

RECORDER OF DEEDS CERTIFICATE

Recorded in the office of the Recorder of Deeds of the County of Dauphin, Commonwealth of Pennsylvania, in Book _____, Page _____, given under my hand and seal this _____ day of _____, 20__.

(Seal)
Recorder of Deeds

DAUPHIN COUNTY

STATEMENT OF OWNERSHIP

Commonwealth of Pa. County of _____, 20__ before me, the undersigned officer, personally appeared,

Owner _____

Who being duly sworn according to law, dispose and says they are the owners of the property shown on this plan, and that they acknowledge the same to be their act and deed and desire the same to be recorded as such according to law.

Witness my hand and notarial seal the day and the date above written.

My commission expires the _____ day of _____, 20__.

(Seal) Public Notary _____

It is hereby certified that the undersigned are the owners of the property shown on this plan and that they are duly qualified to execute and acknowledge the same as hereby tendered for dedication to public use.

PROFESSIONAL CERTIFICATIONS

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by Susquehanna Township Subdivision and Land Development Ordinance.

Professional Surveyor _____

SURVEY

I hereby certify that there are wetlands on the subject property, the proposed project will not impact on-site or off-site wetlands, and permits are not required from the state or federal government.

Professional Surveyor _____

WETLANDS

PLAN REVIEW AND APPROVAL CERTIFICATES

BY THE DAUPHIN COUNTY PLANNING COMMISSION.

This plan reviewed by the Dauphin Co. Planning Commission on this _____ day of _____, 20__.

Secretary: Dauphin County _____ Chairman: Dauphin County _____
Planning Commission _____ Planning Commission _____

BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION.

This plan recommended for approval by the Susquehanna Township Planning Commission, this _____ day of _____, 20__.

SUSQUEHANNA TOWNSHIP PLANNING COMMISSION

Secretary _____ Chairman _____

BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS.

This plan approved by the Susquehanna Township Board of Commissioners, and all conditions imposed with respect to such approval were completed on this _____ day of _____, 20__.

SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS

Secretary _____ President _____

BY THE SUSQUEHANNA TOWNSHIP ENGINEER.

This plan reviewed by the Susquehanna Township Engineer, this _____ day of _____, 20__.

SUSQUEHANNA TOWNSHIP ENGINEER _____

Township Engineer _____

ZONING / DESIGN DATA REQUIREMENTS

Zoning District: R-2 – Medium Density Residential Zone
Minimum Lot Area: 10,000 SF
Minimum Lot Width: 75'
Maximum Impervious Coverage: 40%
Maximum Impervious Coverage (Optional): 50%
Off-Street Parking: *as per Chapter 27-Part 23*
Single-Fam. Dwelling: 2 spaces per unit (9x18 ft space)

Zoning District: C90 – Construction Design Overlay District
Minimum Lot Area: 6,000/4,000 SF (Option 1/2) Building setbacks:
Minimum Lot Width: 40' (Option 1&2) to front: 50 Ft. (Option 1&2)
Minimum Open Space: 35/45ft (Option 1/2) to rear: 30'
*to side: 5' (Option 1&2)
*Separation of principal buildings 19' apart

Additional limitations as per Section 27, Part 17 of the Susquehanna Township Ordinance shall apply.

EXISTING SITE DATA

Lot 1 – Tax Parcel 62-025-064
Existing Use: Residential Dwelling
Existing Lot Area: 90,670 Sq Ft or 2.082 Acres (Surveyed)
Existing Lot Width: Along Edmerton Avenue 516' and Along 39th Street 256'
Existing Lot Width: 55+ Ft (Along 39th Street)

Lot 2 – Tax Parcel 62-025-064
Existing Lot Area: 64,271 Sq Ft or 1.476 Acres (Surveyed)
Existing Lot Width: 150+ Ft (Along 39th Street)

PROPOSED SITE DATA

Lot 1
Proposed Use: Residential (Existing)
Proposed Lot Area: 23,037 Sq Ft or 0.529 Acres
Proposed Lot Width: 150+ Ft (Along N. Thirty-Ninth Street & Edmerton Avenue)
Proposed Lot Depth: 150+ Ft (Along 39th Street)

Lot 2
Proposed Use: Residential
Proposed Lot Area: 148,726 Sq Ft or 3.415 Acres
Proposed Lot Width: 150+ Ft (Along 39th Street)
Proposed Lot Depth: 150+ Ft (Along 39th Street)

Dedicated Right-of-Way (Along Edmerton Ave)
Proposed Area: 3,473 Sq Ft or 0.080 Acres

WARRANT REQUESTS

WARRANT AND SECTION REQUESTING: WAIVER FROM
1. Section 22-404 (Preliminary Plan Procedure)
2. Section 22-403B3 (Drawing Scale [1"=100'])

EQUITABLE OWNER(S)/DEVELOPER(S)

Equitable Owner/Applicant: Herbert C. Moore
Harrisburg, PA 17109
Phone: _____
Site Address: _____
Harrisburg, PA

FINAL MINOR SUBDIVISION PLAN

FOR
HERBERT C. MOORE
OF
399 N. 39TH STREET

SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA
DRAWING NUMBER: 15063-002
Date: June 7th, 2019

FINAL
MINOR SUBDIVISION PLAN
FOR
HERBERT C. MOORE

Plan Set Dated: June 7th, 2019

Sheet Index (all sheets will be recorded)

- Sheet 1 - Cover
- Sheet 2 - Existing Conditions / Demolition Plan
- Sheet 3 - Subdivision Plan
- Sheet 4 - Easement Plan

PLAN GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE THREE (3) EXISTING TRACTS OF COMMON OWNERSHIP (EX LOT 1, EX LOT 2, & EX LOT 3) TOTALING 1,492 ACRES INTO TWO (2) NEW RESIDENTIAL BUILDING LOTS.
- EXISTING LOT 1 CONTAINS AN EXISTING DWELLING & OUTBUILDINGS, UTILIZING PUBLIC WATER & SEWER WITH EXISTING ACCESS TO EDMERTON AVENUE & N. THIRTY-NINTH STREET.
- THE MAJORITY OF THE EXISTING SITE IS MOVED GRASS-LAWN SERVICES.
- ALL UTILITIES ARE TO BE DELETED FROM THE SITE AS DETERMINED BY THE NATIONAL FLOOD INSURANCE MAP(S) FOR SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA., BUT AS PER DEP. A FLOOD HAZARD ZONE.
- ALL INFORMATION ON THIS PLAN IS A RESULT FROM AN ACTUAL FIELD SURVEY PERFORMED BY BURGET & ASSOCIATES IN 2013 & 2019.
- THIS SURVEY AND PLAN WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT.
- BOUNDARY EXISTS BEING 50 FEET FROM TOP OF BANK OF THE EXISTING STREAM.
- WETLANDS EXIST AS SHOWN AS DETERMINED BY AN ACTUAL WETLANDS DELINEATION BY WILSON ENVIRONMENTAL.
- PERMITS AND APPROVALS BE OBTAINED FROM THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCIES.
- ALL UNDERGROUND UTILITY LOCATIONS BASED ON ABOVE GROUND FEATURES, ABOVE GROUND MARKINGS AND PLANS OF RECORD. ACTUAL LOCATIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- NO FLOODPLAIN(S) EXIST WITHIN THE SITE AS DETERMINED BY THE NATIONAL FLOOD INSURANCE MAP(S) FOR SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA., BUT AS PER DEP. A FLOOD HAZARD ZONE.
- BEFORE FUTURE DRIVEWAY ACCESS TO A STATE HIGHWAY IS PERMITTED.
- TWO (2) PARKING SPACES (9'X18' EACH) WILL BE PROVIDED FOR ANY NEW DWELLING CONSTRUCTED.
- ALL EXISTING OVERHEAD UTILITY LINES ARE COVERED BY A PROPOSED 20' WIDE UTILITY EASEMENT (UNLESS OTHERWISE NOTED) CENTERED ABOUT THE EXISTING LINES.
- ALL EXISTING OVERHEAD UTILITY LINES ARE COVERED BY A PROPOSED 20' WIDE UTILITY EASEMENT (UNLESS OTHERWISE NOTED) CENTERED ABOUT THE EXISTING LINES.
- PERMITS AND APPROVALS BE OBTAINED FROM THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCIES.
- WHERE AREAS OF EARTH DISTURBANCE WILL EXCEED 1 ACRE AN NPDES PERMIT WILL BE REQUIRED.
- ANY FUTURE CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 AND 72 STANDARDS AND ALL APPLICABLE SUSQUEHANNA TOWNSHIP ORDINANCES.
- THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM OF 48 - HOURS NOTICE AND TO COORDINATE WITH THE TOWNSHIP/TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL PLANS.
- NO PROFESSIONAL LAND SURVEYOR TO CERTIFY TO ALL PROPERTY LINE BOUNDARY, EXISTING CONDITIONS TOPOGRAPHY, AND SITE LAYOUT (BURGET & ASSOCIATES, INC.).
- NO PROTECTIVE COVENANTS (OTHER THAN THOSE SHOWN ON THIS PLAN, I.E. RIGHT-OF-WAYS, EASEMENTS, STRIPBACKS, ETC.) EXIST ON THIS PROPERTY OR ARE BEING PROPOSED BY THIS SUBDIVISION PLAN.
- ALL PROPOSED PERMANENT MARKERS AND MONUMENTS WILL BE SET PRIOR TO FINAL PLAN RECORDING.
- A PROPOSED DEDICATED RIGHT-OF-WAY (30' FROM CENTERLINE) TO SUSQUEHANNA TOWNSHIP IS PROPOSED ALONG EDMERTON AVENUE AS SHOWN ON SHEET 3.

REVISIONS

07-03-19 ADDED PROPOSED SIDEWALK AND CURBING

PENNSYLVANIA STATE COLLEGE OF REAL ESTATE

 PENNSYLVANIA LAW REQUIRES
 THREE WORKING DAYS NOTICE
 PRIOR TO RECORDING
 SERIAL NUMBER: 201915128
 DATE: 06/20/19

SOURCE OF TITLE

Instrument No. 20190019243

SHEET NUMBER

1 OF 4

TAX MAP NUMBER

Tax Parcel 62-025-0064

BURGET & ASSOCIATES, INC.

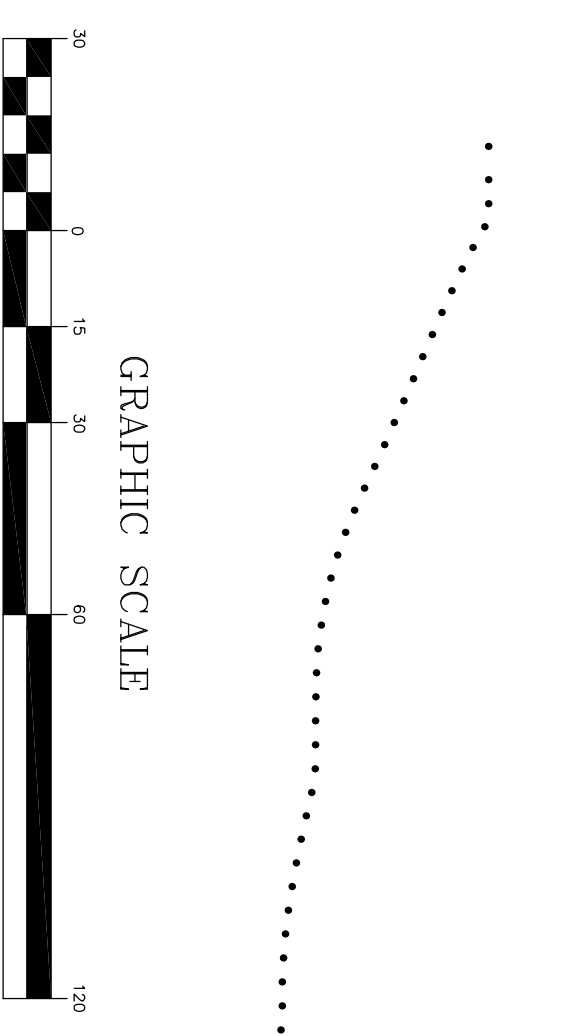
• EDM Total Station and Support
 • Auto Levels
 • Topographical Surveys
 • Property Surveys
 • Boundary Surveys
 • GPS Mapping and Control Surveys
 • Major and Minor Subdivisions

1787 N.B. Road
 P.O. Box 717582-3071
 Harrisburg, PA 17109
 Fax: 717-562-3087

APPROVED

WARRANT REQUESTS

EQUITABLE OWNER(S)/DEVELOPER(S)



LINE/PYPE LEGEND

---	SURVEYED CONTOUR (1 FT INTERVAL)
---	SURVEYED CONTOUR (5 FT INTERVAL)
---	SUBJECT PROPERTY LINE
---	NEIGHBORING PROPERTY LINE
---	BUILDING SETBACK LINE
---	EDGE OF EXISTING METALAS (DELIMITED BY WILSON ENVIRONMENTAL)
---	PUBLIC ROAD RIGHT-OF-WAY LINE
---	OVERHEAD UTILITY LINE
---	FLOOD HAZARD BOUNDARY (8' FROM TOP OF BANK OR STREAM)
---	EXISTING UNDERGROUND GAS LINE
---	EXISTING UNDERGROUND WATER LINE
---	EXISTING UNDERGROUND SANITARY SEWER LINE
---	EDGE OF STREAM

SYMBOL LEGEND

(Symbol)	IRON PIN FOUND
(Symbol)	IRON PIPE FOUND
(Symbol)	AXLE FOUND
(Symbol)	PROPERTY CORNER (NO MONUMENT SET)
(Symbol)	PROPERTY CORNER - CONCRETE MONUMENT SET
(Symbol)	PROPERTY CORNER - IRON PIN / OAP SET
(Symbol)	SOIL PROBE / SAMPLING LOCATION
(Symbol)	SOIL INFILTRATION TESTING LOCATION
(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	UTILITY POLE
(Symbol)	GAS VALVE
(Symbol)	ROUNDSIDE SIGN
(Symbol)	DECIDUOUS TREE
(Symbol)	EVERGREEN TREE
(Symbol)	FRSL FRONT YARD SETBACK LINE
(Symbol)	SVSL SIDE YARD SETBACK LINE
(Symbol)	RVSL REAR YARD SETBACK LINE
(Symbol)	GAS METER
(Symbol)	ELECTRIC METER
(Symbol)	SEWER CLEANOUT
(Symbol)	FIRE HYDRANT
(Symbol)	WATER VALVE

BURGET & ASSOCIATES, INC.
Professional Land Surveyors

- CAD Training and Support
- ALTA Surveys
- Property Surveys
- EBM Easement Certificates
- GPS Mapping and Control Surveys
- Maps and View Stationers

1797 N. St. Road
P.O. Box 114
New Bloomfield, PA 15085-0111
Web Site: www.burgetassociates.com
New Bloomfield, Pennsylvania, 17988

EXISTING CONDITIONS PLAN
OF
399 N. 39TH STREET
Dauphin County, Pa.

REVISIONS

DATE:	06-07-2019
DRAWING NO.:	13063-012
SHEET	2 OF 4

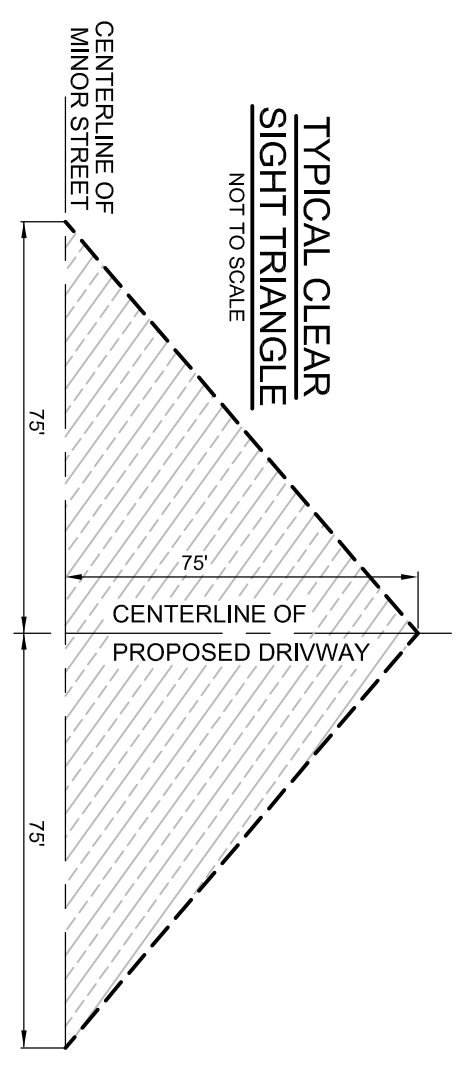


LINE TYPE LEGEND

- SURVEYED CONTOUR (1 FT INTERVAL)
- SURVEYED CONTOUR (5 FT INTERVAL)
- SUBJECT PROPERTY LINE
- NEIGHBORING PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF EXISTING WETLANDS (DELINEATED BY WILSON ENVIRONMENTAL)
- PUBLIC ROAD RIGHT-OF-WAY LINE
- OVERHEAD UTILITY LINE
- FLOOD HAZARD BOUNDARY (5 FT FROM TOP OF BANK OF STREAM)
- EXISTING UNDERGROUND GAS LINE
- EXISTING UNDERGROUND SANITARY SEWER LINE
- EDGE OF STREAM

SYMBOL LEGEND

- Iron Pin Found
- Iron Pipe Found
- Axle Found
- PT ● Property Corner (No Monument Set)
- CMS ● Property Corner - Concrete Monument Set
- IPS ● Property Corner - Iron Pin / Cap Set
- TP-9 ● Soil Probe / Sampling Location
- TP-1 ● Soil Infiltration Testing Location
- Sanitary Sewer Manhole
- Utility Pole
- Gas Valve
- Round Sign
- Deciduous Tree
- Evergreen Tree
- Front Yard Setback Line
- Side Yard Setback Line
- Rear Yard Setback Line
- Gas Meter
- Electric Meter
- Sewer Cleanout
- Fire Hydrant
- Water Valve



PROPOSED 30' WIDE SANITARY SEWER EASEMENT
 CENTERED ABOUT EXISTING SEWER LINE
 TOTAL AREA OF EASEMENT 10,895.89 SQ. FT. or 0.250 ACRES

R-2' MEDIUM DENSITY RESIDENTIAL DISTRICT
 CONSERVATION DISTRICT
 OVERLAY ZONE

PROPOSED SUBDIVISION PLAN

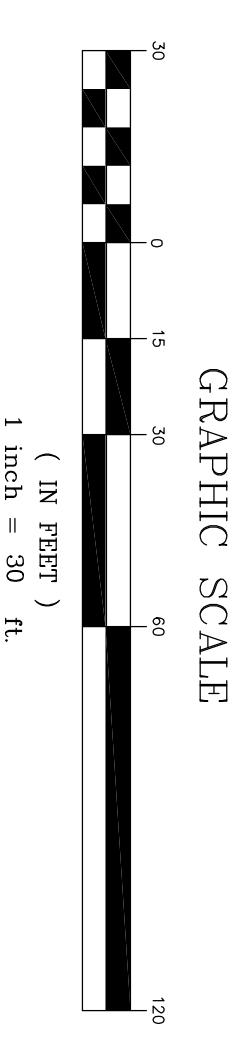
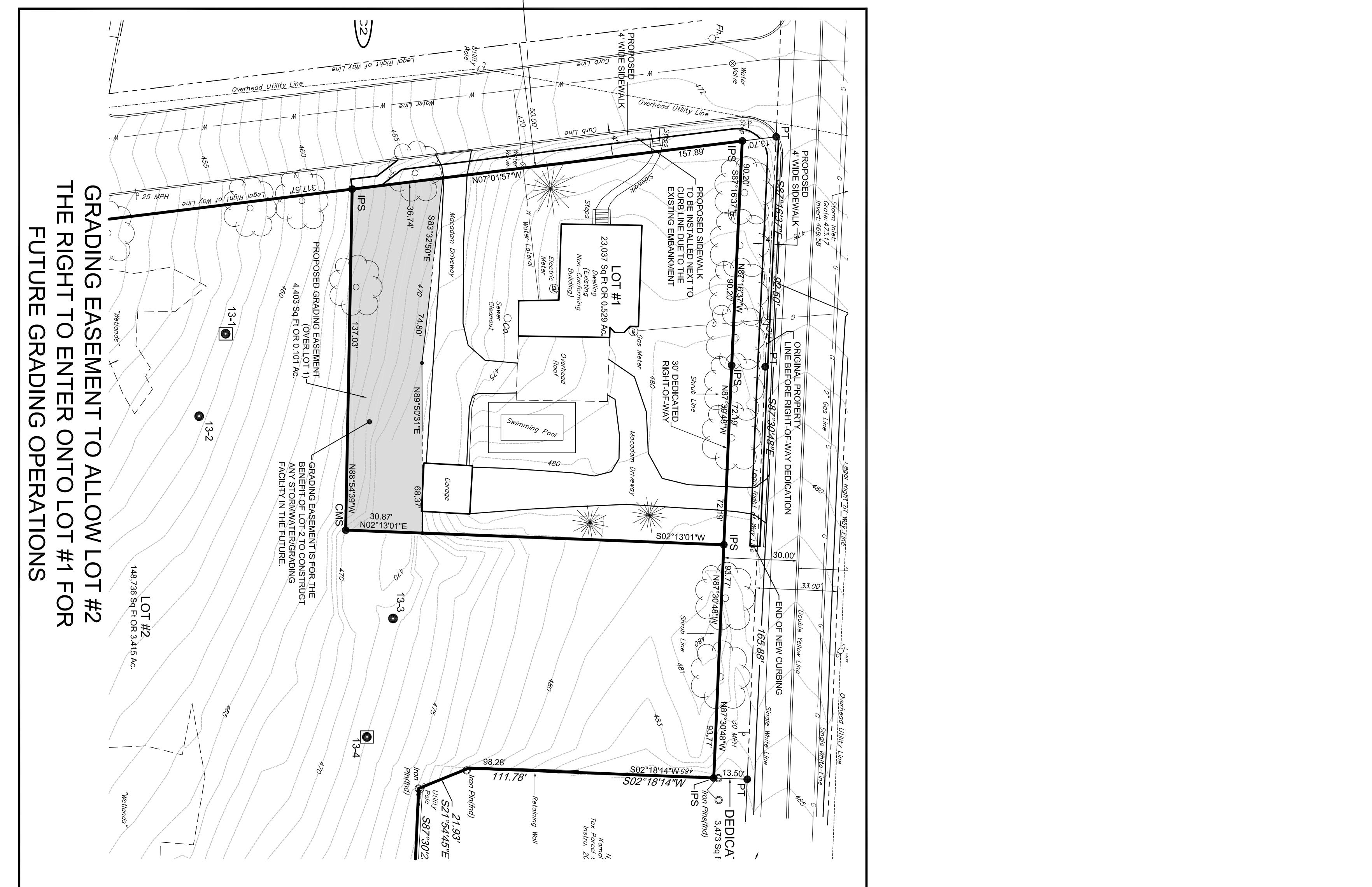
OF
399 N. 39TH STREET
 Dauphin County, Pa.

REVISIONS

DATE:	06-07-2019
DRAWING NO.:	13063-002
SHEET	3 OF 4

BURGETT & ASSOCIATES, INC.
 "Professional Land Surveyors"
 • CAD Training and Support
 • ALTA Surveys
 • Project Surveys
 • FEMA Elevation Certificates
 • GPS Mapping and Control Surveys
 • Map and Plan Submissions
 New Boardman Parkway, 17088
 Harrisburg, PA 17111
 Web Site: www.burgettassociates.com
 Phone: 717-653-1111

**UTILITY EASEMENTS TO ALLOW LOT #2
THE RIGHT TO ENTER ONTO LOT #1 FOR
FUTURE UTILITY CONNECTIONS**



**GRADING EASEMENT TO ALLOW LOT #2
THE RIGHT TO ENTER ONTO LOT #1 FOR
FUTURE GRADING OPERATIONS**

- SYMBOL LEGEND**
- Iron Pipe Found
 - Iron Pipe Found
 - Axle Found
 - Property Corner - Concrete Monument Set
 - Property Corner - Iron Pin / Cap Set
 - Property Corner - Iron Pin / Cap Set
 - Soil Probe / Sampling Location
 - Soil Moisture Testing Location
 - Sanitary Sewer Manhole
 - Utility Pole
 - Gas Valve
 - Roadside Sign
 - Deciduous Tree
 - Evergreen Tree
 - Front Yard Setback Line
 - Side Yard Setback Line
 - Rear Yard Setback Line
 - Gas Meter
 - Electric Meter
 - Sever Cleanout
 - Fire Hydrant
 - Water Valve

- LINE TYPE LEGEND**
- Surveyed Contour (1 FT INTERVAL)
 - Surveyed Contour (5 FT INTERVAL)
 - Subject Property Line
 - Neighboring Property Line
 - Building Setback Line
 - Public Right-of-Way Line
 - Overhead Utility Line
 - Flood Hazard Boundary (Stream)
 - Existing Underground Water Line
 - Existing Underground Sanitary Sewer Line
 - Edge of Stream

BURGETT & ASSOCIATES, INC.
Professional Land Surveyors

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- ALTA Surveys
- Project Surveys
- FEMA Elevation Certificates
- GPS Mapping and Control Surveys
- Map and Title Submissions

1787 N.S. Road
P.O. Box 111
New Bloomfield Township, PA 17068

Web Site: www.burgettassociates.com

PROPOSED EASEMENT PLAN	
OF 399 N. 39TH STREET	
Dauphin County, Pa.	
DATE:	06-07-2019
CHECKED BY:	J.A.B.
DRAWN BY:	J.A.B.
JOB NO.:	13063
REVISIONS:	
DRAWING NO.:	13063-002
SHEET	4 OF 4