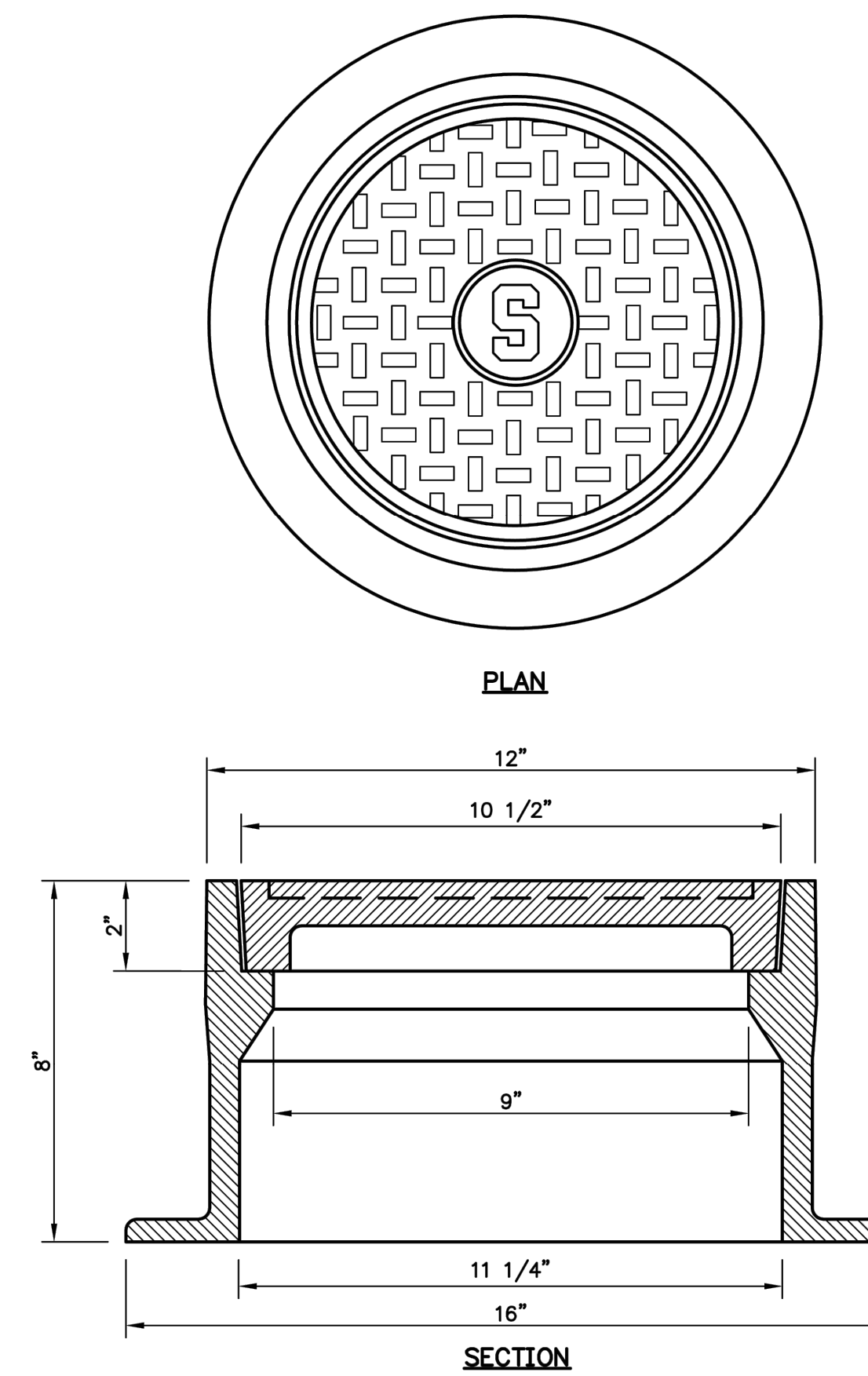


NOTES:
1. CURB CLEANOUT NOT TO BE LOCATED IN SIDEWALK OR BENEATH OTHER CURBLINE UTILITIES.

SERVICE LATERAL - DEEP SEWER

DATE	REVISIONS

SCALE	FILE
NO SCALE	SERCONDEPLTR



CLEANOUT/TEST TEE CAP PROTECTION CASTING

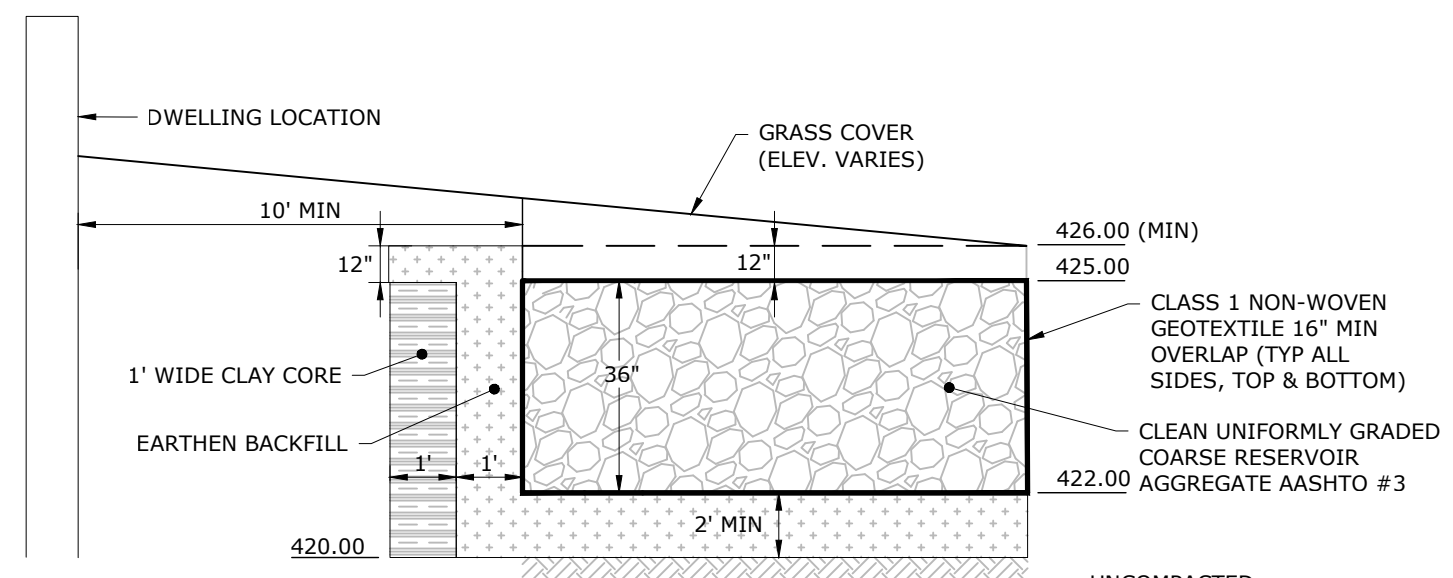
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NO.	DATE	DESCRIPTION
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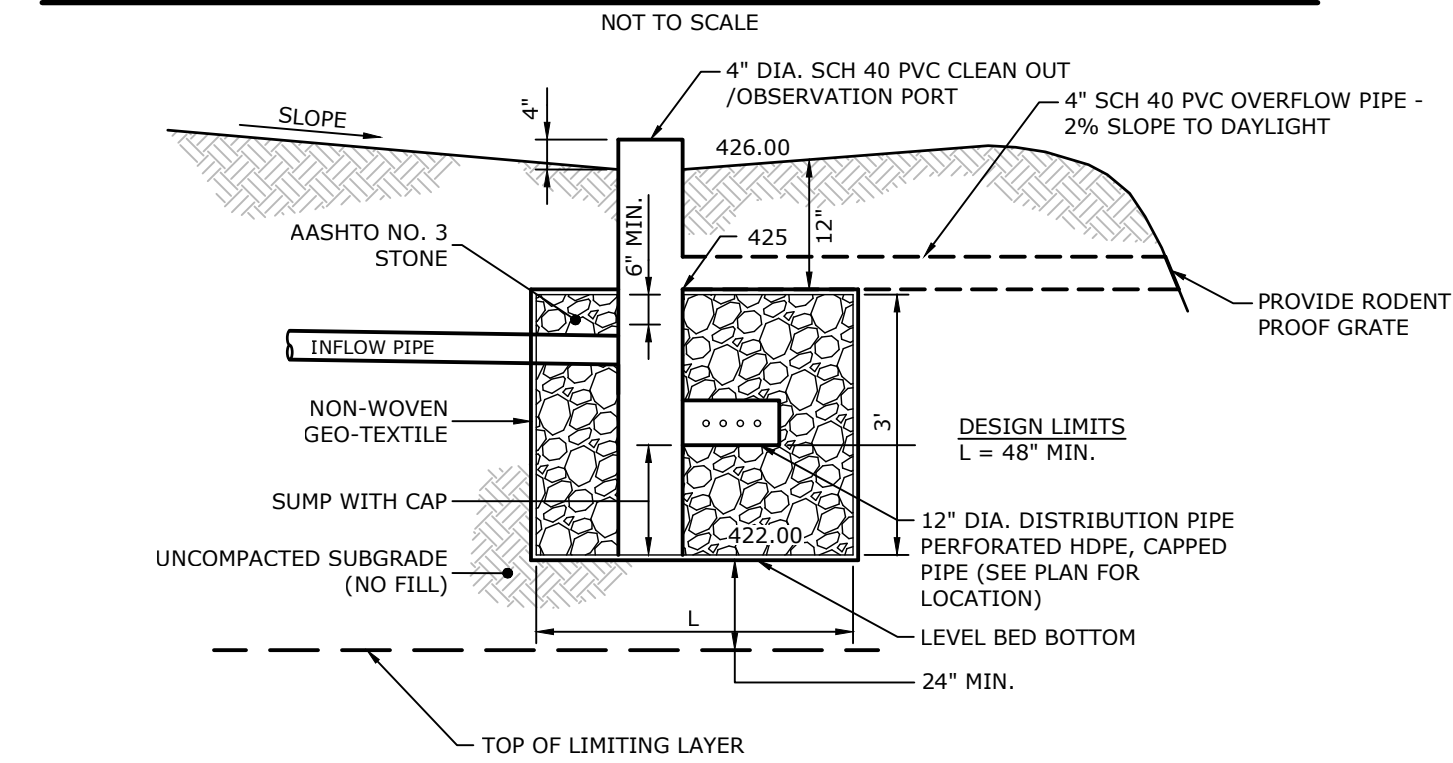
NO.	DATE	DESCRIPTION
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PLAN TYPE: **PCSM**
DETAILS

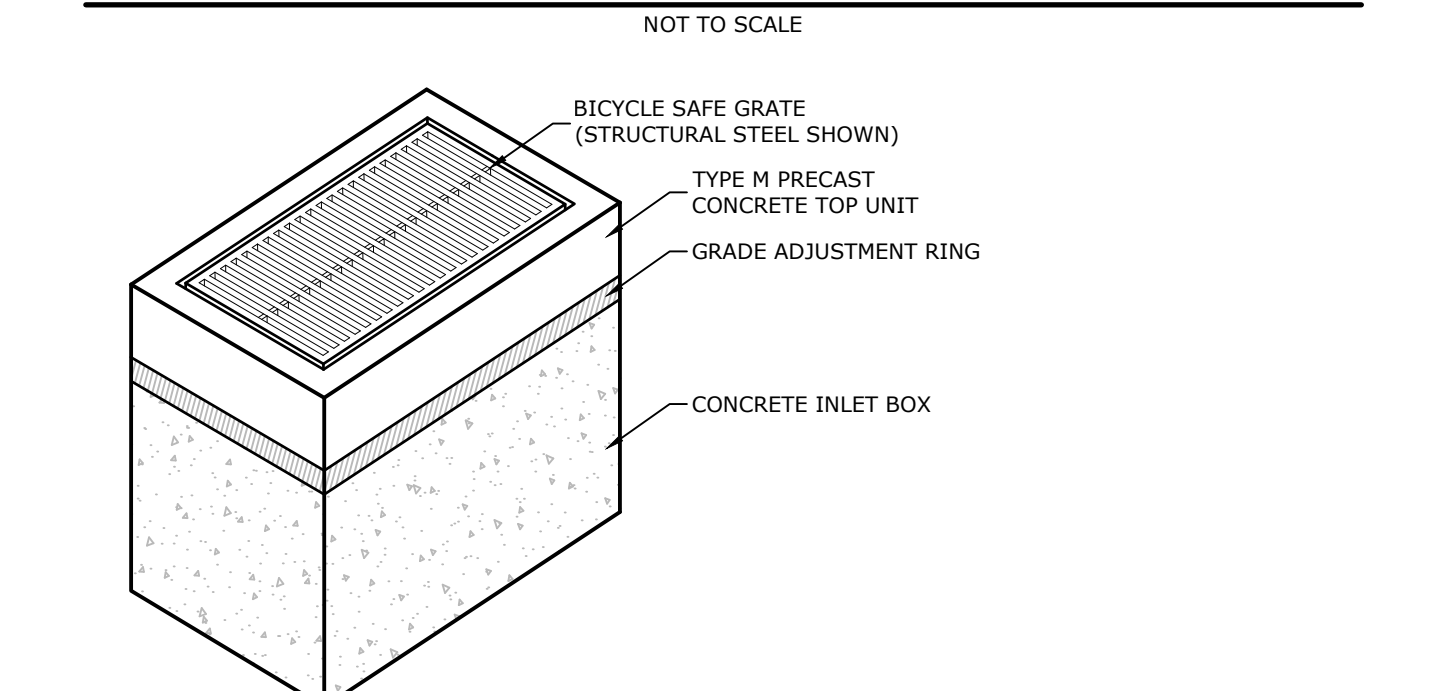


NOTES:
1. CLAY CORE SPECIFICATIONS:
a. THE CLAY CORE MATERIAL MUST BE CLASS AS A CL OR CH WITH NO PARTICLE SIZE LARGER THAN 3/4"
b. MATERIAL SHOULD BE COMPACTED IN 8-INCH LIFTS TO A MINIMUM OF 98% OF THE SOILS MAXIMUM DRY DENSITY AS PER ASTM D698 AT THE OPTIMUM MOISTURE CONTENT.

INFILTRATION BED SECTION (BMP 1)



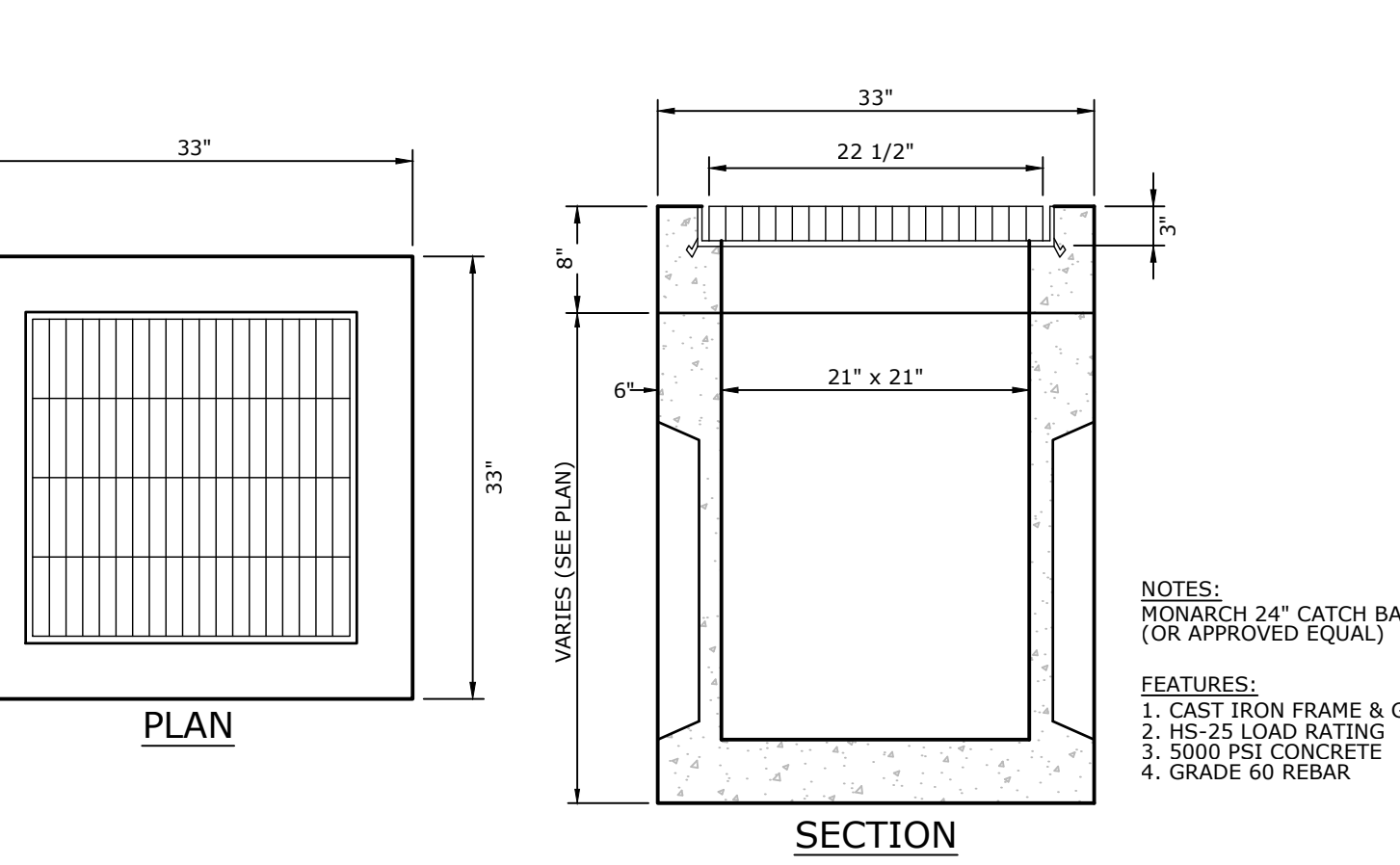
INDIVIDUAL LOT INFILTRATION BMP (BMP 1)



NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-46M. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES. STRUCTURE SHALL BE CERTIFIED FOR H2O LOADING.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. USE PRECAST CONCRETE OR STEEL GRADE ADJUSTMENT RINGS WHEN REQUIRED.
4. ALL INLETS IN PARKED AREAS SHALL HAVE HEAVY-DUTY BICYCLE SAFE GRATING.
5. ALL INLETS IN PEDESTRIAN/PLAYGROUND AREAS SHALL HAVE ADA COMPLIANT GRATING.
6. ALL INLETS SHALL BE SUMPED BELOW GRADE (2 INCHES) TO AID IN THE RUNOFF FLOW TO THE INLETS.
7. ALL FRAMES, CONCRETE TOP UNITS, AND GRADE ADJUSTMENTS RINGS SHALL BE SET IN A BED OF FULL MORTAR IN ACCORDANCE WITH PENNDOT PUBLICATION 408.
8. ALL INLETS DEEPER THAN FIVE FEET SHALL BE PROVIDED WITH MANHOLE-TYPE STEPS FOR ACCESS.

TYPE 'M' INLET

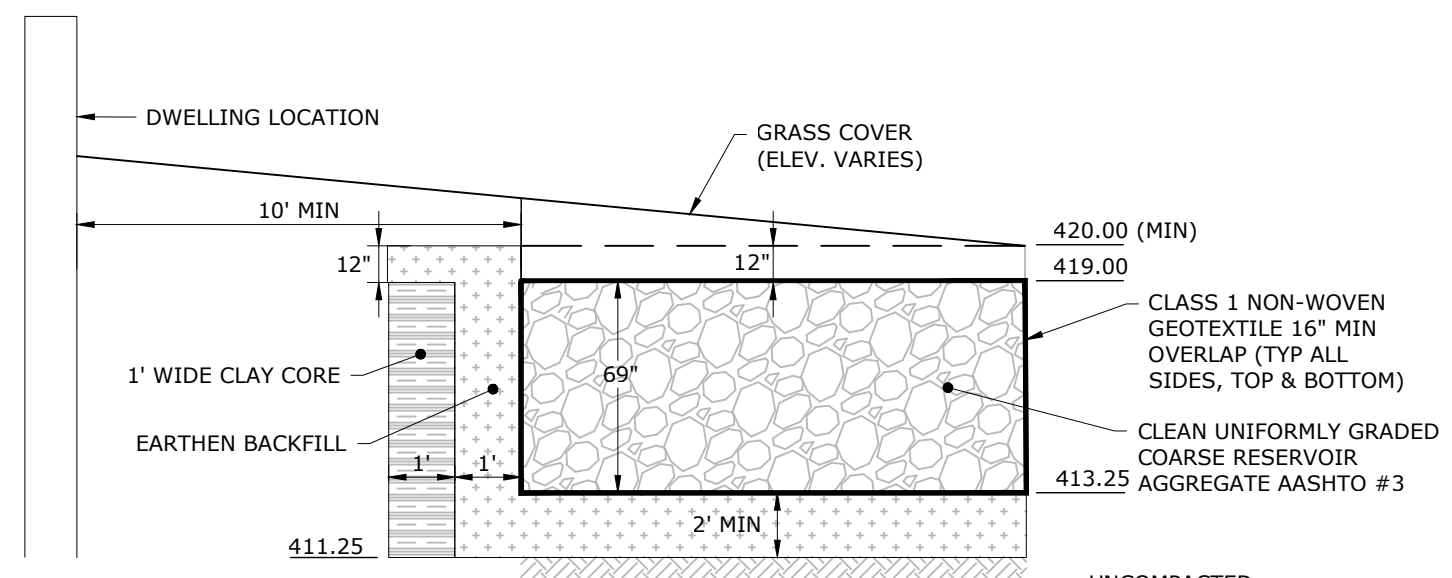
NOT TO SCALE



NOTE:
1. ALL YARD INLETS IN PAVED AREAS SHALL HAVE HANDICAPPED ACCESSIBLE GRATES INSTALLED.
2. ALL OTHER YARD INLETS SHALL HAVE BICYCLE SAFE GRATES

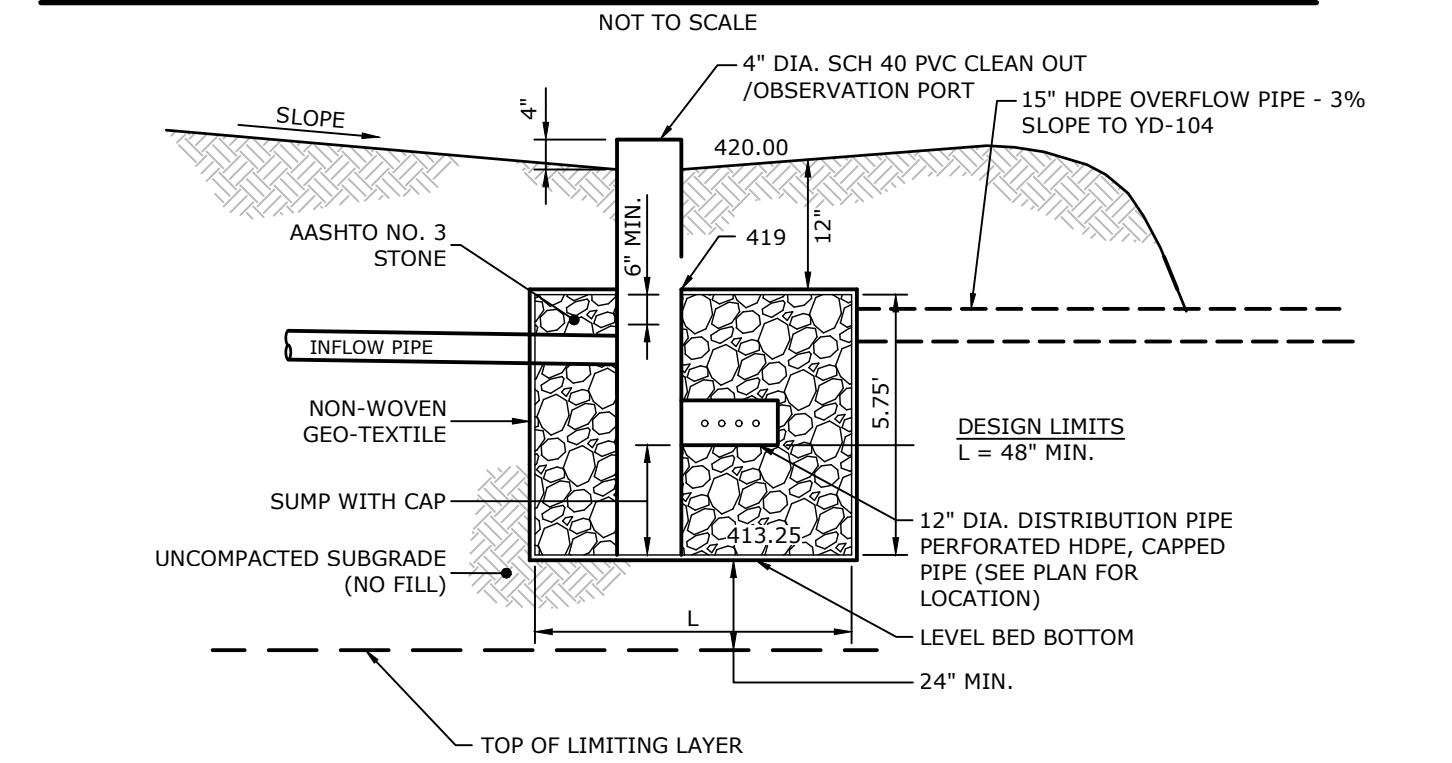
2'x2' YARD INLET

NOT TO SCALE

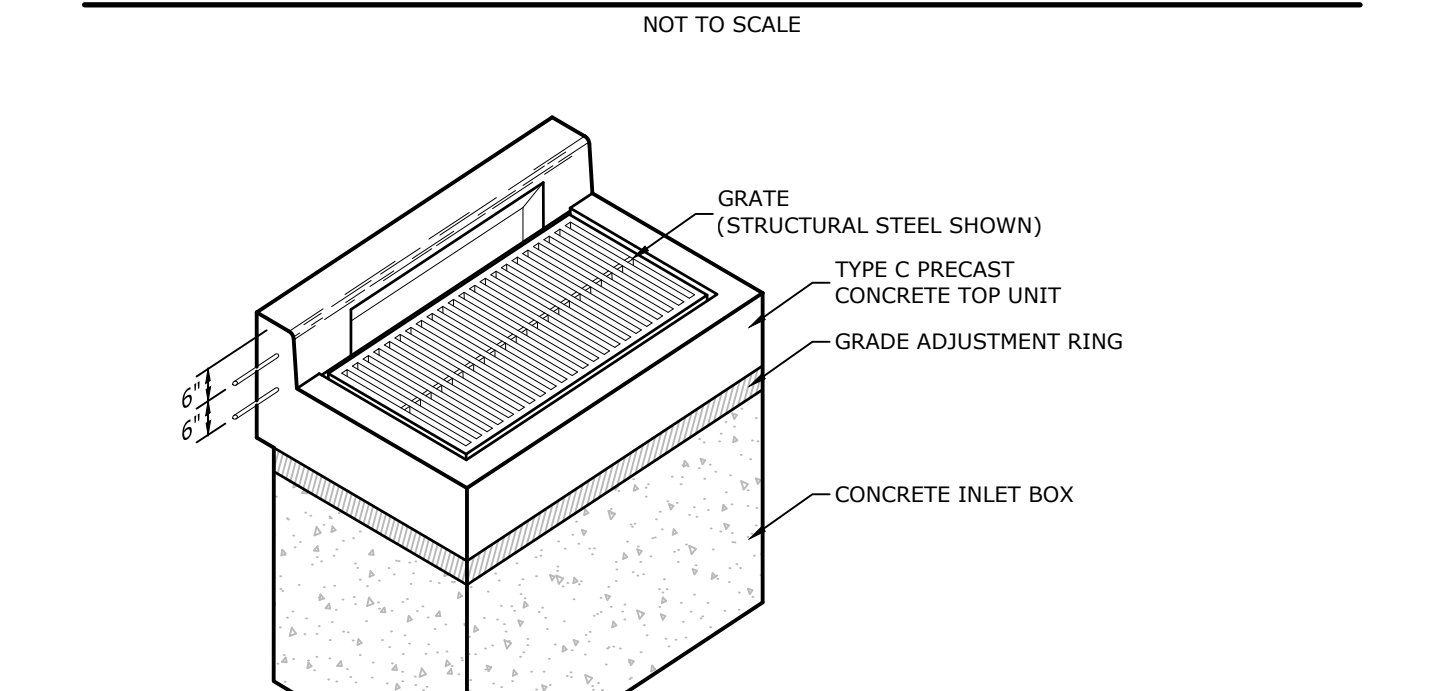


NOTES:
1. CLAY CORE SPECIFICATIONS:
a. THE CLAY CORE MATERIAL MUST BE CLASS AS A CL OR CH WITH NO PARTICLE SIZE LARGER THAN 3/4"
b. MATERIAL SHOULD BE COMPACTED IN 8-INCH LIFTS TO A MINIMUM OF 98% OF THE SOILS MAXIMUM DRY DENSITY AS PER ASTM D698 AT THE OPTIMUM MOISTURE CONTENT.

INFILTRATION BED SECTION (BMP 2)



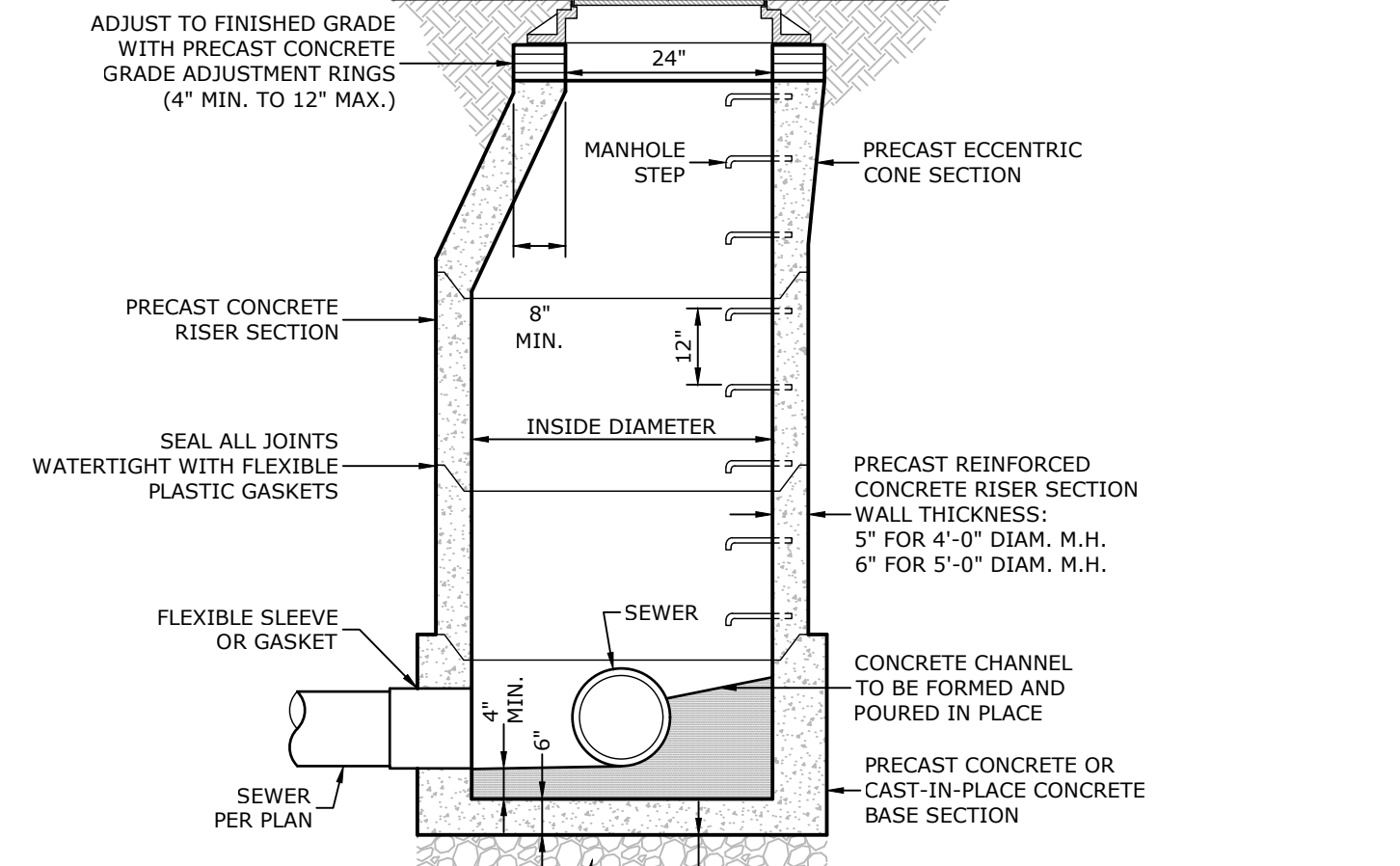
INDIVIDUAL LOT INFILTRATION BMP (BMP 2)



NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENN DOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-34. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES. STRUCTURE SHALL BE CERTIFIED FOR H2O LOADING.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. USE PRECAST CONCRETE OR STEEL GRADE ADJUSTMENT RINGS WHEN REQUIRED.

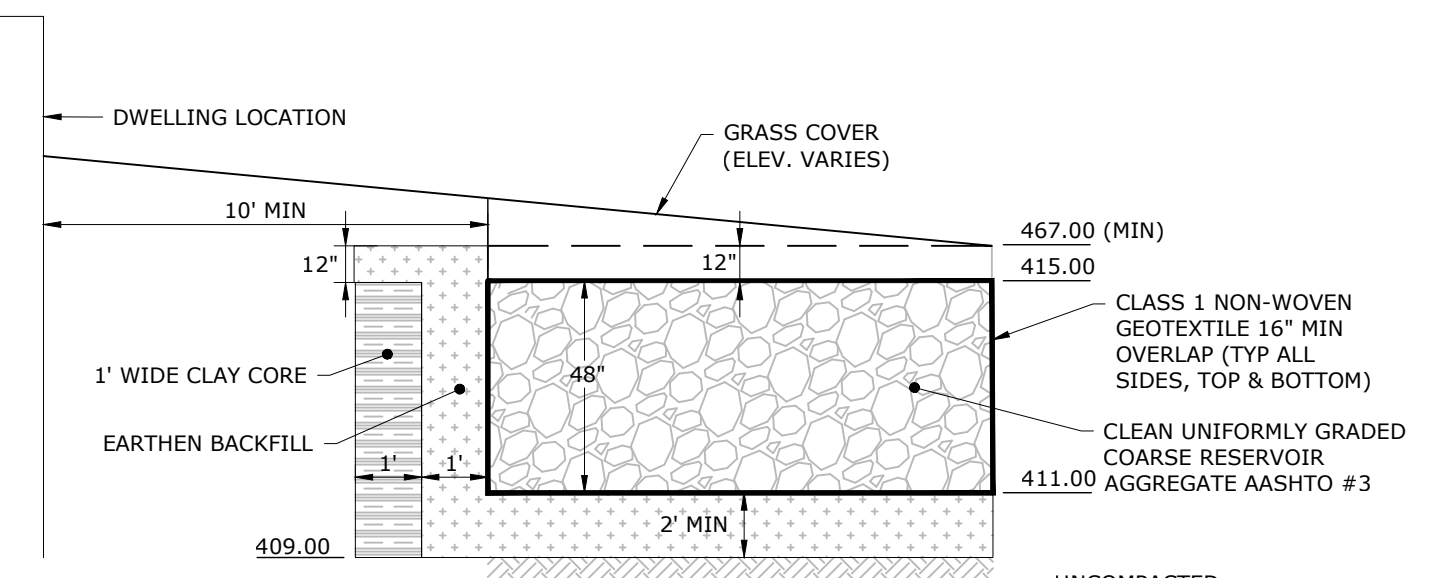
TYPE 'C' INLET

NOT TO SCALE



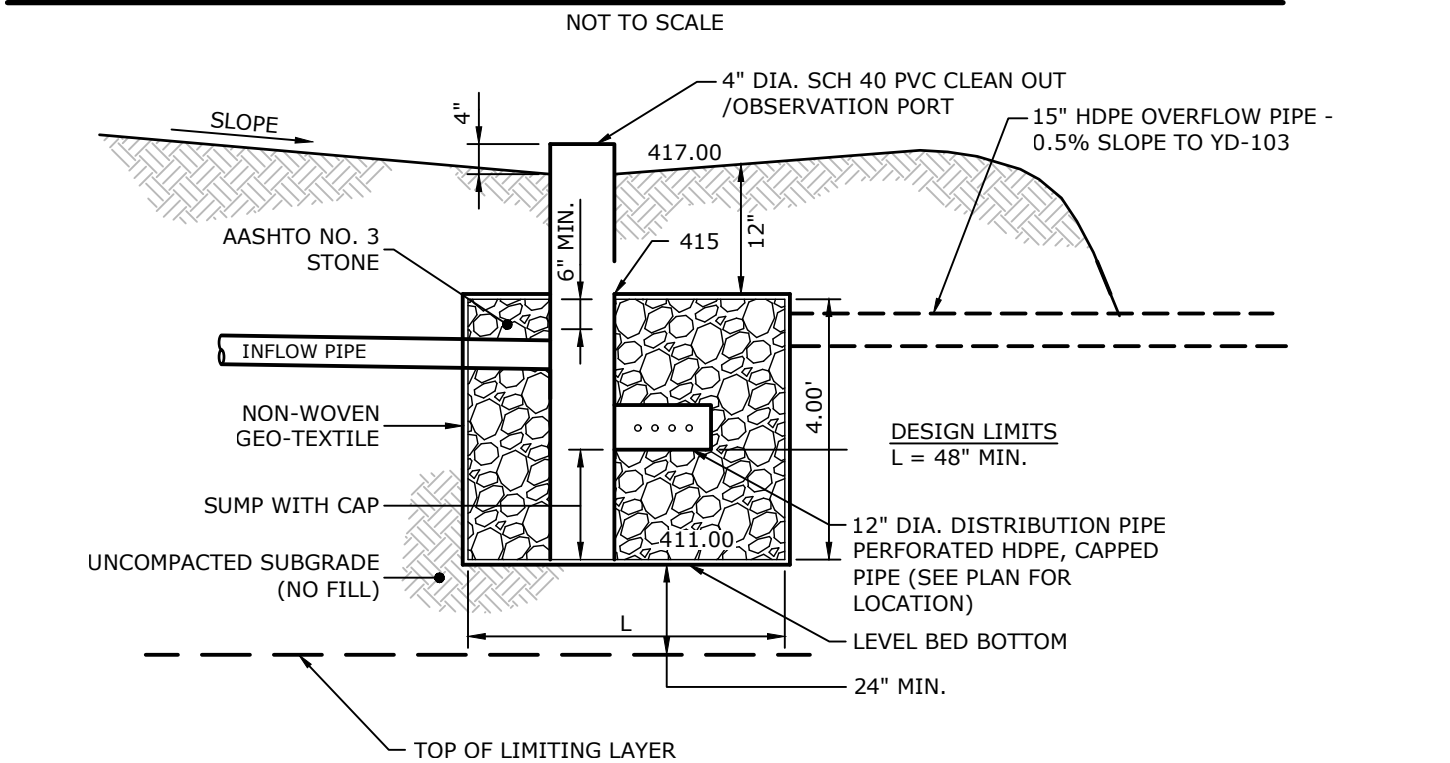
PRECAST CONCRETE STORM SEWER MANHOLE

NOT TO SCALE

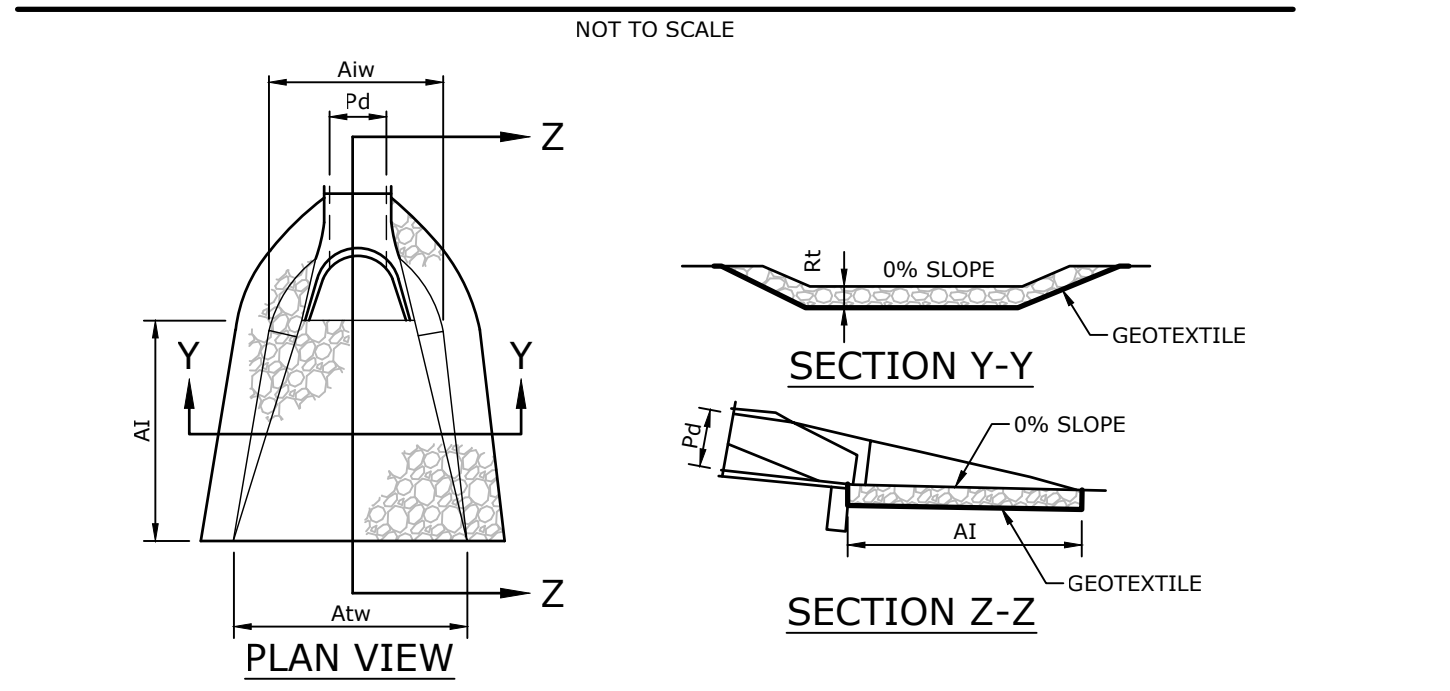


NOTES:
1. CLAY CORE SPECIFICATIONS:
a. THE CLAY CORE MATERIAL MUST BE CLASS AS A CL OR CH WITH NO PARTICLE SIZE LARGER THAN 3/4"
b. MATERIAL SHOULD BE COMPACTED IN 8-INCH LIFTS TO A MINIMUM OF 98% OF THE SOILS MAXIMUM DRY DENSITY AS PER ASTM D698 AT THE OPTIMUM MOISTURE CONTENT.

INFILTRATION BED SECTION (BMP 3)



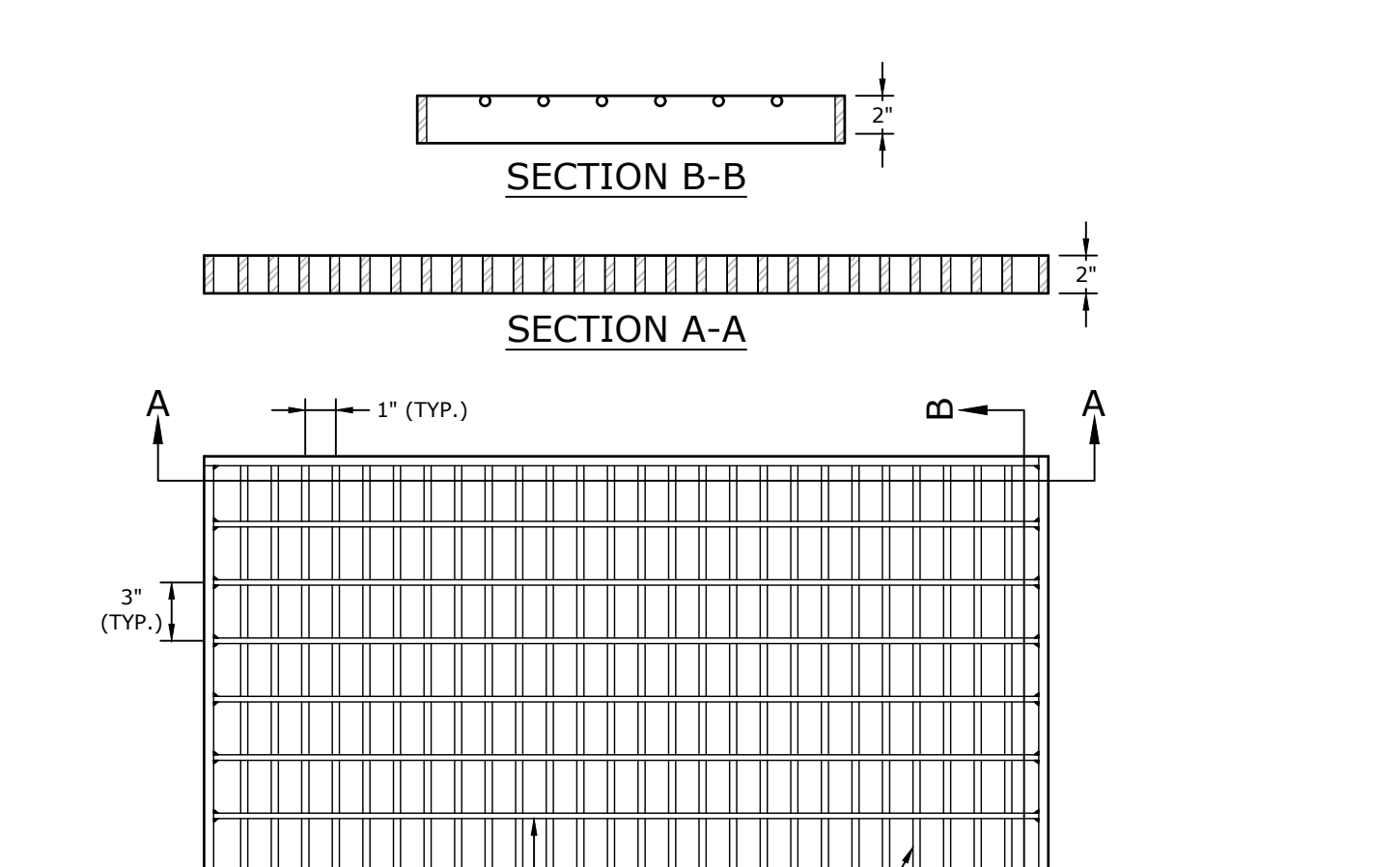
INDIVIDUAL LOT INFILTRATION BMP (BMP 3)



NOTES:
ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.
ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
NON-STRUCTURAL AREAS (NON-BUILDING/LANDSCAPED AREAS)
• ANY AND ALL LOOSE AND/OR SATURATED SOILS WITHIN THE SINKHOLE SHOULD BE EXCAVATED AND CONTINUE UNTIL STABLE SOILS. A "THROAT" IS IDENTIFIED, OR UNTIL THE EXTENT OF THE EXCAVATION EQUIPMENT IS REACHED.
• UPON REMOVAL OF THE UNSTABLE SOILS, THE EXCAVATION SHOULD BE BACKFILLED USING HIGH MOBILITY, LOW STRENGTH FLOWABLE FILL (500 PSI) TO FINAL SUBGRADE ELEVATION.

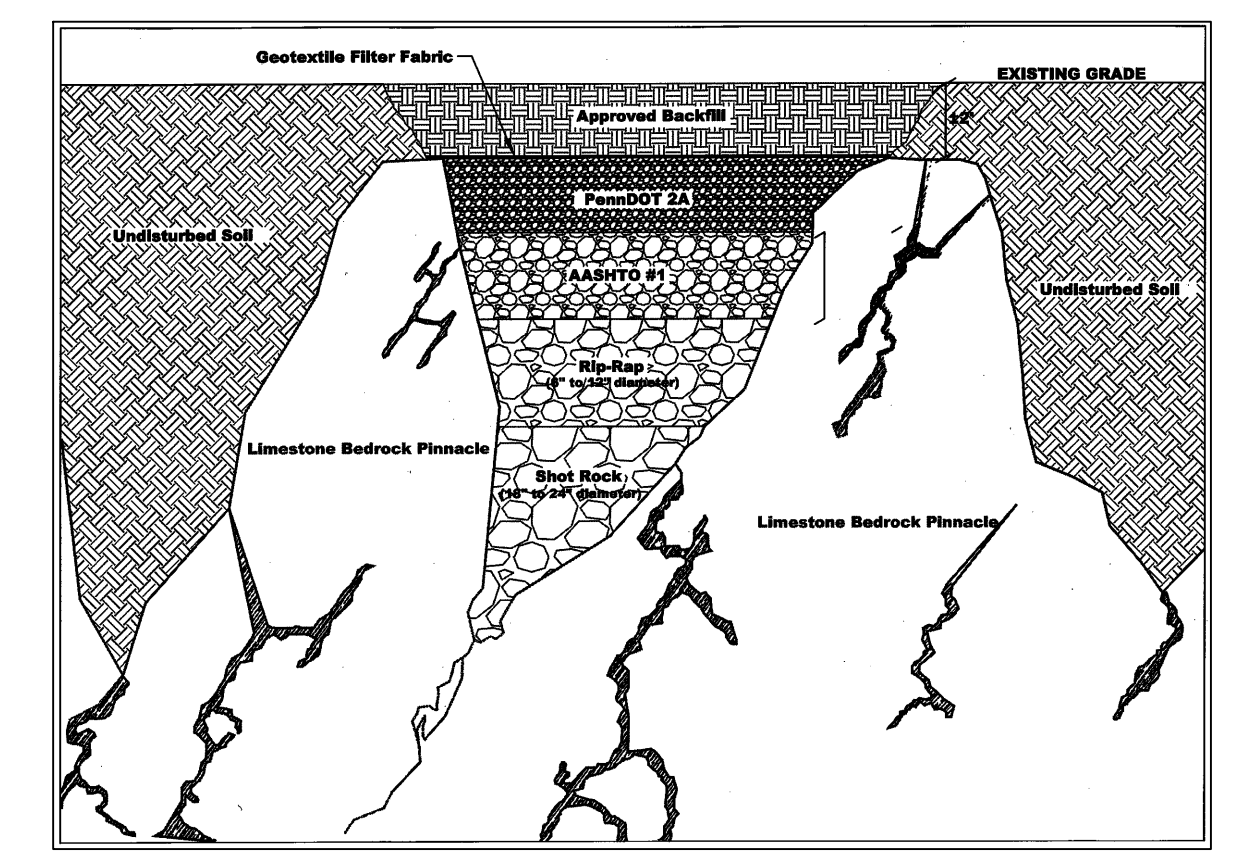
STANDARD CONSTRUCTION DETAIL #9-1 RIPRAP APRONS AT PIPE OUTLETS

NOT TO SCALE



STRUCTURAL STEEL BICYCLE SAFE GRATE

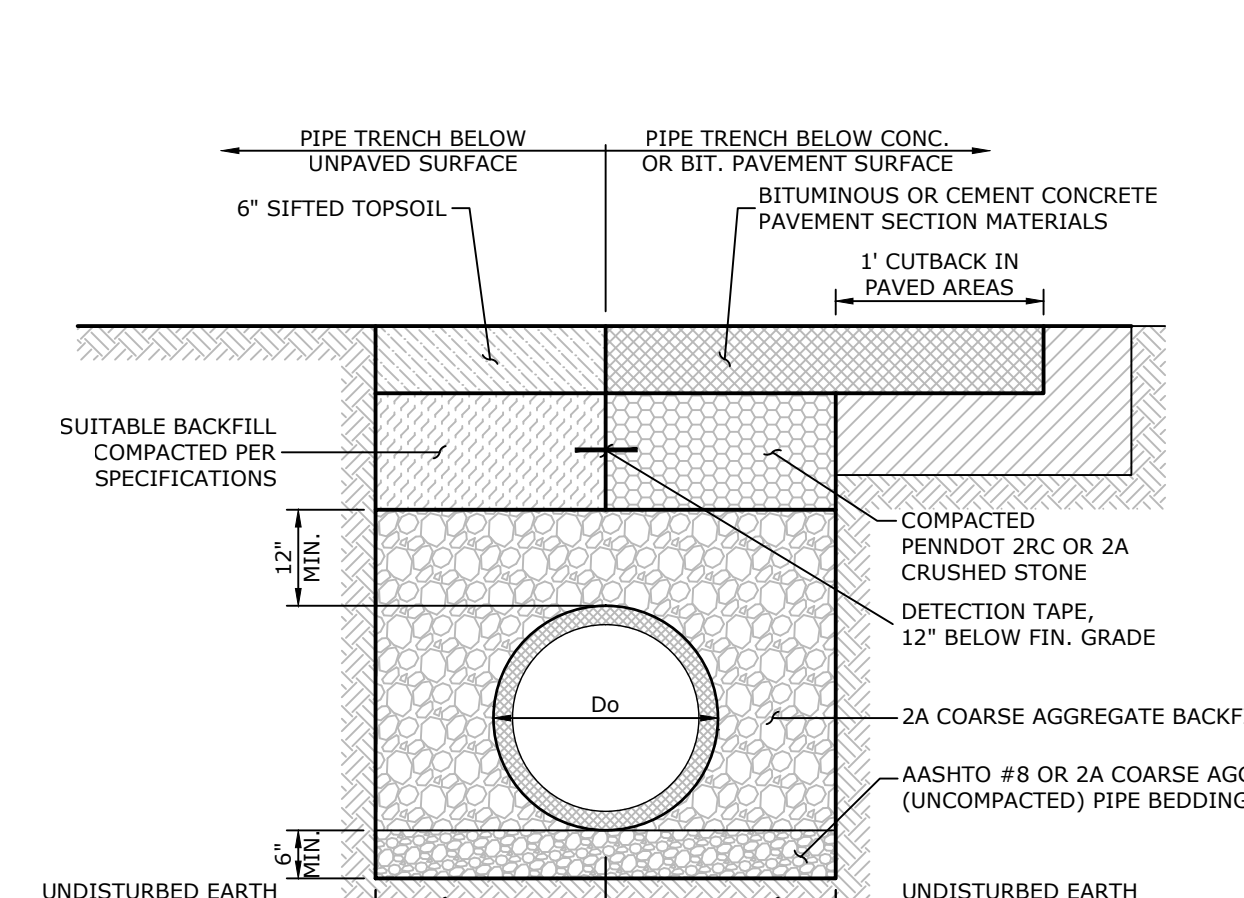
NOT TO SCALE



NOTES:
1. THE REPAIRS OUTLINED BELOW ARE GENERAL GUIDELINES AND EACH SINKHOLE OCCURRENCE SHOULD BE THOROUGHLY REVIEWED BY THE GEOTECHNICAL ENGINEER OF RECORD FOR AN APPROPRIATE REMEDIATION PLAN:
STRUCTURAL AREAS (AREAS WITHIN THE BUILDING FOOTPRINT OR BENEATH PAVEMENT)
• ANY AND ALL LOOSE AND/OR SATURATED SOILS WITHIN THE SINKHOLE SHOULD BE EXCAVATED AND CONTINUE UNTIL STABLE SOILS. A "THROAT" IS IDENTIFIED, OR UNTIL THE EXTENT OF THE EXCAVATION EQUIPMENT IS REACHED.
• UPON REMOVAL OF THE UNSTABLE SOILS, THE EXCAVATION SHOULD BE BACKFILLED USING HIGH MOBILITY, LOW STRENGTH FLOWABLE FILL (500 PSI) TO FINAL SUBGRADE ELEVATION.
NON-STRUCTURAL AREAS (NON-BUILDING/LANDSCAPED AREAS)
• ANY AND ALL LOOSE AND/OR SATURATED SOILS WITHIN THE SINKHOLE SHOULD BE EXCAVATED AND CONTINUE UNTIL STABLE SOILS. A "THROAT" IS IDENTIFIED, OR UNTIL THE EXTENT OF THE EXCAVATION EQUIPMENT IS REACHED.
• THE EXCAVATION SHOULD BE BACKFILLED WITH AGGREGATE OF DECREASING SIZE AS DEPICTED ON THE INVERTED FILTER DETAIL.

SINKHOLE REPAIR DETAIL

NOT TO SCALE



STORM SEWER TRENCH SECTION

NOTES:
1. BACKFILL SHALL BE PLACED IN 8-INCH LIFTS, AT COMPACTION OF 95 PERCENT STANDARD PROCTOR
2. PIPE BEDDING PER PENNDOT PUB. 408 AND/OR THE APPLICABLE SERVICE PROVIDER STANDARDS

NOT TO SCALE

NO.	DATE	DESCRIPTION
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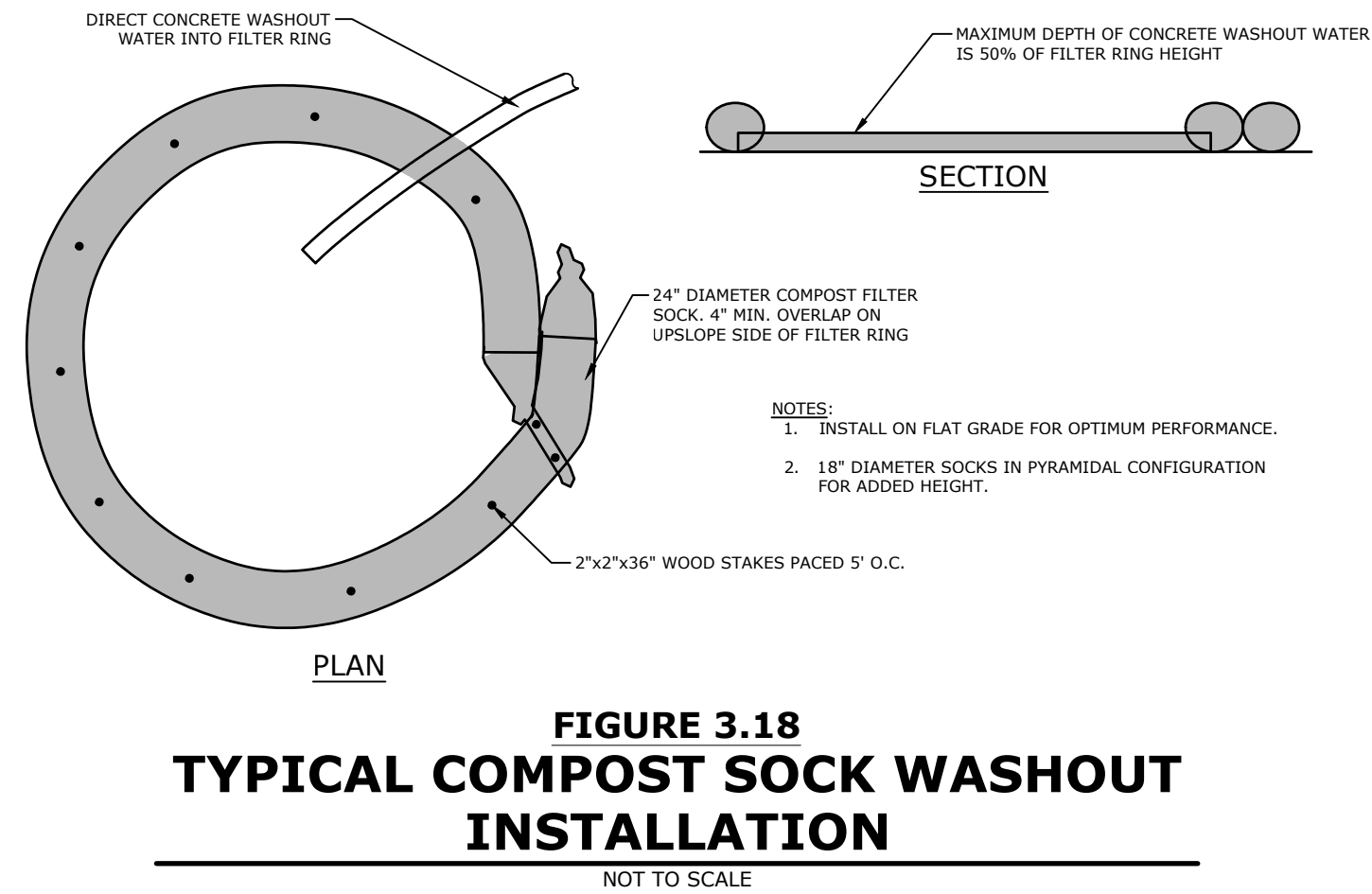
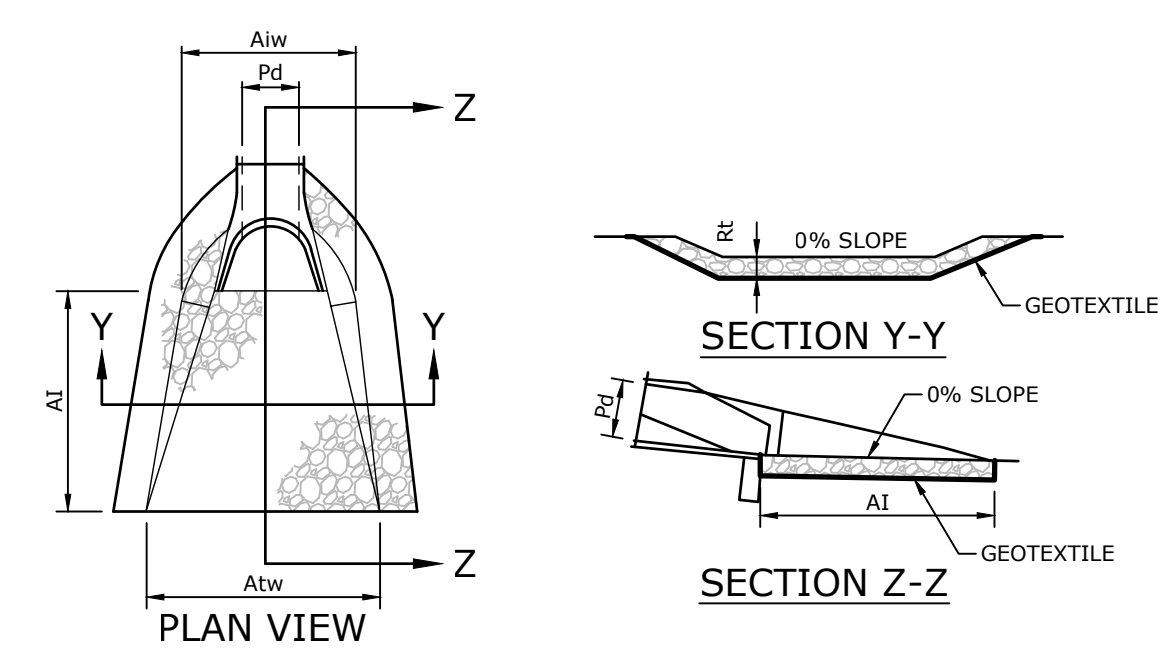
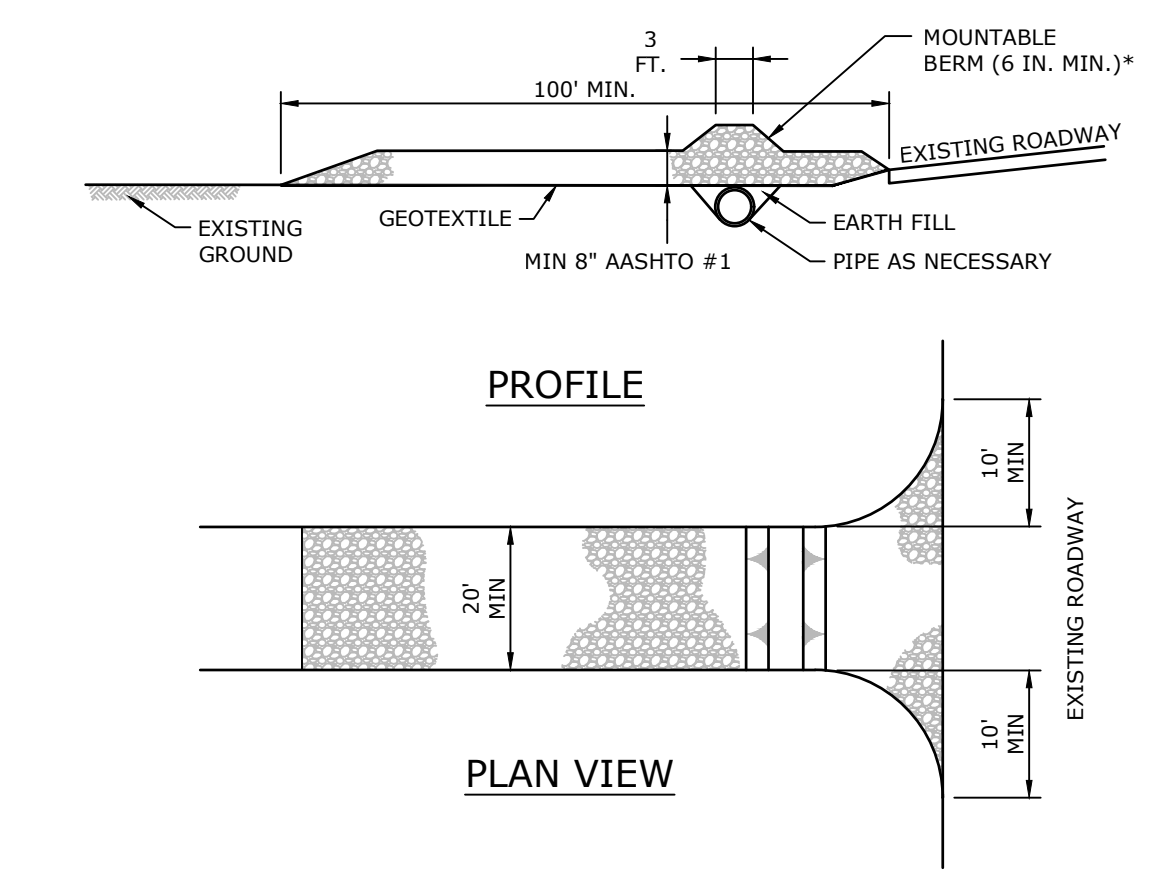


FIGURE 3.18
TYPICAL COMPOST SOCK WASHOUT
INSTALLATION
NOT TO SCALE

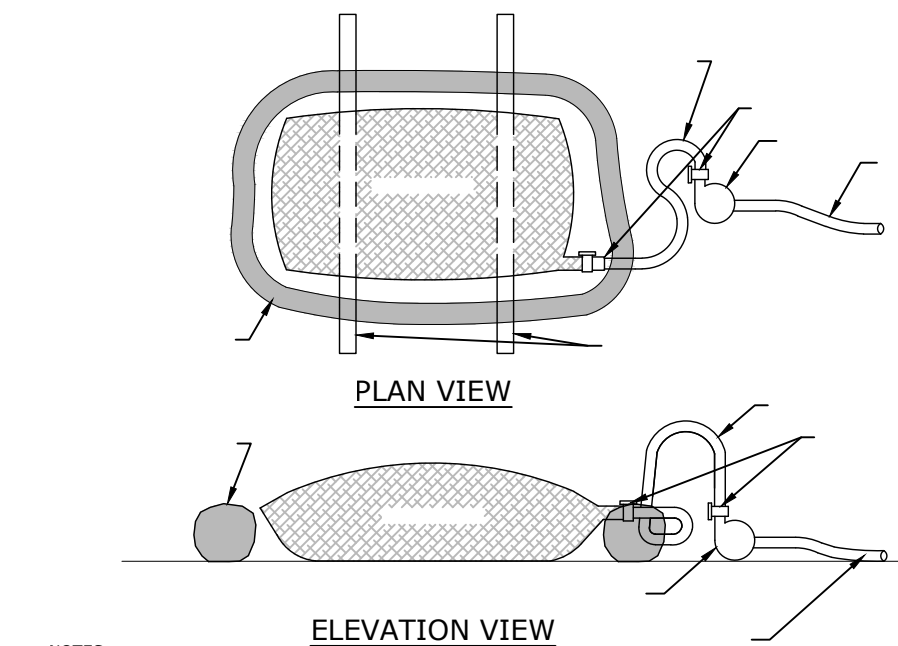


OUTLET NO.	PIPE DIA (IN)	RIPRAP			APRON	
		SIZE (R-)	THICK Rt (IN)	LENGTH AI (FT)	INITIAL WIDTH Ai (FT)	TERMINAL WIDTH Atw (FT)
EW-101	15	3	9	8	3.75	11.75

STANDARD CONSTRUCTION DETAIL #9-1
RIPRAP APRONS AT PIPE OUTLETS
NOT TO SCALE



ALTERNATIVE CONSTRUCTION DETAIL
ROCK CONSTRUCTION ENTRANCE
NOT TO SCALE



NOTES:
LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	255 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AGS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

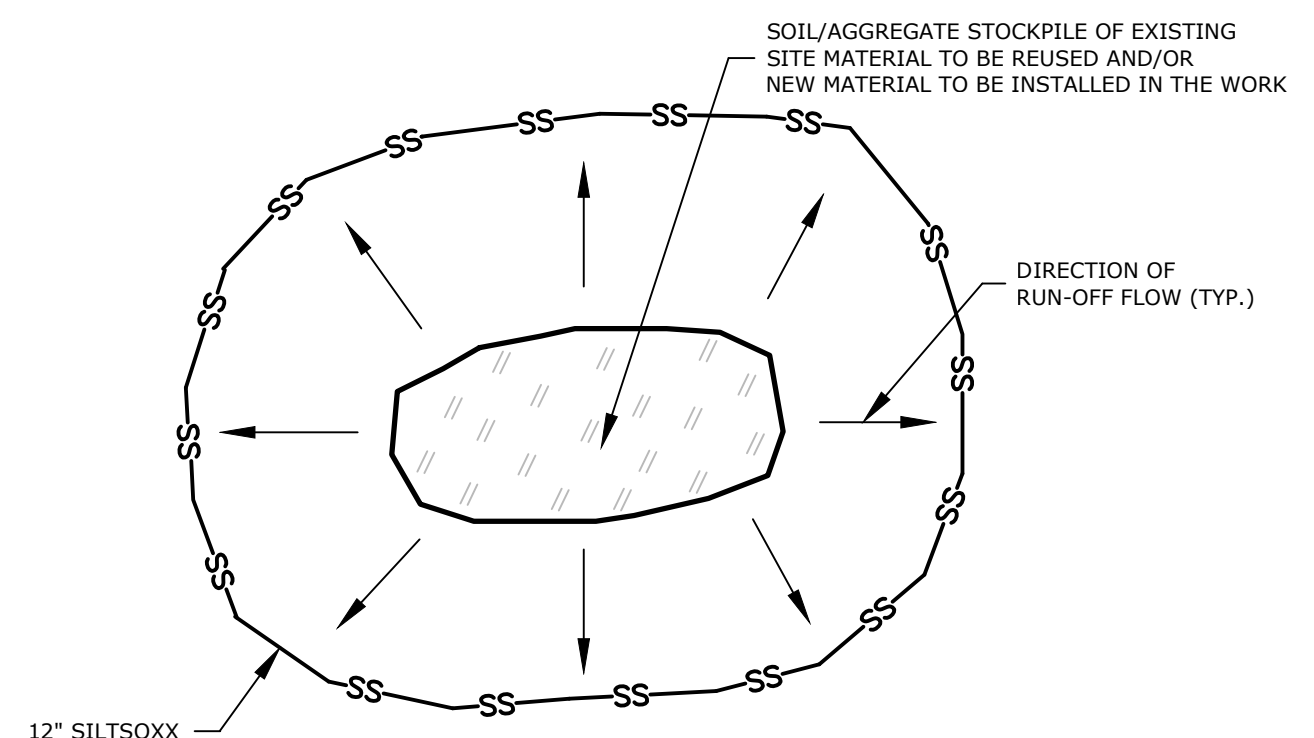
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

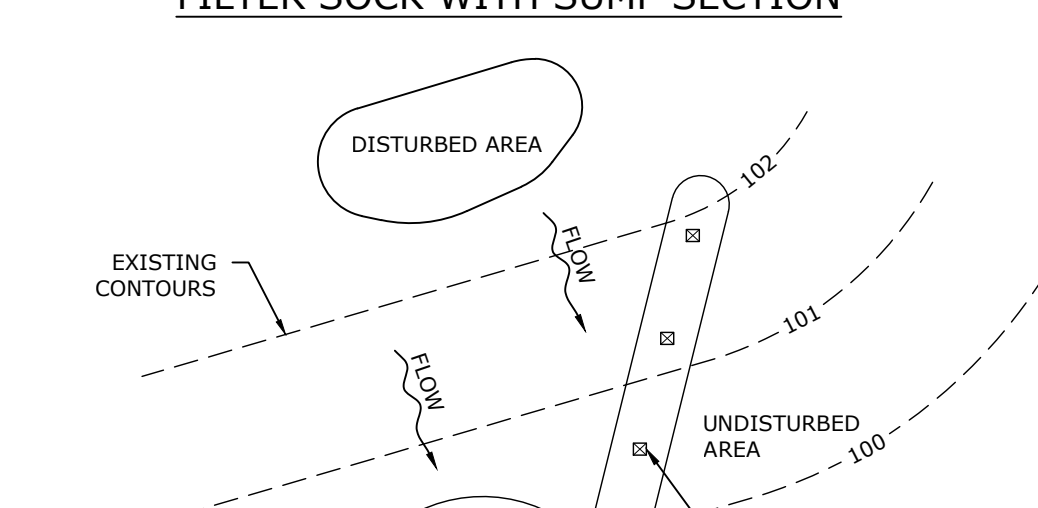
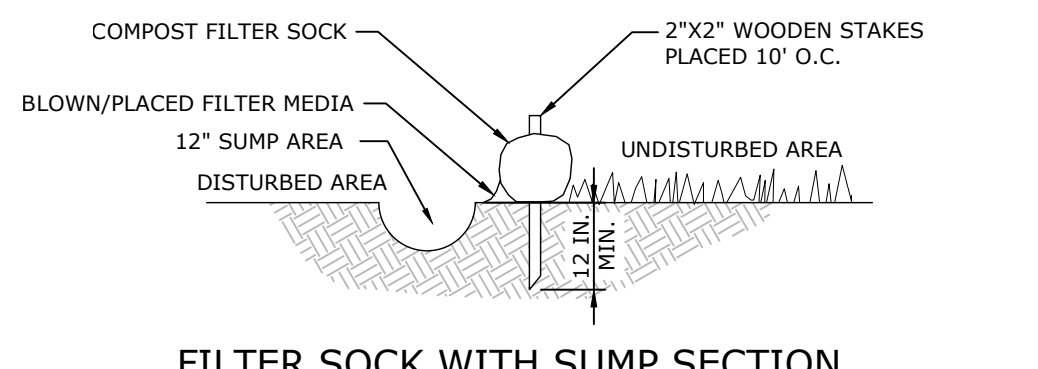
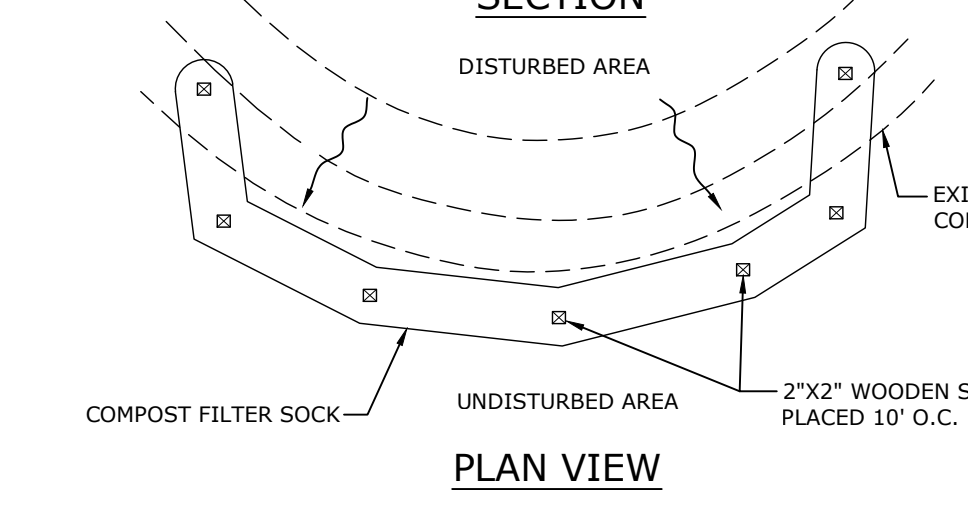
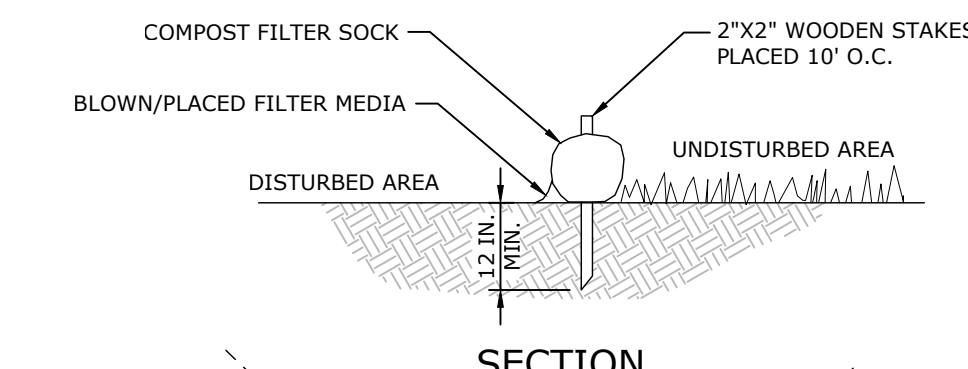
FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED.

ALTERNATIVE CONSTRUCTION DETAIL
PUMPED WATER FILTER BAG
NOT TO SCALE



TEMPORARY TOPSOIL STOCKPILE
NOT TO SCALE



COMPOST FILTER SOCK #	SOCK DIAMETER (IN)
1	12
2	12
3	12
4	32
5	24

TABLE 4.1
COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 MIL HDPE			5 MIL HDPE			5 MIL HDPE			MULTI-FILAMENT POLYPROPYLENE (MFPF)		HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMPF)	
	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	
SOCK DIAMETERS	12"	18"	12"	12"	18"	12"	12"	18"	12"	18"	12"	18"	
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	
TENSILE STRENGTH	26 PSI	26 PSI	26 PSI	44 PSI	44 PSI	44 PSI	44 PSI	44 PSI	44 PSI	44 PSI	44 PSI	44 PSI	
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.	23% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	100% AT 1000 HR.	
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	1 YEAR	1 YEAR	1 YEAR	1 YEAR	1 YEAR	1 YEAR	1 YEAR	2 YEARS	

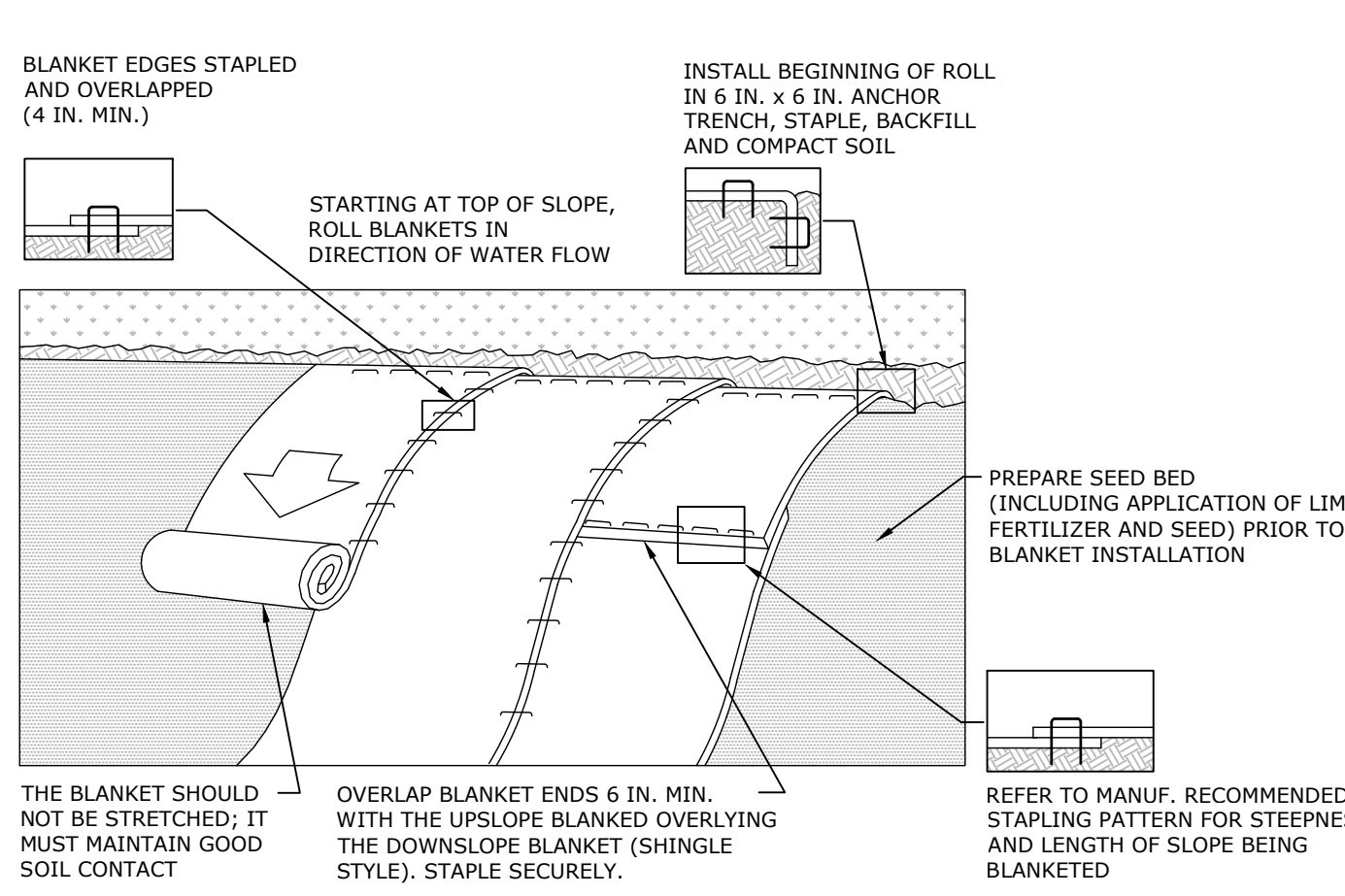
TWO-PLY SYSTEMS

INNER CONTAINMENT NETTING	HDPE BIAXIAL NET	
	CONTINUOUSLY WOUND	FUSION WELDED JUNCTURES
OUTER FILTRATION MESH	3/4" X 3/4" MAX. APERTURE SIZE	
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)	
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MO. OR LESS		

TABLE 4.2
COMPOST STANDARDS

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 60%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 DS/M (MMHOS/CM) MAXIMUM

STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK
NOT TO SCALE



NOTES:
SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS, AND GRASS.

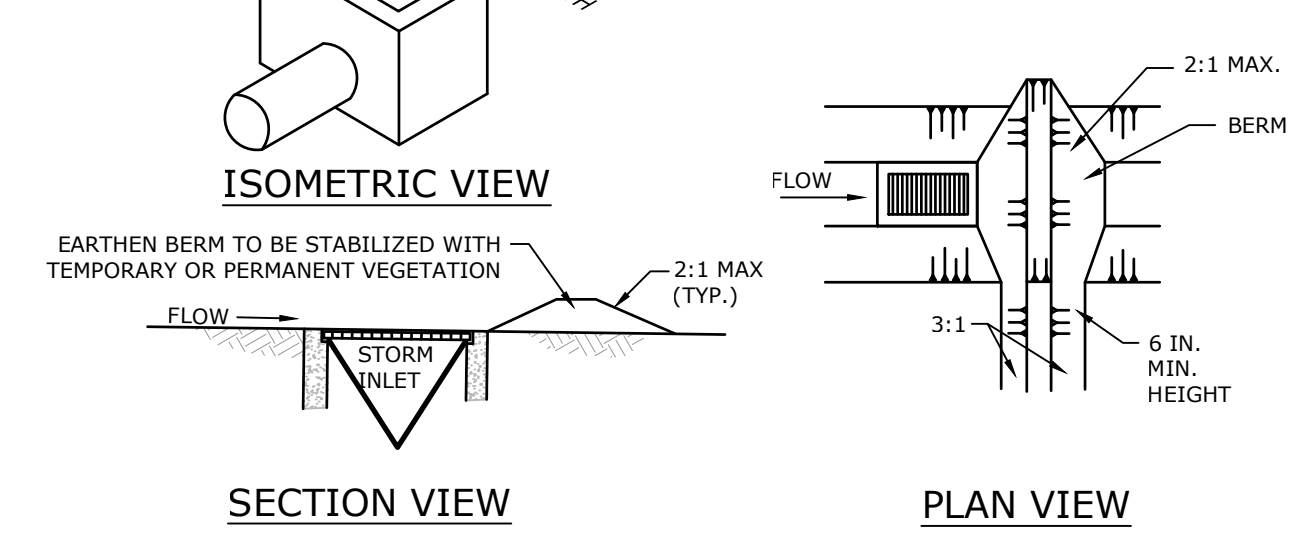
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED.

STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION
NOT TO SCALE



NOTES:
MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

TO BE CONSTRUCTED WITH MATERIALS AND TECHNIQUES IN ACCORDANCE WITH THE EROSION AND SEDIMENT POLLUTION CONTROL MANUAL EFFECTIVE DATE MARCH 31, 2012 AS AMENDED.

STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET
NOT TO SCALE

GENERAL EROSION & SEDIMENT CONTROL NOTES

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE ACCOMPANYING CONSTRUCTION SEQUENCE/STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES AT LEAST 1 DAY PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, (THE LANDOWNER, THE EROSION AND SEDIMENTATION CONTROL PLAN DESIGNER, AND A REPRESENTATIVE OF THE DAUPHIN COUNTY CONSERVATION DISTRICT (717-921-8100) FOR AN ONSITE PRE-CONSTRUCTION MEETING, ALSO AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES. ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INCORPORATED AT 800-242-1776 TO LOCATE BURIED UTILITIES.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED IN THE LOG FOLLOWING EACH INSPECTION. THE INSPECTION LOG WILL ALWAYS BE KEPT ON THE SITE AND MADE AVAILABLE TO THE CONSERVATION DISTRICT UPON REQUEST.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RETENNING MUST BE PERFORMED IMMEDIATELY, IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE EAS BMP'S SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS EAS PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- WHERE BMP'S ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION, THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION.
 - THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND POLLUTION EVENTS.
 - ALL STEPS TAKEN TO REDUCE, ELIMINATE, AND PREVENT THE REOCCURENCE OF THE NON-COMPLIANCE.
 - THE TIME FRAME TO CORRECT THE NON-COMPLIANT, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- ONLY LIMITED UP-SLOPE DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE CONVEYANCE CHANNELS, DIVERSION CHANNELS, AND INTERCEPTOR CHANNELS FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE CONTROLS AS REQUIRED.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED.
- VEHICLES MAY ONLY ENTER AND EXIT AT THE LOCATION OF APPROVED CONSTRUCTION ENTRANCE(S).
- STOCK PILE HEIGHTS MUST NOT EXCEED 35 FEET NOR SHALL THE SIDE SLOPE EXCEED 2:1.
- SILT SOCK MUST BE INSTALLED PARALLEL TO EXISTING CONTOURS OR CONSTRUCTED LEVEL ALIGNMENTS. ENDS OF SILT FENCING MUST EXTEND TRAVELING UP-SLOPE AT 45 DEGREES.
- SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH ONE-HALF THE ABOVE GROUND HEIGHT OF THE SILT SOCK.
- ANY SILT SOCK THAT HAS BEEN UNDERMINED OR TOPPED MUST BE REPLACED WITH FILTER OUTLETS IMMEDIATELY.
- STORM WATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY ACRES ARE STABILIZED.
- SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
- ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED MUST BE SEEDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH AS SPECIFIED.
- DIVERSIONS, CHANNELS, AND STOCKPILES MUST BE SEEDED AND MULCHED IMMEDIATELY. THEY SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS, OR OTHER PROJECTIONS THAT IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOILS CONTACT. CHANNEL SHALL BE INITIALLY OVER EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.
- THE APPLICANT WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS INCLUDED ON THIS PLAN.
- THE APPLICANT MUST DEVELOP, AND HAVE APPROVED BY THE DAUPHIN COUNTY CONSERVATION DISTRICT, A SEPARATE EROSION AND SEDIMENTATION CONTROL PLAN FOR EACH SPOIL, BORROW, OR OTHER WORK AREA NOT DETAILED ON THE APPROVED PLAN, WHETHER LOCATED WITHIN OR OUTSIDE THE CONSTRUCTION LIMITS. PLAN MUST FOLLOW CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
- UNLESS OTHERWISE NOTED, THE LIMITS OF GRADING SHALL BE CONSIDERED THE LIMITS OF DISTURBANCE.
- SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE APPLICANT TO ELIMINATE ALL SUCH PROBLEMS.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL ACT TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 6-4, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART G, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST ALWAYS BE AVAILABLE AT THE PROJECT SITE.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE DAUPHIN COUNTY CONSERVATION DISTRICT.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ER SEQ. AND 287.1 ER SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL BLANKETING.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST ALWAYS BE AVAILABLE AT THE PROJECT SITE.
- SEDIMENT REMOVED FROM BMP'S DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE WITH EXISTING SEDIMENT PROTECTION MEASURES IN PLACE AND INCORPORATED INTO THE SITE GRADING.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES, PERMANENT STABILIZATION OF ALL DISTURBED AREAS SHALL OCCUR. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE DAUPHIN COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION PRIOR TO REMOVAL OF THE BMP'S.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.
- A SMALL AREA OF WETLANDS EXISTS TO THE SOUTH EAST OF THE PROPOSED LOTS, AS WELL AS RIVERINE WETLANDS EXIST ALONG THE STREAM. NO WETLAND AREA WILL BE DISTURBED OR AFFECTED AS PART OF THIS PLAN.

MULCH SPECIFICATIONS

ON ALL DISTURBED AREAS WHICH DO NOT HAVE AN EROSION CONTROL BLANKET SPECIFIED FOR INSTALLATION, STRAW MULCH SHALL BE APPLIED AT THE RATE OF 3.0 TONS PER ACRE IMMEDIATELY AFTER SEEDING THE SURFACE. ON STEEP SLOPES OF 3:1 OR GREATER, MULCH SHALL BE ANCHORED THROUGH THE USE OF JUTE NETTING OR MIXING WITH ASPHALT AT THE RATE OF 100 GALLONS PER 3 TONS OF STRAW MULCH.

SOIL AMENDMENTS SPECIFICATIONS

APPLY THE FOLLOWING SOIL SUPPLEMENTS PRIOR TO PERMANENT SEEDING:

- PULVERIZED AGRICULTURAL LIMESTONE CONFORMING TO PENN D.O.T. FORM 408, SECTION 804, APPLIED AT A RATE OF 1 TON PER ACRE.
- 10-20-20 ANALYSIS COMMERCIAL FERTILIZER CONFORMING TO PENN D.O.T. FORM 408, SECTION 804, APPLIED AT A RATE OF 140 POUNDS PER 1,000 SQUARE YARDS.
- 38-0-0 UREA/FORM SLOW-RELEASE NITROGEN FERTILIZER CONFORMING TO PENN D.O.T. FORM 408, SECTION 804, APPLIED AT A RATE OF 50 POUNDS PER 1,000 SQUARE YARDS.

SEED MIXTURES

TEMPORARY SEED MIXTURE

SPECIES: ANNUAL RYEGRASS
% PURE LIVE SEED: 81%
APPLICATION RATE: 10 LBS / 1000 SQ.YD.
FERTILIZER APPLICATION RATE: 1/2 TON / ACRE
LIMING RATE: 1 TON / ACRE
MULCH TYPE: STRAW MULCH
MULCHING RATE: 3 TON / ACRE

PERMANENT SEED MIXTURE

TOPSOIL PLACEMENT DEPTH: 6"
SPECIES: TURF TYPE TALL FESCUE
%PURE LIVE SEED: 97%
APPLICATION RATE: 21 LBS / 1,000SQ.YD.
FERTILIZER RATE: 19-19-19
FERTILIZER APPL. RATE: 250LBS / ACRE
LIMING RATE: 1.5 GALLONS / ACRE
MULCH TYPE: STRAW MULCH
MULCHING RATE: 3 TON / ACRE

PERMANENT SEED MIXTURE - STEEP SLOPES

TOPSOIL PLACEMENT DEPTH: 6"
SPECIES: PENNDOT FORMULA D LOW MOW GRASS MIX
% PURE LIVE SEED: 81%
APPLICATION RATE: 30LBS / 1,000SQ.YD.
FERTILIZER RATE: NITROGEN FERTILIZER (10-20-20)
FERTILIZER APPLICATION RATE: 140LBS / 1,000 SQ.YD.
LIMING RATE: 800LBS / 1,000SQ.YD.
MULCH TYPE: STRAW MULCH
MULCHING RATE: 3 TON / ACRE

RECYCLING OR DISPOSAL OF MATERIALS

- ALL WASTE AND MATERIALS DEPOSITED IN AND REMOVED FROM POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) BMP FACILITIES AND FROM IMPERVIOUS AREAS (EX. SWEEPING OF STREETS & PARKING LOTS) DURING OPERATION AND MAINTENANCE SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EAS PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- ANTICIPATED CONSTRUCTION WASTE MAY INCLUDE TYPICAL BUILDING MATERIALS (I.E. LUMBER, DRYWALL, MASONRY, CARDBOARD AND PAPER, INSULATION, ASPHALT, ROOFING, PLASTIC AND VINYL, PAINTS, STAINS, SOLVENTS AND SEALANTS, ETC.)
- IT IS STRONGLY ENCOURAGED THAT SUCH RECOVERABLE WASTE MATERIALS BE SEPARATED AND APPROPRIATELY RECYCLED. NO POTENTIAL TOXIC OR HAZARDOUS WASTE IS KNOWN TO BE PRESENT ON SITE. IF ANY TOXIC OR HAZARDOUS WASTE IS ENCOUNTERED, THE CONTRACTOR SHALL FOLLOW ANY AND ALL APPLICABLE STATE OR FEDERAL REGULATIONS ASSOCIATED WITH THE DISPOSAL OF SUCH MATERIALS.



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SUBDIVISION/PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

4209 CUMBERLAND AVENUE RESIDENTIAL DEVELOPMENT

FOR

CHRIS DAWSON ARCHITECTS

SUSQUEHANNA TOWNSHIP

DAUPHIN COUNTY, PA



PROFESSIONAL SEAL

SCALE: AS SHOWN
DATE: SEPTEMBER 1, 2023
K&W PROJECT: 2160.016
DRAWN BY: PKS

CAD DRAWING:
2160016-N_M DETL.dwg

REVISIONS	NO.	DATE	DESCRIPTION
	1	10/31/2023	REVISED PER COMMENT LETTERS
	2	02/20/2024	REVISION TO REMOVE LOT 6
	3		
	4		
	5		
	6		
	7		

PLAN TYPE:
E&S NOTES

SHEET:

17 OF 17