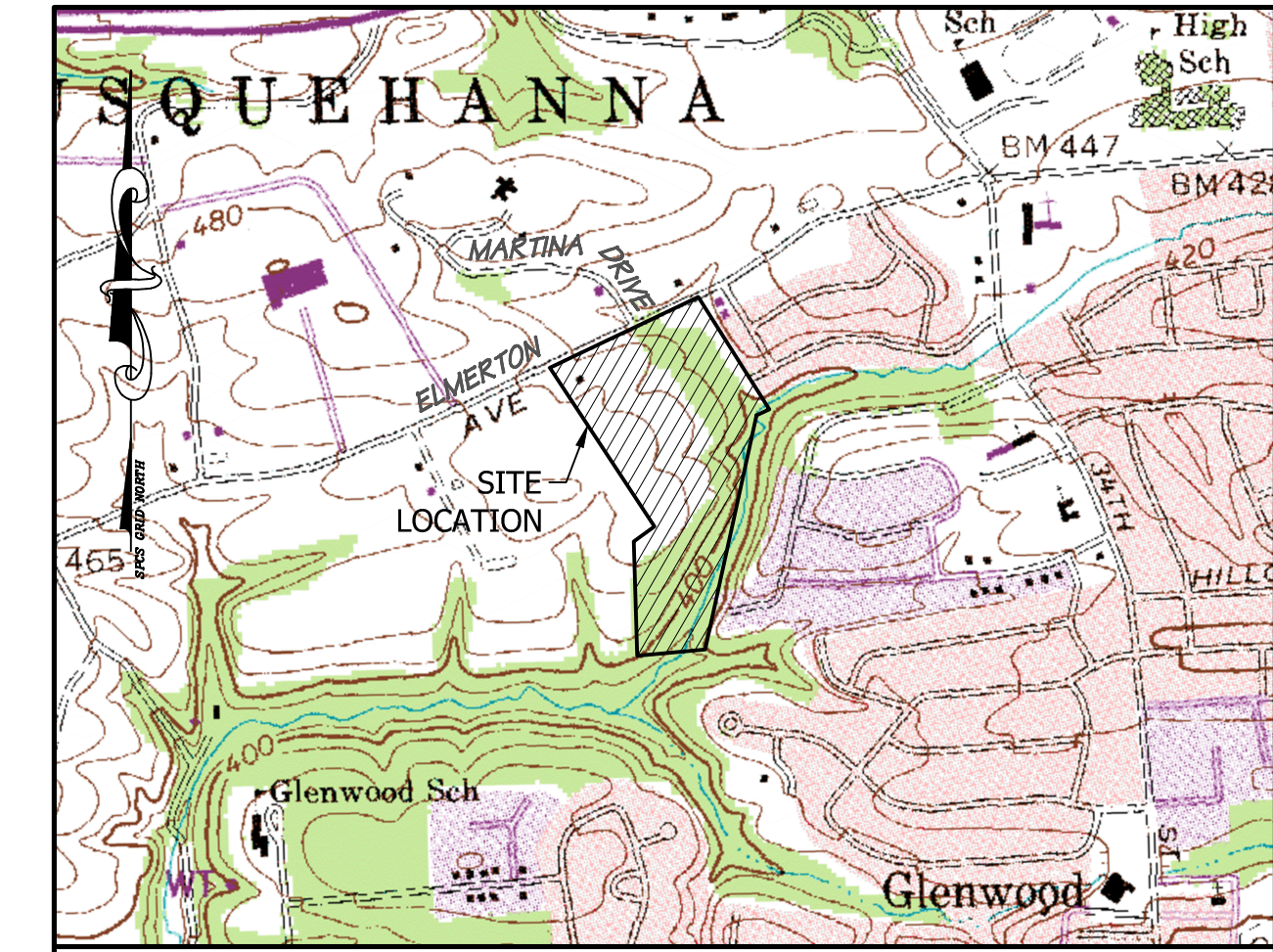


VICINITY MAP: 1" = 600'

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR ENCLAVE AT ELMERTON LOCATED IN SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA



LOCATION MAP: 1" = 1000'

PLAN PURPOSE STATEMENT:

THE PURPOSE OF THIS PLAN IS TO DEVELOP AN EXISTING 25.524 ACRE VACANT TRACT WITH 20 TOWNHOMES (156 UNITS) AND ASSOCIATED INFRASTRUCTURES.

GENERAL NOTES:

1. A WETLAND DELINEATION WAS PERFORMED BY VORTEX ENVIRONMENTAL, INC. ON OCTOBER 6, 2008.
2. NO FEMA MAPPED FLOODPLAIN EXISTS ON THIS SITE, AS SHOWN BY FEMA'S NATIONAL FLOOD HAZARD LAYER FIRMETTE, AREA 42043C03400, EFFECTIVE 8/2/2012.
3. SANITARY SEWER MAINS ARE PROPOSED TO BE DEDICATED TO SUSQUEHANNA TOWNSHIP AUTHORITY.
4. NO EXISTING COVENANTS RUN WITH THIS LAND, EXCEPT FOR THE EXISTING EASEMENTS OF RECORD. PROPOSED RESTRICTIONS ARE NOTED ON THESE PLANS.
5. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE APPROVED EROSION CONTROL PLAN.
6. TOPOGRAPHIC BENCHMARK IS A MAGNETIC NAIL IN THE CURB ON THE SOUTHERN SIDE OF ELMERTON AVE ALONG THE FRONTAGE OF LAND NOW OR FORMERLY OF PENNSYLVANIA COMMONWEALTH GAME COMMISSION (NORTHING 351979.81 / EASTING 2218176.09), HORIZONTAL DATUM NAD83 (OPUS), VERTICAL DATUM NAVD88 (OPUS), ELEVATION 456.68'.
7. ANY PROPOSED WATER LINES ON THIS PLAN IS SCHEMATIC ONLY AND FINAL DESIGN WILL BE SUPPLIED BY CAPITAL REGION WATER.
8. CONCRETE MONUMENTS TO BE SET AS SHOWN, ALL OTHER CORNERS SHALL BE MARKED WITH 5/8" REBAR.
9. A SEWAGE FACILITIES PLANNING MODULE WILL BE REQUIRED.
10. ALL CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 AND 72 STANDARDS AND THE SUSQUEHANNA TOWNSHIP ORDINANCES.
11. PRIOR TO THE CONSTRUCTION OF ANY FACILITIES SHOWN ON THESE PLANS, THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
12. TOWNSHIP STAFF SHALL HAVE PERMISSION TO ACCESS DRAINAGE EASEMENTS FROM THE NEAREST RIGHT-OF-WAY.
13. INLET BOX CORNERS SHALL NOT BE KNOCKED OUT FOR PIPE CONNECTION.
14. IMPLEMENTATION OF THE EROSION CONTROL PLAN IS THE RESPONSIBILITY OF THE LOT OWNER, AND/OR THE PERSON(S) AUTHORIZED BY COVERGE UNDER THE NPDES PERMIT FOR DISCHARGE OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY.
15. THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM OF 48 HOURS NOTICE AND TO COORDINATE WITH THE TOWNSHIP AND THE TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
16. NOTHING SHALL BE PLANTED OR PLACED WITHIN AN EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT.
17. STORMWATER MANAGEMENT FACILITIES LOCATED ON AN INDIVIDUAL LOT SHALL BE OWNED AND MAINTAINED BY THE LOT OWNER. MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES SHALL BE REQUIRED TO ENSURE THAT THEY ARE PERMANENT AND CONTINUOUSLY FUNCTIONING AS ORIGINALLY DESIGNED.
18. THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE STORMWATER MANAGEMENT PLAN.
19. ALL UNITS MUST HAVE A STREET ADDRESS NUMBER DISPLAYED PER THE REQUIREMENTS OF SUSQUEHANNA TOWNSHIP'S SUBDIVISION AND LAND DEVELOPMENT ORDINANCE 22-1112.
20. ALL STORMWATER CONVEYANCE PIPING SHALL HAVE WATERTIGHT JOINTS
21. SIDEWALKS SHALL BE INSPECTED BY THE MUNICIPAL ENGINEER OR HIS DESIGNATED AGENT AFTER THE FORMS HAVE BEEN PLACED, JUST PRIOR TO THE POURING OF CONCRETE AND AFTER THE COMPLETION OF ALL WORK.
22. ALL STREETS ARE PROPOSED TO BE PRIVATE AND NOT PROPOSED FOR DEDICATION.

SITE DATA:

RECORD OWNER:
GAIL W. RAYMOND
9292 VENERO PLACE
NAPLES, FL 34113
PHONE: 410-666-7207
SITE IS TAX PARCEL NUMBER: 62-023-096
TOTAL TRACT AREA (GROSS): 26.226 ACRES
TOTAL TRACT AREA (NET): 25.524 ACRES
EXISTING USE: AGRICULTURAL
PROPOSED USE: SINGLE FAMILY ATTACHED DWELLINGS
EXISTING NUMBER OF LOTS: 1
PROPOSED NUMBER OF LOTS: 1
EXISTING NUMBER OF DWELLING UNITS: 1
PROPOSED NUMBER OF DWELLING UNITS: 156
REQUIRED OPEN SPACE: 30% (17.4 ACRES)
PROPOSED OPEN SPACE: 56.9% (33.04 ACRES)
EXISTING WATER SUPPLY: NONE
EXISTING SEWAGE DISPOSAL: NONE
PROPOSED WATER SUPPLY: PUBLIC
PROPOSED SEWAGE DISPOSAL: PUBLIC

ZONING DATA:

EXISTING ZONE: BOR (BUSINESS-OFFICE-RESIDENTIAL)	REQUIRED / PERMITTED	PROPOSED
MINIMUM TRACT AREA	40,000 S.F.	1,111,825 S.F.
MAXIMUM DWELLING UNITS / ACRE	10.00	6.11
MAXIMUM HEIGHT	42 FEET	35 FEET
MAXIMUM BUILDING COVERAGE	35%	12%
MAXIMUM IMPERVIOUS COVERAGE	50%	27%
MINIMUM VEGETATIVE COVERAGE	50%	73%
MINIMUM BUILDING SEPARATION, REAR TO REAR	50 FEET	51 FEET
MINIMUM BUILDING SEPARATION, SIDE TO SIDE	15 FEET	21 FEET
MINIMUM YARD SETBACK, FRONT	25 FEET	25 FEET
MINIMUM YARD SETBACK, SIDE	10 FEET	10 FEET
MINIMUM YARD SETBACK, REAR	25 FEET	25 FEET

PER SUSQUEHANNA TOWNSHIP ZONING ORDINANCE, AS ADOPTED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SUSQUEHANNA 9/24/2003 BY ORD. 03-12
SINGLE FAMILY ATTACHED LIMITED TO A MAXIMUM OF EIGHT DWELLING UNITS PER BUILDING OR ROW OF ATTACHED SINGLE FAMILY UNITS.

PARKING DATA:

REQUIRED PARKING, DWELLINGS: 312 SPACES
(2 SPACES PER DWELLING UNIT X 156 UNITS)
PROPOSED PARKING, DWELLINGS: 334 SPACES
(2.1 SPACES PER UNIT)
(1 SPACE COUNTED FOR EACH GARAGE)
(1 SPACE COUNTED FOR EACH DRIVEWAY)
REQUIRED PARKING, LEASING OFFICE: 22 SPACES
(1 SPACE FOR EACH 100 SQ. FT. OF GROSS FLOOR AREA)
(G.F.A. = 2,156 S.F.)
PROPOSED PARKING, LEASING OFFICE: 22 SPACES
PROPOSED "MAILBOX" PARKING: 4 SPACES
TOTAL PARKING REQUIRED: 334 SPACES
TOTAL PARKING PROPOSED: 360 SPACES

PA UTILITY ONE - CALL:



VERIZON PENNSYLVANIA LLC
1026 HAY STREET
PITTSBURGH, PA, 15221
CONTACT: DEBORAH BARON
DEBORAH.BARON@VERIZON.COM

PA COMMONWEALTH OF OFFICE OF ADMIN
1 TECHNOLOGY PARK
HARRISBURG, PA, 17110
CONTACT: DARRELL MARTIN
DMARTIN@PA.GOV

LIST OF UTILITIES

CAPITAL REGION WATER
300 N FRONT STREET
HARRISBURG, PA, 17110
CONTACT: THOMAS YORK
THOMAS.YORK@CAPITALREGIONWATER.COM

ZAYO BANDWIDTH FORMERLY PPL TELCOM LLC
1000 HARBES DRIVE, SUITE H
ABERDEEN, MD, 21001
CONTACT: GEORGE HESS
GEORGE.HESS@ZAYO.COM

SUSQUEHANNA TOWNSHIP /
SUSQUEHANNA TOWNSHIP AUTHORITY
1800 LINGLESTOWN ROAD
HARRISBURG, PA, 17110
CONTACT: NATHAN SPRIGGS
NSPRIGGS@SUSQUEHANNA.TWP.PA.GOV

PPL ELECTRIC UTILITIES CORPORATION
503 NEW MARKET STREET
WILKES BARRE, PA, 18702
CONTACT: MARK SANTAVANA
MARK.SANTAVANA@PPL.COM

COMCAST
4901 SMITH STREET
HARRISBURG, PA, 17109
CONTACT: MICHAEL SVEIGARD
MICHAEL.SVEIGARD@COMCAST.COM

CENTURYLINK
250 LINCOLN WAY EAST
CHAMBERSBURG, PA, 17201
CONTACT: TRENT ROTZ
TRENT.ROTZ@CENTURYLINK.COM

USI UTIL LANCASTER
1301 4TH DRIVE
MIDDLETOWN, PA, 17057
CONTACT: STEPHEN BATHMAN
SBATHMAN@USI.COM

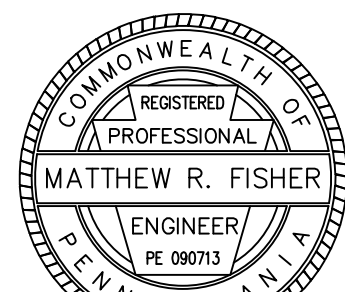
SURVEYOR / ENGINEER CERTIFICATIONS:

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.



MATTHEW R. FISHER, P.L.S., P.E. _____ DATE _____

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.



MATTHEW R. FISHER, P.L.S., P.E. _____ DATE _____

DESIGN ENGINEER:

R.J. FISHER & ASSOCIATES, INC.
1546 BRIDGE STREET
NEW CUMBERLAND, PA 17070
PHONE: (717) 774-7534
MRJ@RJFISHERENGINEERING.COM

EQUITABLE OWNER / APPLICANT:

ELMERTON ENCLAVE, LP
5351 JAYCEE AVENUE
HARRISBURG, PA 17112
PHONE: 717-657-5729
WWW.TRIPLECROWNCORP.COM

DRAWING INDEX:

SHEET NO.	TITLE
1	COVER SHEET
2	SITE ANALYSIS PLAN
3	EXISTING CONDITIONS PLAN
4	LAND DEVELOPMENT PLAN
5	LAND DEVELOPMENT PLAN
6	GRADING & PCSM PLAN
7	GRADING & PCSM PLAN
8	EASEMENT PLAN
9	EASEMENT PLAN
10	STREET PROFILES
11	STREET PROFILES
12	STORM SEWER PROFILES
13	STORM SEWER PROFILES
14	STORM SEWER PROFILES
15	STORM SEWER PROFILES
16	STORM & SANITARY SEWER PROFILES
17	SITE CONSTRUCTION DETAILS
18	PCSM DETAILS
19	PCSM DETAILS
20	SANITARY SEWER DETAILS
21	SANITARY SEWER DETAILS

ACKNOWLEDGMENT OF PLAN, STATEMENT OF OWNERSHIP AND OFFER OF DEDICATION:

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF _____

ON THIS THE _____ DAY OF _____ 20____, BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED.

OWNER _____
MARK X. DISANTO

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED, ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

OWNER _____
MARK X. DISANTO

PLAN APPROVAL BLOCKS:

DAUPHIN COUNTY PLANNING COMMISSION REVIEW

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ 20____.

CHAIRMAN _____

SECRETARY _____

TOWNSHIP ENGINEER REVIEW

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS _____ DAY OF _____ 20____.

TOWNSHIP ENGINEER _____

SUSQUEHANNA TOWNSHIP PLANNING COMMISSION REVIEW

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS _____ DAY OF _____ 20____.

CHAIRMAN _____

SECRETARY _____

FINAL PLAN APPROVAL

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON

THIS _____ DAY OF _____ 20____.

CHAIRMAN _____

SECRETARY _____

RECORDING:

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR

DAUPHIN COUNTY THIS _____ DAY OF _____ 20____.

PLAN BOOK _____, PAGE _____.

INSTRUMENT NUMBER _____.

TAX PARCEL NUMBER:

62-023-096

NO.	REVISION	DATE
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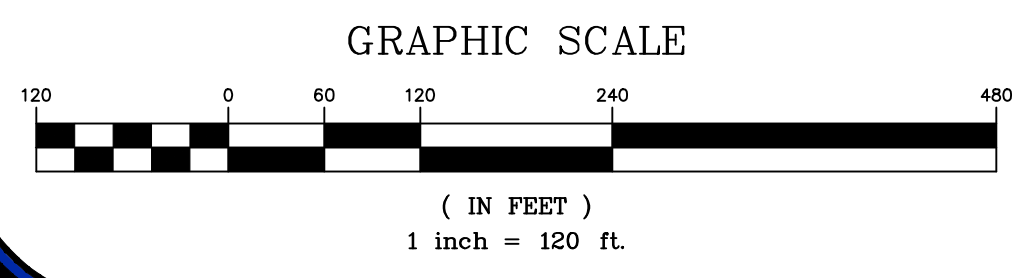
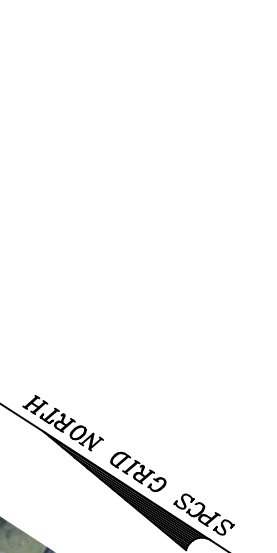
R. J. FISHER & ASSOCIATES, INC.
SITE PLANNING & CIVIL ENGINEERING & LAND SURVEYS
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PHONE: (717) 774-7534 & FAX: (717) 774-7190
RJFISHERENGINEERING.COM



COVER SHEET FOR ENCLAVE AT ELMERTON

LOCATED IN SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220021-COV
PROJECT:	220108
DATE:	06/11/21
SHEET:	1 OF 21



NO.	REVISION	DATE
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2		
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SITE ANALYSIS PLAN
 FOR
ENCLAVE AT ELMERTON
 LOCATED IN
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220021-VC
PROJECT:	220021
DATE:	06/11/21
SHEET:	2 OF 21

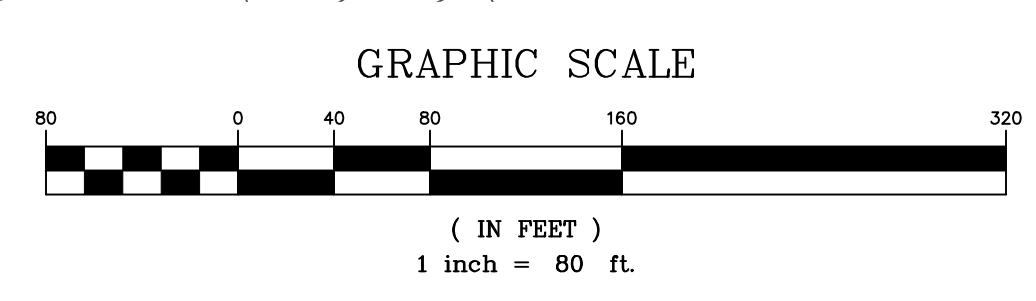


Existing Conditions Legend

	Existing 100 Year Floodplain
	Existing Adjacent Property Line
	Existing Benchmark
	Existing Boundary Line
	Existing Right-Of-Way Line
	Existing Building Setback Line
	Existing Street Centerline
	Existing Edge Of Pavement
	Existing Curb
	Existing Paint Line
	Existing Drainage Area
	Existing Minor Contour
	Existing Major Contour
	Existing Fence
	Existing Gutter/Drain
	Existing Mailbox
	Existing Property Line Marker
	Existing Concrete Monument
	Existing Sign
	Existing Light
	Existing Soil Boundary
	Existing Stream
	Existing Sidewalk
	Existing Treeline
	Existing Deciduous Tree
	Existing Coniferous Tree
	Existing Overhead Utility Wire, Utility Pole, Guy Pole, Guy Wire
	Existing Underground Utilities
	Existing Utility Easement
	Existing Communications Box
	Existing Underground Electric Transformer
	Existing Gas Main, Valve
	Existing Gas Easement
	Existing Gas Lateral, Service Shut-Off
	Existing Water Main, MH, Hydrant, Valve
	Existing Water Lateral, Meter, Service Shut-Off
	Existing Water Easement
	Existing Sanitary Sewer Line, MH
	Existing Sanitary Sewer Easement
	Existing Sanitary Lateral
	Existing Storm Sewer Line, Inlet, MH
	Existing Storm Sewer Easement
	Existing Wetlands

PRECAUTIONARY SLOPES
(15% - 25%)
215,699 S.F., 4.952 ACRES

PROHIBITIVE SLOPES
(25% OR MORE)
208,074 S.F., 4.777 ACRES



NO.	REVISION	DATE
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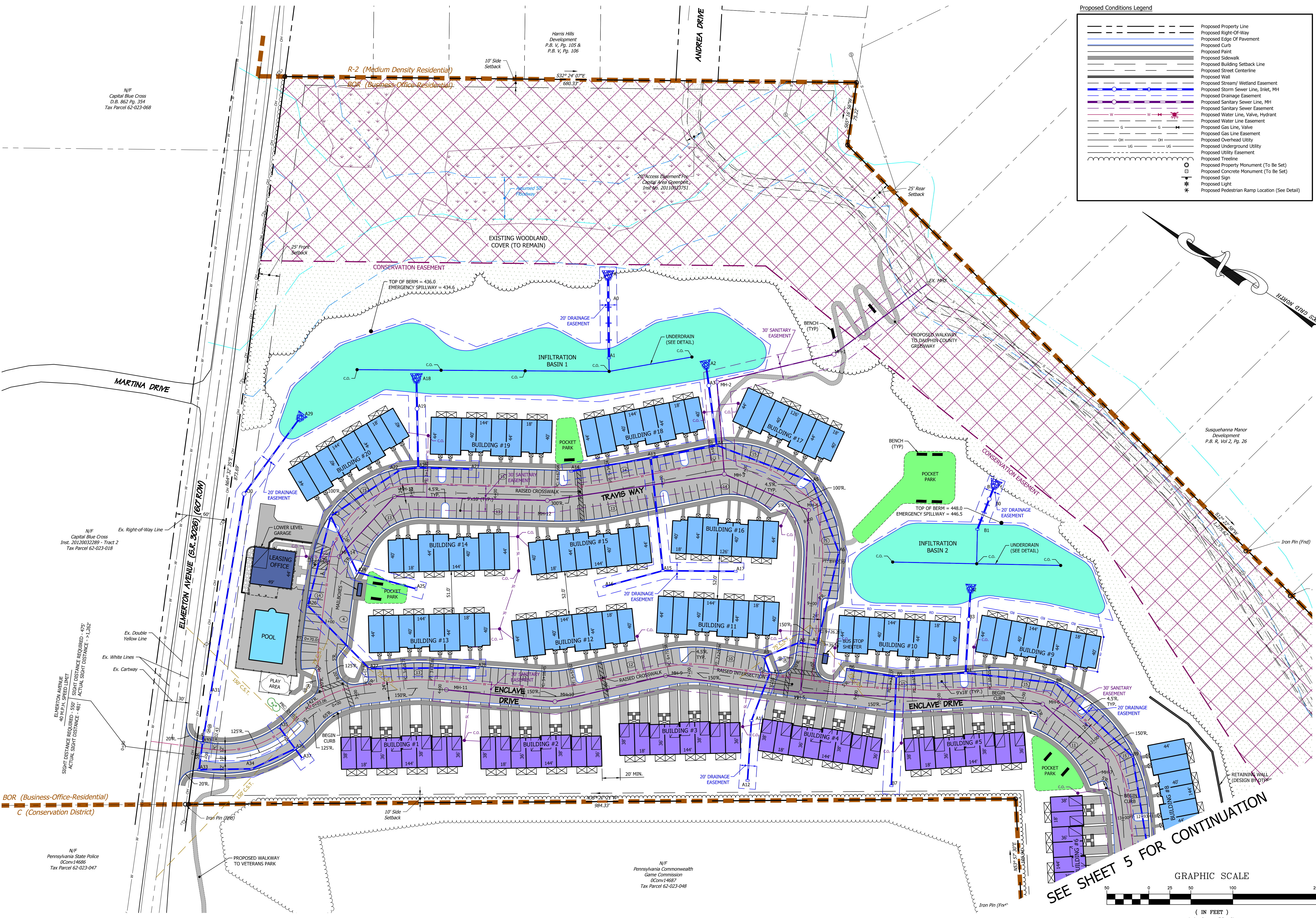
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EXISTING CONDITIONS PLAN
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

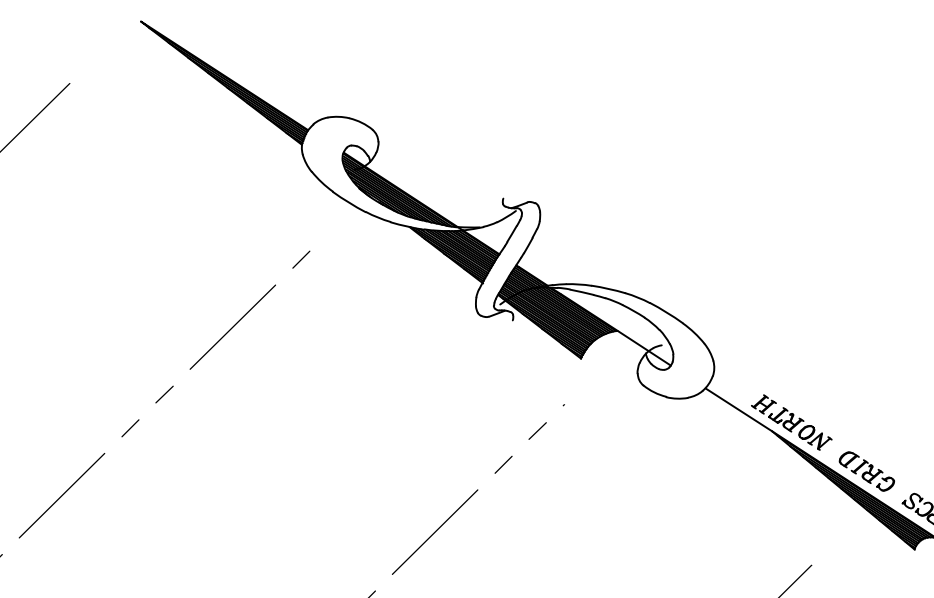
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PROJECT: 220021
DATE: 06/11/21
SHEET: 3 OF 21

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Proposed Conditions Legend

(Symbol)	Proposed Property Line
(Symbol)	Proposed Right-Of-Way
(Symbol)	Proposed Edge of Pavement
(Symbol)	Proposed Curb
(Symbol)	Proposed Paint
(Symbol)	Proposed Sidewalk
(Symbol)	Proposed Building Setback Line
(Symbol)	Proposed Street Centerline
(Symbol)	Proposed Wall
(Symbol)	Proposed Storm/Wetland Easement
(Symbol)	Proposed Storm Sewer Line, Inlet, MH
(Symbol)	Proposed Drainage Easement
(Symbol)	Proposed Sanitary Sewer Line, MH
(Symbol)	Proposed Sanitary Sewer Easement
(Symbol)	Proposed Water Line, Valve, Hydrant
(Symbol)	Proposed Water Line Easement
(Symbol)	Proposed Gas Line, Valve
(Symbol)	Proposed Gas Line Easement
(Symbol)	Proposed Overhead Utility
(Symbol)	Proposed Underground Utility
(Symbol)	Proposed Utility Easement
(Symbol)	Proposed Trestle
(Symbol)	Proposed Property Monument (To Be Set)
(Symbol)	Proposed Concrete Monument (To Be Set)
(Symbol)	Proposed Sign
(Symbol)	Proposed Light
(Symbol)	Proposed Pedestrian Ramp Location (See Detail)



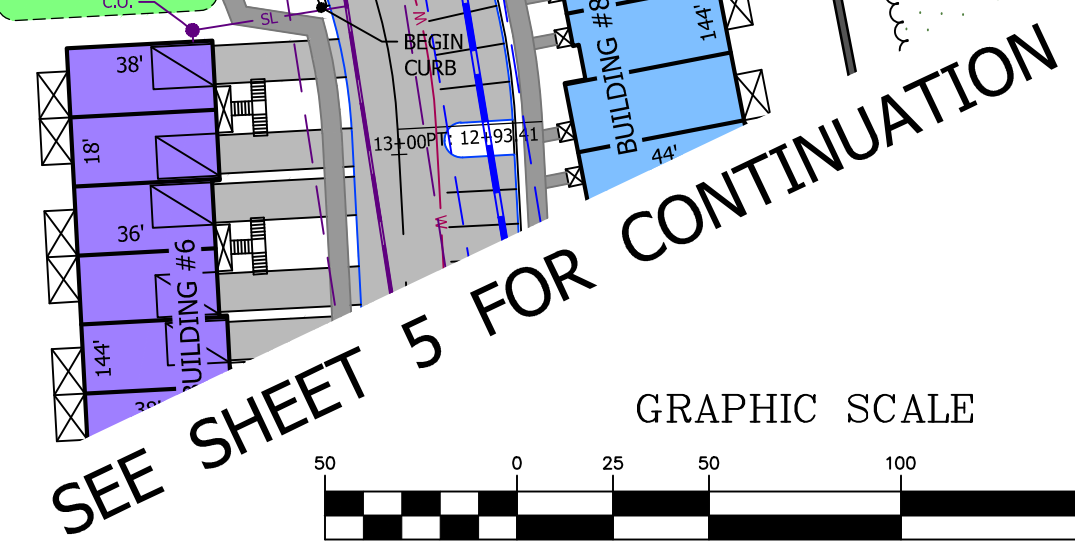
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LAND DEVELOPMENT PLAN
 FOR
ENCLAVE AT ELMERTON
 LOCATED IN
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220021-LDP
PROJECT:	220021
DATE:	06/11/21
SHEET:	4 OF 21



SEE SHEET 5 FOR CONTINUATION

N/F
 Pennsylvania State Police
 DCConv14686
 Tax Parcel 62-023-047

N/F
 Pennsylvania Commonwealth
 Game Commission
 DCConv14687
 Tax Parcel 62-023-048

N/F
 Capital Blue Cross
 D.B. 862 Pg. 354
 Tax Parcel 62-023-068

N/F
 Capital Blue Cross
 Inst. 20120032289 - Tract 2
 Tax Parcel 62-023-018

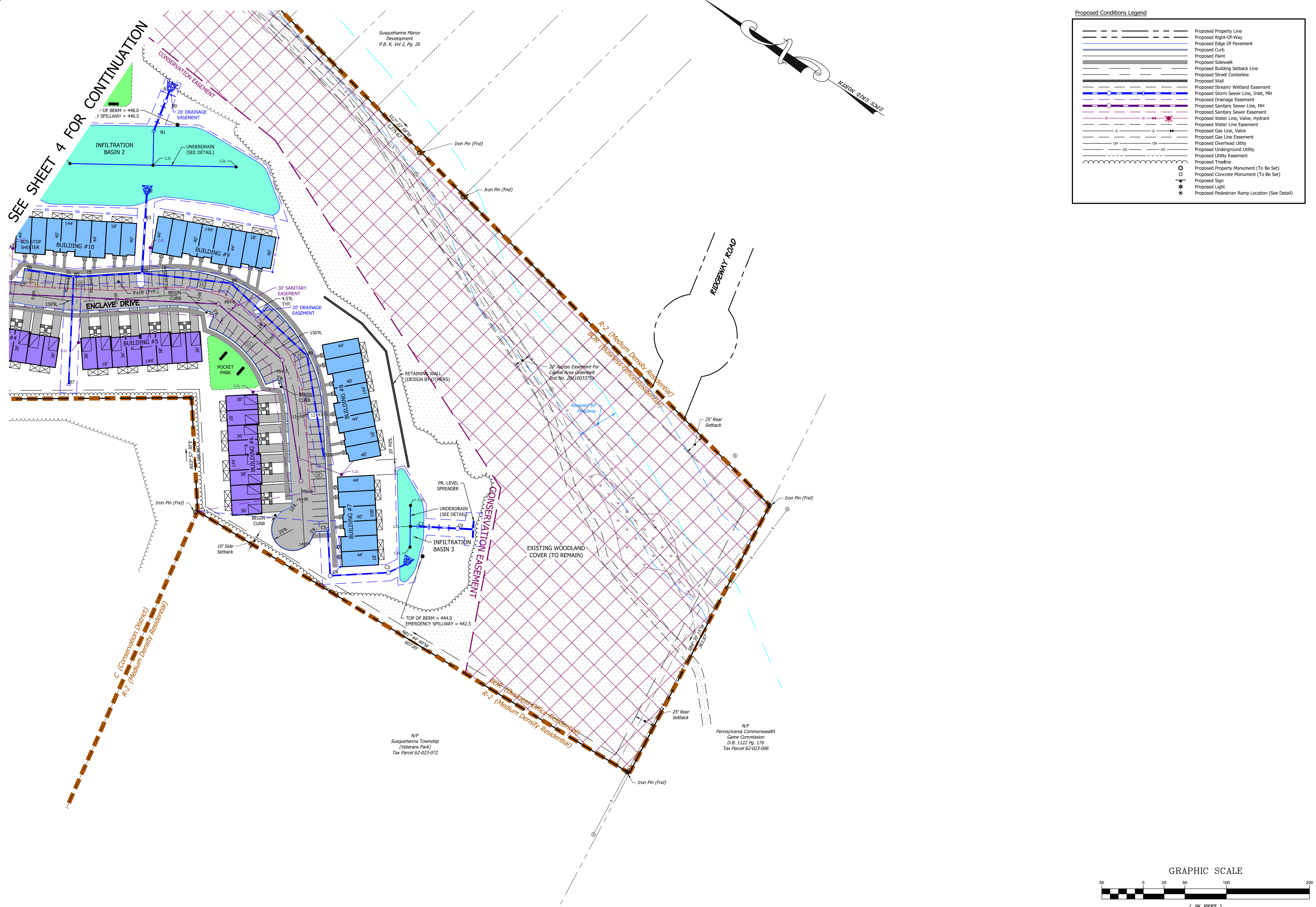
ELMERTON AVENUE
 40 M.P.H. SPEED LIMIT
 SIGHT DISTANCE REQUIRED - 550'
 ACTUAL SIGHT DISTANCE - 475'
 ACTUAL SIGHT DISTANCE -> 1,262'

Ex. Right-of-Way Line
 Ex. Double Yellow Line
 Ex. White Lines
 Ex. Carway

N/F
 Harris Hills
 Development
 P.B. V. Pg. 105 &
 P.B. V. Pg. 106

Susquehanna Manor
 Development
 P.B. R, Vol 2, Pg. 26

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Proposed Conditions Legend

	Proposed Property Line
	Proposed Right-Of-Way
	Proposed Edge of Pavement
	Proposed Curb
	Proposed Pavement
	Proposed Sidewalk
	Proposed Building Setback Line
	Proposed Street Centerline
	Proposed Wall
	Proposed Stream/Wetland Easement
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Drainage Easement
	Proposed Sanitary Sewer Easement
	Proposed Sanitary Sewer Line, MH
	Proposed Water Line, Valve, Hydrant
	Proposed Water Line Easement
	Proposed Gas Line, Valve
	Proposed Gas Line Easement
	Proposed Overhead Utility
	Proposed Underground Utility
	Proposed Utility Easement
	Proposed Trestle
	Proposed Property Monument (To Be Set)
	Proposed Concrete Monument (To Be Set)
	Proposed Sign
	Proposed Light
	Proposed Pedestrian Ramp Location (See Detail)

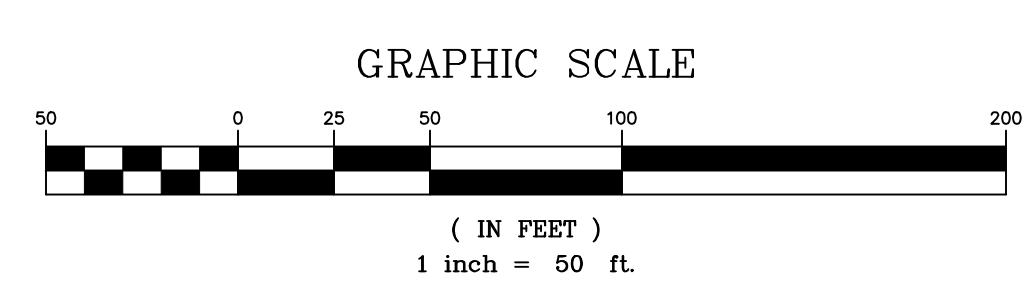
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 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070
 PHONE: (717) 774-7534 ◻ FAX: (717) 774-7190
 RJFISHERENGINEERING.COM



LAND DEVELOPMENT PLAN
 FOR
ENCLAVE AT ELMERTON
 LOCATED IN
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220021-LDP
PROJECT:	220021
DATE:	06/11/21
SHEET:	5 OF 21



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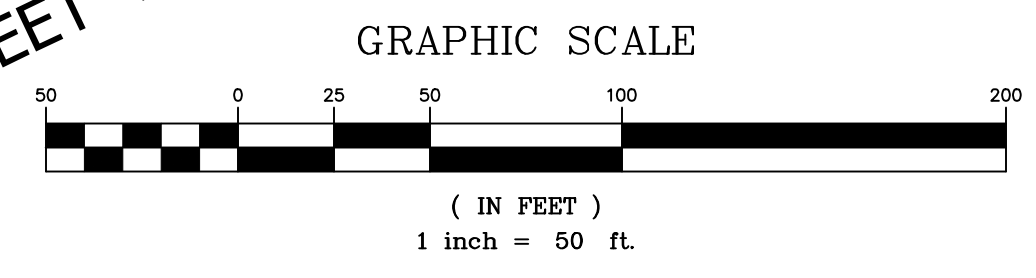
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 PHONE: (717) 774-7534 & FAX: (717) 774-7190
 RJFISHERENGINEERING.COM



GRADING & PCSM PLAN
 FOR
ENCLAVE AT ELMERTON
 LOCATED IN
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

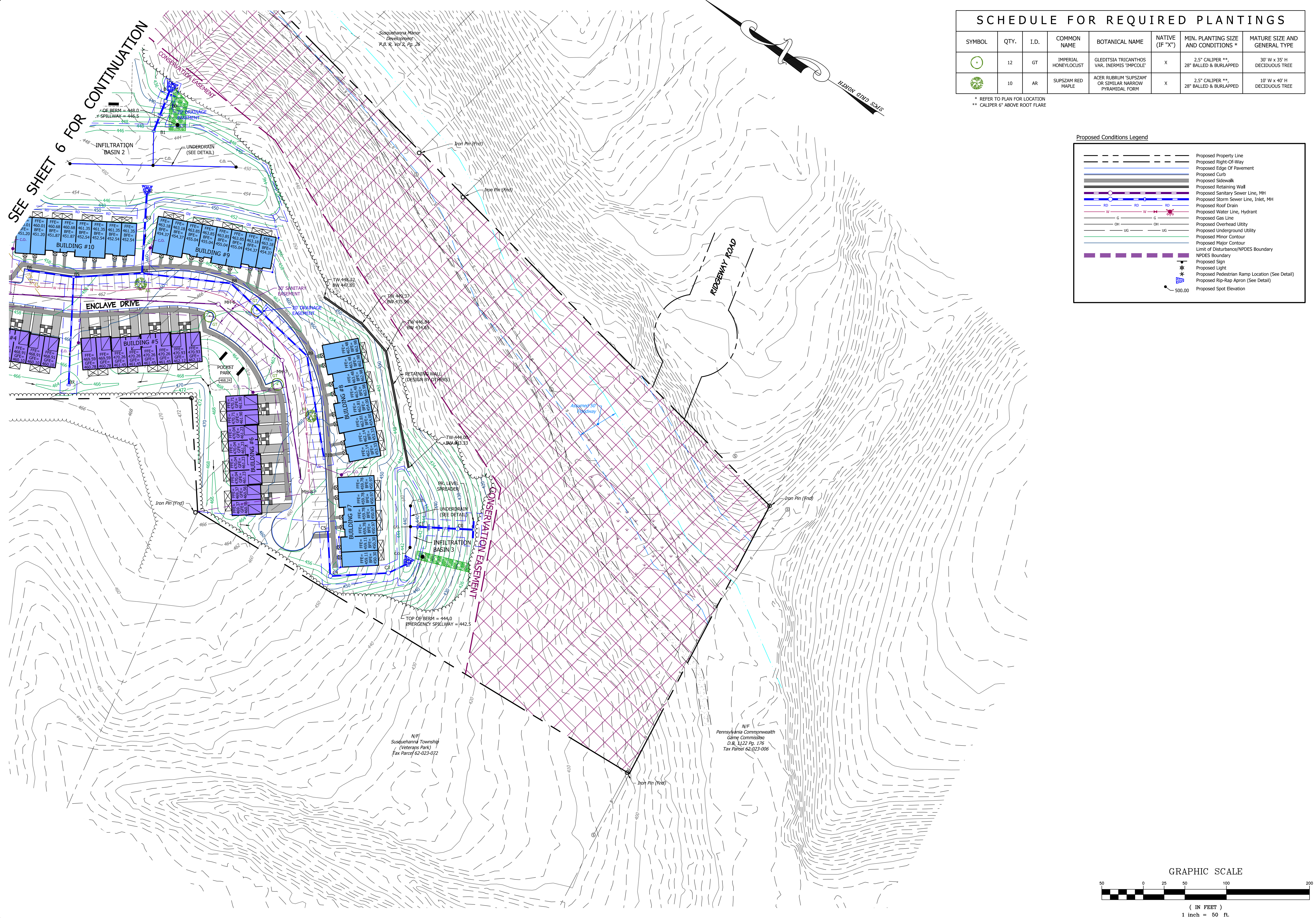
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DRAWING ID: 220021-GRD
 PROJECT: 220021
 DATE: 06/11/21
 SHEET: 6 OF 21



SEE SHEET 7 FOR CONTINUATION

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 6-GRD



SEE SHEET 6 FOR CONTINUATION

SCHEDULE FOR REQUIRED PLANTINGS							
SYMBOL	QTY.	I.D.	COMMON NAME	BOTANICAL NAME	NATIVE (IF "X")	MIN. PLANTING SIZE AND CONDITIONS *	MATURE SIZE AND GENERAL TYPE
	12	GT	IMPERIAL HONEYLOCUST	GLEDTISIA TRICANTHOS VAR. INERMIS 'IMPCOLE'	X	2.5" CALIPER **, 28" BALLED & BURLAPPED	30' W x 35' H DECIDUOUS TREE
	10	AR	SUPSZAM RED MAPLE	ACER RUBRUM 'SUPSZAM' OR SIMILAR NARROW PYRAMIDAL FORM	X	2.5" CALIPER **, 28" BALLED & BURLAPPED	10' W x 40' H DECIDUOUS TREE

* REFER TO PLAN FOR LOCATION
 ** CALIPER 6" ABOVE ROOT FLARE

Proposed Conditions Legend

- Proposed Property Line
- Proposed Right-Of-Way
- Proposed Edge Of Pavement
- Proposed Curb
- Proposed Sidewalk
- Proposed Retaining Wall
- Proposed Sanitary Sewer Line, MH
- Proposed Storm Sewer Line, Inlet, MH
- Proposed Roof Drain
- Proposed Water Line, Hydrant
- Proposed Gas Line
- Proposed Overhead Utility
- Proposed Underhead Utility
- Proposed Minor Contour
- Proposed Major Contour
- Limit of Disturbance/NPDES Boundary
- NPDES Boundary
- Proposed Sign
- Proposed Light
- Proposed Pedestrian Ramp Location (See Detail)
- Proposed Rip-Rap Apron (See Detail)
- Proposed Spot Elevation

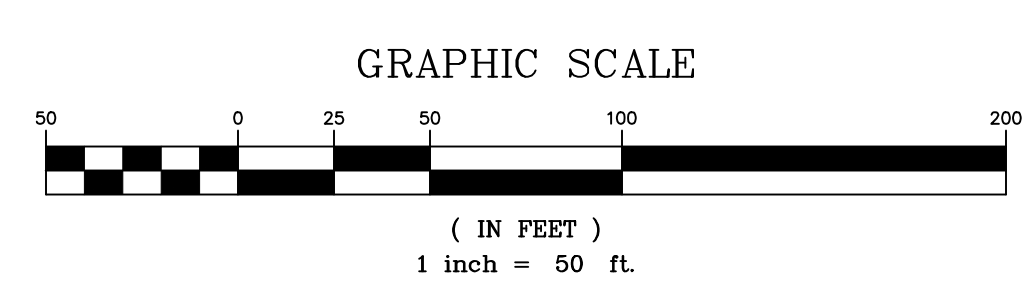
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GRADING & PCSM PLAN
 FOR
ENCLAVE AT ELMERTON
 LOCATED IN
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220021-GRD
PROJECT:	220021
DATE:	06/11/21
SHEET:	7 OF 21



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 DATE: 06/11/21 10:48:00 AM
 USER: JFISHER

N/F
Capital Blue Cross
D.B. 862 Pg. 354
Tax Parcel 62-023-068

Harris Hills
Development
P.B. V, Pg. 105 &
P.B. V, Pg. 106

20' Access Easement For
Capital Area Easement
Inst. No. 2011083751

N/F
Capital Blue Cross
Inst. 20120032289 - Tract 2
Tax Parcel 62-023-018

N/F
Pennsylvania State Police
0Conv14686
Tax Parcel 62-023-047

N/F
Pennsylvania Commonwealth
Game Commission
0Conv14687
Tax Parcel 62-023-048

Proposed Conditions Legend

	Proposed Property Line
	Proposed Right-Of-Way
	Proposed Edge of Pavement
	Proposed Curb
	Proposed Pavement
	Proposed Sidewalk
	Proposed Building Setback Line
	Proposed Street Centerline
	Proposed Wall
	Proposed Storm/Wetland Easement
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Drainage Easement
	Proposed Sanitary Sewer Line, MH
	Proposed Sanitary Sewer Easement
	Proposed Water Line, Valve, Hydrant
	Proposed Water Line Easement
	Proposed Gas Line, Valve
	Proposed Gas Line Easement
	Proposed Overhead Utility
	Proposed Underground Utility
	Proposed Utility Easement
	Proposed Trestle
	Proposed Property Monument (To Be Set)
	Proposed Concrete Monument (To Be Set)
	Proposed Sign
	Proposed Light
	Proposed Pedestrian Ramp Location (See Detail)

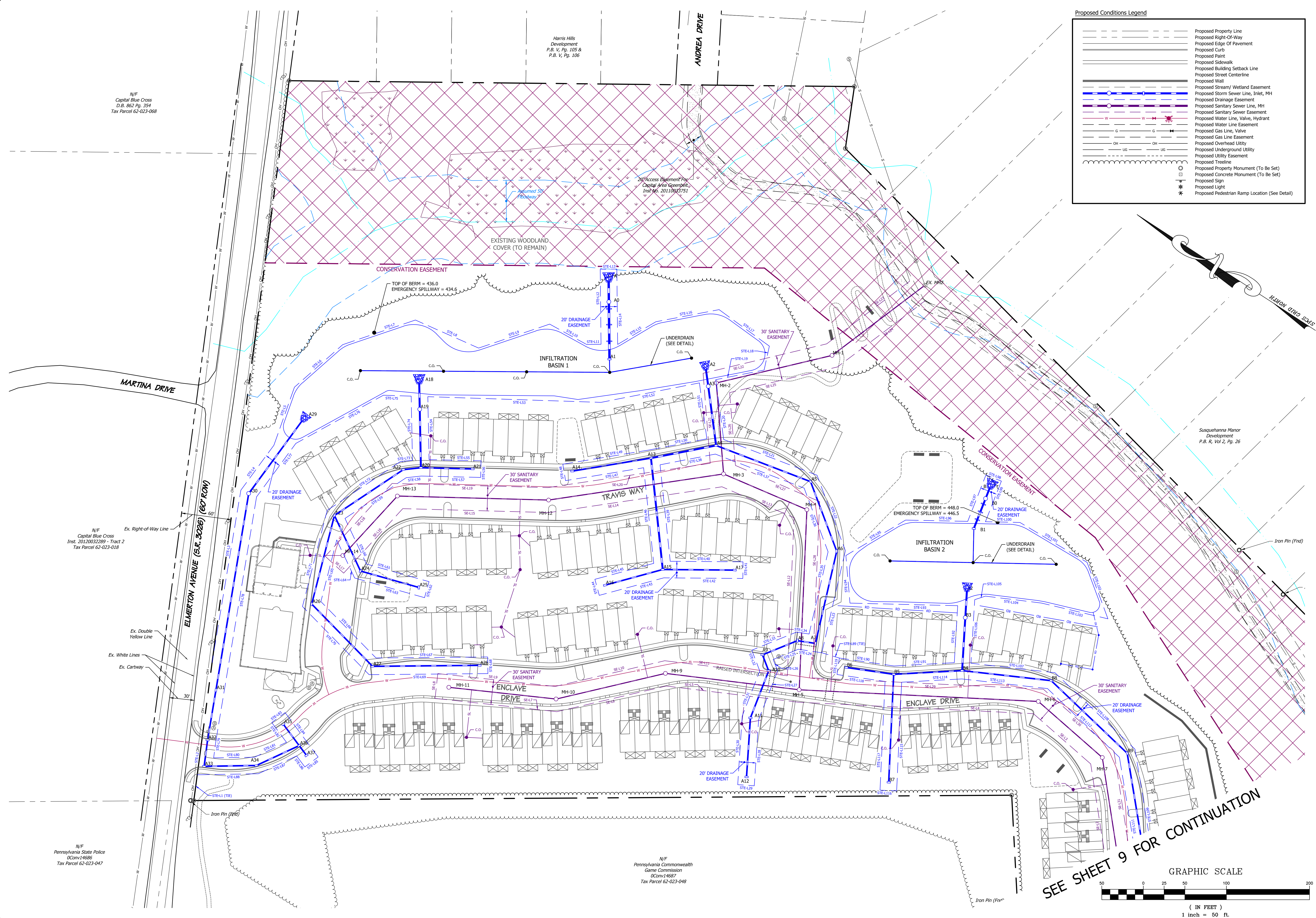
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EASEMENT PLAN
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

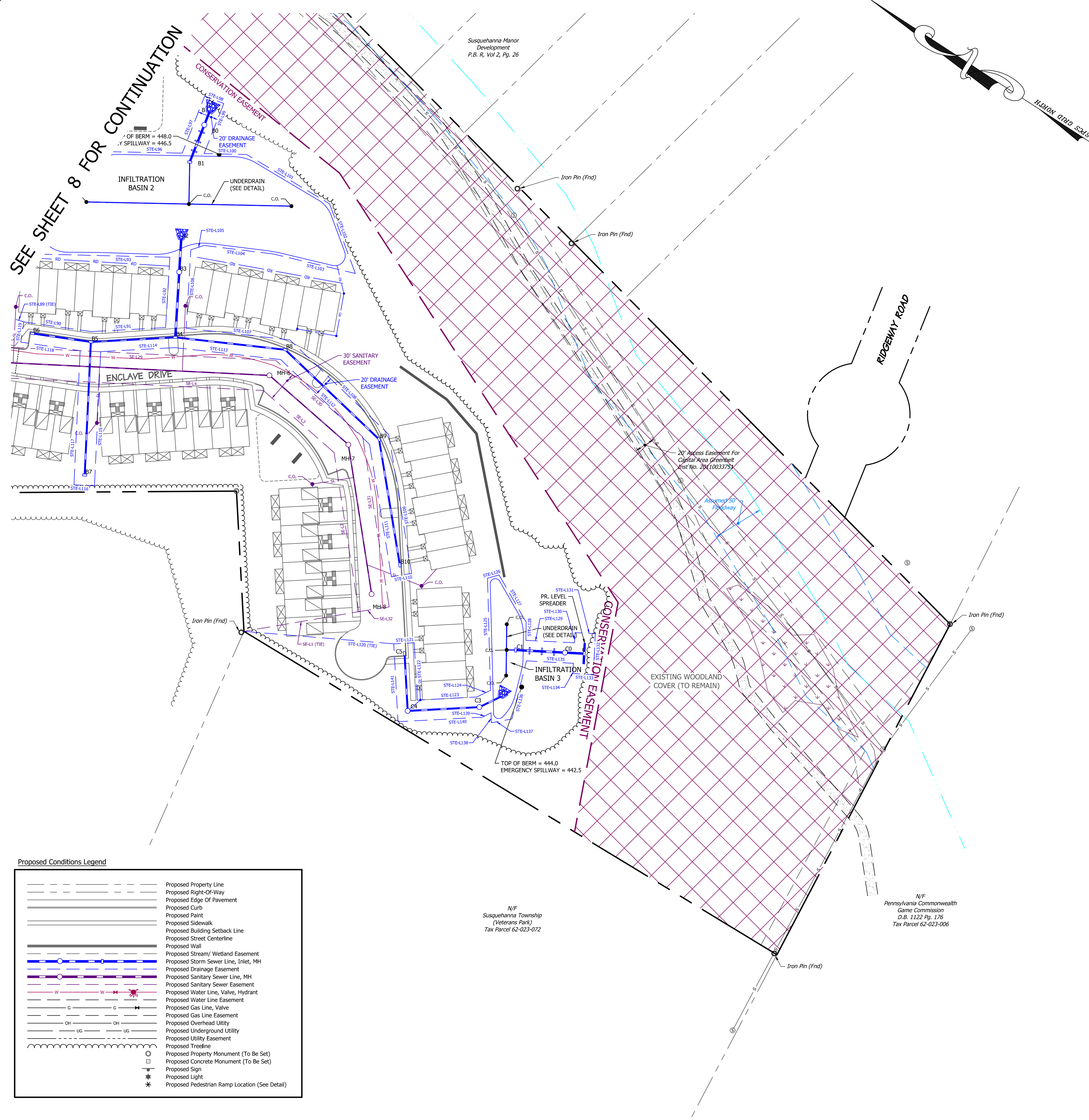
DRAWING ID:	220021-EASE
PROJECT:	220021
DATE:	06/11/21
SHEET:	8 OF 21



SEE SHEET 9 FOR CONTINUATION

GRAPHIC SCALE
0 25 50 100 200
(IN FEET)
1 inch = 50 ft.

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SEE SHEET 8 FOR CONTINUATION

Proposed Conditions Legend

	Proposed Property Line
	Proposed Right-Of-Way
	Proposed Edge Of Pavement
	Proposed Curb
	Proposed Point
	Proposed Sidewalk
	Proposed Building Setback Line
	Proposed Street Centerline
	Proposed Wall
	Proposed Stream/Wetland Easement
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Drainage Easement
	Proposed Sanitary Sewer Line, MH
	Proposed Sanitary Sewer Easement
	Proposed Water Line, Valve, Hydrant
	Proposed Water Line Easement
	Proposed Gas Line, Valve
	Proposed Gas Line Easement
	Proposed Overhead Utility
	Proposed Underground Utility
	Proposed Utility Easement
	Proposed Trestle
	Proposed Property Monument (To Be Set)
	Proposed Concrete Monument (To Be Set)
	Proposed Sign
	Proposed Light
	Proposed Pedestrian Ramp Location (See Detail)

Susquehanna Manor
Development
P.B. R. Vol 2, Pg. 26

N/F
Susquehanna Township
(Veterans Park)
Tax Parcel 62-023-072

N/F
Pennsylvania Commonwealth
Game Commission
D.B. 1122 Pg. 176
Tax Parcel 62-023-006

Proposed Storm Easement Line Table

Line #	Direction	Length
STE-L1	S64° 32' 35"W	31.27
STE-L2	S64° 32' 35"W	136.24
STE-L3	N66° 28' 15"E	210.21
STE-L4	S86° 41' 14"E	67.08
STE-L5	N76° 31' 10"E	74.16
STE-L6	S74° 22' 45"E	77.39
STE-L7	S51° 44' 10"E	92.37
STE-L8	S09° 04' 31"E	83.26
STE-L9	S51° 37' 27"E	90.23
STE-L10	S04° 10' 12"E	50.75
STE-L11	S33° 54' 38"E	17.34
STE-L12	N56° 23' 10"E	90.27
STE-L13	S33° 36' 50"E	20.00
STE-L14	S56° 23' 10"W	90.66
STE-L15	S63° 39' 04"E	53.45
STE-L16	S43° 49' 02"E	77.46
STE-L17	S02° 56' 52"W	74.77
STE-L18	S69° 22' 19"W	29.46
STE-L19	N44° 12' 14"W	59.33
STE-L20	S49° 28' 20"W	72.63
STE-L21	S12° 02' 51"E	120.32
STE-L22	S36° 23' 17"W	96.91
STE-L23	S69° 59' 24"W	126.12
STE-L24	N24° 26' 13"W	28.52
STE-L25	N55° 05' 07"W	32.76
STE-L26	S35° 52' 20"W	14.76
STE-L27	S78° 15' 37"W	62.98
STE-L28	S60° 45' 39"W	79.68
STE-L29	N29° 14' 21"W	20.00
STE-L30	N60° 45' 39"E	82.76
STE-L31	N78° 15' 37"E	58.31
STE-L32	N35° 52' 20"E	26.68
STE-L33	S55° 05' 07"E	57.91
STE-L34	S24° 26' 13"E	15.48
STE-L35	N69° 59' 24"E	101.57
STE-L36	N36° 23' 17"E	81.87
STE-L37	N12° 02' 51"E	114.42
STE-L38	N43° 58' 18"W	67.76
STE-L39	S50° 58' 43"W	116.73
STE-L40	S32° 32' 42"E	87.59
STE-L41	S57° 27' 18"W	20.00
STE-L42	N32° 32' 42"W	95.15
STE-L43	N48° 10' 57"W	80.51
STE-L44	N41° 49' 03"E	20.00
STE-L45	S48° 10' 57"E	73.37
STE-L46	N50° 58' 43"E	115.71
STE-L47	N42° 22' 31"W	95.32
STE-L48	N47° 37' 29"E	20.00
STE-L49	S42° 22' 31"E	105.78
STE-L50	S43° 58' 18"E	70.23

Proposed Storm Easement Line Table

Line #	Direction	Length
STE-L51	N49° 28' 20"E	67.88
STE-L52	N44° 12' 14"W	120.75
STE-L53	N31° 07' 03"W	208.56
STE-L54	S55° 53' 01"W	75.73
STE-L55	S31° 38' 30"E	62.58
STE-L56	S58° 21' 30"W	20.00
STE-L57	N31° 38' 30"W	71.49
STE-L58	N39° 13' 40"W	18.20
STE-L59	N66° 39' 26"W	88.48
STE-L60	S31° 51' 12"W	60.63
STE-L61	S17° 16' 31"E	78.27
STE-L62	S72° 43' 29"W	20.00
STE-L63	N17° 16' 31"W	87.41
STE-L64	N31° 51' 12"E	50.58
STE-L65	S71° 24' 50"W	76.59
STE-L66	S12° 39' 51"W	94.88
STE-L67	S33° 31' 24"E	134.46
STE-L68	S56° 28' 36"W	20.00
STE-L69	N33° 31' 24"W	142.99
STE-L70	N12° 39' 51"E	114.67
STE-L71	N71° 24' 50"E	119.48
STE-L72	S66° 39' 26"E	105.80
STE-L73	S39° 13' 40"E	14.60
STE-L74	N55° 53' 01"E	77.21
STE-L75	N31° 07' 03"W	33.46
STE-L76	N61° 49' 08"W	120.28
STE-L77	N86° 41' 14"W	79.80
STE-L78	S66° 28' 15"W	298.09
STE-L79	S64° 28' 46"W	20.24
STE-L80	S33° 54' 45"E	49.17
STE-L81	S57° 56' 06"E	42.48
STE-L82	N20° 21' 57"E	29.77
STE-L83	S69° 29' 03"E	20.00
STE-L84	S20° 21' 57"W	66.58
STE-L85	N69° 53' 22"W	20.00
STE-L86	N20° 21' 57"E	16.53
STE-L87	N57° 56' 06"W	50.88
STE-L88	N33° 54' 45"W	73.48
STE-L89	S16° 10' 08"E	22.07
STE-L90	N24° 47' 01"W	66.51
STE-L91	N36° 06' 06"W	72.56
STE-L92	S60° 26' 31"W	68.71
STE-L93	S31° 37' 06"E	129.67
STE-L94	S52° 00' 44"W	57.45
STE-L95	N63° 41' 32"W	83.57
STE-L96	N31° 50' 04"W	74.83
STE-L97	S78° 27' 53"W	59.92
STE-L98	N11° 32' 07"W	20.00
STE-L99	N78° 27' 53"E	52.52
STE-L100	N31° 50' 04"W	41.49

Proposed Storm Easement Line Table

Line #	Direction	Length
STE-L101	N02° 16' 12"W	94.09
STE-L102	N36° 43' 01"E	72.41
STE-L103	S19° 39' 58"E	82.46
STE-L104	S25° 57' 35"E	67.66
STE-L105	S51° 10' 13"E	13.65
STE-L106	N60° 26' 31"E	76.62
STE-L107	N26° 34' 09"W	101.76
STE-L108	N10° 41' 28"E	133.20
STE-L109	N47° 36' 55"E	137.50
STE-L110	S42° 23' 05"E	20.00
STE-L111	S47° 36' 55"W	130.82
STE-L112	S10° 41' 28"W	119.78
STE-L113	S26° 34' 09"E	103.68
STE-L114	S36° 06' 06"E	72.59
STE-L115	N59° 38' 51"E	130.96
STE-L116	S30° 21' 09"E	20.00
STE-L117	S59° 38' 51"W	130.93
STE-L118	S24° 47' 01"E	58.43
STE-L119	S65° 12' 59"W	20.00
STE-L120	N28° 13' 33"W	146.57
STE-L121	S36° 06' 33"E	20.00
STE-L122	S53° 53' 27"W	56.05
STE-L123	S36° 02' 30"E	58.01
STE-L124	S58° 59' 38"E	14.83
STE-L125	N55° 30' 15"E	109.38
STE-L126	S48° 38' 01"E	11.68
STE-L127	S27° 10' 25"W	52.99
STE-L128	S57° 41' 58"W	17.75
STE-L129	S30° 00' 03"E	47.46
STE-L130	N59° 59' 57"E	10.00
STE-L131	N30° 00' 03"W	20.00
STE-L132	S59° 42' 19"W	40.00
STE-L133	S30° 00' 03"E	20.00
STE-L134	N59° 59' 57"E	10.00
STE-L135	N30° 00' 03"W	45.85
STE-L136	S71° 01' 49"W	58.37
STE-L137	N43° 28' 10"W	20.47
STE-L138	N55° 30' 15"E	9.67
STE-L139	N58° 59' 38"W	9.77
STE-L140	N36° 02' 30"W	82.05
STE-L141	N53° 53' 27"E	76.03

Proposed Sanitary Easement Line Table

Line #	Direction	Length
SE-L1	N42° 43' 39"W	113.58
SE-L2	S48° 09' 57"W	157.04
SE-L3	S08° 16' 08"W	91.67
SE-L4	S30° 12' 33"E	283.50
SE-L5	S26° 00' 46"E	160.12
SE-L6	S46° 12' 37"E	135.05
SE-L7	S26° 46' 02"E	147.43
SE-L8	S63° 13' 58"W	30.00
SE-L9	N26° 46' 02"W	142.29
SE-L10	N46° 12' 37"W	135.26
SE-L11	N26° 00' 46"W	148.67
SE-L12	S59° 25' 41"W	190.33
SE-L13	S09° 47' 17"E	94.46
SE-L14	S41° 29' 30"E	209.95
SE-L15	S31° 28' 39"E	176.53

Proposed Sanitary Easement Line Table

Line #	Direction	Length
SE-L16	S80° 28' 28"E	105.27
SE-L17	S09° 31' 32"W	30.00
SE-L18	N80° 28' 28"W	118.95
SE-L19	N31° 28' 39"W	187.57
SE-L20	N41° 29' 30"W	197.58
SE-L21	S52° 27' 04"W	108.70
SE-L22	N46° 22' 24"W	152.94
SE-L23	N70° 04' 00"W	125.21
SE-L24	S70° 04' 00"E	132.25
SE-L25	S46° 22' 24"E	133.53
SE-L26	N52° 27' 04"E	87.95
SE-L27	N09° 47' 17"W	110.36
SE-L28	N59° 25' 41"E	212.37
SE-L29	N30° 12' 33"W	278.52
SE-L30	N08° 16' 08"E	113.03

Proposed Sanitary Easement Line Table

Line #	Direction	Length
SE-L31	N48° 09' 57"E	167.93
SE-L32	S41° 50' 03"E	30.00

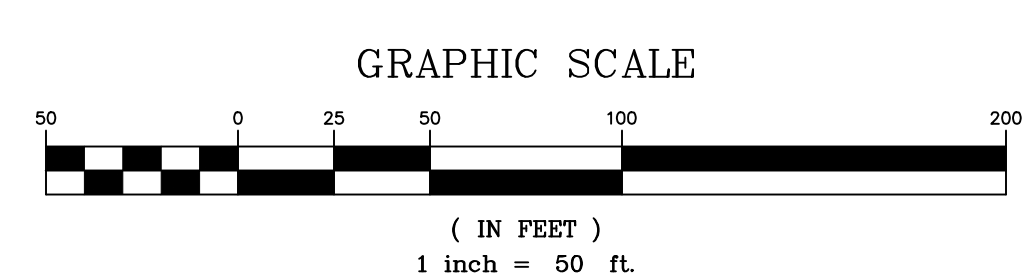
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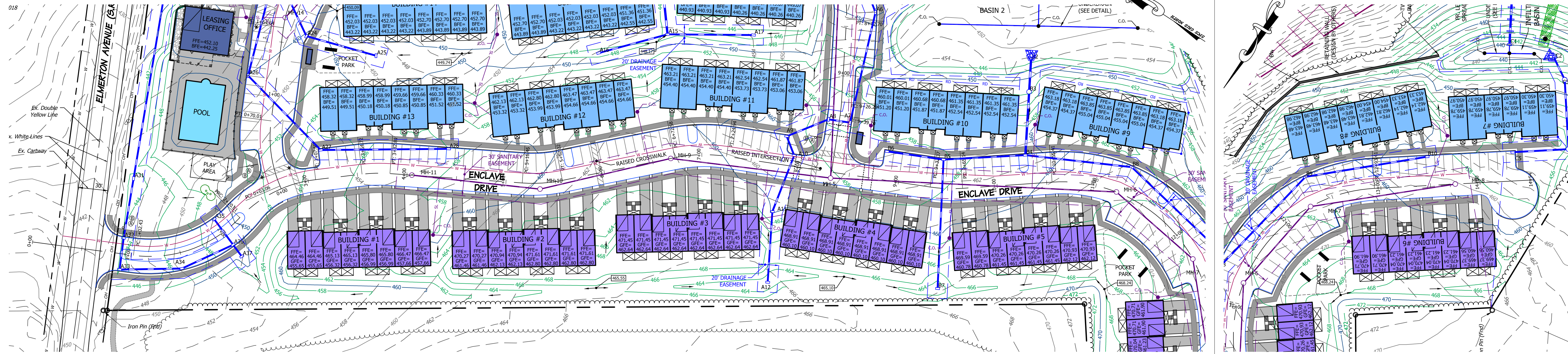


EASEMENT PLAN
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

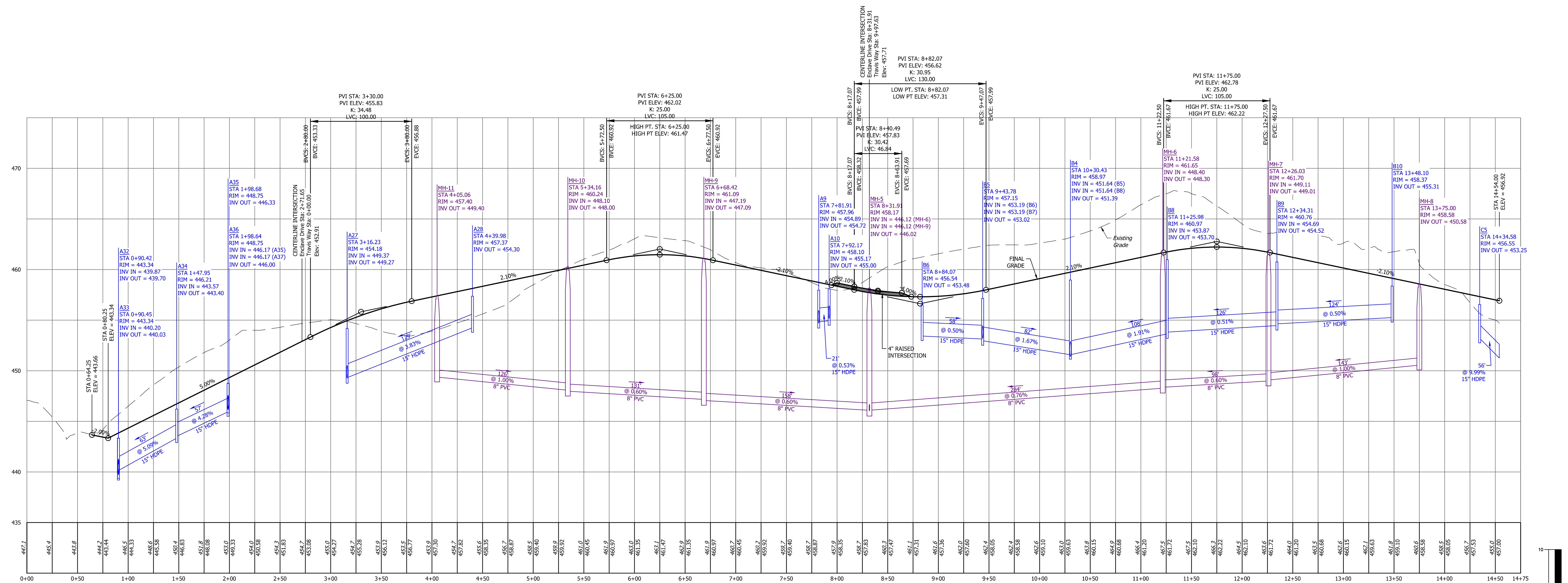
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PROJECT: 220021
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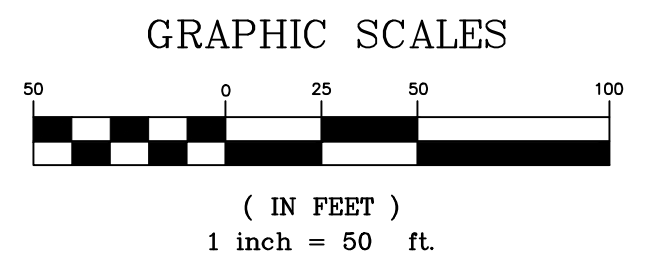


Plan View Of Road 'A'
Scale: 1" = 50'



Profile View Of Enclave Drive Sta: 0+00.00 - 14+75.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

NOTES:
ALL INLETS ARE TYPE 'C' UNLESS OTHERWISE NOTED.
ALL TYPE 'C' INLETS ARE SUMPED 2".



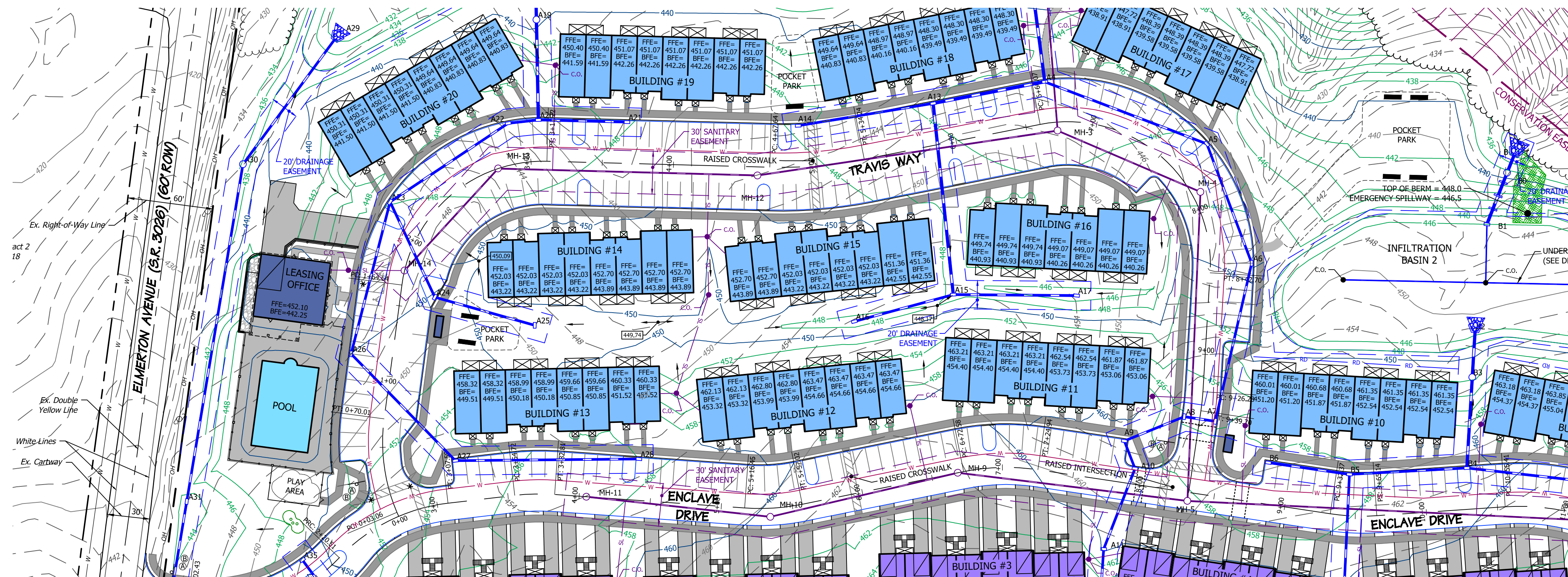
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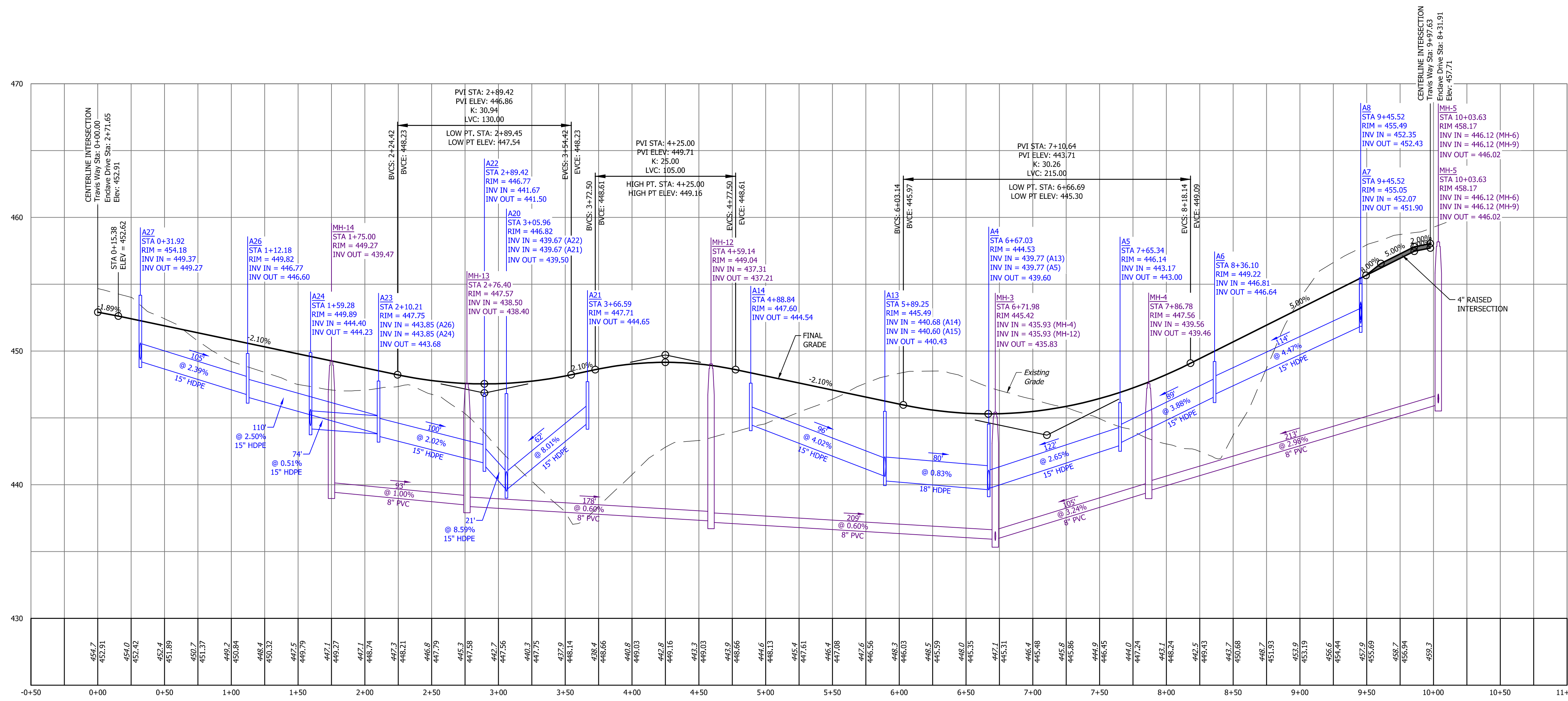


STREET PROFILES
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220021-PRO
PROJECT:	220021
DATE:	06/11/21
SHEET:	10 OF 21

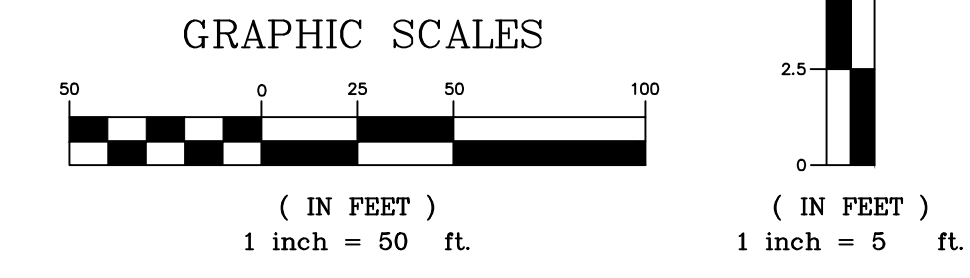


Plan View Of Road 'B'
Scale: 1"=50'



Profile View Of Travis Way Sta: -0+50.00 - 11+00.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

NOTES:
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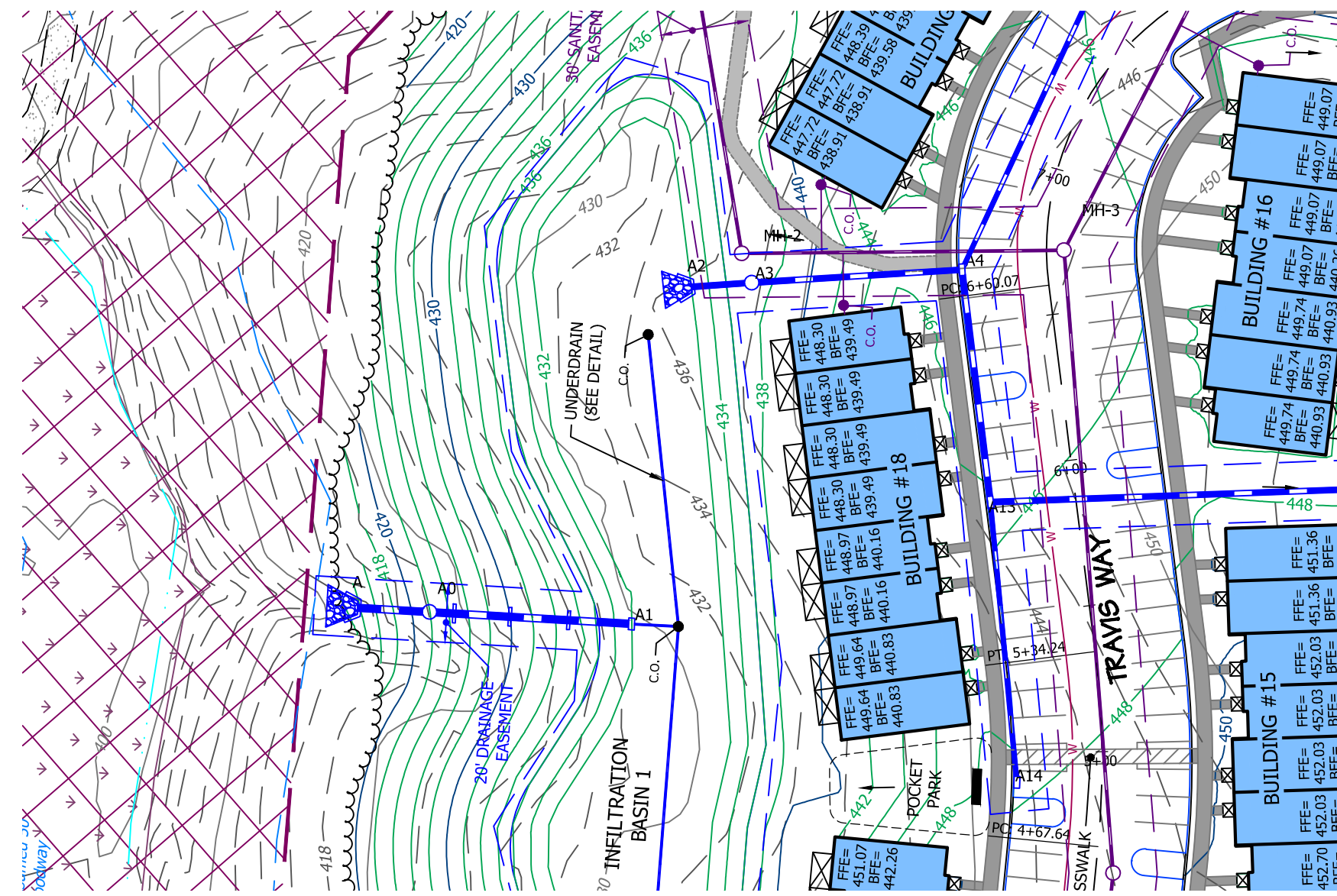
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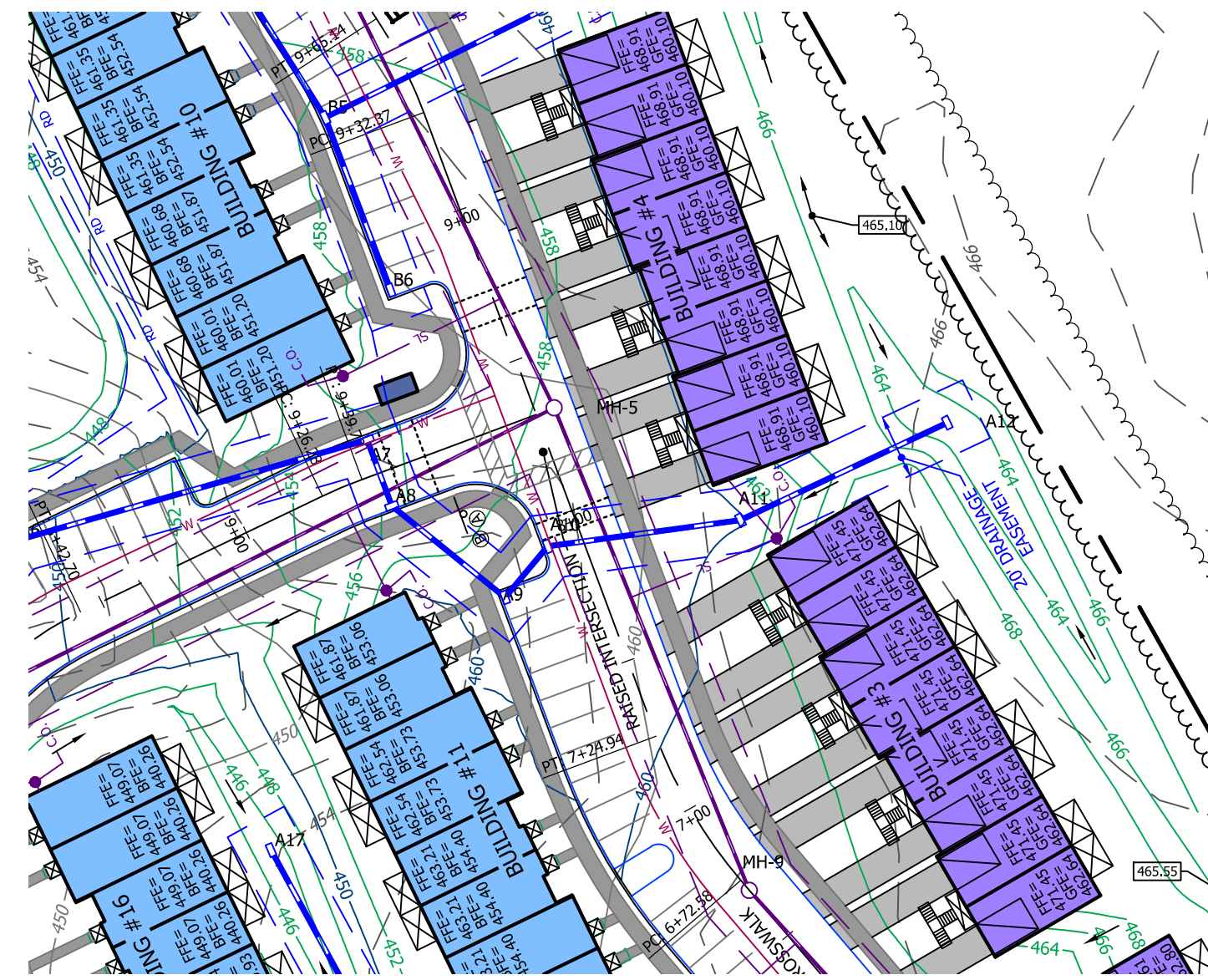


STREET PROFILES
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

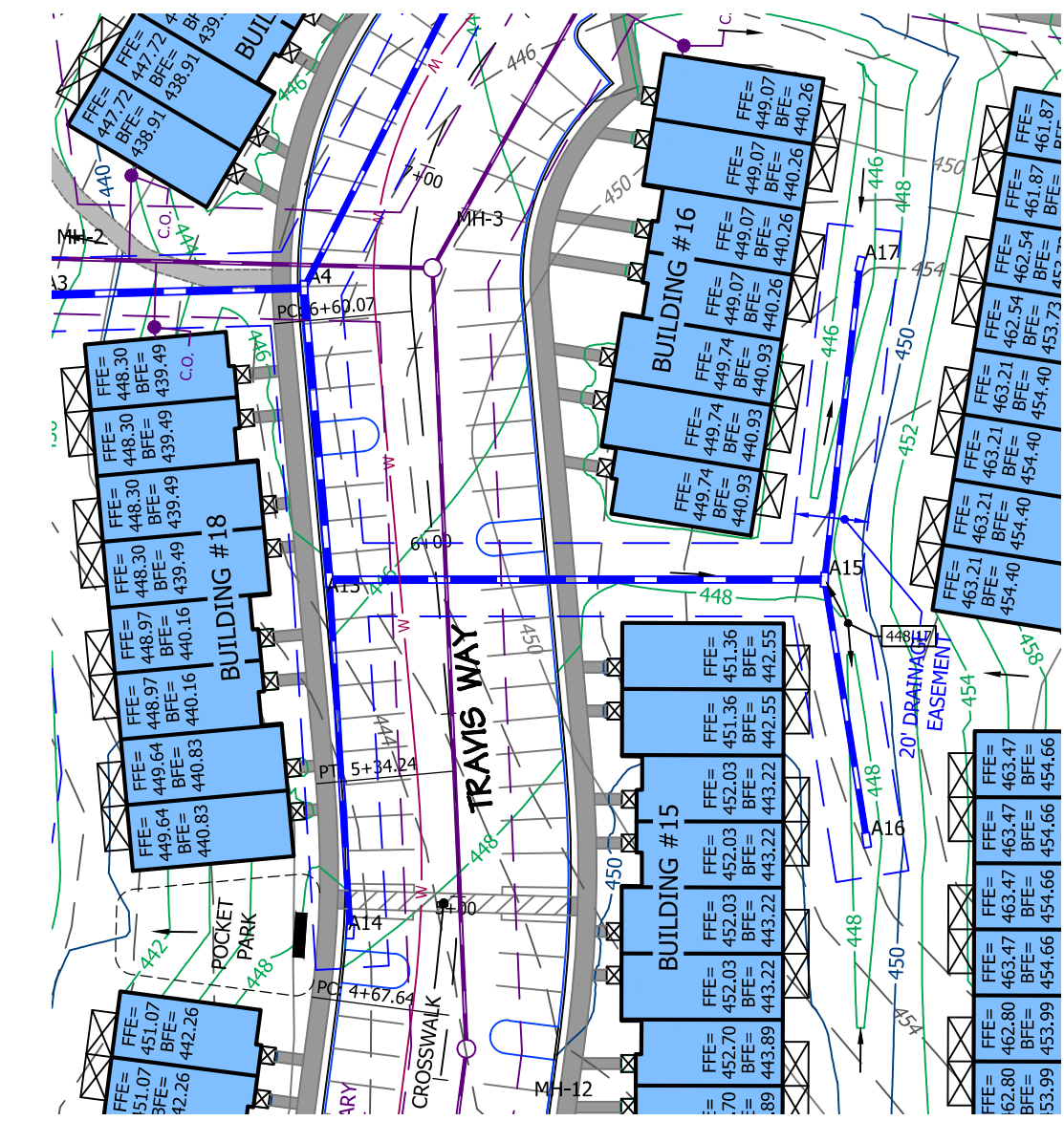
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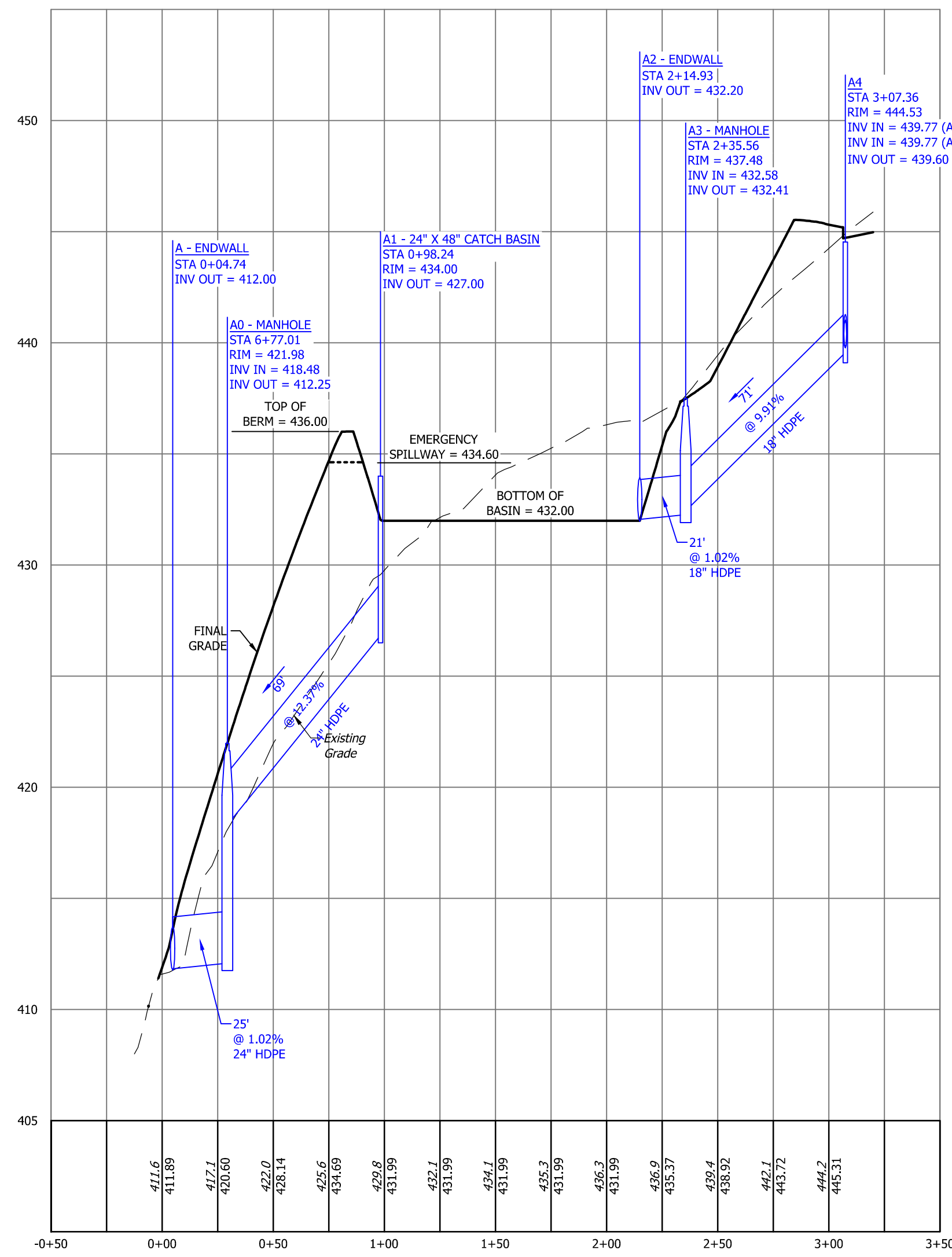
Plan View Of A To A4
Scale: 1"=50'



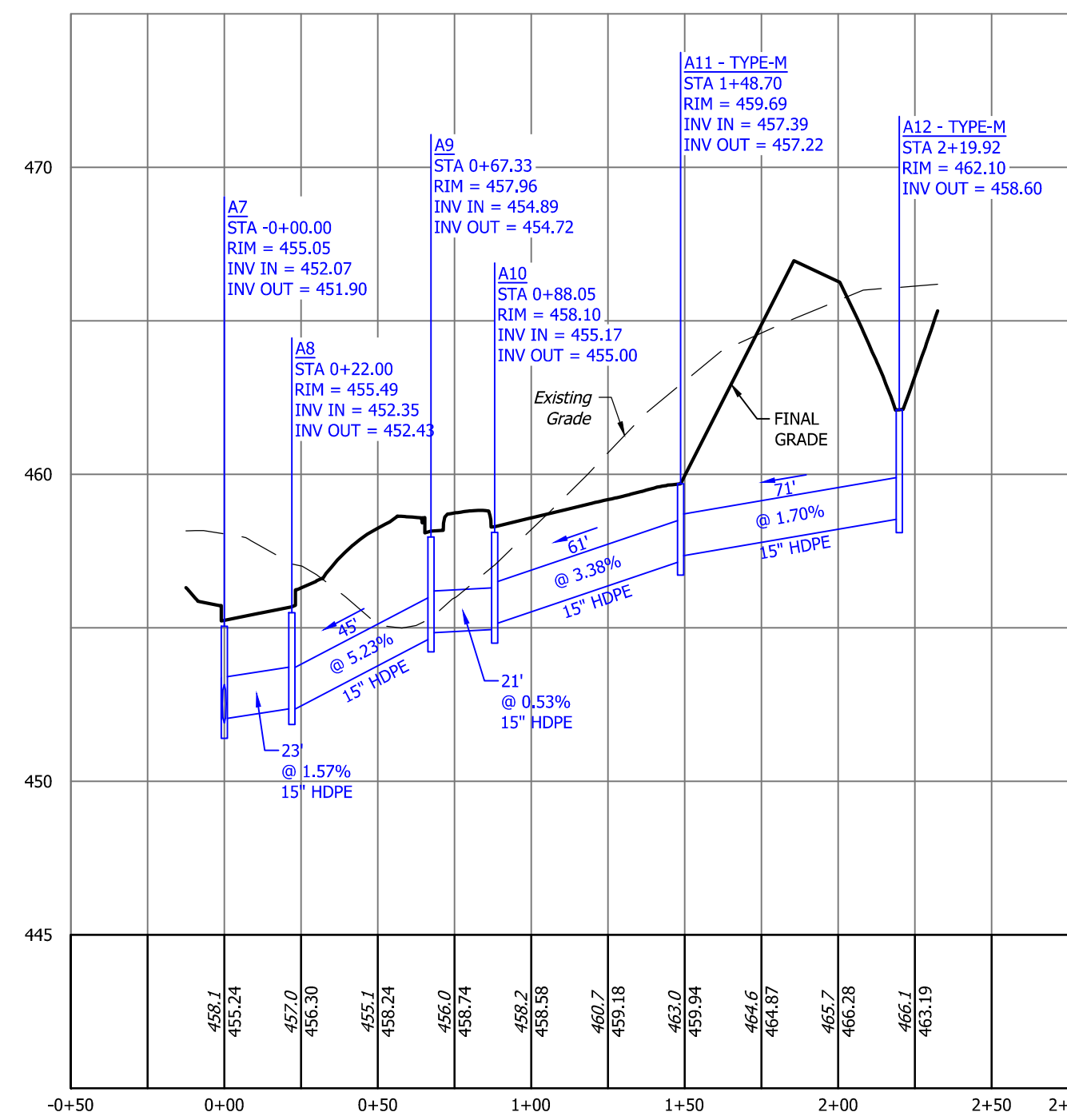
Plan View Of A7 To A12
Scale: 1"=50'



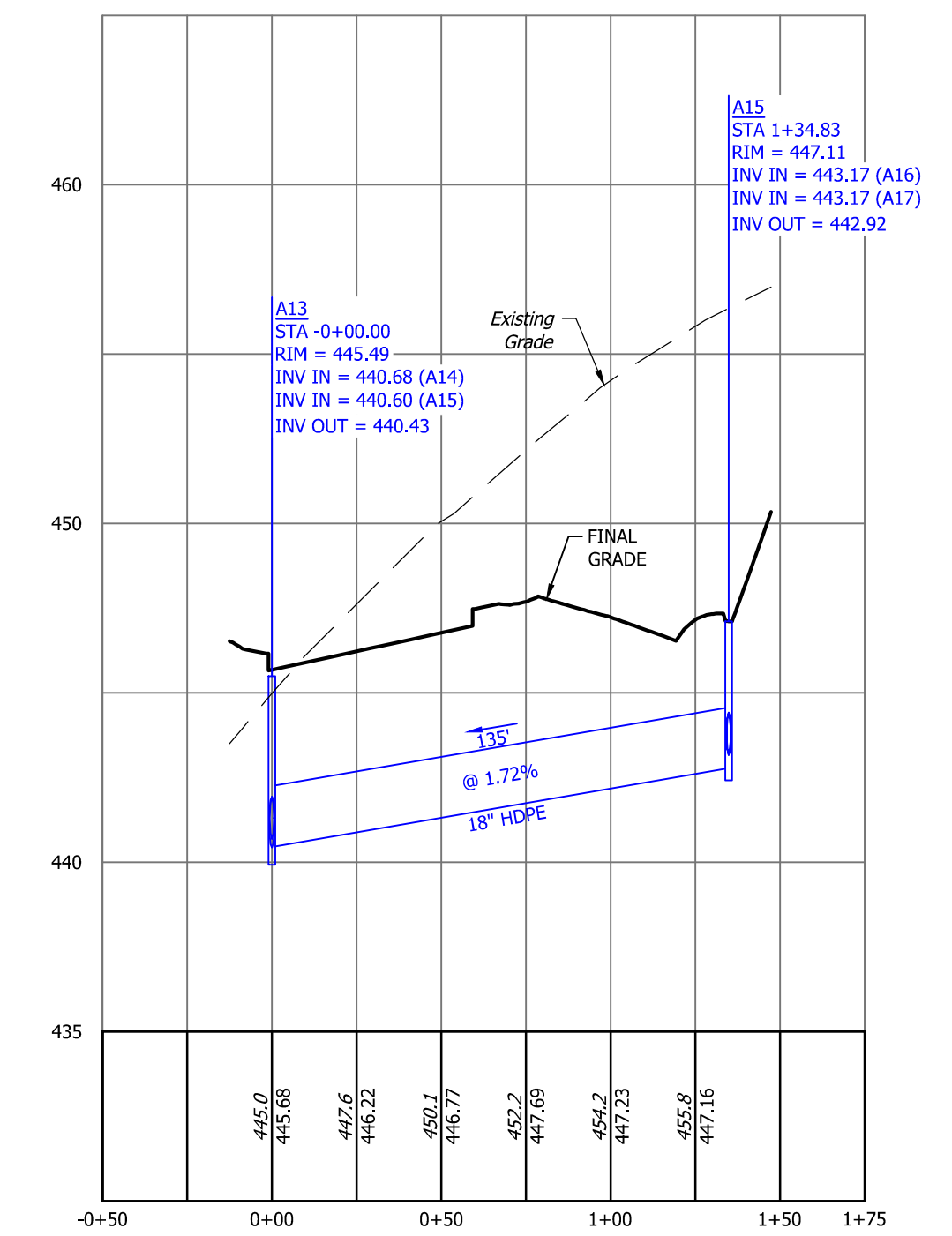
Plan View Of A13 To A15
Scale: 1"=50'



Profile View of A To A4 (Basin 1) Sta: -0+50.00 - 3+50.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

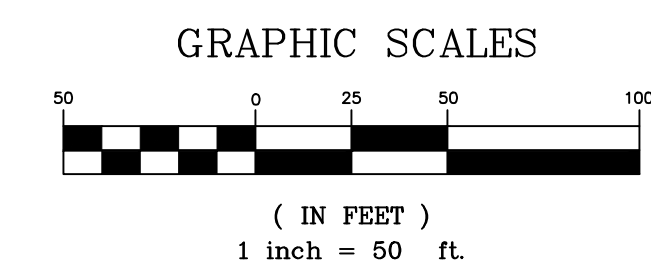


Profile View of A7 To A12 Sta: -0+50.00 - 2+75.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



Profile View of A13 To A15 Sta: -0+50.00 - 1+75.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

NOTES:
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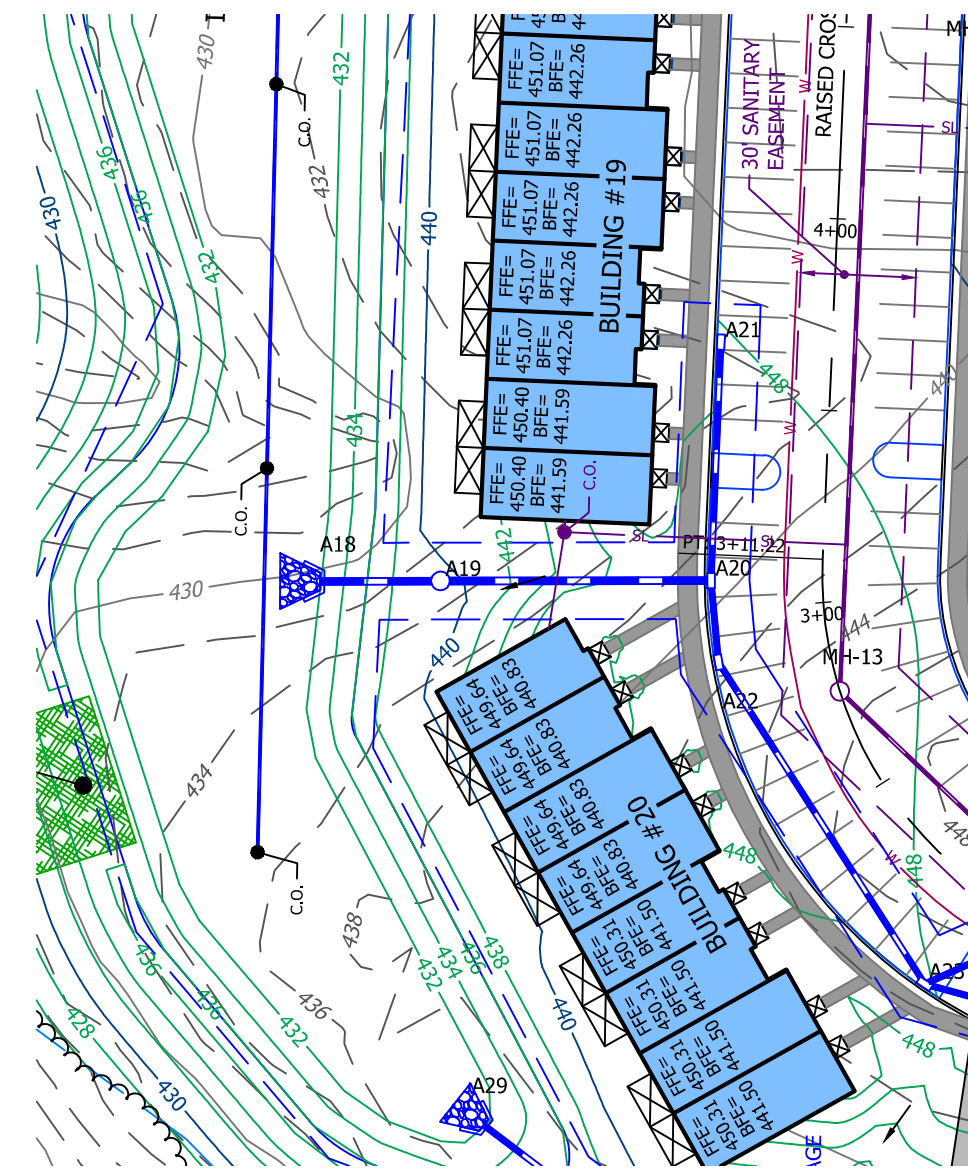
STORM SEWER PROFILES
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220021-PRO
PROJECT:	220021
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SHEET:	12 OF 21

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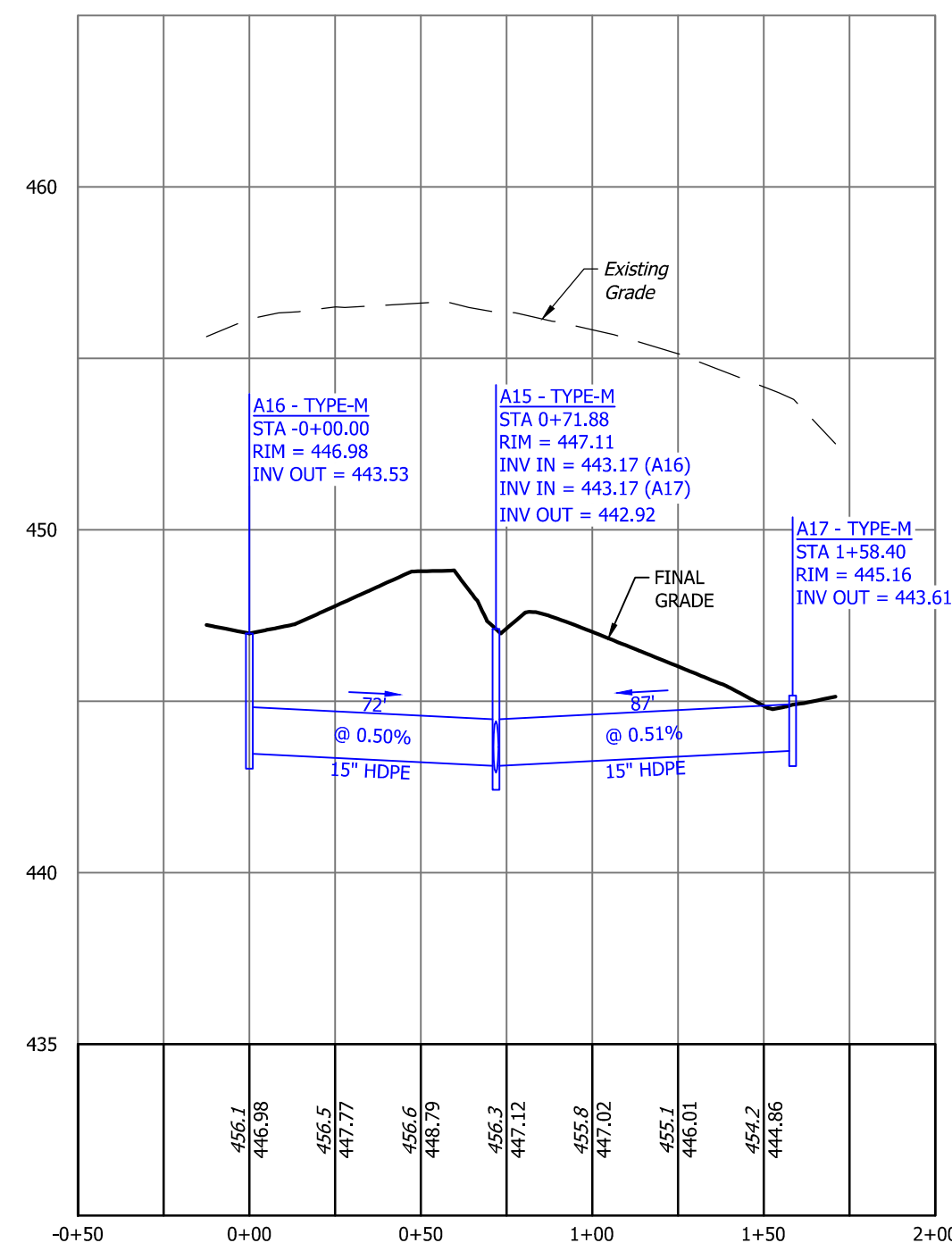
Plan View Of A16 To A17
Scale: 1"=50'



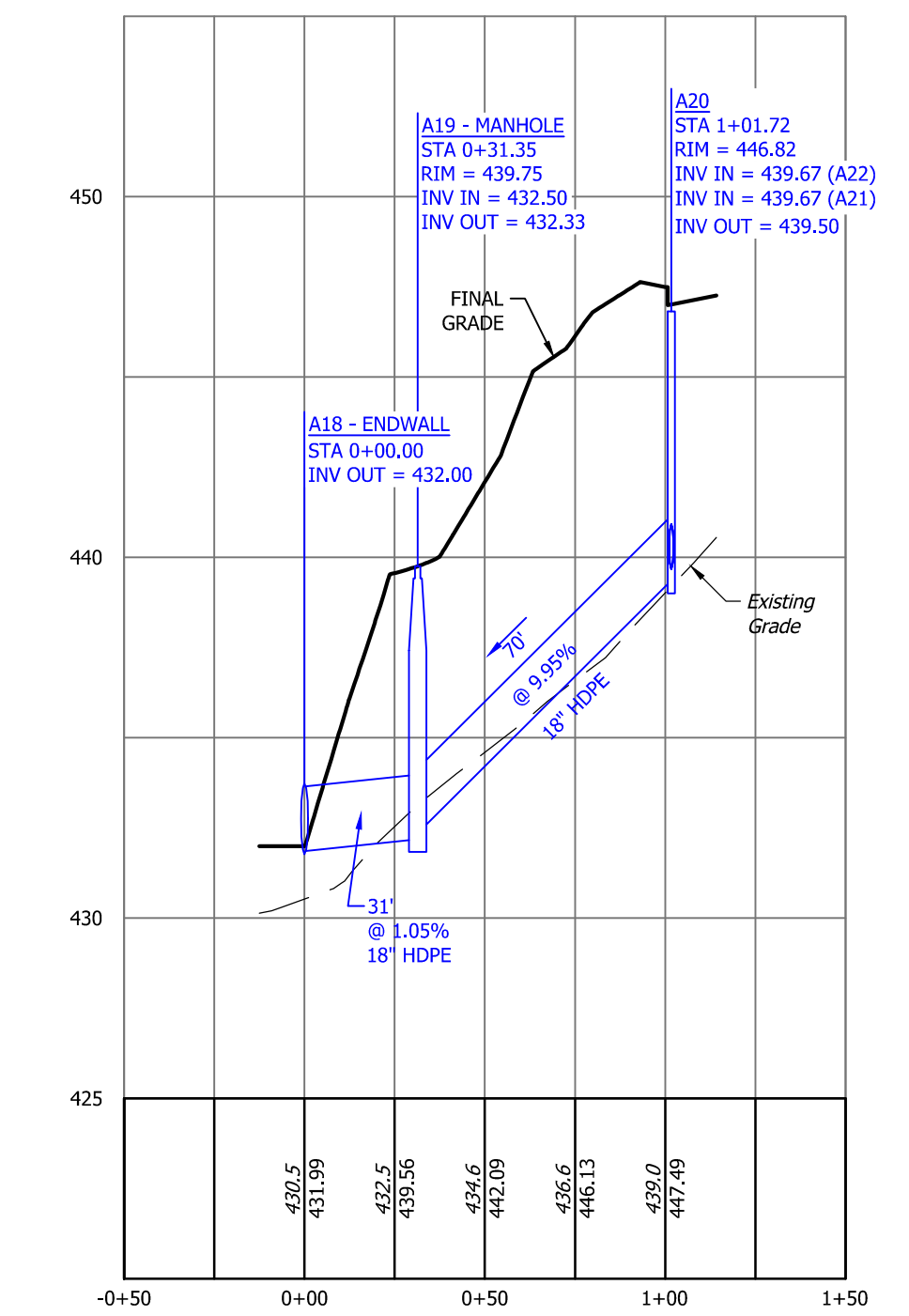
Plan View Of A18 To A20
Scale: 1"=50'



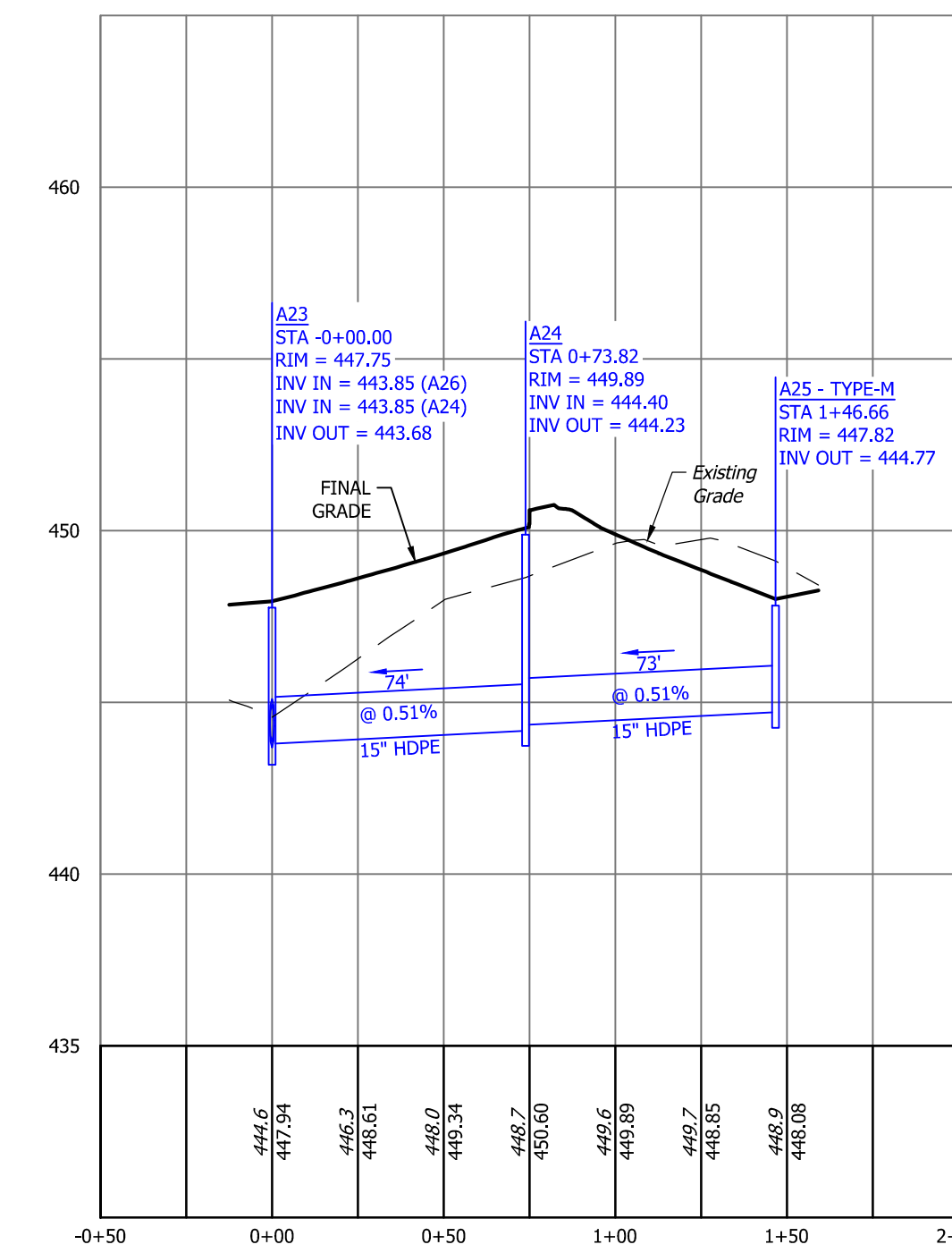
Plan View Of A23 To A25
Scale: 1"=50'



Profile View Of A16 To A17 Sta: -0+50.00 - 2+00.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

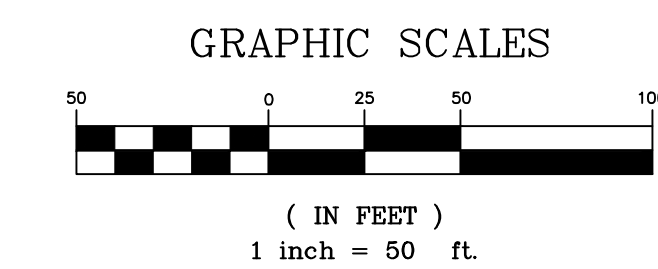


Profile View Of A18 To A20 Sta: -0+50.00 - 1+50.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



Profile View Of A23 To A25 Sta: -0+50.00 - 2+00.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

NOTES:
ALL INLETS ARE TYPE 'C' UNLESS OTHERWISE NOTED.
ALL TYPE 'C' INLETS ARE SUMPED 2".



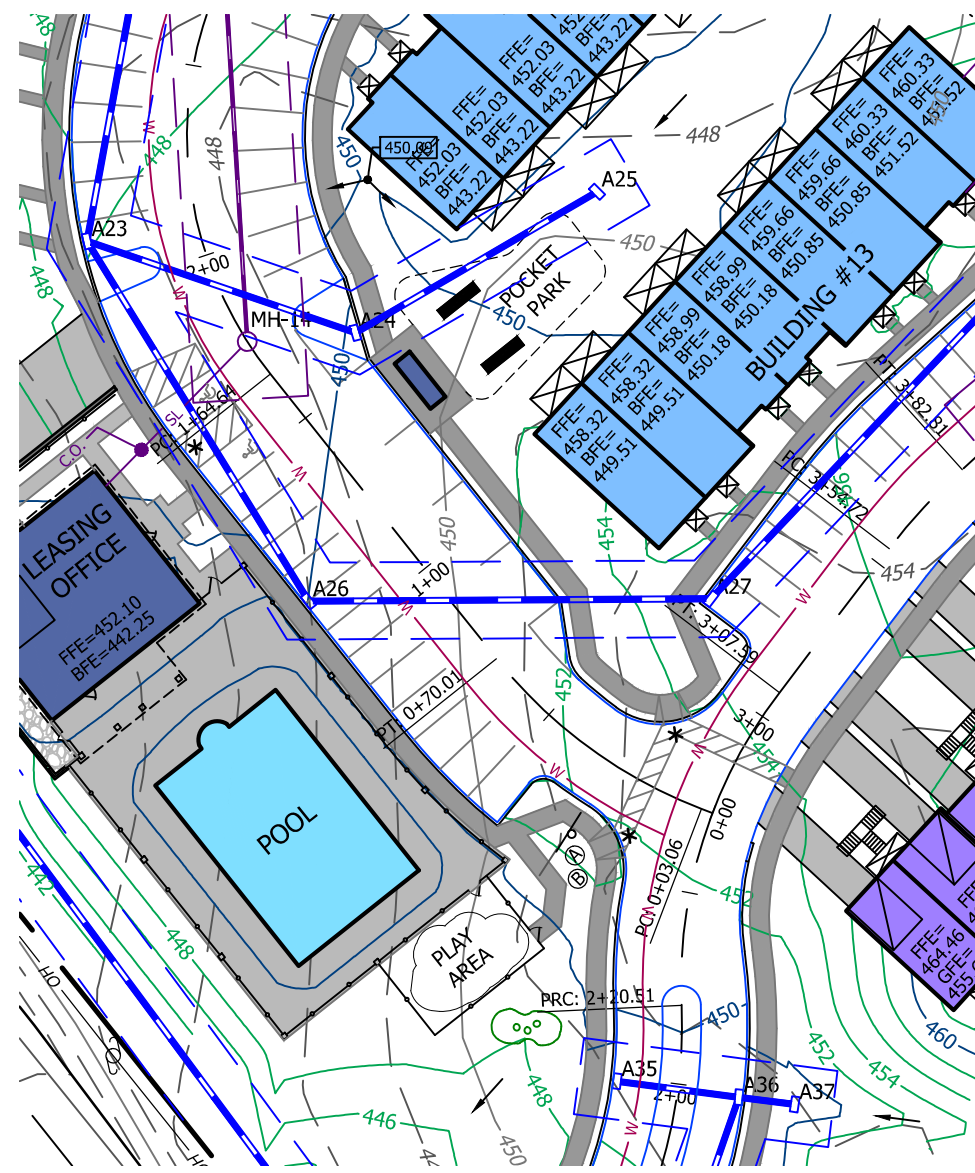
NO.	REVISION	DATE
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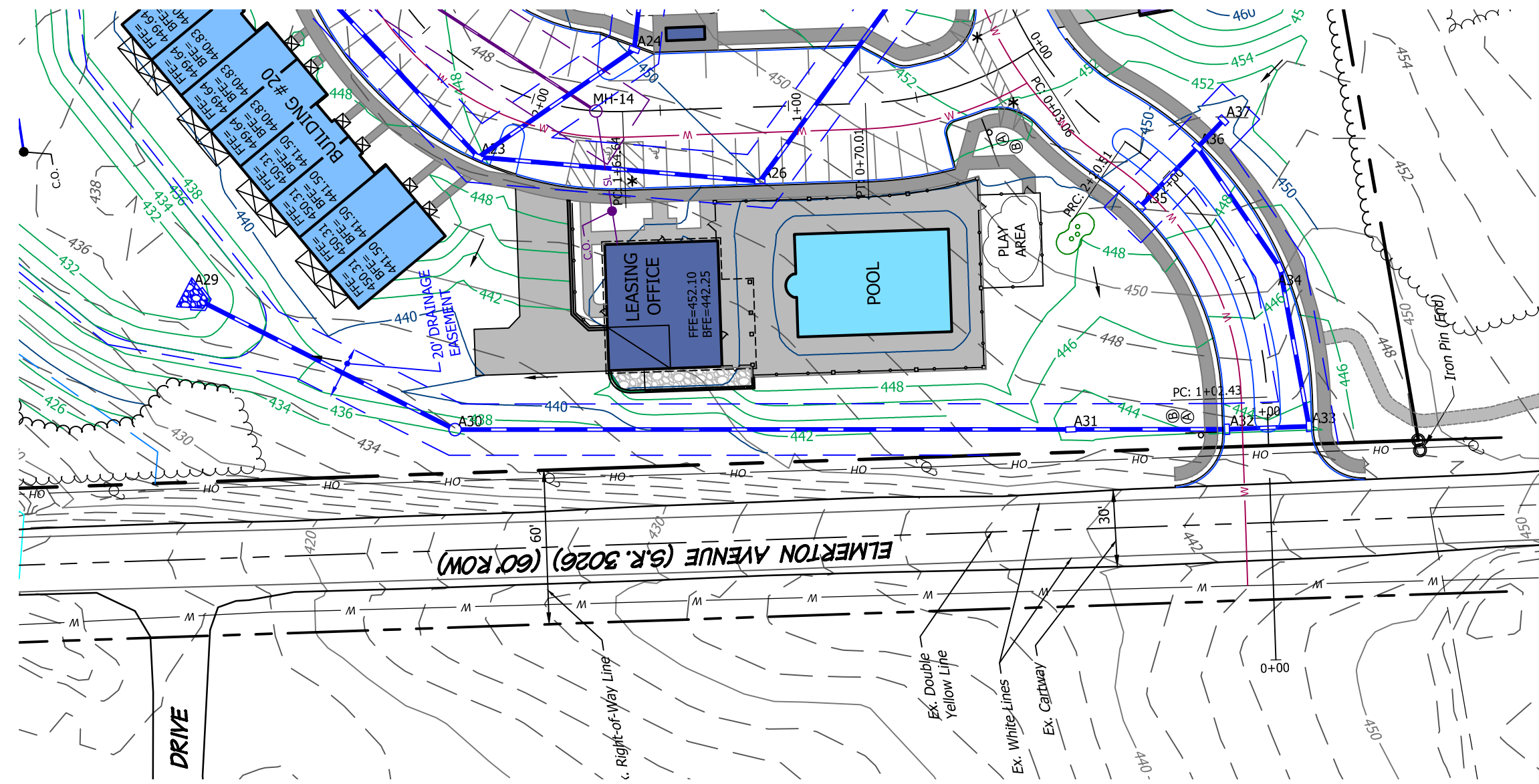


STORM SEWER PROFILES
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

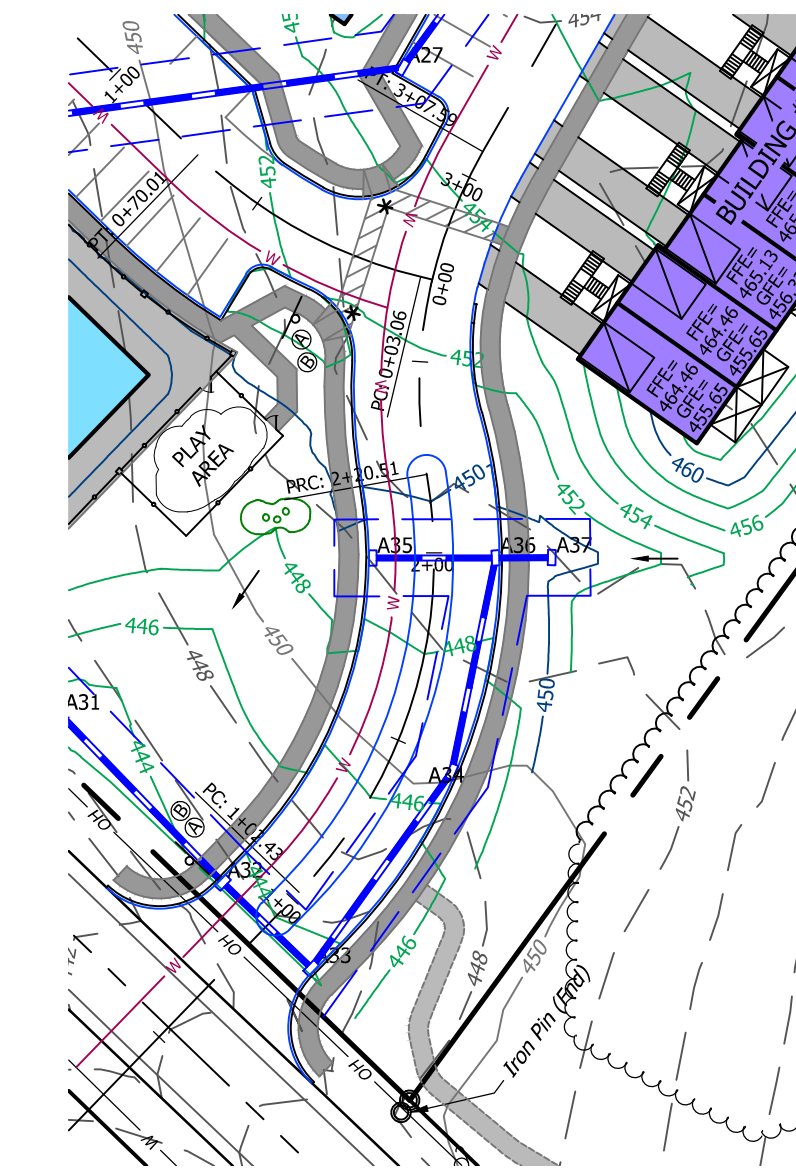
DRAWING ID: 220021-PRO
PROJECT: 220021
DATE: 06/11/21
SHEET: 13 OF 21



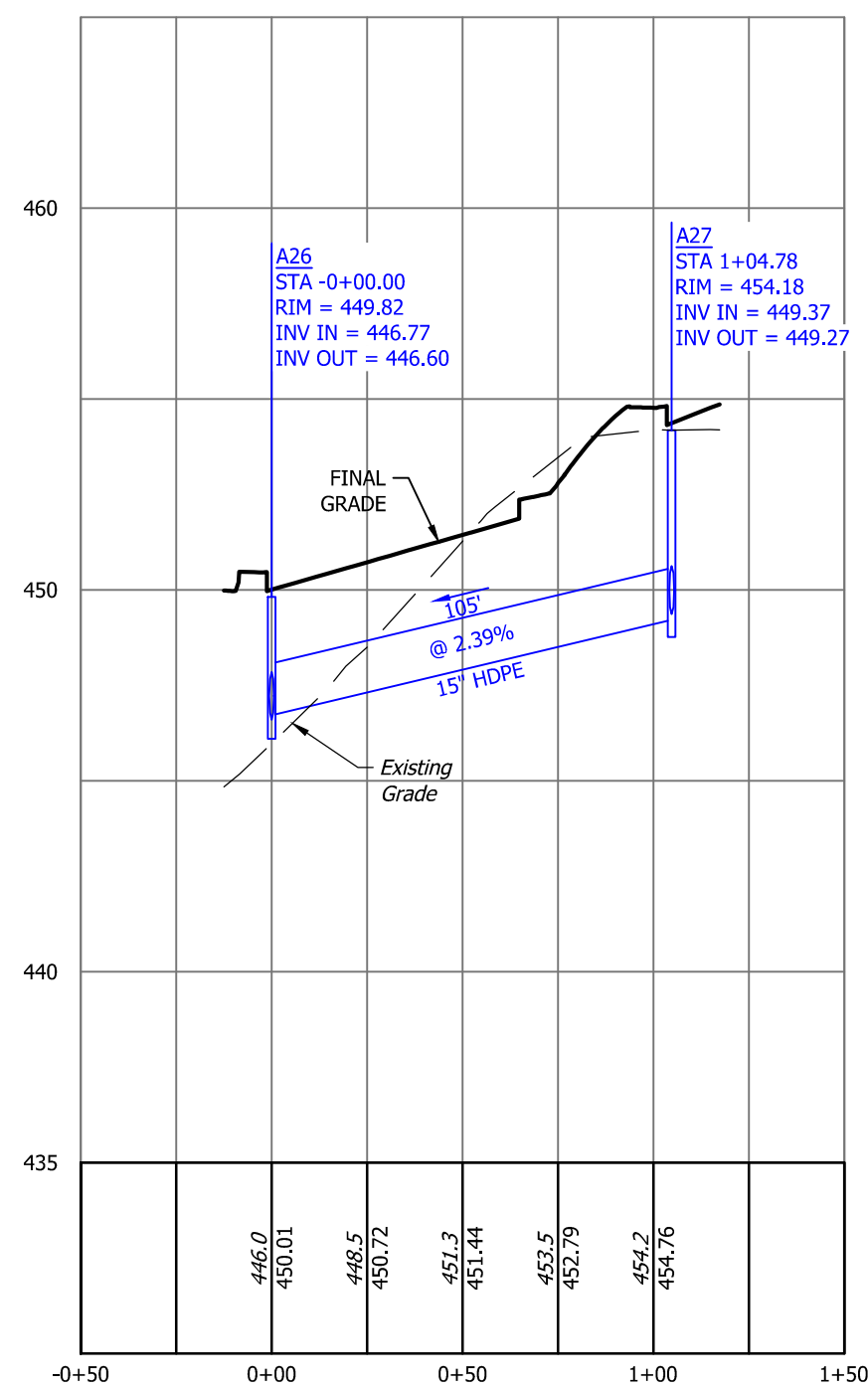
Plan View Of A26 To A27
Scale: 1"=50'



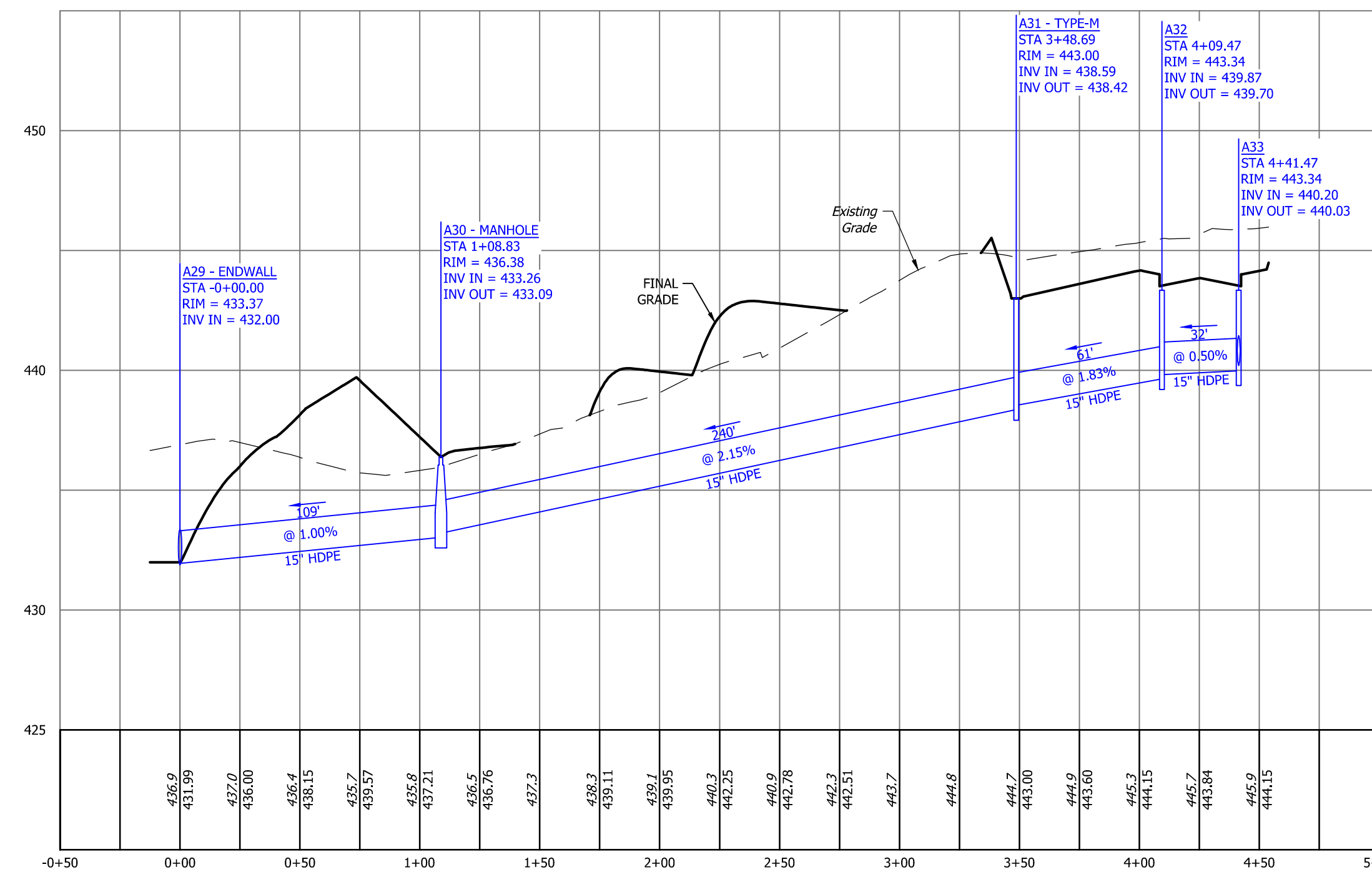
Plan View Of A29 To A33
Scale: 1"=50'



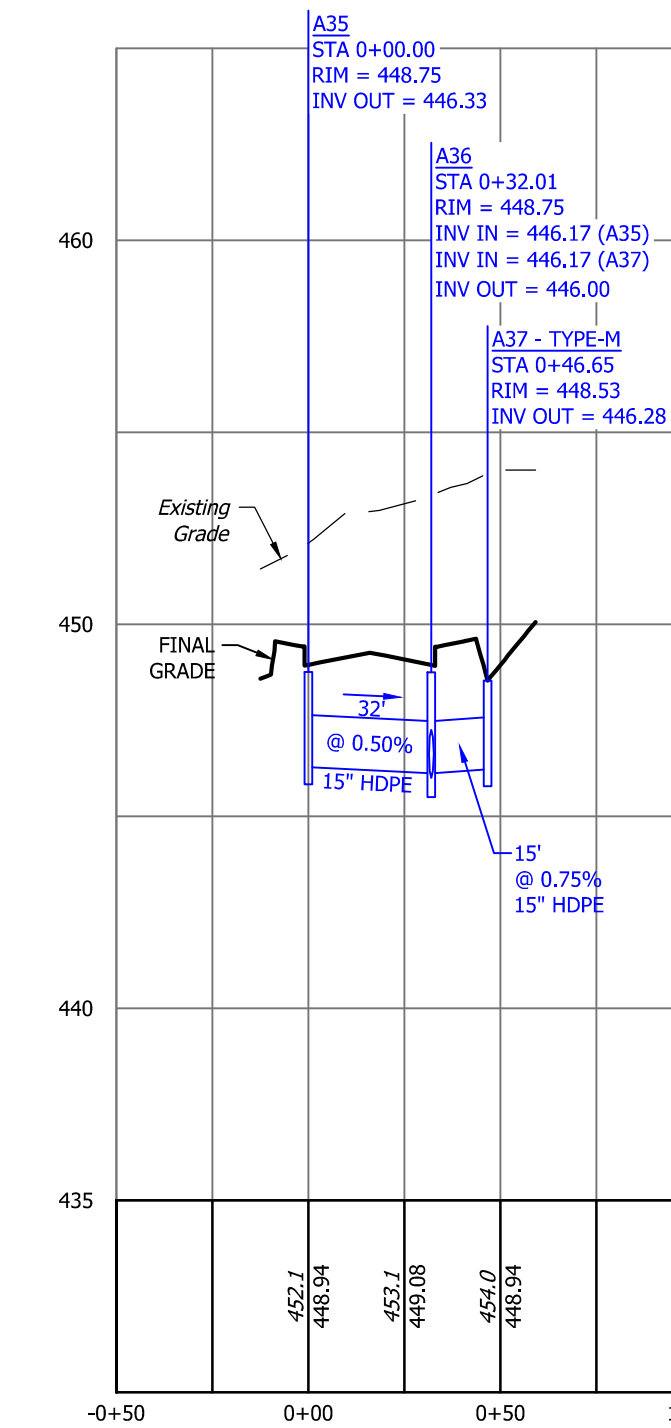
Plan View Of A35 To A37
Scale: 1"=50'



Profile View Of A26 To A27 Sta: -0+50.00 - 1+50.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

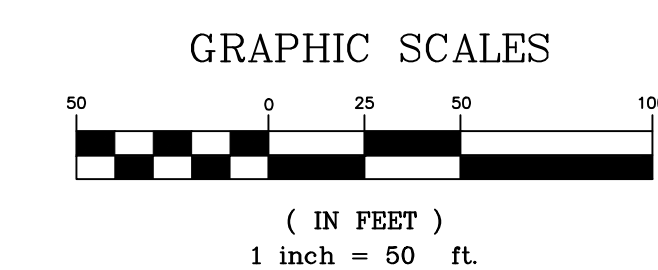


Profile View Of A29 To A33 Sta: -0+50.00 - 5+00.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



Profile View Of A35 To A37 Sta: -0+50.00 - 1+00.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

NOTES:
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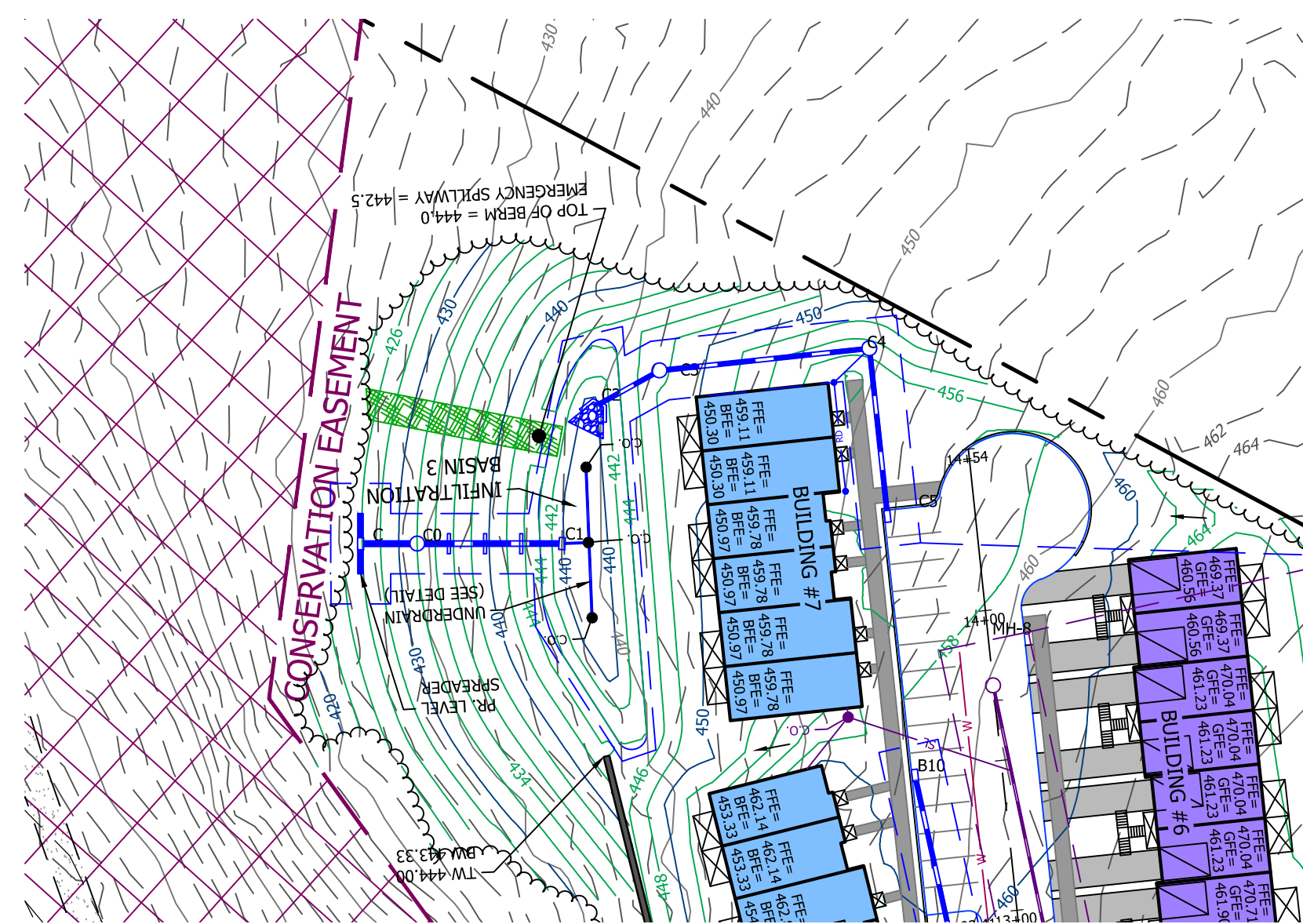
STORM SEWER PROFILES
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID: 220021-PRO
PROJECT: 220021
DATE: 06/11/21
SHEET: 14 OF 21

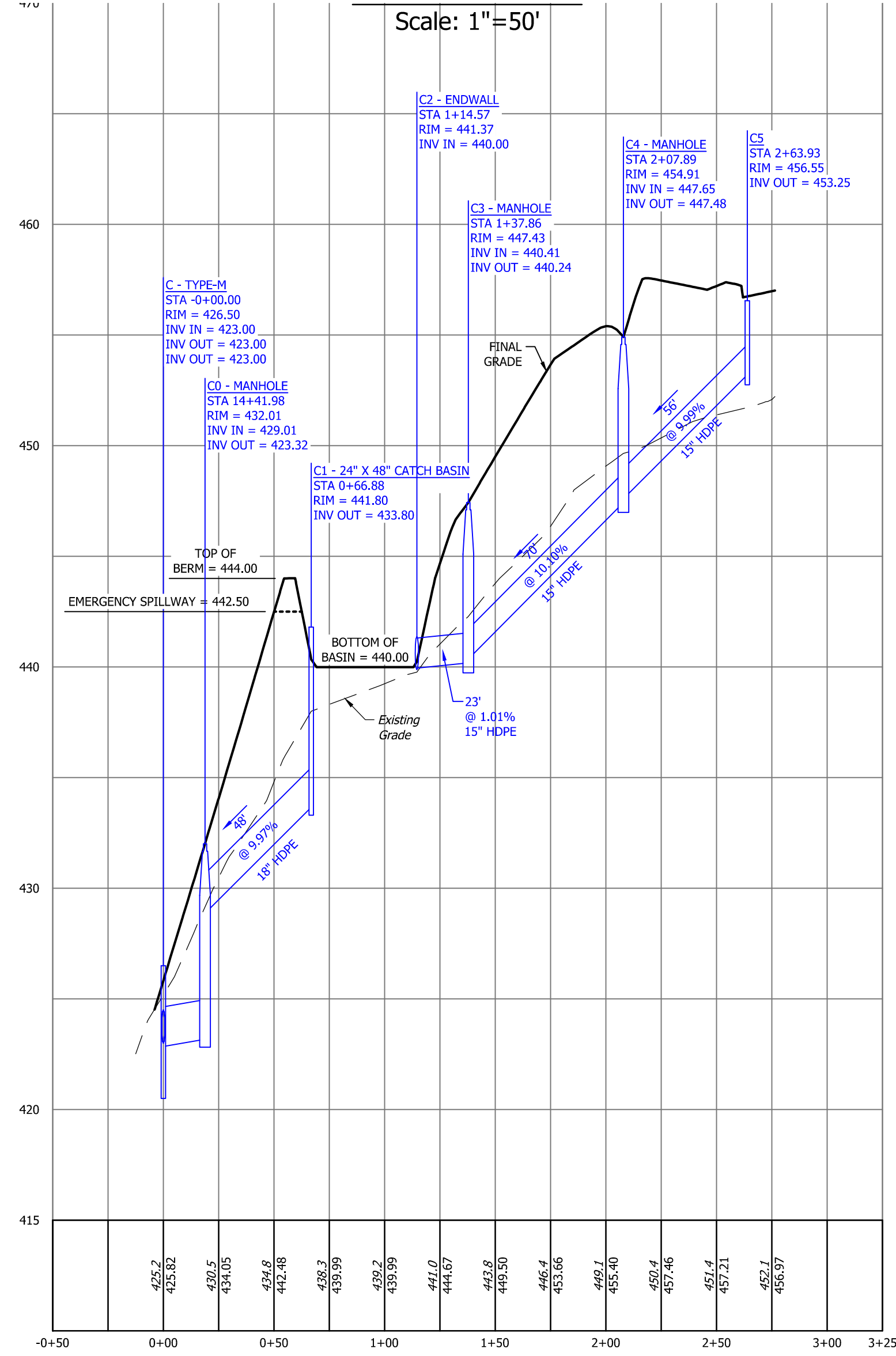
NO.	REVISION	DATE
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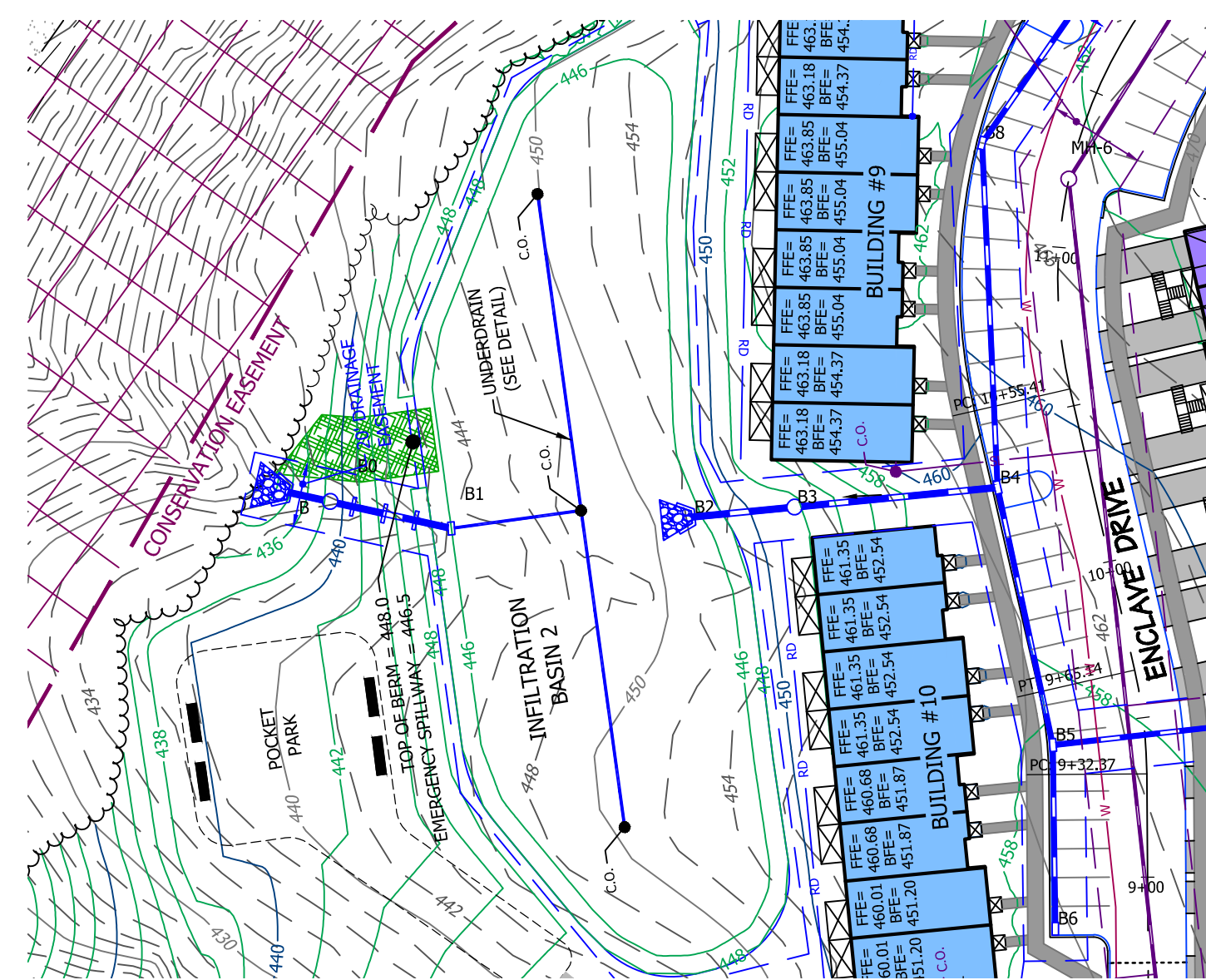
14-PRO



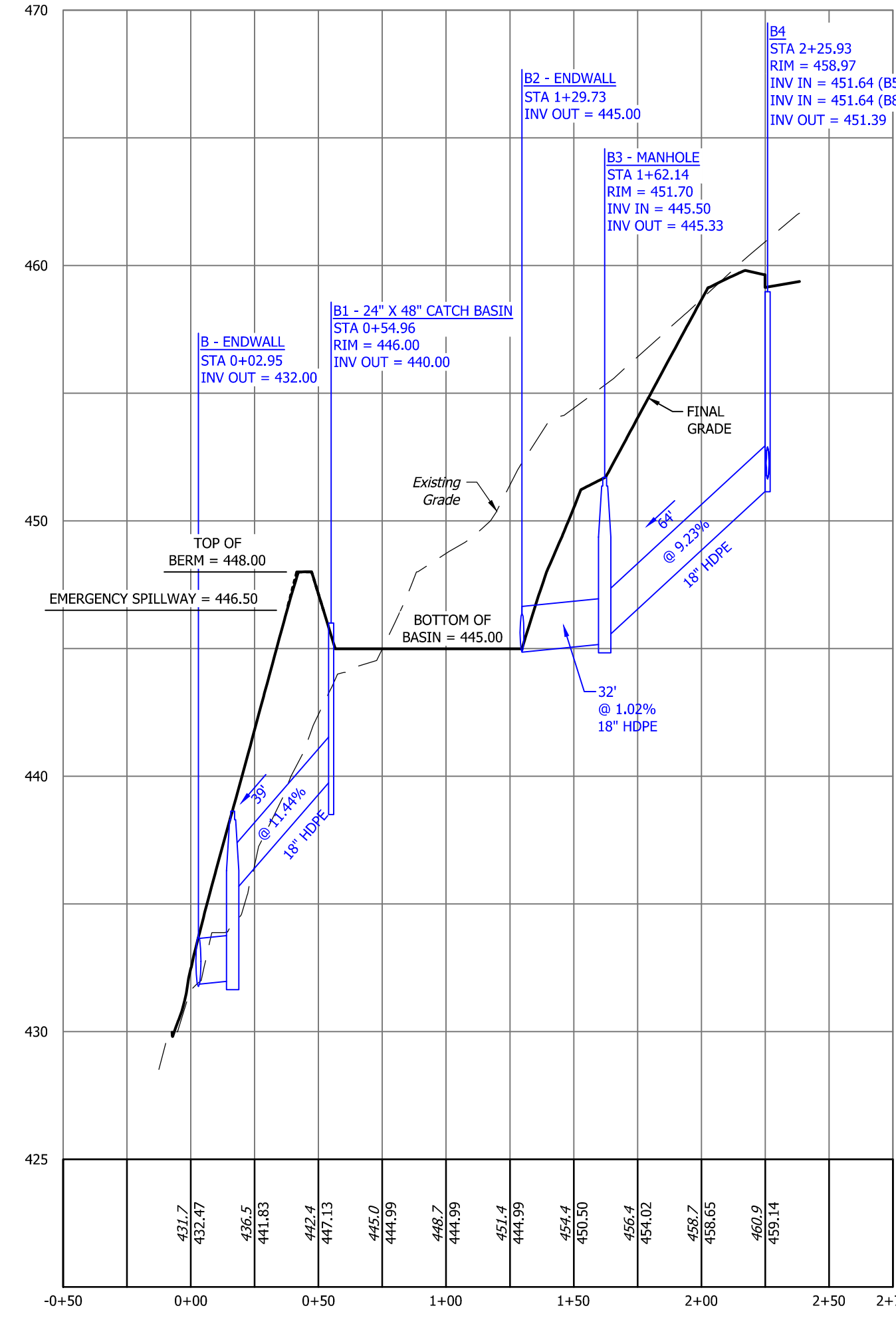
Plan View Of C To C5
Scale: 1"=50'



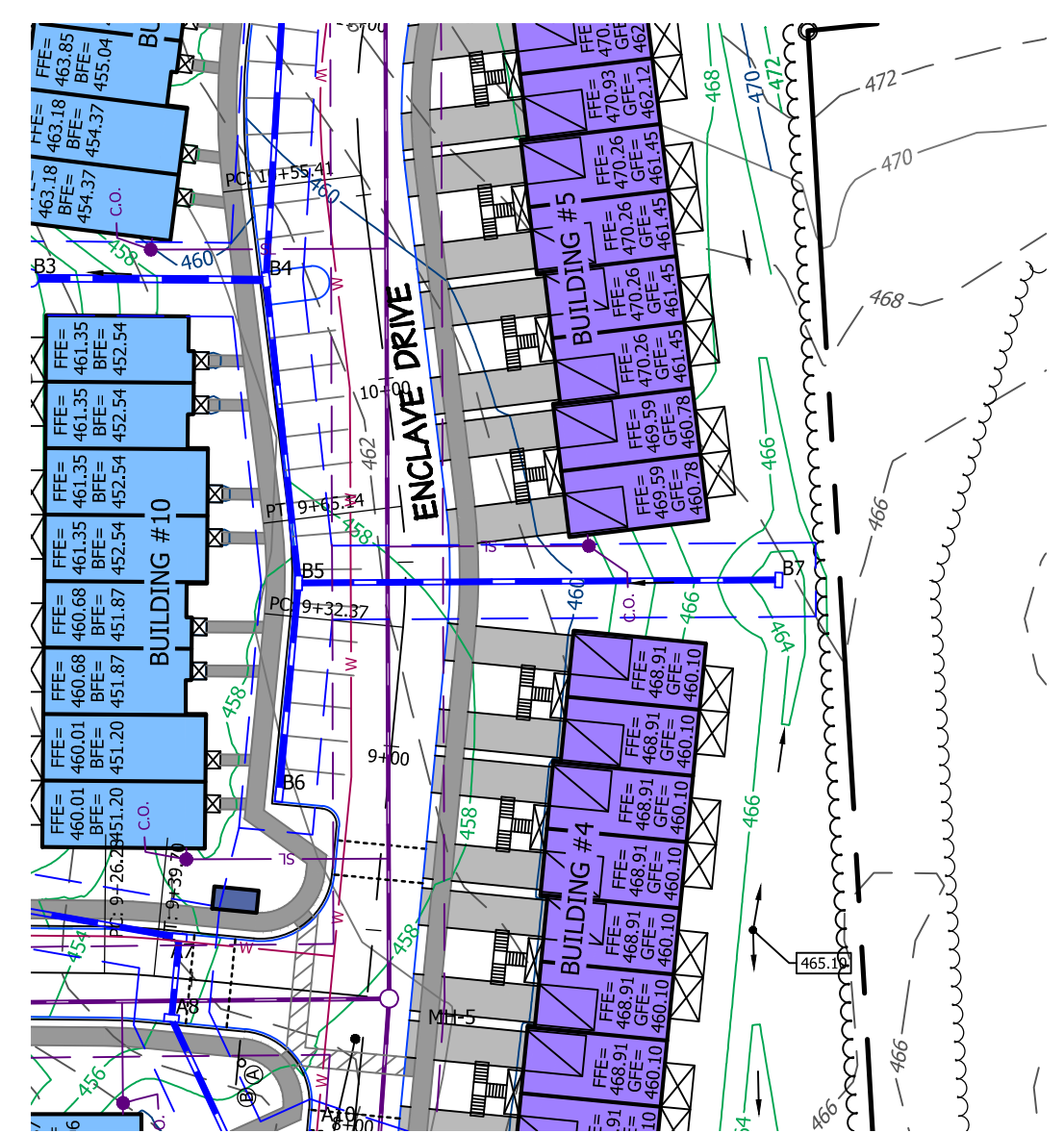
Profile View Of C To C5 (Basin 3) Sta: -0+50.00 - 3+25.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



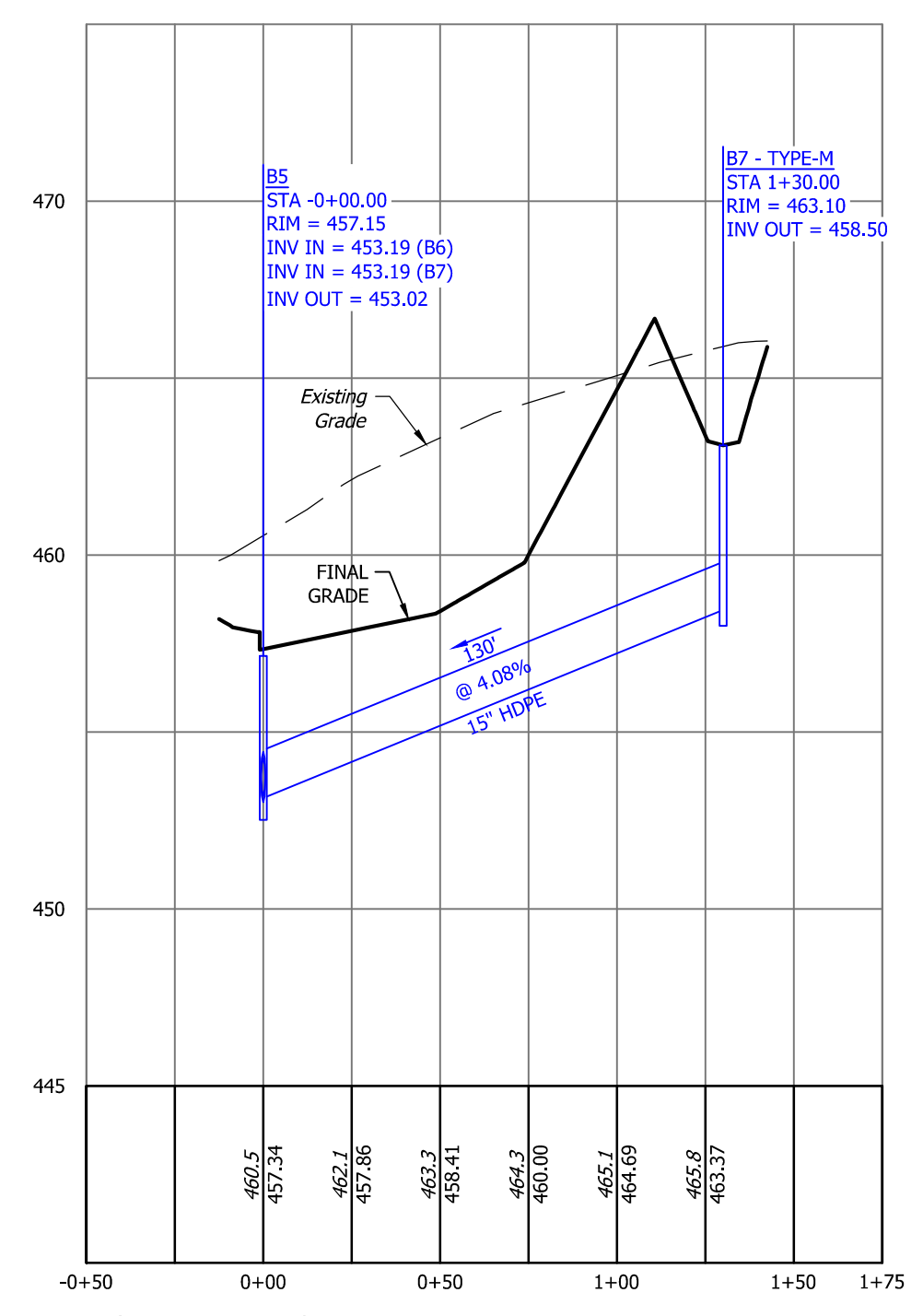
Plan View Of B To B4
Scale: 1"=50'



Profile View Of B To B4 (Basin 2) Sta: -0+50.00 - 2+75.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



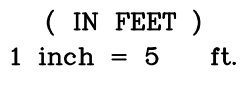
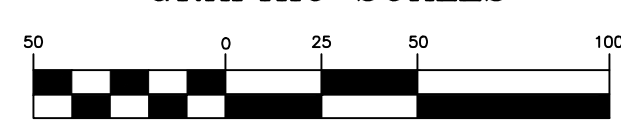
Plan View Of B5 To B7
Scale: 1"=50'



Profile View Of B5 To B7 Sta: -0+50.00 - 1+75.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

NOTES:
ALL INLETS ARE TYPE 'C' UNLESS OTHERWISE NOTED.
ALL TYPE 'C' INLETS ARE SUMPED 2".

GRAPHIC SCALES



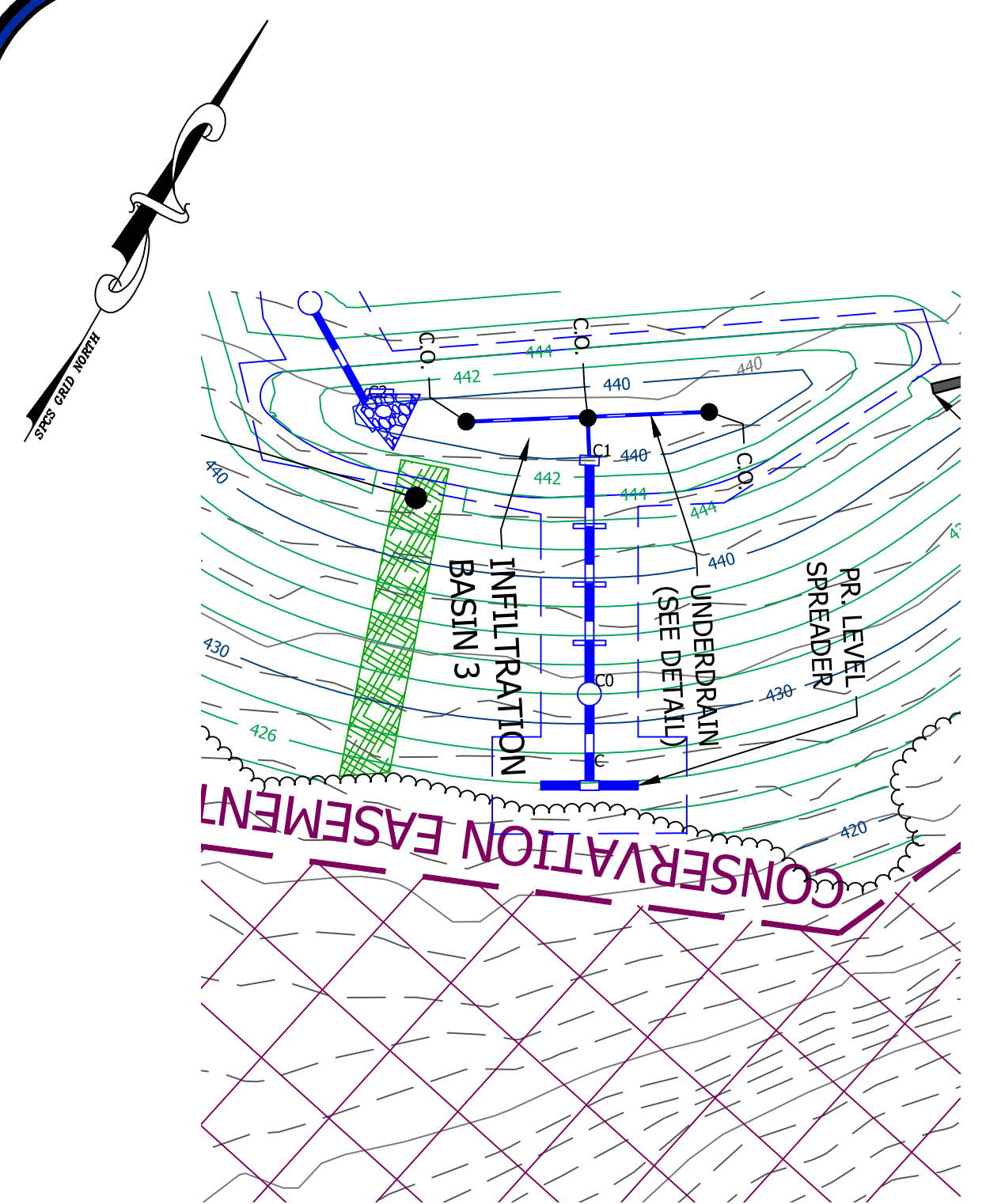
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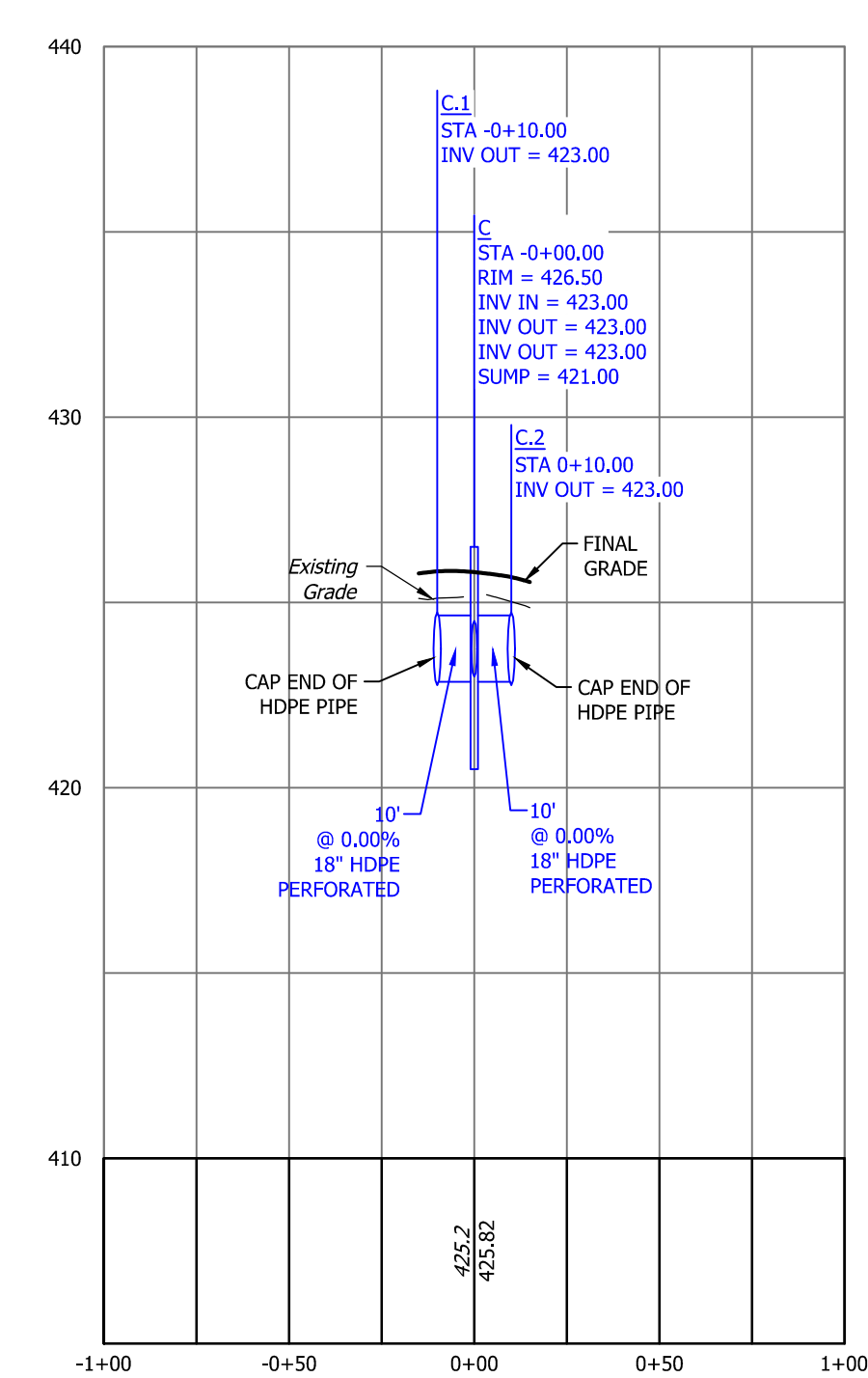


STORM SEWER PROFILES
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

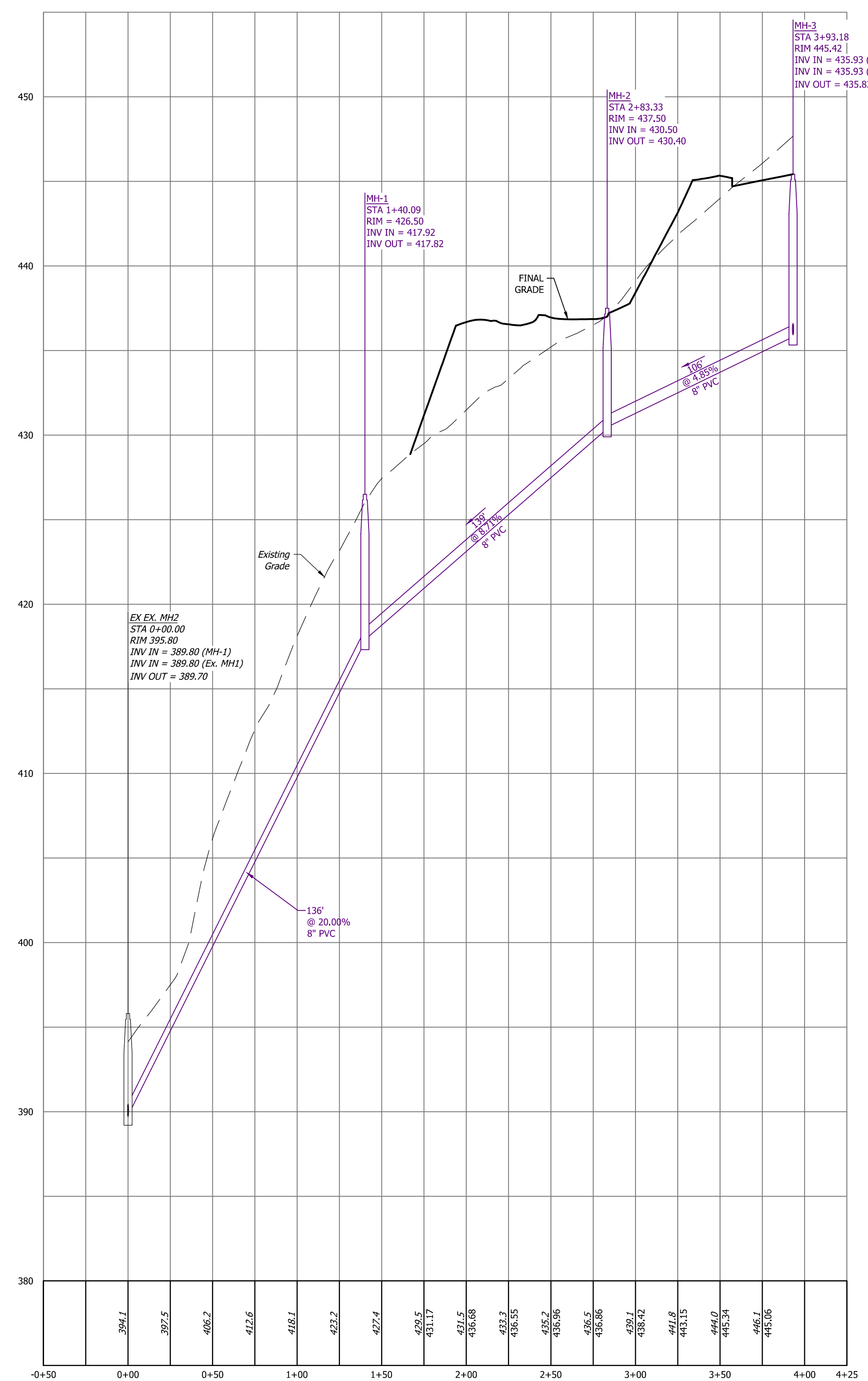
DRAWING ID: 220021-PRO
PROJECT: 220021
DATE: 06/11/21
SHEET: 15 OF 21



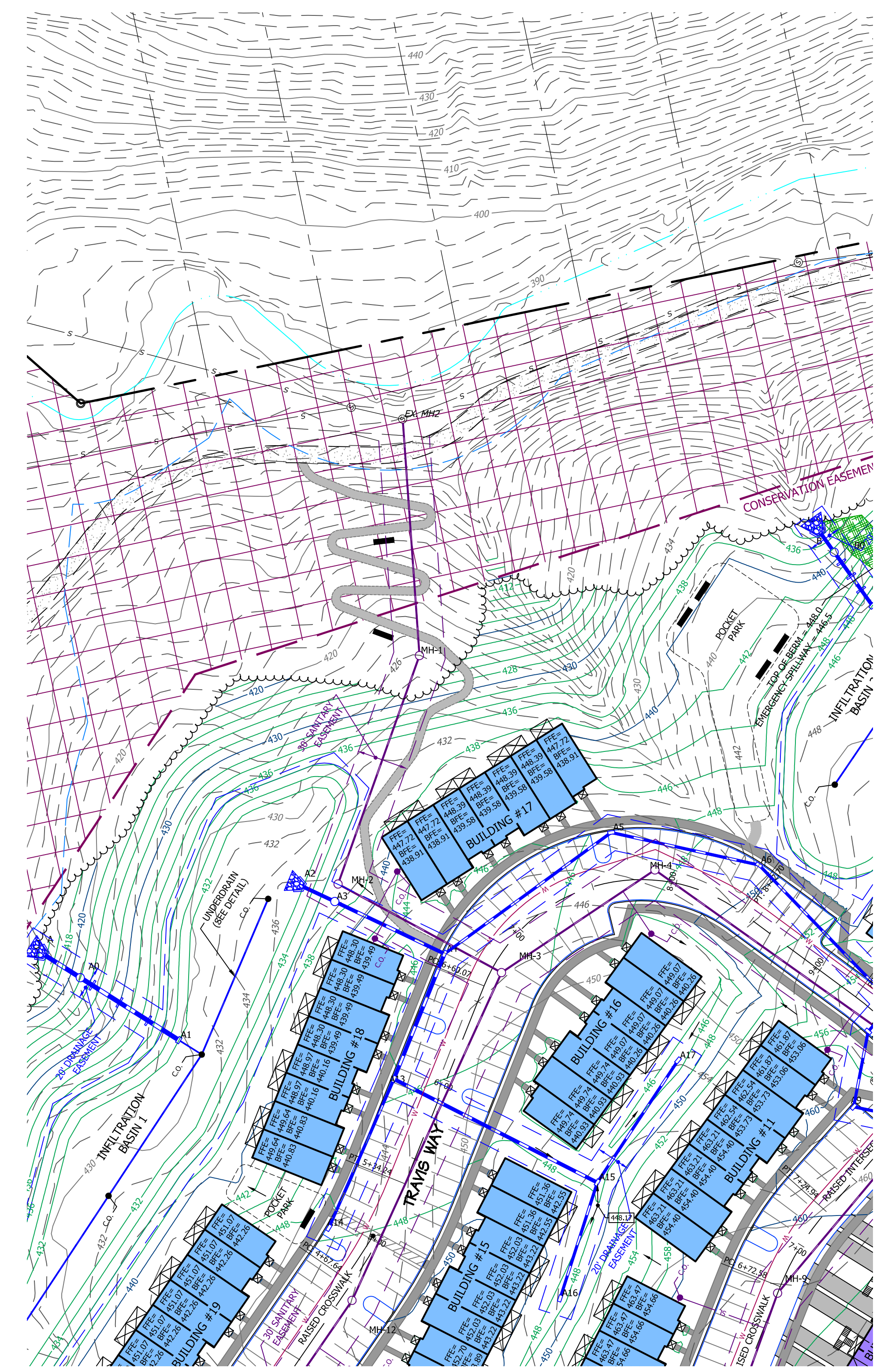
Plan View Of Outlet C (Level Spreader)
Scale: 1"=50'



Profile View Of Outfall C (Level Spreader) Sta: -1+00.00 - 1+00.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'

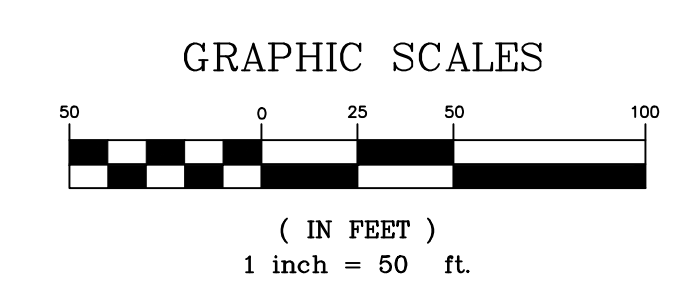


Profile View Of EX. MH2 To MH 3 Sta: -0+50.00 - 4+25.00
Horizontal Scale: 1" = 50'
Vertical Scale: 1" = 5'



Plan View Of EX. MH 2 To MH 3
Scale: 1"=50'

NOTES:
ALL INLETS ARE TYPE 'C' UNLESS OTHERWISE NOTED.
ALL TYPE 'C' INLETS ARE SUMPED 2".



NO.	REVISION	DATE
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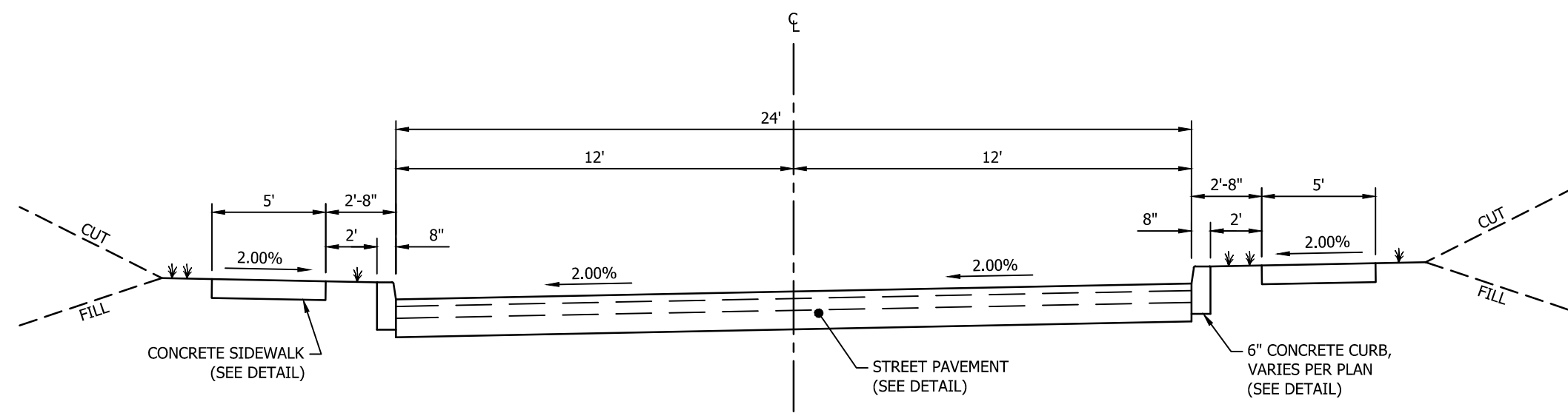
R. J. FISHER & ASSOCIATES, INC.
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STORM & SANITARY SEWER PROFILES
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

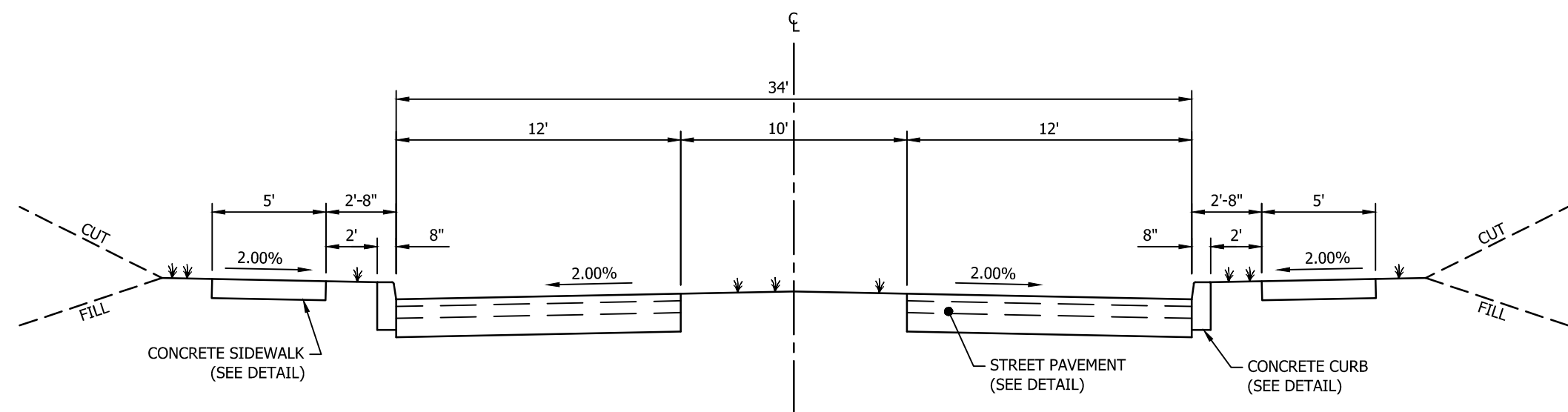
DRAWING ID: 220021-PRO
PROJECT: 220021
DATE: 06/11/21
SHEET: 16 OF 21

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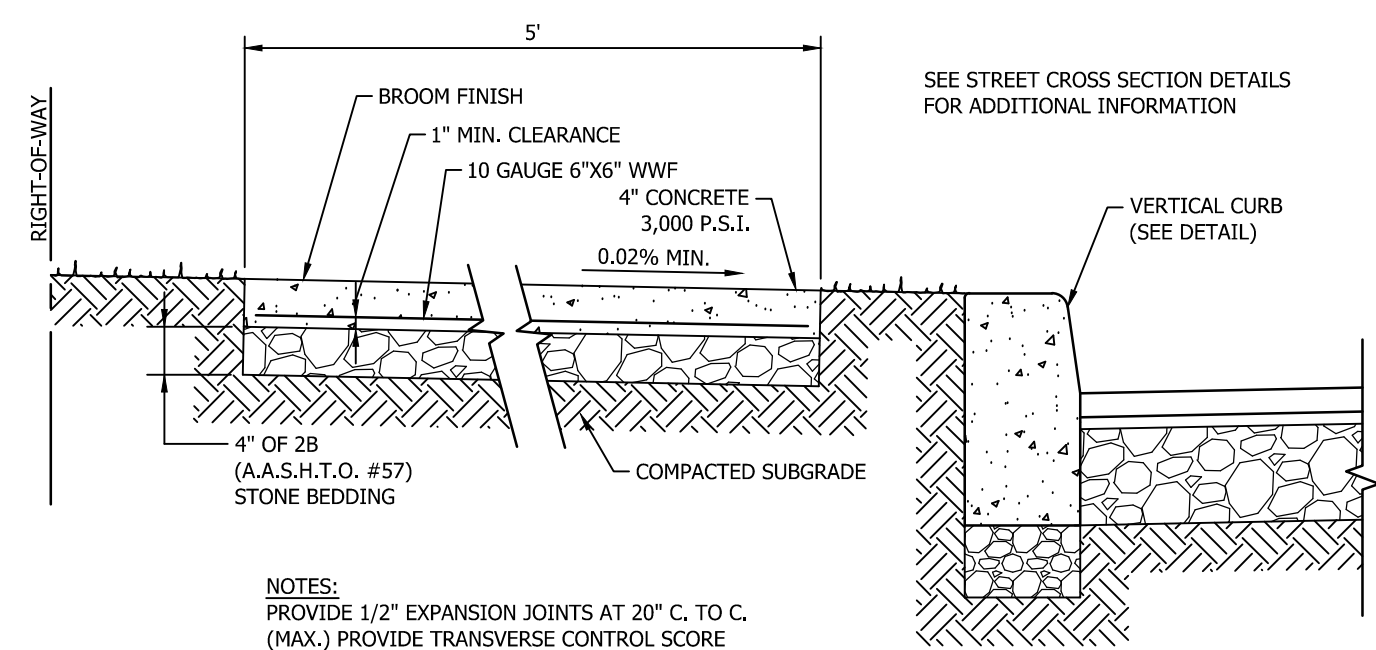
- NOTES:
1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN CONFORMANCE WITH SUSQUEHANNA TOWNSHIP STANDARDS.
 2. THE SLOPE OF BANKS ALONG STREETS MEASURED PERPENDICULAR TO THE STREET CENTERLINE SHALL BE NO STEEPER THAN 2 TO 1 FOR CUTS AND 3 TO 1 FOR FILLS. ALL SLOPES SHALL BE SUITABLY PLANTED WITH PERENNIAL GRASSES OR OTHER VEGETATION TO PREVENT EROSION.

PROPOSED STREET CROSS SECTION (PRIVATE)
NOT TO SCALE



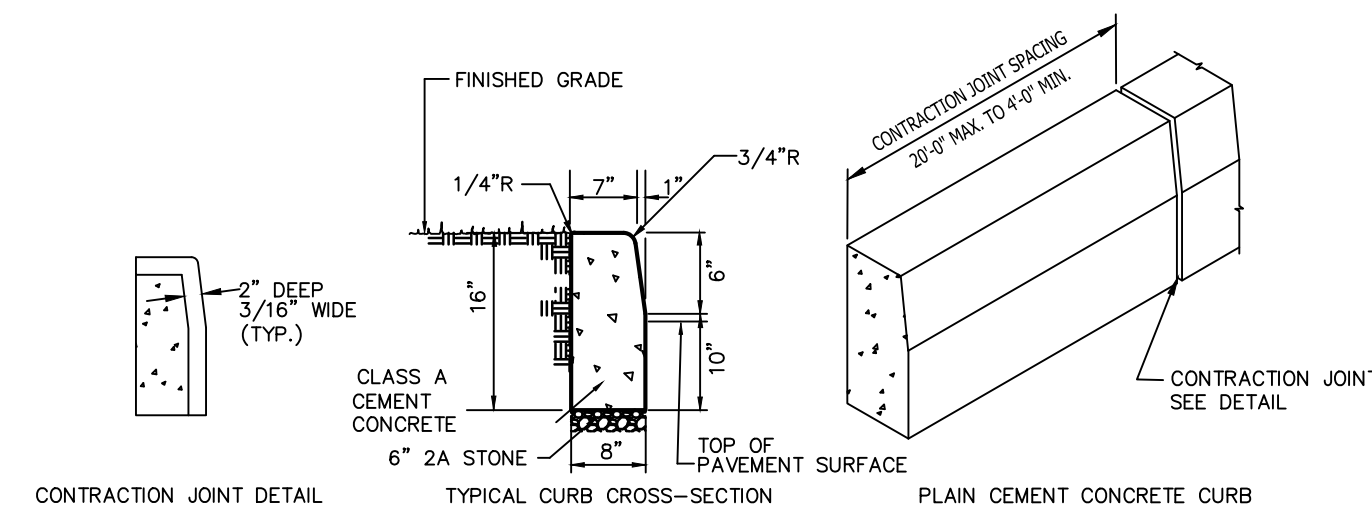
- NOTES:
1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL BE IN CONFORMANCE WITH SUSQUEHANNA TOWNSHIP STANDARDS.
 2. THE SLOPE OF BANKS ALONG STREETS MEASURED PERPENDICULAR TO THE STREET CENTERLINE SHALL BE NO STEEPER THAN 2 TO 1 FOR CUTS AND 3 TO 1 FOR FILLS. ALL SLOPES SHALL BE SUITABLY PLANTED WITH PERENNIAL GRASSES OR OTHER VEGETATION TO PREVENT EROSION.

PROPOSED BOULEVARD CROSS SECTION (PRIVATE)
NOT TO SCALE



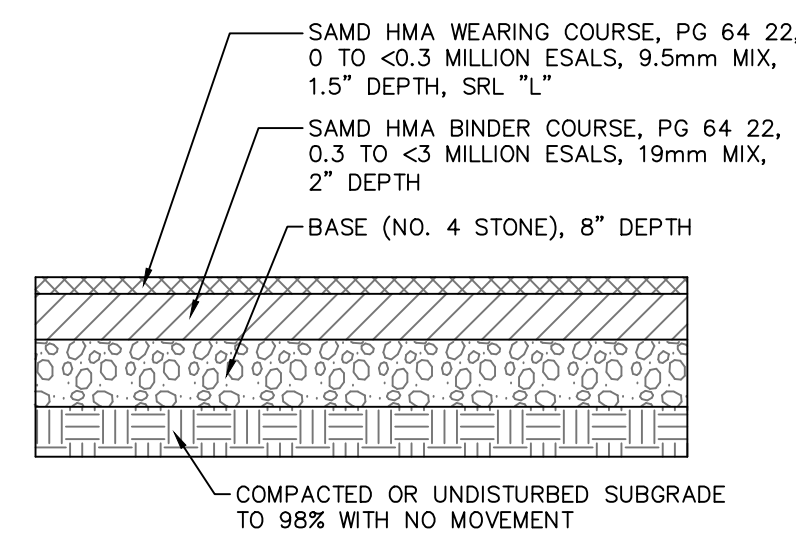
- NOTES:
1. PROVIDE 1/2" EXPANSION JOINTS AT 20' C. TO C. (MAX.) PROVIDE TRANSVERSE CONTROL SCORE JOINTS AT 5' C. TO C. (MIN.)

TYPICAL CONCRETE WALK DETAIL
NOT TO SCALE



- NOTES:
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUB. 408, SECTION 830 FOR PLAIN CONCRETE CURB AND DEPRESSED CURB. SECTION 840 FOR PLAIN CONCRETE CURB AND PLAIN CONCRETE CURB OUTER.
 2. SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
 3. PLACE 3/4-INCH PREMOULDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.

6" VERTICAL CONCRETE CURB DETAIL
NOT TO SCALE



PRIVATE STREET / PARKING PAVING DETAIL
NOT TO SCALE

GENERAL LANDSCAPE NOTES:

1. All disturbed soil areas not indicated to be covered with buildings, paving or planting beds shall be permanently seeded and maintained with turfgrass.
2. If there is a planting conflict with adjacent improvements (buildings, pavements, lights, etc.) utilities, bedrock, existing tree roots, poor drainage area, or other obstacle to planting, the contractor shall adjust the tree spacing and/or arrangement to complete the planting in accordance with the landscape design intent.
3. All planting areas, including turfgrass areas, shall receive a minimum of 4" topsoil before planting.
4. No trees shall be planted within 10 feet of any sanitary sewer main.
5. During construction, no clearing should be permitted on a site beyond the minimal necessary for the specific construction activity to be undertaken.
6. No construction activity, grading or disturbance shall be permitted beyond the limit of disturbance line.
7. Limit of disturbance lines shall be clearly noted in the field prior to the start of construction activities. The lines may be indicated by use of snow fencing, flagged stakes or other means acceptable to the Township for the specific condition or feature to be protected. The lines shall be maintained throughout the period of construction activity.

CONSTRUCTION NOTES:

1. During construction, no clearing shall be permitted beyond that minimally necessary for the specific construction activity to be undertaken.
2. No construction activity, grading or disturbance shall be permitted beyond the limit of the disturbance line. The limit of disturbance lines shall be clearly marked in the field prior to the start of construction activities, by use of snow fencing, silt fence, or plastic orange construction fence. The limit of disturbance fence lines shall be maintained throughout the period of construction activity.
3. All new plants shall be healthy, free of disease and pest infestation, sized and rooted in accordance with the American Standard for Nursery Stock, ANSI Z60.1, latest edition.
4. If quantities of trees or shrubs shown on the plan differ from those listed in planting schedule, quantities shown on the plan shall govern.

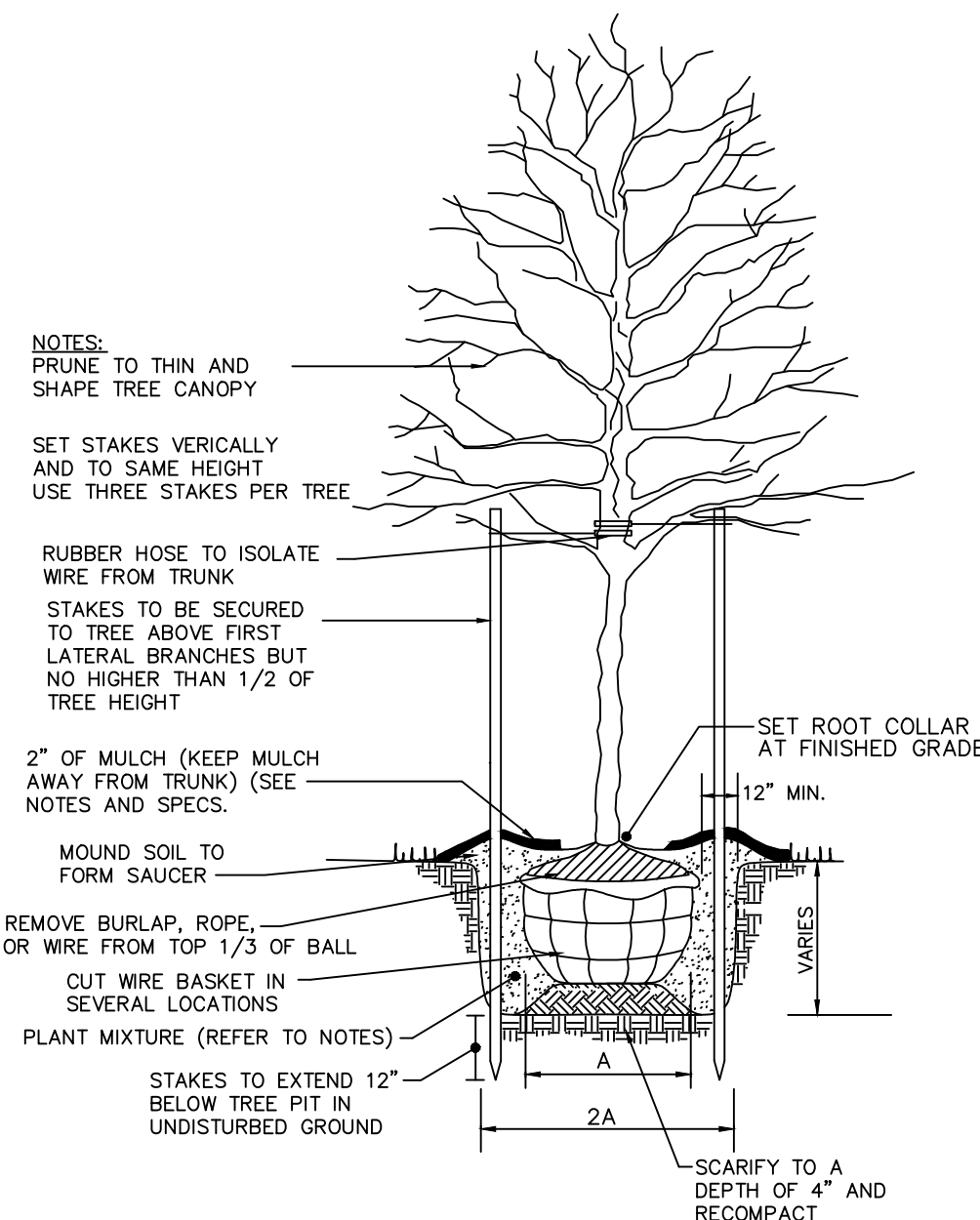
SHORT TERM LANDSCAPE MAINTENANCE PLAN:

(FOR 18 MONTHS FOLLOWING INSTALLATION or MAINTENANCE BOND ISSUANCE WHICHEVER IS LONGER)

1. The landscape contractor and/or lot owner shall be responsible for watering plant material and lawn areas before, during and after installation for the duration of the warranty period.
2. Lawn areas shall be watered once weekly during dry periods of the first growing season to establish a healthy turfgrass. Watering should occur during the early part of the day and shall provide to an even saturation depth of one inch per week by rain event or irrigation.
3. Newly planted trees and shrubs shall be watered regularly during the dry periods to completely dampen the root ball during the first growing season.
4. Disease, insect and weed control and prevention should be performed in accordance with manufacturers recommendations for newly planted landscapes during the first season.
5. Newly installed plantings shall be selectively pruned if necessary to provide a neat, uniform appearance. Any dead or broken branches shall be removed. All noticeably diseased or damaged plant material shall be removed and replaced prior to final acceptance.
6. All guying and staking shall be maintained regularly to assure plant stabilization and straight, uniform growth for at least the first 18 months following the date of planting.
7. All plant material shall be true to species and variety and shall conform to measurements and minimum standards as set forth in the plant schedule.
8. All plant materials and lawn areas are to be warranted by the contractor for a period of 18 months from date when Maintenance Bond is issued/ effective. Any plants found dead, dying, or diseased during said period should be replaced in-kind during that period.
9. Tree branches overhanging vehicular and pedestrian routes (drives, walks, etc.) shall be maintained at a height 8 ft. min. from adjacent grade.

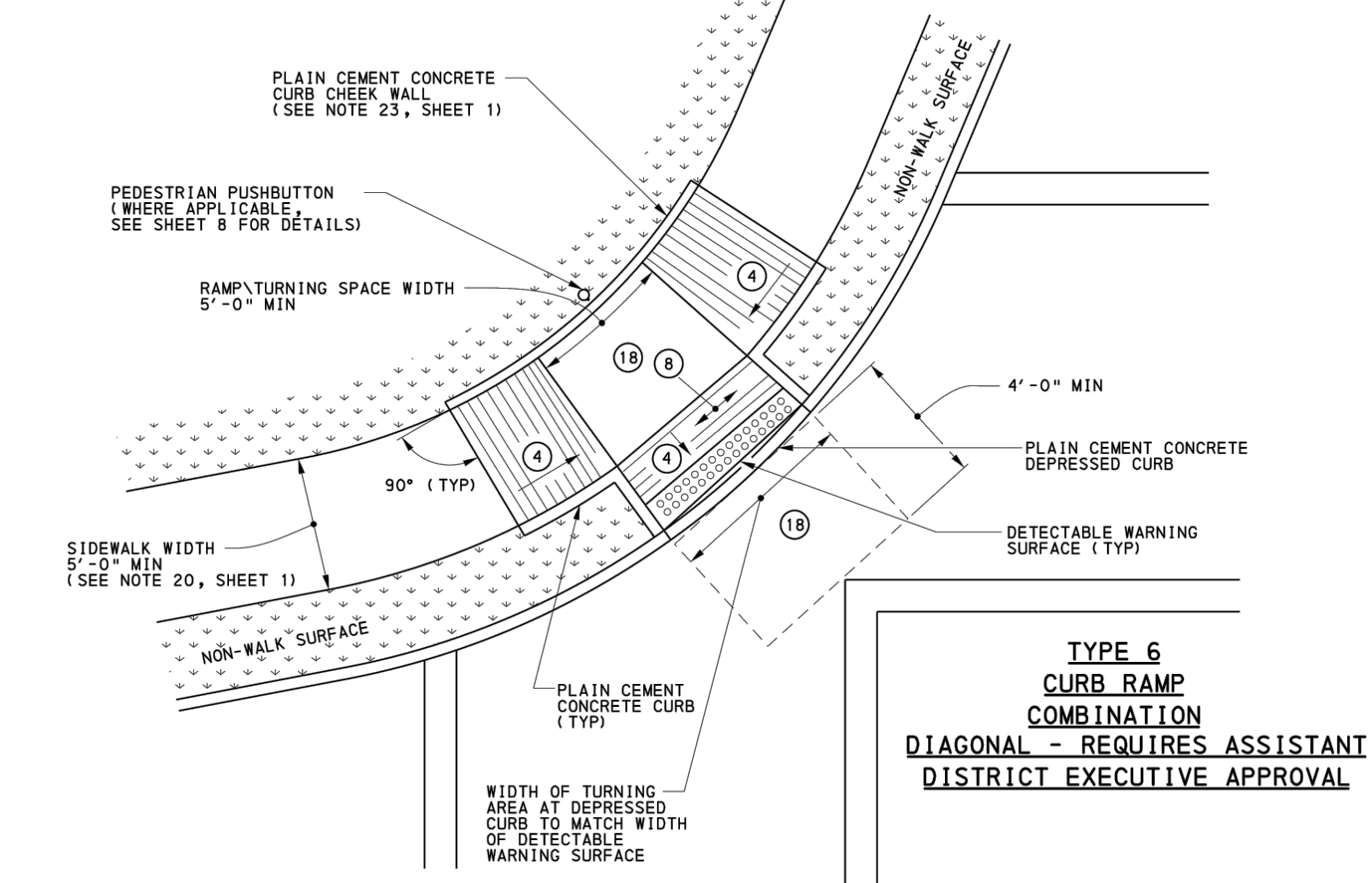
LONG TERM MAINTENANCE PLAN FOR LANDSCAPING:

1. Maintenance of trees, shrubs and turfgrass shall be the responsibility of the homeowners association.
2. The lot owner shall be responsible for regular mowing, clean-up, and grooming of all lawn and planted areas.
3. Any specific plant material shown on this approved landscape plan which does not survive or is damaged shall be replaced in kind by the lot owner within a six month period, in perpetuity.
4. Trash and tree debris shall be removed and disposed of properly.
5. Patrol natural areas and remove man-made debris and dispose of property.

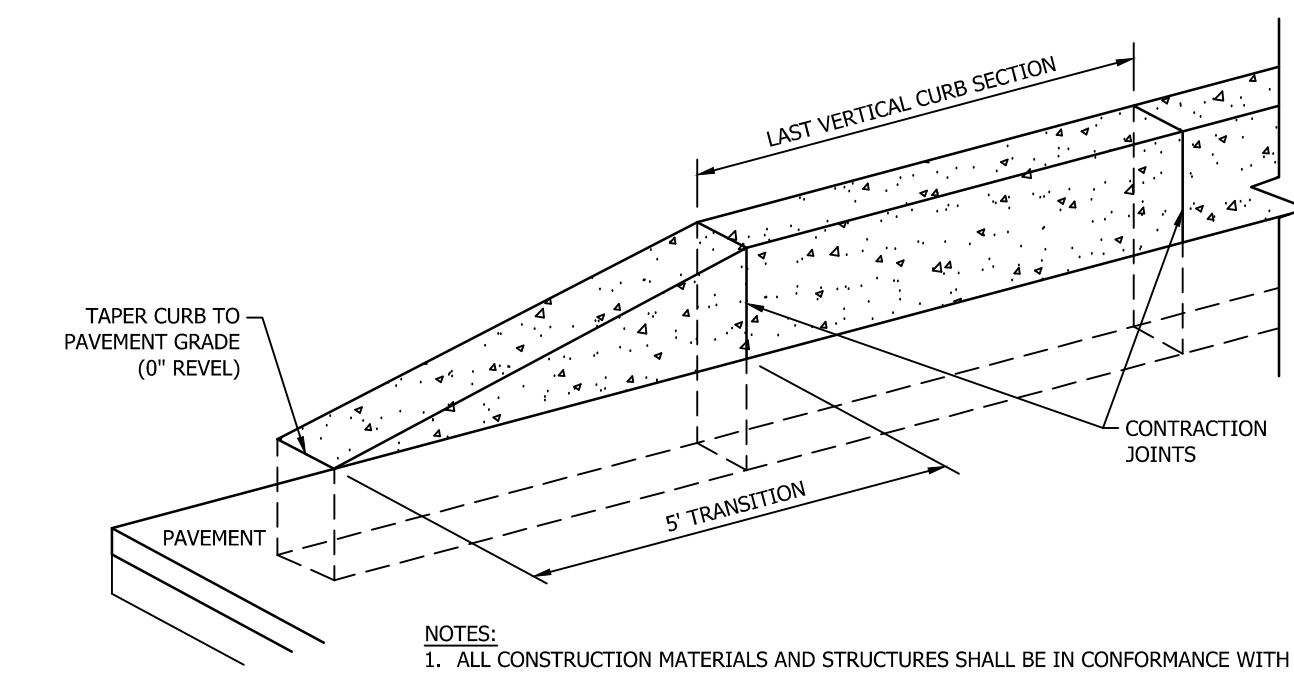


DECIDUOUS TREE PLANTING
NTS

1. SIDE FLARES 10.00% MAX SLOPE.
2. 8.33% MAX RAMP SLOPE, SEE NOTE 8 SHEET 1.
3. CURB RAMP WIDTH IS EQUAL TO SIDEWALK WIDTH WHEN THE SIDEWALK WIDTH IS GREATER THAN OR EQUAL TO 4'-0".
4. SLOPE: ZERO = 2.00%.
5. CURB RAMP REQUIRE A TURNING SPACE WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 5.00% WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SEE DETAILS FOR LOCATIONS AND DIMENSIONS.



TYPE 6 CURB RAMP COMBINATION
DIAGONAL - REQUIRES ASSISTANT DISTRICT EXECUTIVE APPROVAL



- NOTES:
1. ALL CONSTRUCTION MATERIALS AND STRUCTURES SHALL BE IN CONFORMANCE WITH PENNDOT STANDARDS FOR ROADWAY CONSTRUCTION AS AMENDED.
 2. ALL CURBING SHALL BE IN CONFORMANCE WITH RC-6M STANDARDS.
 3. CURB TAPER SHALL BE PROVIDED AT CURB ENDS WITH A 5' TRANSITION AND 0% TERMINUS REVEL.

END TRANSITION FOR STANDARD VERTICAL CURBING
NOT TO SCALE

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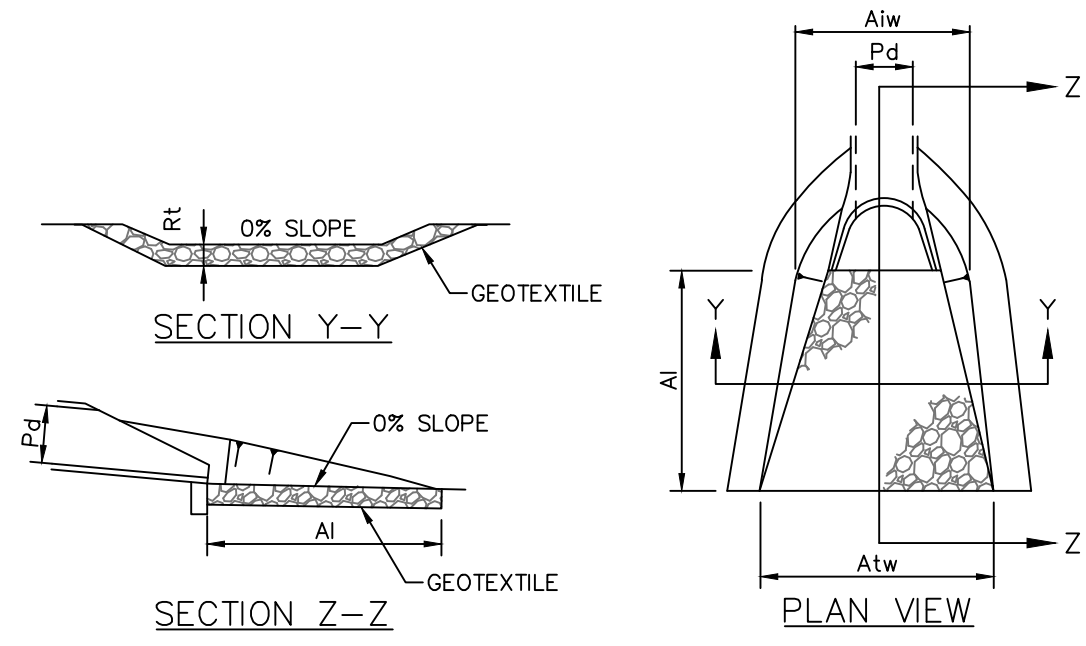


SITE CONSTRUCTION DETAILS
FOR
ENCLAVE AT ELMERTON
LOCATED IN
SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID: 220021-DTL
PROJECT: 220021
DATE: 06/11/21
SHEET: 17 OF 21

NO.	REVISION	DATE
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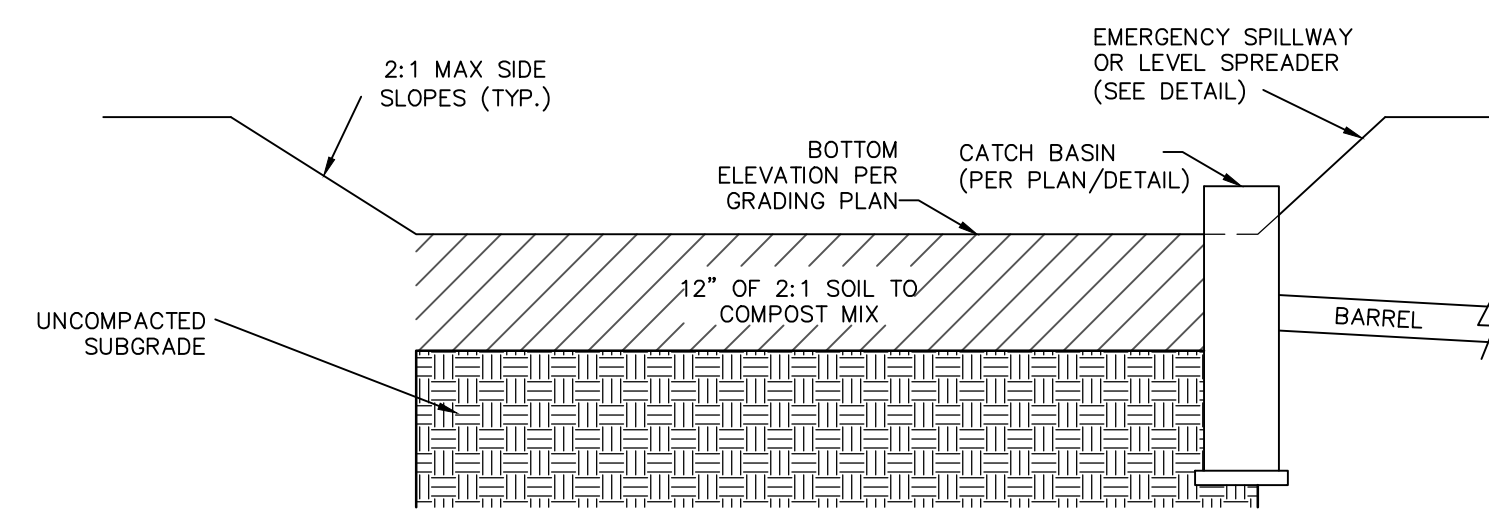


OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		APRON	
		SIZE R	THICK. Rt (IN)	LENGTH At (FT)	TERMINAL WIDTH Atw (FT)
A	24	R-4	18	11	6.0
B	18	R-4	18	10.5	4.5
C	18	R-4	18	10.5	4.5
A18	18	R-4	18	10.5	4.5
B2	18	R-4	18	10.5	4.5
A29	15	R-3	12	9	3.75
B3	15	R-3	12	9	3.75
C2	15	R-3	12	9	3.75

NOTES:
 ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL

NOT TO SCALE



NOTES:

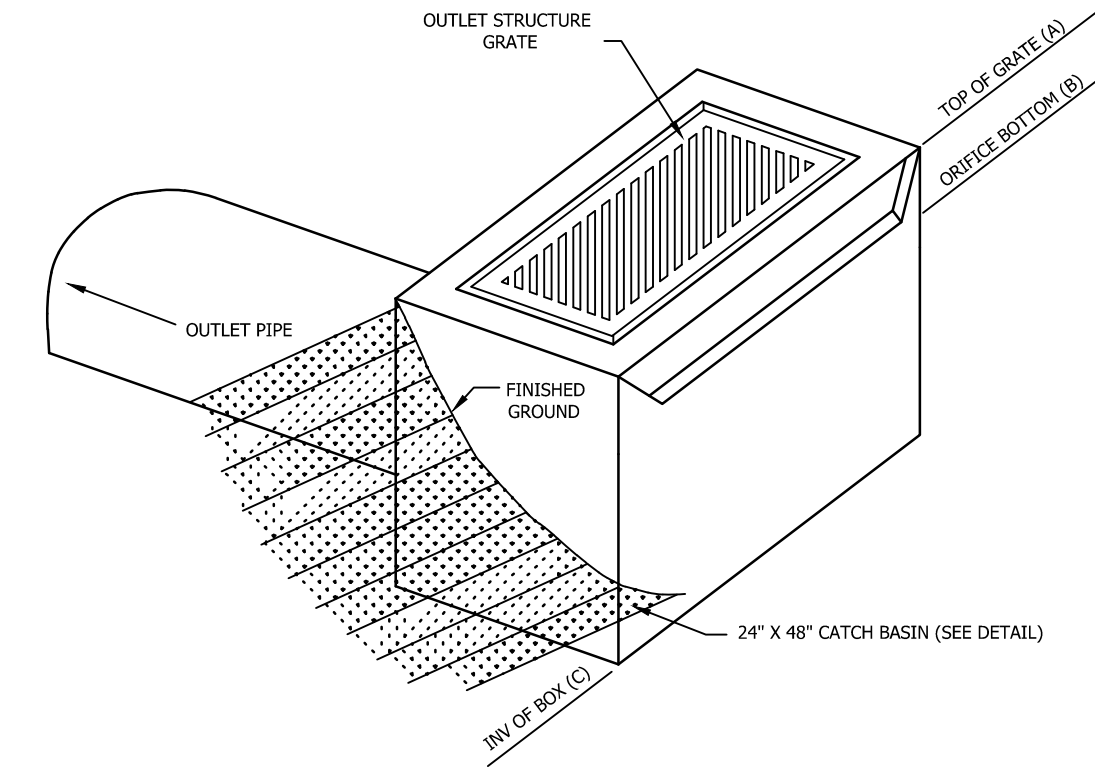
- EVACUATE INFILTRATION AREA / BASIN TO PROPOSED INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES. DO NOT COMPACT IN-SITU SOILS.
- INSTALL BASIN UNDERDRAIN AS SHOWN ON PLAN.
- BACKFILL INFILTRATION AREA / BASIN WITH AMENDED SOIL AS SHOWN ON THE PLANS AND SPECIFICATIONS. OVERFILLING IS RECOMMENDED TO ACCOUNT FOR SETTLEMENT. LIGHT HAND TAMPING IS ACCEPTABLE IF NECESSARY.
- PRESOAK THE PLANTING SOIL PRIOR TO PLANTING VEGETATION TO AID IN SETTLEMENT.
- COMPLETE THE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS, LEAVING SPACE FOR UPPER LAYER OF COMPOST, MULCH OR TOPSOIL AS SPECIFIED ON PLANS.
- PLANT VEGETATION ACCORDING TO PLANTING PLAN.
- MULCH AND INSTALL EROSION PROTECTION AT SURFACE FLOW ENTRANCES WHERE NECESSARY.

SOIL AMENDMENT SPECIFICATIONS:

- SOIL AMENDMENT MEDIA MAY CONSIST OF COMPOST (CHOPPED STRAW, LEAVES, GRASS CLIPPINGS AD OTHER PLANT REFUSE), COMPOSTED OR DRIED MANURES, WOOD PRODUCTS (SAWDUST, WOOD SHAVINGS, SHREDDED WOOD PULVERIZED BARK AND WOOD CHIPS), PEAT MOSS, MUSHROOM SOIL, OR SAND.
- COMPOST SHOULD BE ADDED AT A RATE OF 2:1 (SOIL:COMPOST).
- ON-SITE TOPSOILS CAN BE PROPERLY STOCKPILED AND REUSED FOR SOIL PORTION OF THE 2:1 SOIL:COMPOST MIX.

INFILTRATION BASIN DETAIL

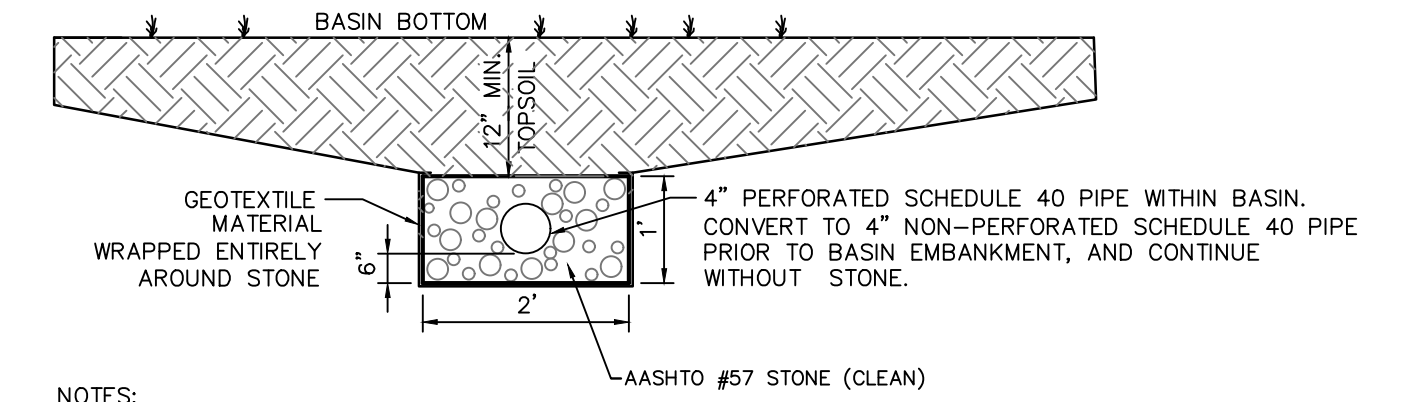
NOT TO SCALE



BASIN OUTLET STRUCTURE			
INFILTRATION BASIN #	A (FT)	B (FT)	C (FT)
1	434.00	433.17	427.00
2	446.00	N/A	439.00
3	441.80	N/A	426.00

INFILTRATION BASIN OUTLET STRUCTURE

N.T.S.

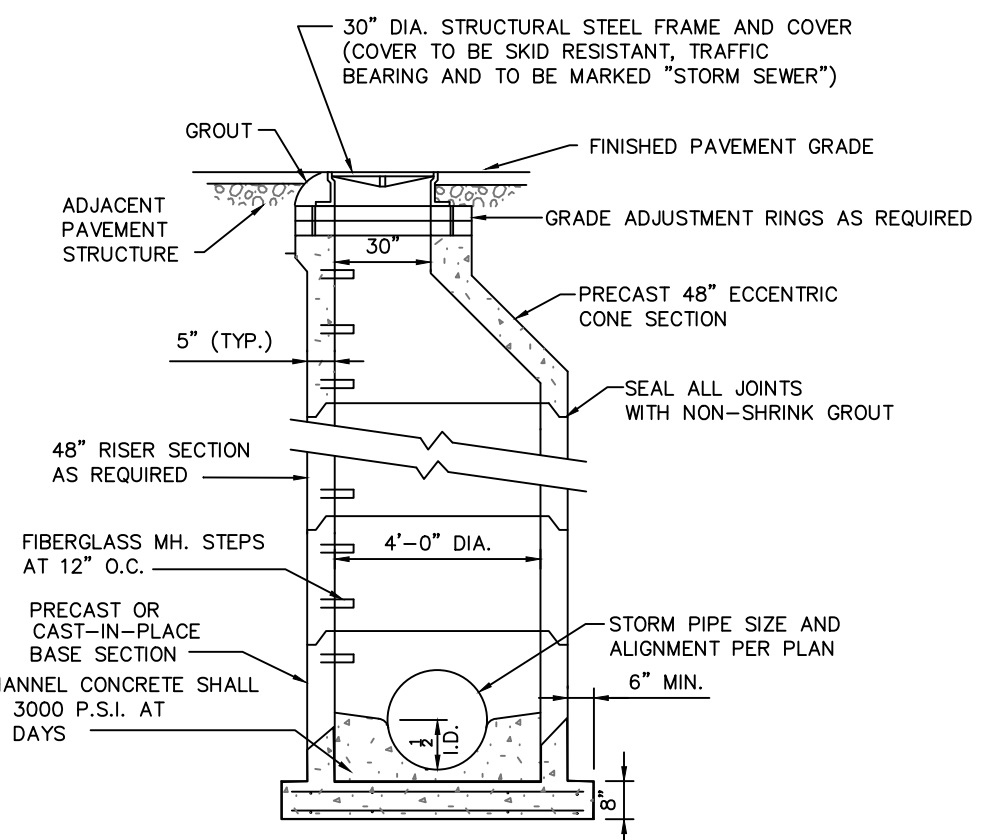


NOTES:

- TERMINATE UNDERDRAIN IN BASIN OUTLET BOX; SEE OUTLET STRUCTURE DETAIL.
- SEE GRADING PLANS FOR UNDERDRAIN LOCATIONS.

INFILTRATION/ DETENTION BASIN UNDERDRAIN DETAIL

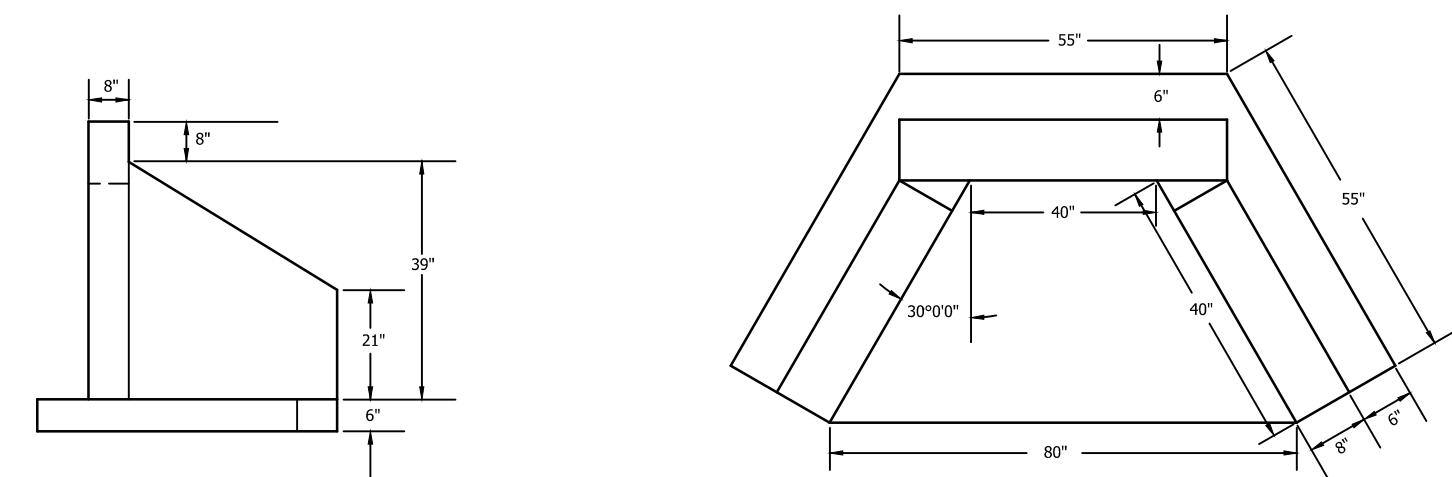
N.T.S.



- NOTE: 1. CONSTRUCT MANHOLE IN ACCORDANCE WITH PENN DOT PUBLICATION 72, RC-39 FOR PRECAST CONCRETE MANHOLES.
 2. ALL MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PENN DOT PUBLICATION 408.

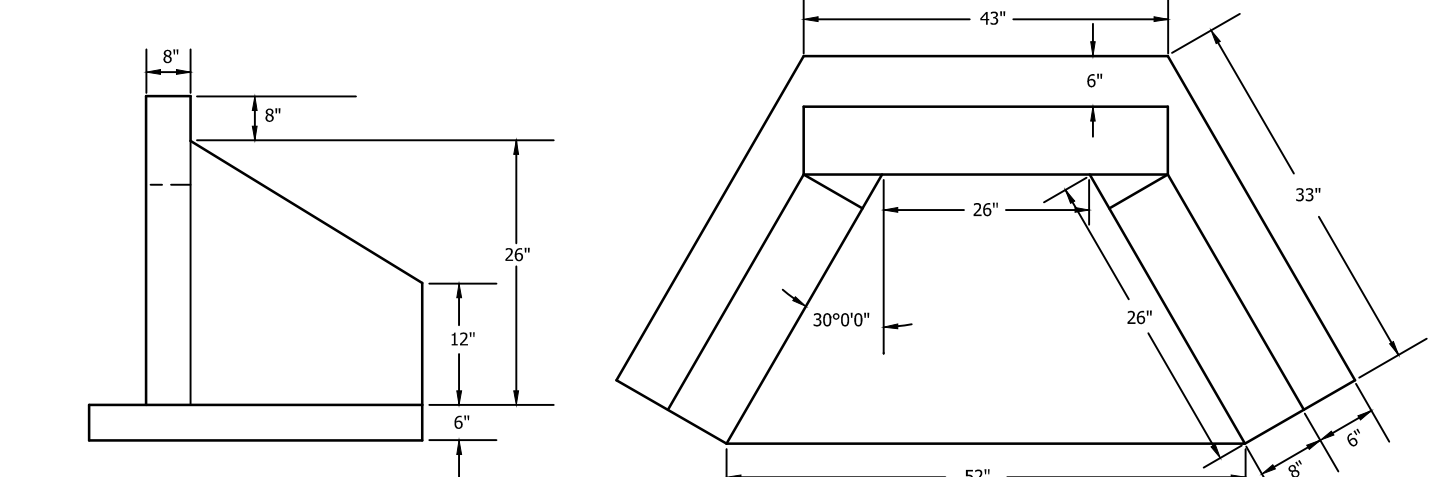
TYPICAL STORM SEWER MANHOLE

N.T.S.



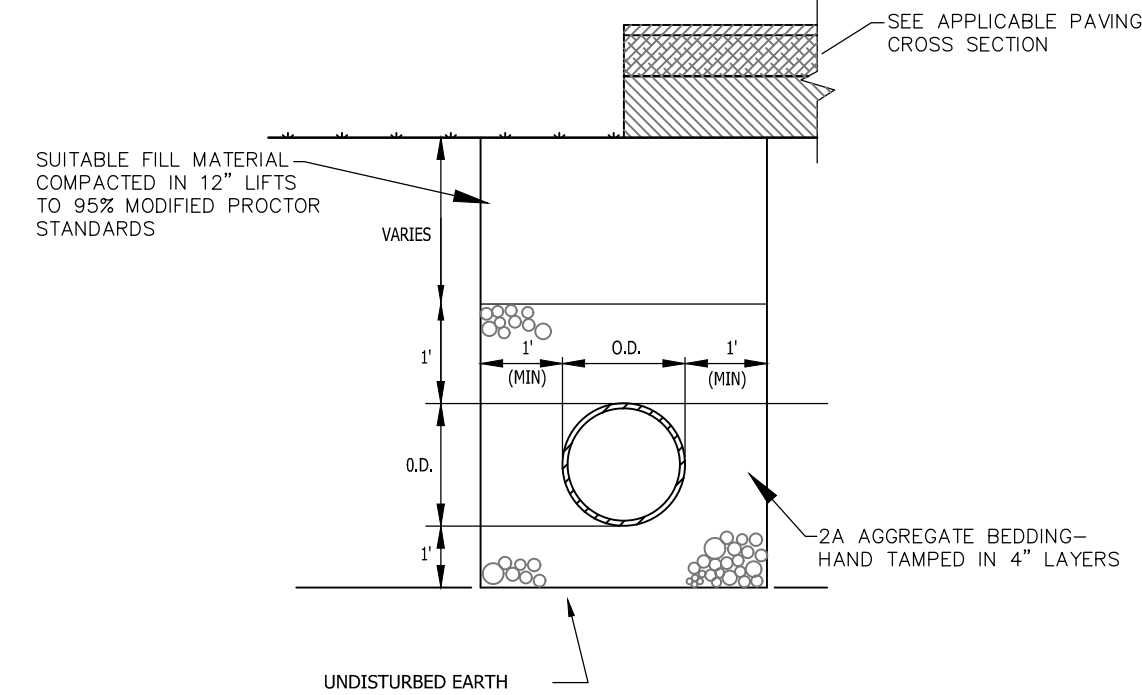
TYPE D-W ENDWALL (MAX. PIPE SIZE 36" CMP) DETAIL

N.T.S.



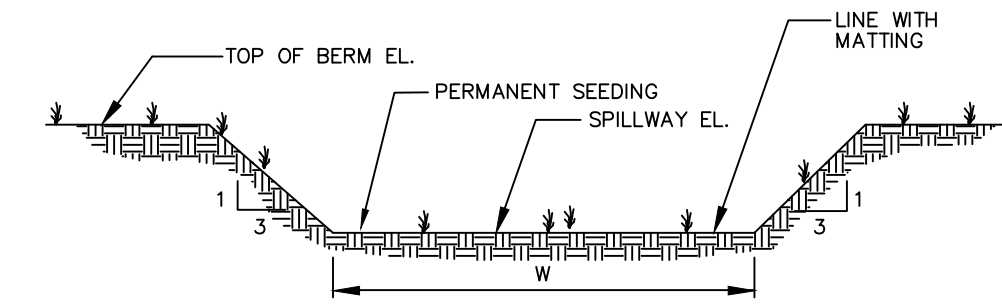
TYPE D-W ENDWALL (MAX. PIPE SIZE 21" CMP) DETAIL

N.T.S.



STORM SEWER TRENCH IN STREET

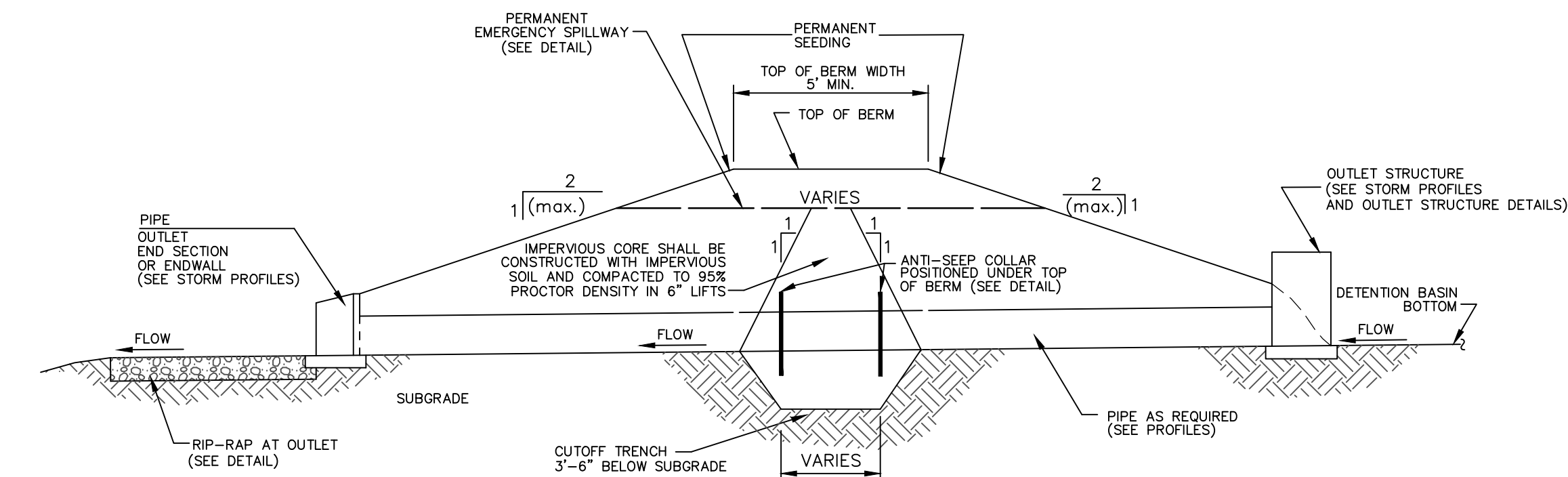
N.T.S.



PERMANENT EMERGENCY SPILLWAY DETAIL

N.T.S.

BASIN DESIGNATION	TOP OF BERM ELEVATION (FT)	SPILLWAY ELEVATION (FT)	WIDTH (W) (FT)	MATTING
1	436.0	434.6	40	NAG SC250
2	448.0	446.5	20	NAG S75
3	444.0	442.5	10	NAG SC250



NOTE: SEE STORM PROFILES FOR DETAILS ABOUT EACH BASIN

TYPICAL DETENTION BASIN BERM

N.T.S.

12 IN. THICK (MIN.) CAST-IN-PLACE OR PRECAST CONCRETE COLLAR (MIN. 2000 PSI)

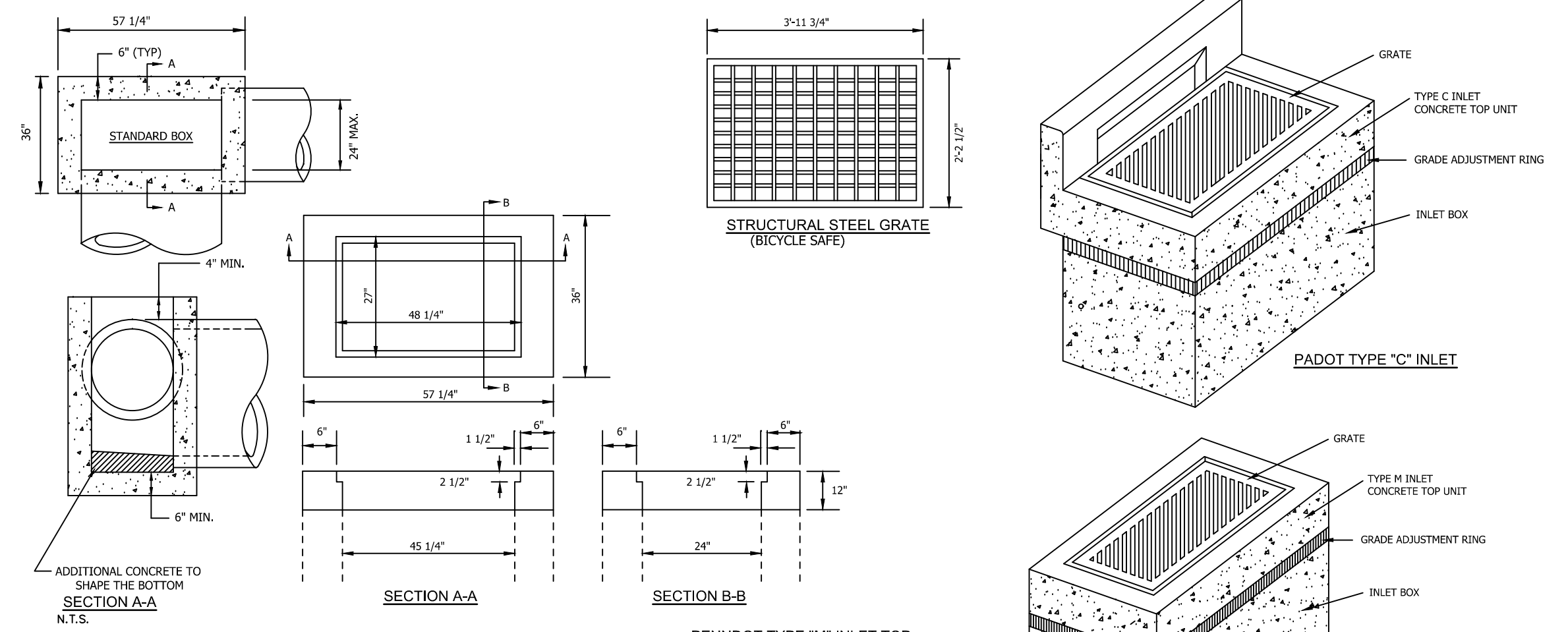
NOTES:

- ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
 COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

BASIN OR TRAP NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)	COLLAR SPACING (FT)
1	24	82	3	10	20
2	18	71	3	10	10
3	18	80	3	12	12

STANDARD CONSTRUCTION DETAIL #7-16 CONCRETE ANTI-SEEP COLLAR FOR PERMANENT BASINS OR TRAPS

N.T.S.



STORM INLET

N.T.S.

NOTE: CONSTRUCTION OF STORMWATER INLETS SHALL CONFORM TO AND BE IN ACCORDANCE WITH ALL APPLICABLE RC STANDARDS, PENNDOT PUBLICATION 72M AND ALL AMENDMENTS.

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PCSM DETAILS FOR
ENCLAVE AT ELMERTON
 LOCATED IN
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID: 220021-DTL
 PROJECT: 220021
 DATE: 06/11/21
 SHEET: 18 OF 21

NO.	REVISION	DATE
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2		
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GENERAL PCSM NOTES

SITE PRESERVATION ANALYSIS:

There is a stream tributary and wetlands located on the south side of the site. The impervious areas were minimized to the best of our ability by designing an efficient street and lot layout that doesn't propose unnecessary pavement, long driveways or oversized homes. It was not possible to protect all of the existing drainage features and vegetation, due to the necessary grading on the site. The entire site must be cleared in order to maintain an earthwork balance that doesn't require the import or export of fill. The soil will experience some compaction in all of the areas where grading will occur, however compaction will be kept to a minimum in the areas of the Rain Gardens. A number of BMPs including the Stormwater Basin.

PCSM BMP INSTALLATION SEQUENCE:

- The Storm Basins shall be converted from their respective sediment basins when the time comes to convert the site to the PCSM condition as approved by the Conservation District. Infiltration Pits shall be constructed along with the residences on the lots that they sit. When the time comes to convert the site to the PCSM condition as approved by the Conservation District.

INDIVIDUAL BMP INSTALLATION SEQUENCES:

Storm Basins:

1. Complete upstream site grading and construction.
2. Prepare site for excavation and/or embankment construction.
3. Excavate bottom of basin to desired elevation (if necessary).
4. Install surrounding embankments and inlet and outlet control structures. Retrofit those used in temporary conditions as applicable.
5. Grade subsoil in bottom of basin. Compact surrounding embankment areas and around inlet and outlet structures.
6. Apply and grade planting soil.
7. Apply geo-textiles and other erosion-control measures were applicable.
8. Seed the basins.
9. Install and anti-grazing measures, if necessary.
10. Follow required maintenance and monitoring guidelines.

Infiltration Basins:

1. Install temporary sediment control BMPs as shown on the plans.
2. Complete site grading.
3. Stabilize grading within the limit of disturbance except with the Basin area.
4. Excavate Basin to proposed invert depth and scarify the existing soil surfaces. Do not compact in-situ soils.
5. Presoak the planting soil prior to planting vegetation to aid in settlement.
6. Complete final grading to achieve proposed design elevations, leaving space for upper layer of compost, mulch or topsoil as specified on plans.
7. Plant vegetation according to planting plan.

CRITICAL STAGES OF BMP INSTALLATION:

- Storm Basin 1, 2 and 3 Clay Core and Key Trench
- Storm Basin 1, 2 and 3 Anti-sweep Collars
- Storm Basin 1, 2 and 3 Underdrains

Any stormwater BMP that is damaged in a way that keeps it from functioning as designed must be repaired or replaced as soon as possible.

RECYCLING OR DISPOSAL OF MATERIALS:

Disposal of removed material is dependant on the nature of the drainage area and the intent and function of the BMP. BMPs that primarily catch sediment and detritus from areas such as lawns may reuse the waste on the site. Pollutants such as man made trash and other non-reusable materials must be removed and deposited in an approved recycling facility or landfill.

STORMWATER BMP OPERATION AND MAINTENANCE PLAN

The stormwater Best Management Practices (BMPs) as shown on this plan shall be maintained to function as designed as per the procedures described below. Facilities located outside the public right-of-ways shall be owned and maintained by the Homeowners Association of the development.

The facilities are to remain permanent and can only be removed or altered after approval by one or more of the following entities which may have jurisdiction: Susquehanna Township; Lower Paxton Township; Dauphin County Conservation District; and/or PA DEP.

The following facilities located outside the public right-of-ways shall be maintained to the original design and dimensions shown on the design plans, approved by Susquehanna Township, until such a time as an amended plan is approved by the Township.

- Infiltration Basins, Emergency Spillways & Outlet Structures
- Stormwater Inlets, Manholes, Pipes & Swales
- Riprap Aprons

For any structure facility (pipe, inlet, manhole), it must be repaired or replaced if damaged more than superficially, in a way that is a safety hazard, if structurally unsound, or if not substantially performing as it is intended per the original design. The responsible owners shall keep a record of any repaired or replaced facility, including costs, dates, materials removed, materials placed, and the contractor(s) information.

Inspection and maintenance tasks for Storm Basins & outlet structures:

- While vegetation is being established, pruning and weeding may be required. Weeds should be removed thereafter by hand.
- Detritus may also need to be removed approximately twice a year. Perennial plantings may be cut down at the end of the growing season.
- Mulch should be re-spread when erosion is evident and be replenished annually. Once every 2 to 3 years the entire area may require mulch replacement.

Inspection and maintenance tasks for stormwater inlets, manholes, & pipes:

- Examine annually at a minimum. Remove man-made trash and dispose of properly.
- Examine inlet bottoms via grates, for accumulated debris. Remove accumulated grit and debris. Check for any obvious structural deterioration.
- Any erosion shall be re-stabilized with rock, or seeding (seed, mulch and matting), or sod that is watered until established; rock should be placed in non-growing seasons, even if temporary.
 - All inlets, storm piping, and drainage structures shall be kept free of any obstructions and foreign material that would cause disruption of water flow in a manner not designed for the facility, such as sediment, vegetation, wood, sand, debris, or vegetative growth in excess of 12 inches if not part of the landscape design. Removal of sediment/debris shall take place when the area has dried, if possible. Man-made trash shall be disposed of properly in containers collected by a licensed commercial trash hauler.
 - All impervious surfaces shall be maintained clean of oil, fuel or other toxic spills, in accordance with State, Federal or local regulations.

Inspections and maintenance tasks for riprap aprons:

- Inspect annually at a minimum.
- Remove any accumulated debris and trash, and remove promptly. Dislodged rock should be reset in place. Any scouring of earth at or below the apron should be re-stabilized with rock, or seeding (seed, mulch and matting), or sod that is watered until established; rock should be placed in non-growing seasons, even if temporary.

TEMPORARY SEEDING SCHEDULE

The contractor shall immediately temporarily stabilize any rough graded area, topsoil stockpile or unused excavated fill material that will be left idle for less than 1 year. The grass will provide interim protection against the impact of precipitation, running water and wind. Permanently seed any area that will be idle for more than 1 year.

Temporary seeding schedule is as follows:

- Species: annual rye grass
- % Live Seed: 95%
- Application rate: 10 lbs./1,000 sq. yds.
- Fertilizer type: general purpose granular, 5-5-5
- Fertilizer application rate: 11 lbs./1,000 sq. yds.
- Liming rate: per soil test; minimum of 1 ton per acre.
- Seeding dates: any time
- Strawble mulch rate: 3 tons per acre
- Mulch anchoring: Asphalt, either emulsified or cut-back, containing no solvents or other diluting agents toxic to plant or animal life, uniformly applied at the rate of 31 gallons per 1,000 square yards. Synthetic binders (chemical binders) may be used per manufacturer's recommendation provided they are non-toxic to plant and animal species.

When seeding is not possible due to the time of year or other limitations, disturbed area shall be mulched with strawbles at the rate above. An erosion control blanket must be installed on all disturbed slopes steeper than 3:1, and all areas with concentrated flows. Matting can be North American Green S75, Jute, or approved equal.

Maintenance procedure:

- 1) Maintain a minimum 70% soil surface coverage with grass and/or mulch.
- 2) If a washout, slope failure or similar disturbance occurs, correct drainage problem if necessary, then reapply soil to the proper grade, reapply soil amendments, seed and mulch.

PERMANENT LAWN SEEDING SCHEDULE--

- Species: 30% Kentucky bluegrass
- 40% Pennlawn Creeping Red Fescue
- 20% Norela Perennial Ryegrass
- 10% annual ryegrass
- % Pure live seed: 98%
- Application rate: 6 lbs./1,000 sq. ft.
- Fertilizer type: general purpose granular, 10-20-20
- Fertilizer application rate: 11 lbs./1,000 sq. yds.
- Liming rate: per soil test; minimum of 6 tons per acre
- Seeding dates: between 4/1 and 10/15
- Strawble mulching rate: 3 tons per acre

Erosion control matting must be placed on slopes exceeding 3:1. Matting can be North American Green S75, Jute, or approved equal.

Maintenance procedure:

- 1) Maintain a minimum 70% uniform soil surface coverage with grass, meadow vegetation and/or mulch.
- 2) If a washout, slope failure or similar disturbance occurs, correct drainage problem if necessary, then reapply soil to the proper grade, reapply soil amendments, seed and mulch.

STEEP SLOPE SEEDING SCHEDULE--

The following seed mix can be planted on steep slopes of greater than 3:1 that will only be mowed several times per year, and on detention basin berms.

- Species: 100% Tall fescue, varieties such as K-31, Alta, or other recently released variety.
- % Pure live seed: 98
- Application rate: 6 lbs./1,000 sq. ft.
- Fertilizer type: general purpose granular, 10-20-20
- Fertilizer application rate: 11 lbs./1,000 sq. yds.
- Liming rate: per soil test; minimum of 4 tons per acre
- Seeding dates: between 4/1 and 10/15
- Strawble mulching rate: 3 tons per acre

Erosion control matting must be placed on slopes exceeding 3:1. Matting can be North American Green S75, Jute, or approved equal.

Maintenance procedure:

- 1) Maintain a minimum 70% uniform soil surface coverage with grass, meadow vegetation and/or mulch.
- 2) If a washout, slope failure or similar disturbance occurs, correct drainage problem if necessary, then reapply soil to the proper grade, reapply soil amendments, seed and mulch.

The following seed mix shall be planted within detention basins and retention areas, as indicated on the plans. Seeding shall not take place until after the watershed tributary to the site is permanently stabilized and no erosion is expected to occur, and the basin has been converted to its permanent stormwater configuration.

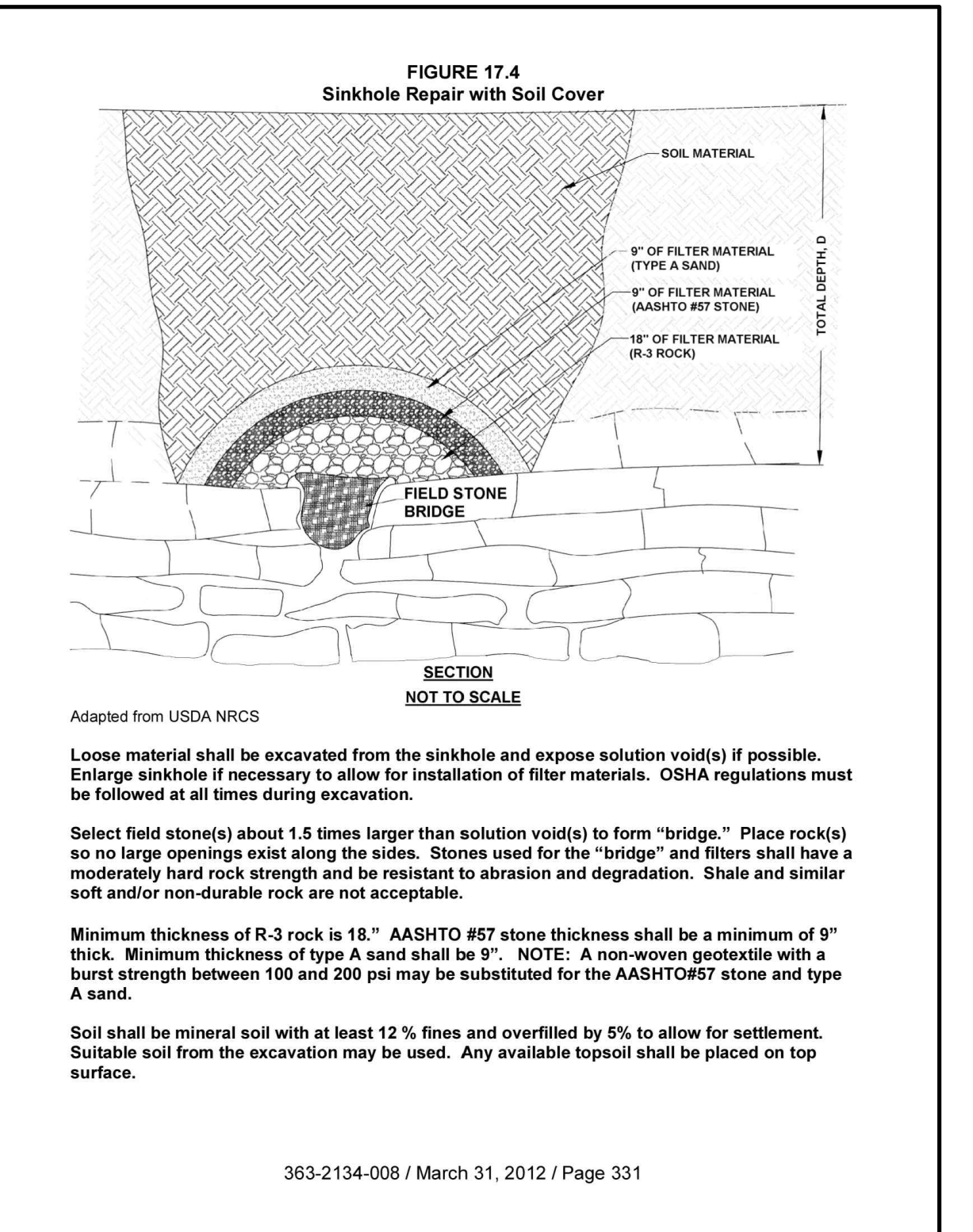
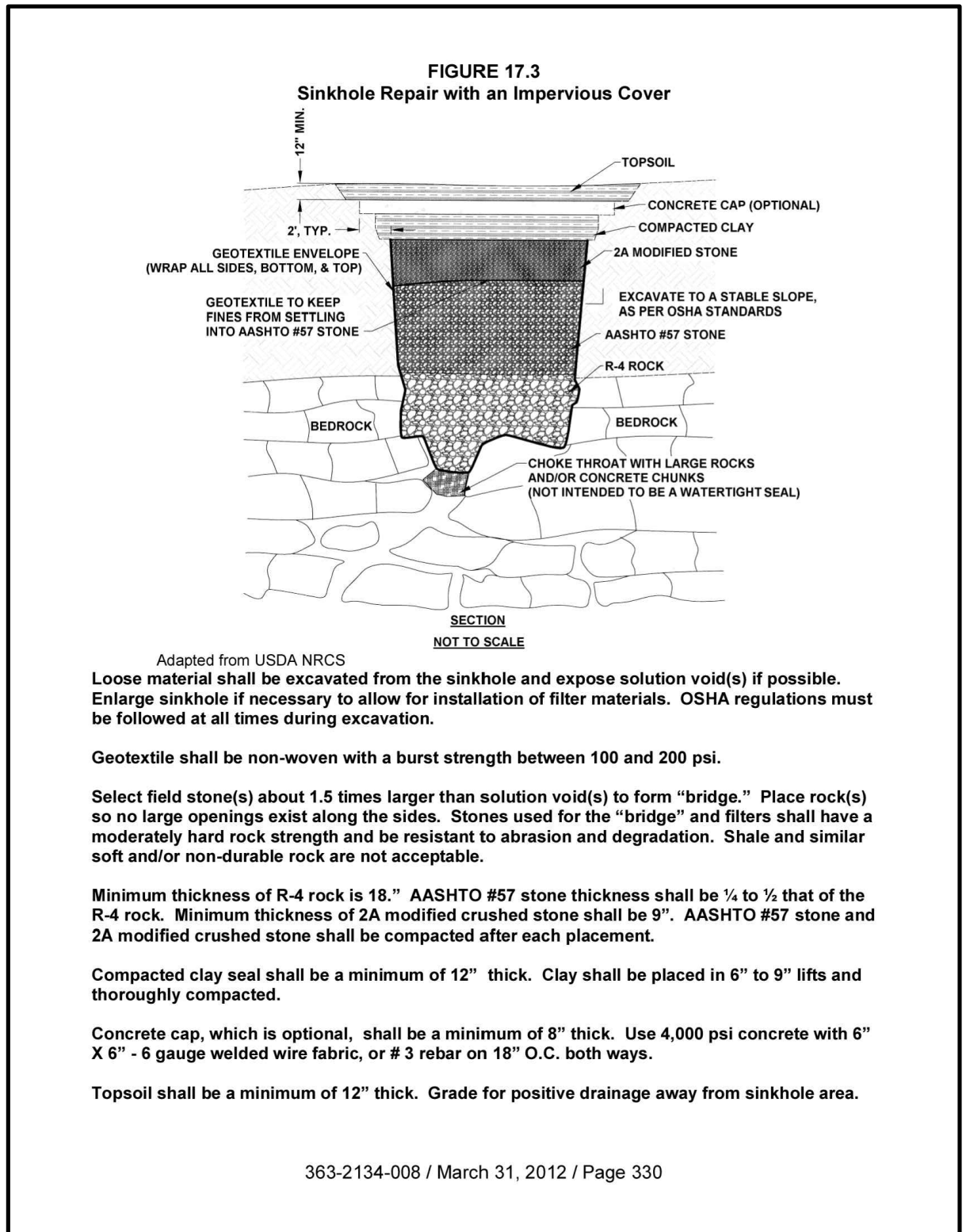
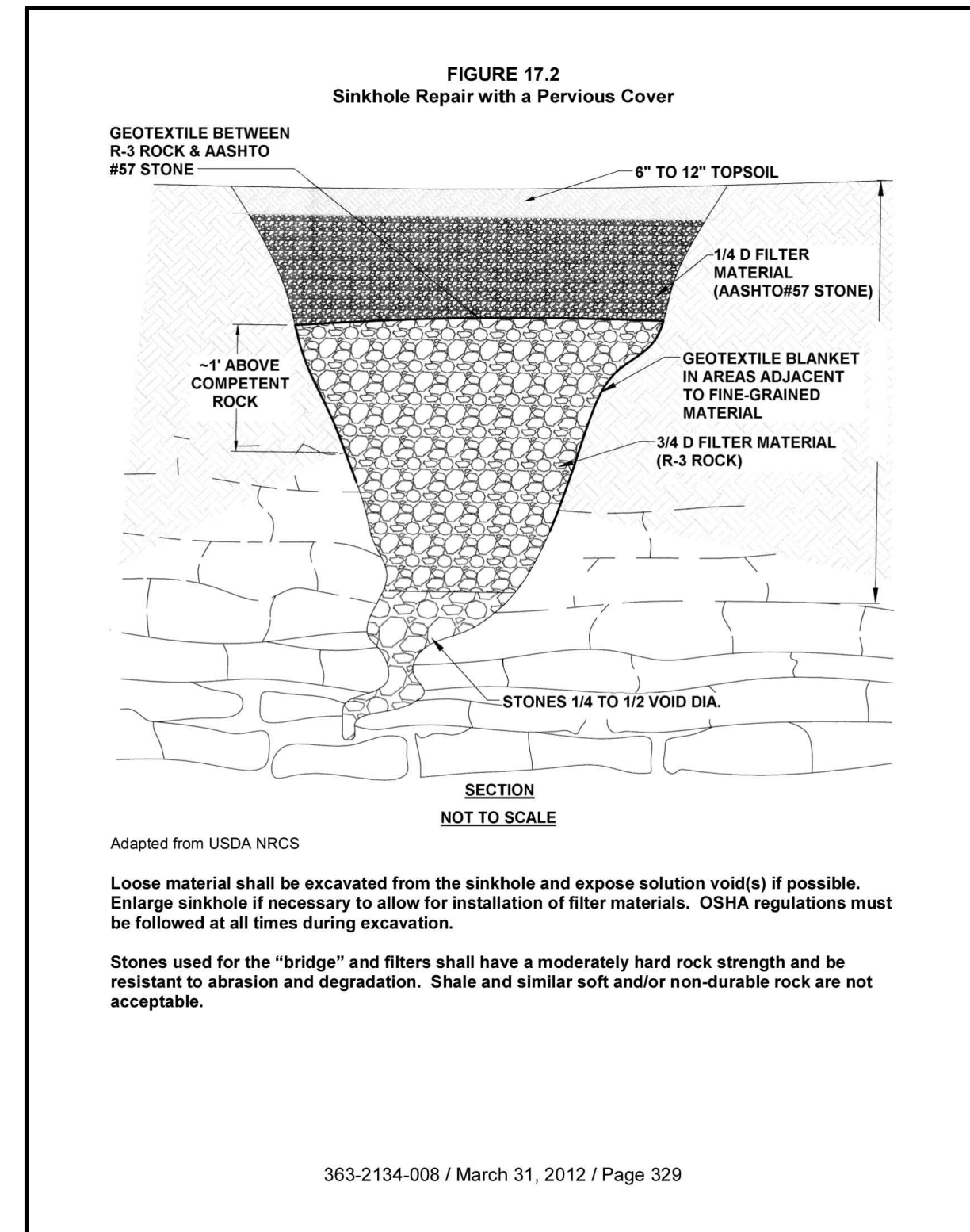
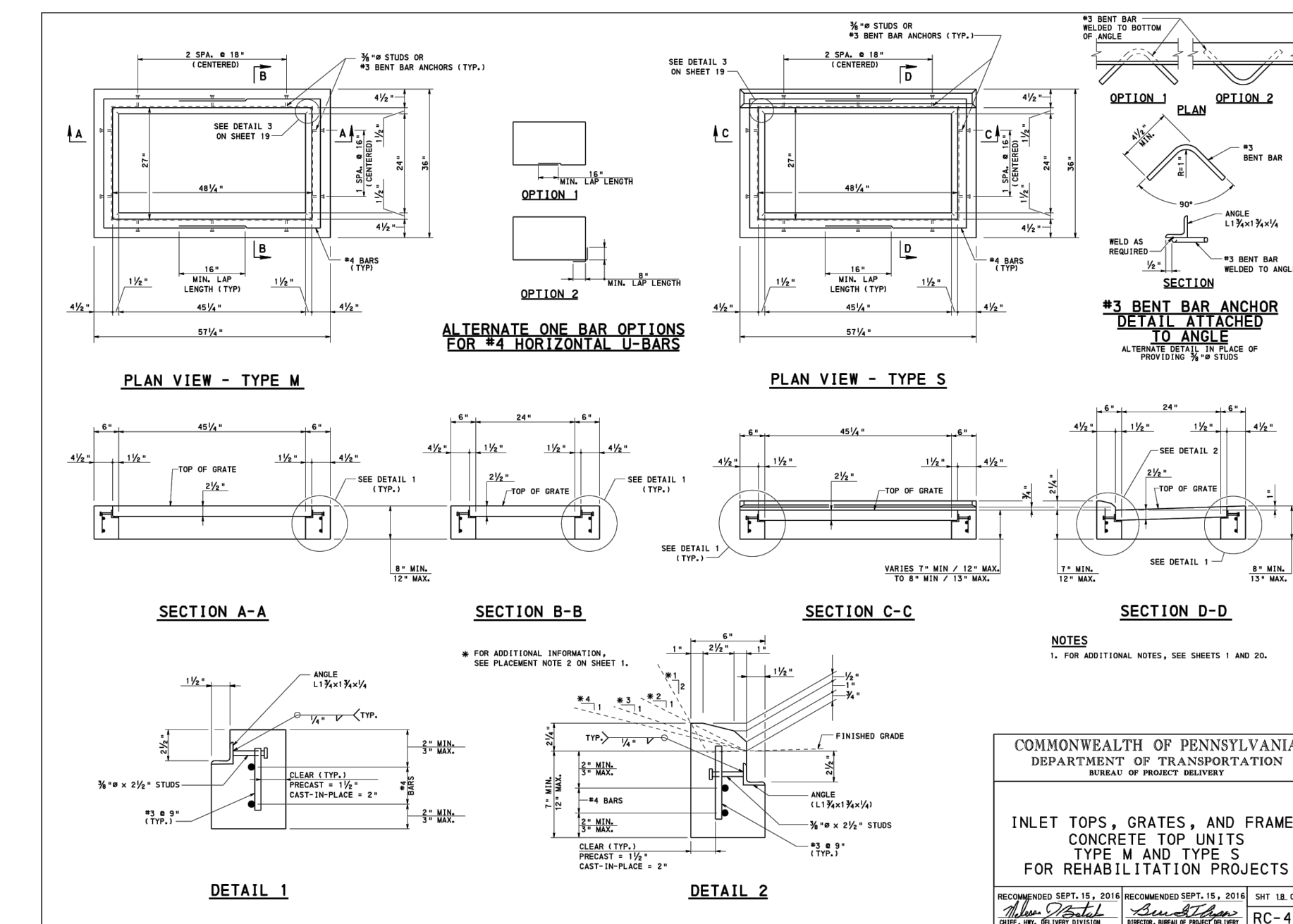
RAIN GARDEN GRASS MIX

% of # of seeds	Scientific Name	Common Name
45%	Schizachyrium scoparium	Little Bluestem 'Camper'
20%	Elymus virginicus	Virginis Wildrye, PA Ecotype
11%	Panicum clandestinum	Deertongue, Tioga
10%	Panicum sphaerocarpon	Roundseed Panicgrass
8%	Panicum rigidulum	Redtop Panicgrass
4.5%	Carex vulpinoidea	Fox Sedge
1.0%	Juncus effusus	Soft Rush
0.5%	Carex scoparia	Blunt Broom Sedge

Seeding rate: 15 pounds per acre with cover crop of grain rye at 30lb. The above mix can be obtained from ERNST Seeds; an equal of similar mix can be substituted from another company depending on availability and price.

Maintenance procedure:

- 1) If a washout, slope failure or similar disturbance occurs, correct drainage problem if necessary, then reapply soil to the proper grade, seed and mulch.

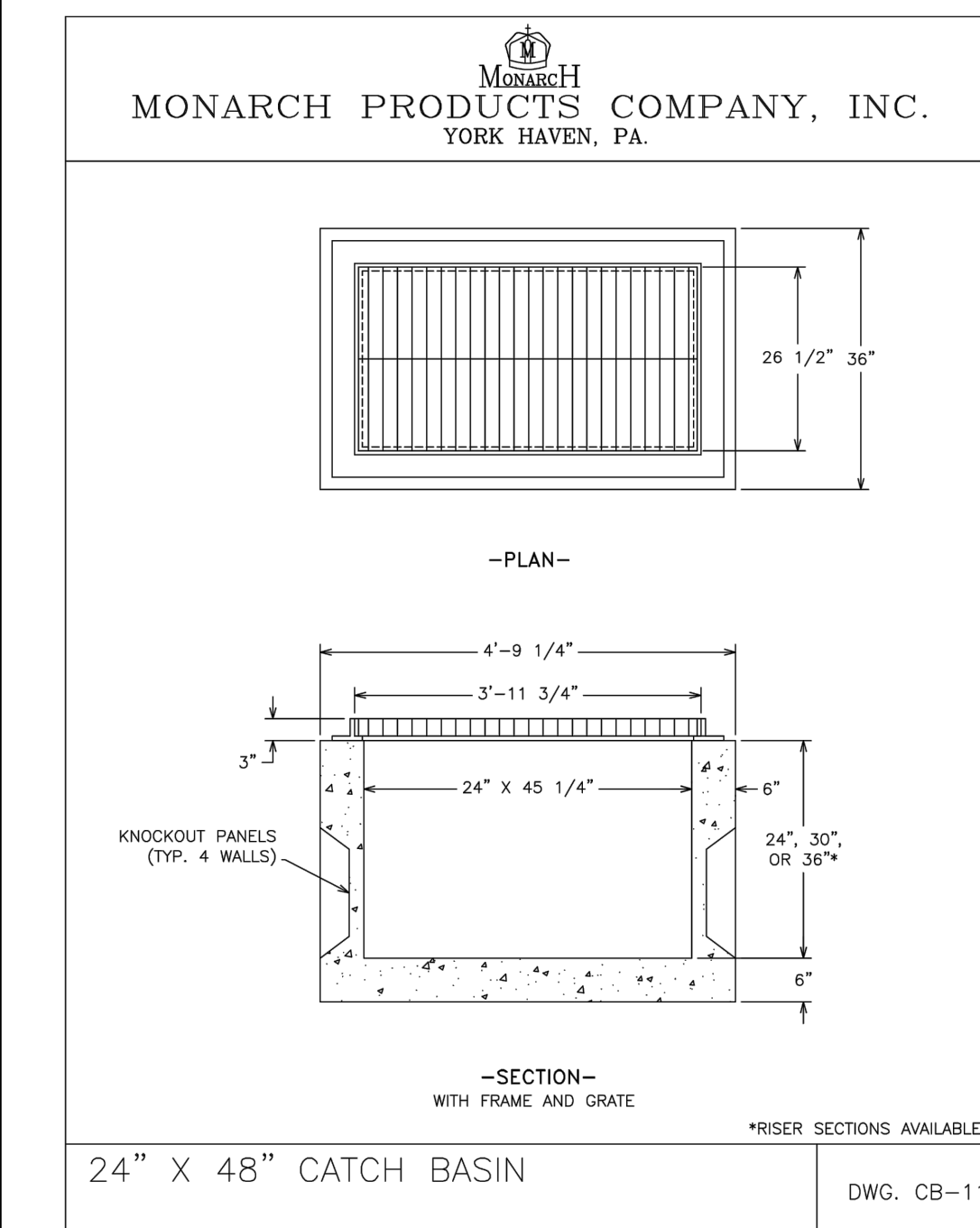


GENERAL SINKHOLE REPAIR POLICIES:

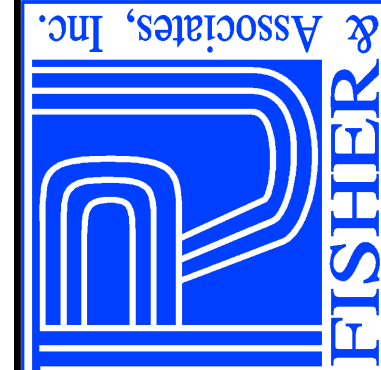
1. THE AREA OF THE SINKHOLE SHOULD BE EXCAVATED UNTIL THE "THROAT" OF THE SINKHOLE IS DISCOVERED.
2. ALL LOOSE SOIL OR MATERIAL SHOULD BE REMOVED.
3. THE THROAT OF THE SINKHOLE SHOULD BE EVALUATED FOR STABILITY AND/OR THE PRESENCE OF ADDITIONAL FRACTURES.
4. THE SINKHOLE SHOULD THEN BE BACKFILLED USING A GEOTEXTILE FILTER FABRIC FIRST, NOT GEOTEXTILE CLASS 1 TYPE B, THEN USE R-5 STONE UP TO ABOUT 36" FROM FINISHED GRADE.
5. FOLD THE GEOTEXTILE FILTER FABRIC OVER ITSELF TO CREATE A "BAG."
6. ADD ABOUT 24" OF 2A MODIFIED STONE TO AROUND A FOOT BELOW FINAL GRADE DEPENDING ON WHERE THE SINKHOLE IS AND WHAT MATERIAL IS NEEDED TO FINISH BACKFILLING.

SINKHOLE AND SINKHOLE AREA TREATMENT

N.T.S.



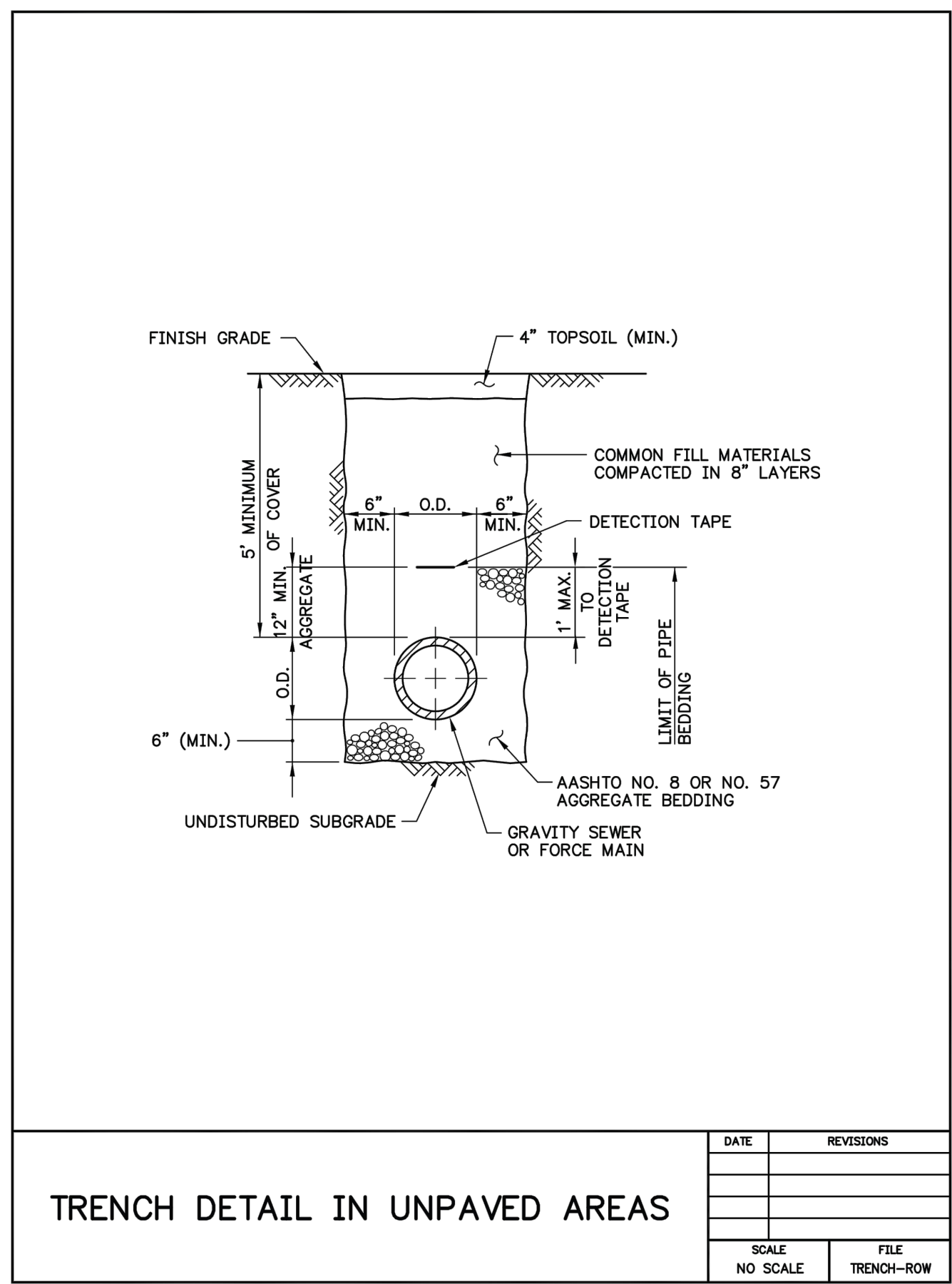
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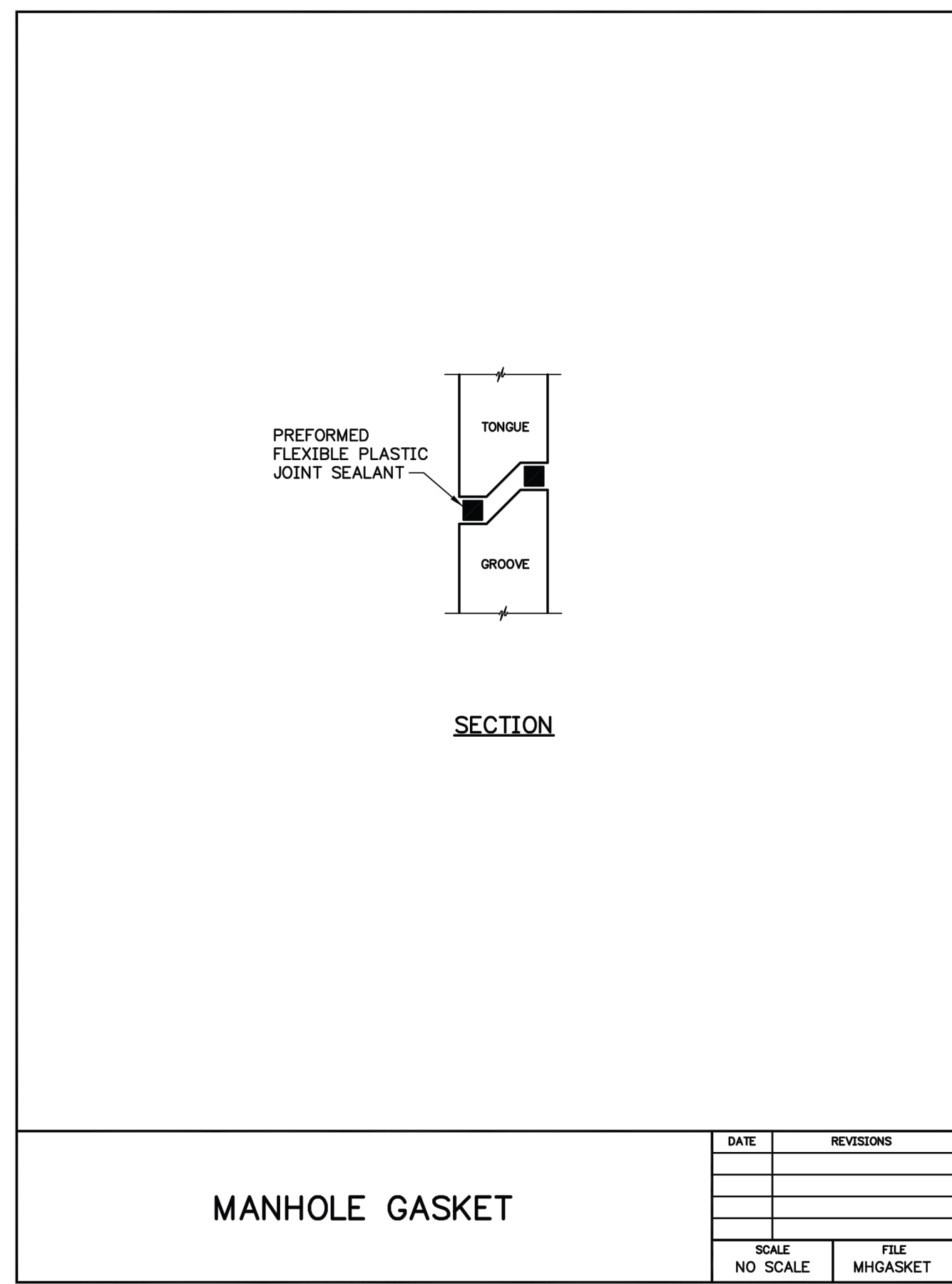
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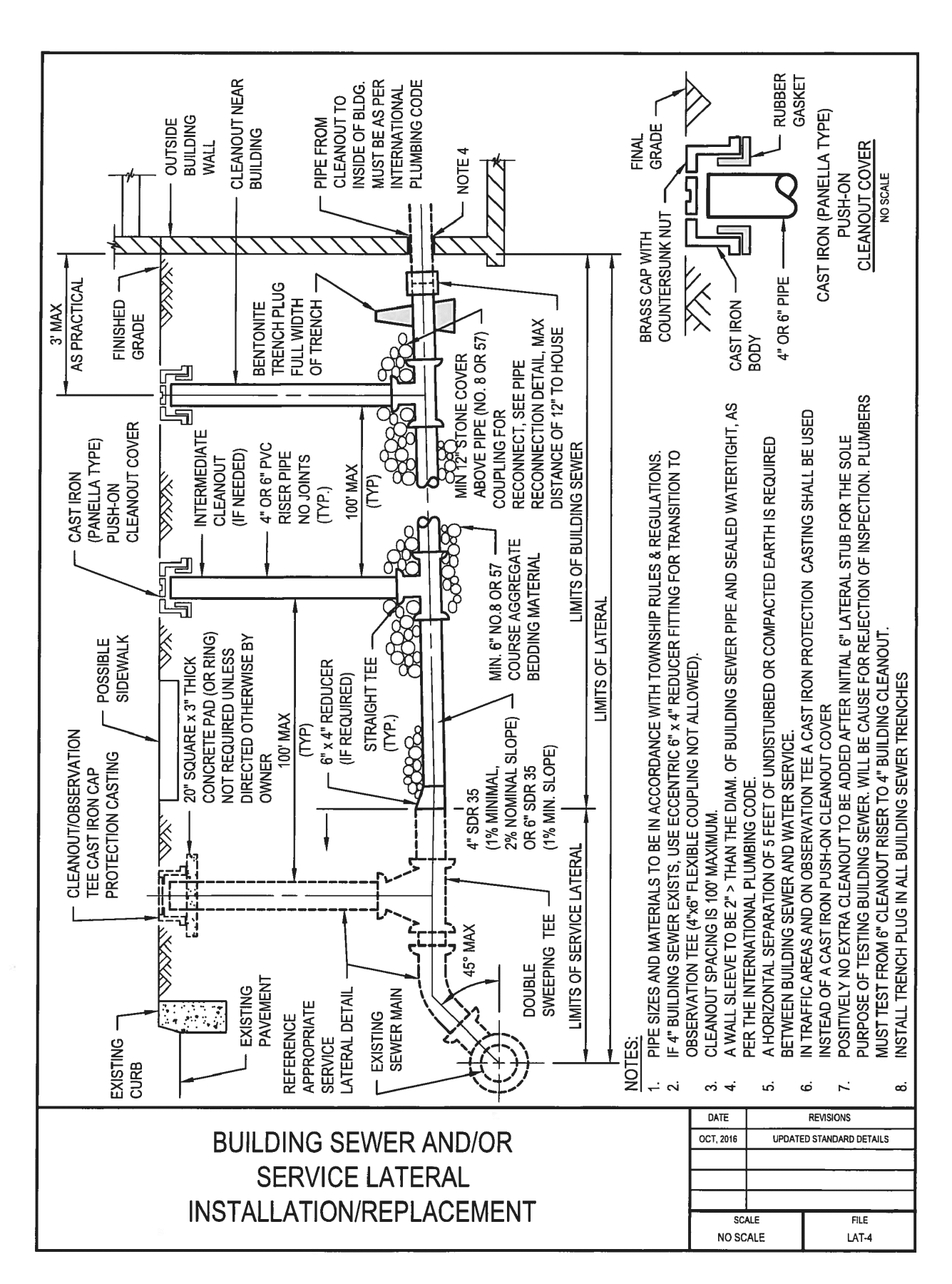
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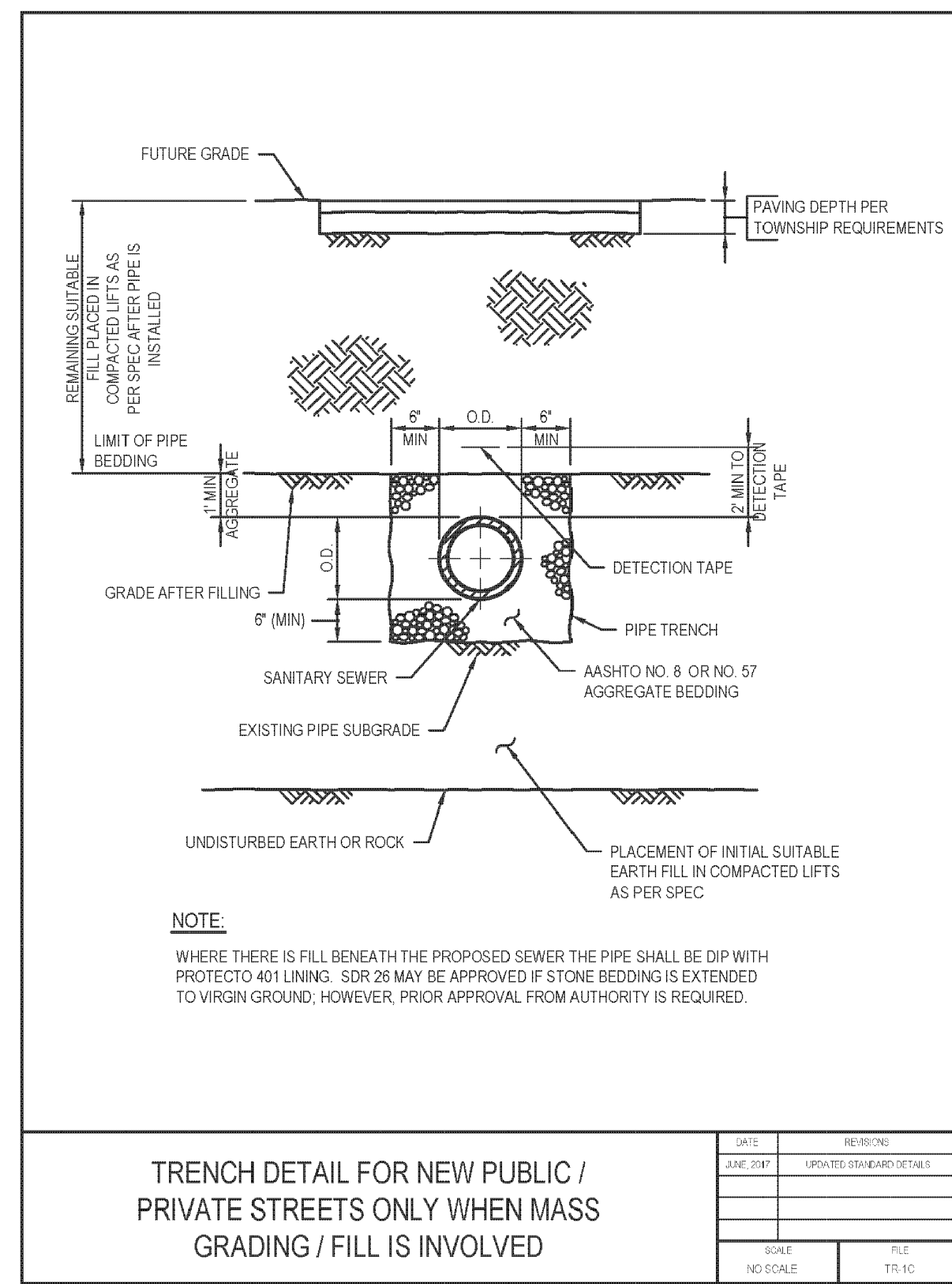
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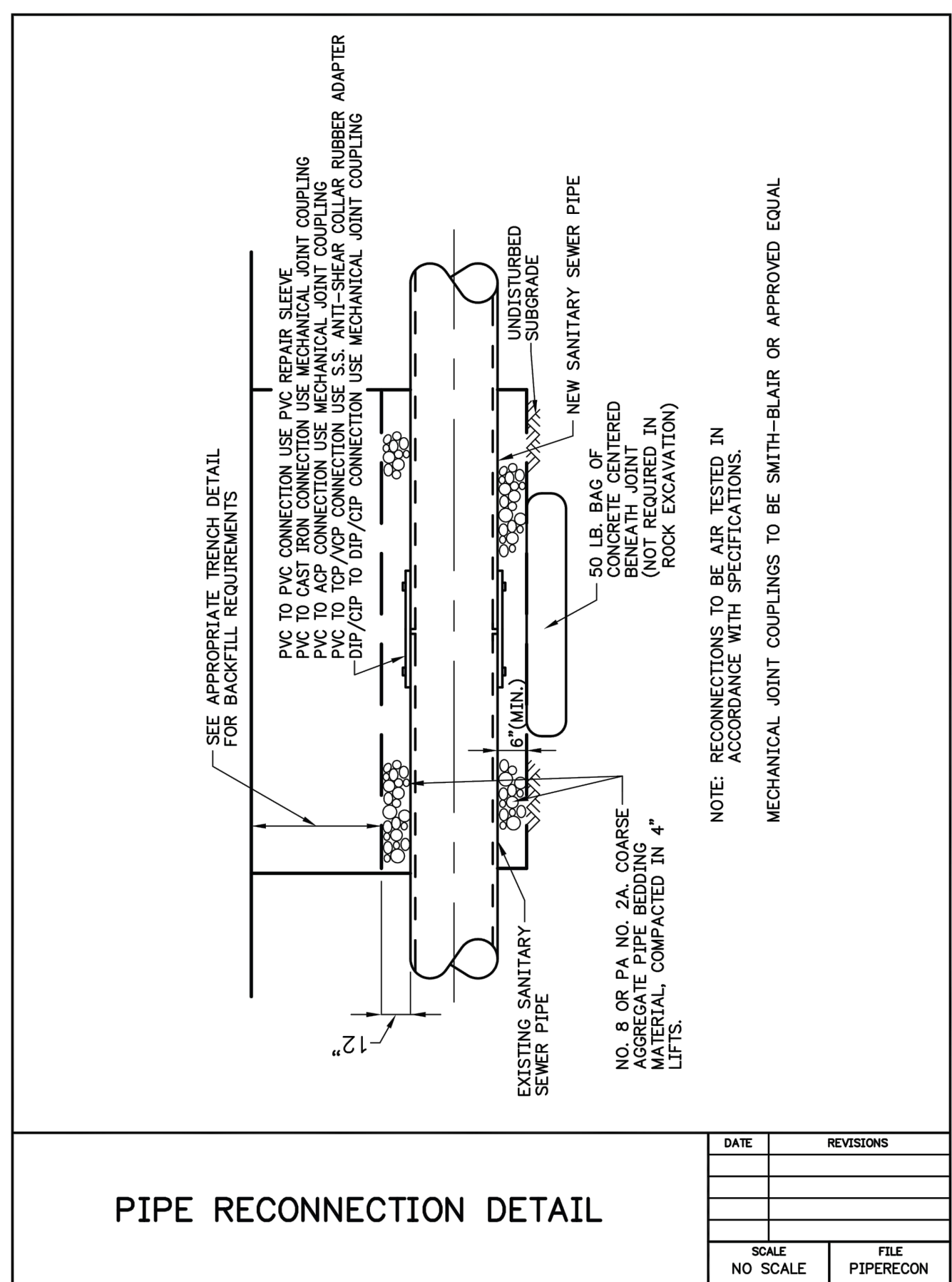
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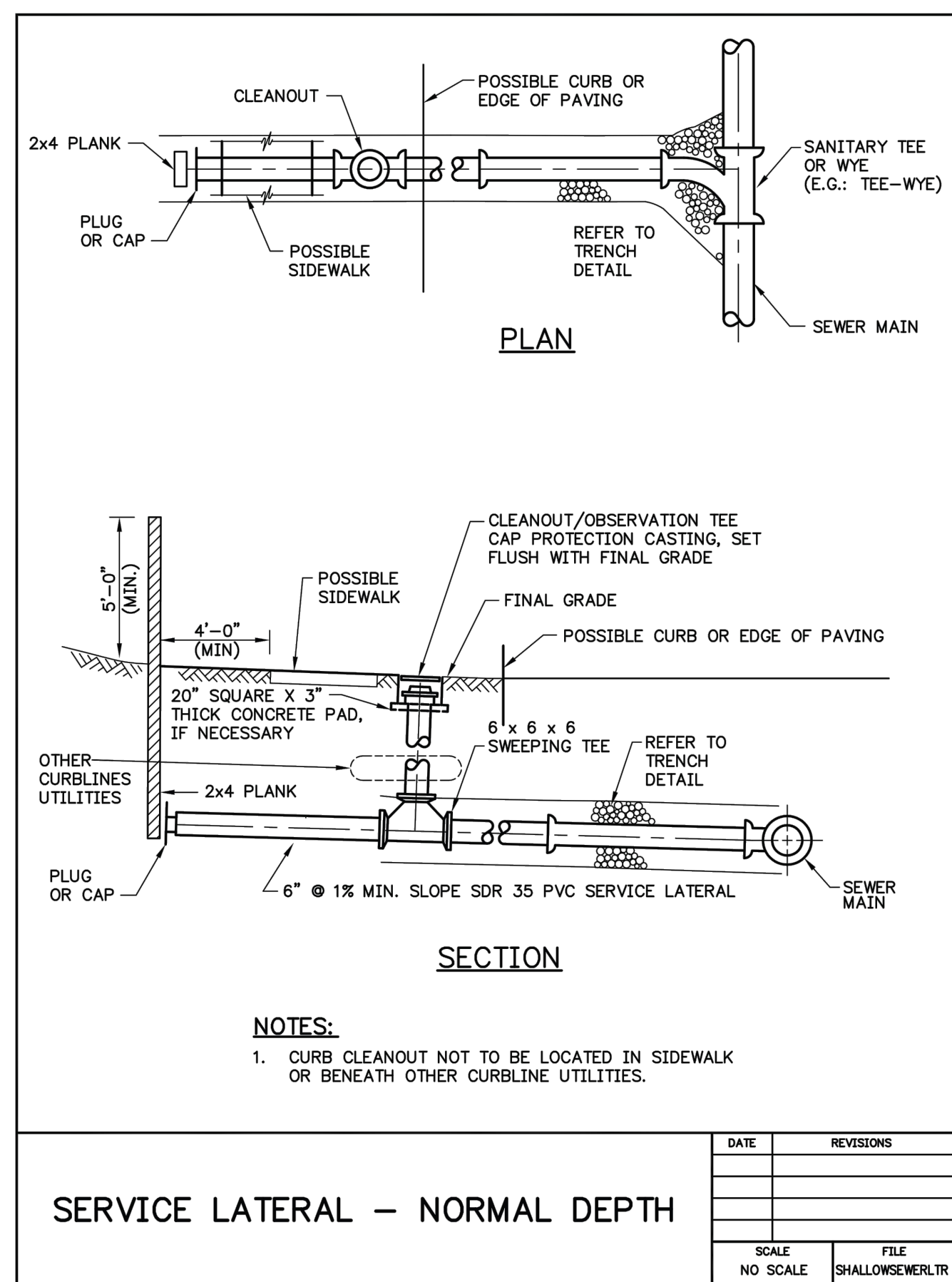
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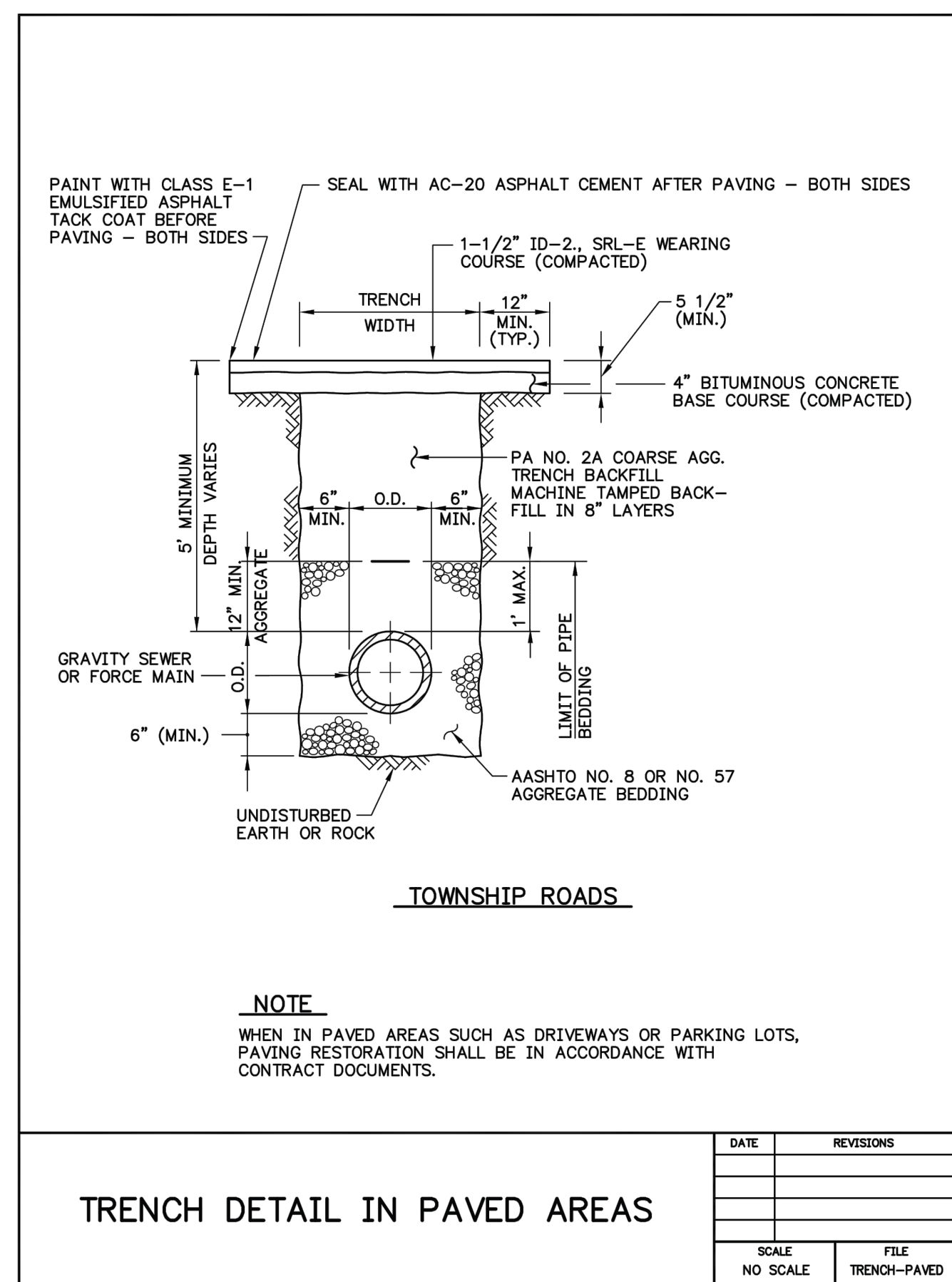
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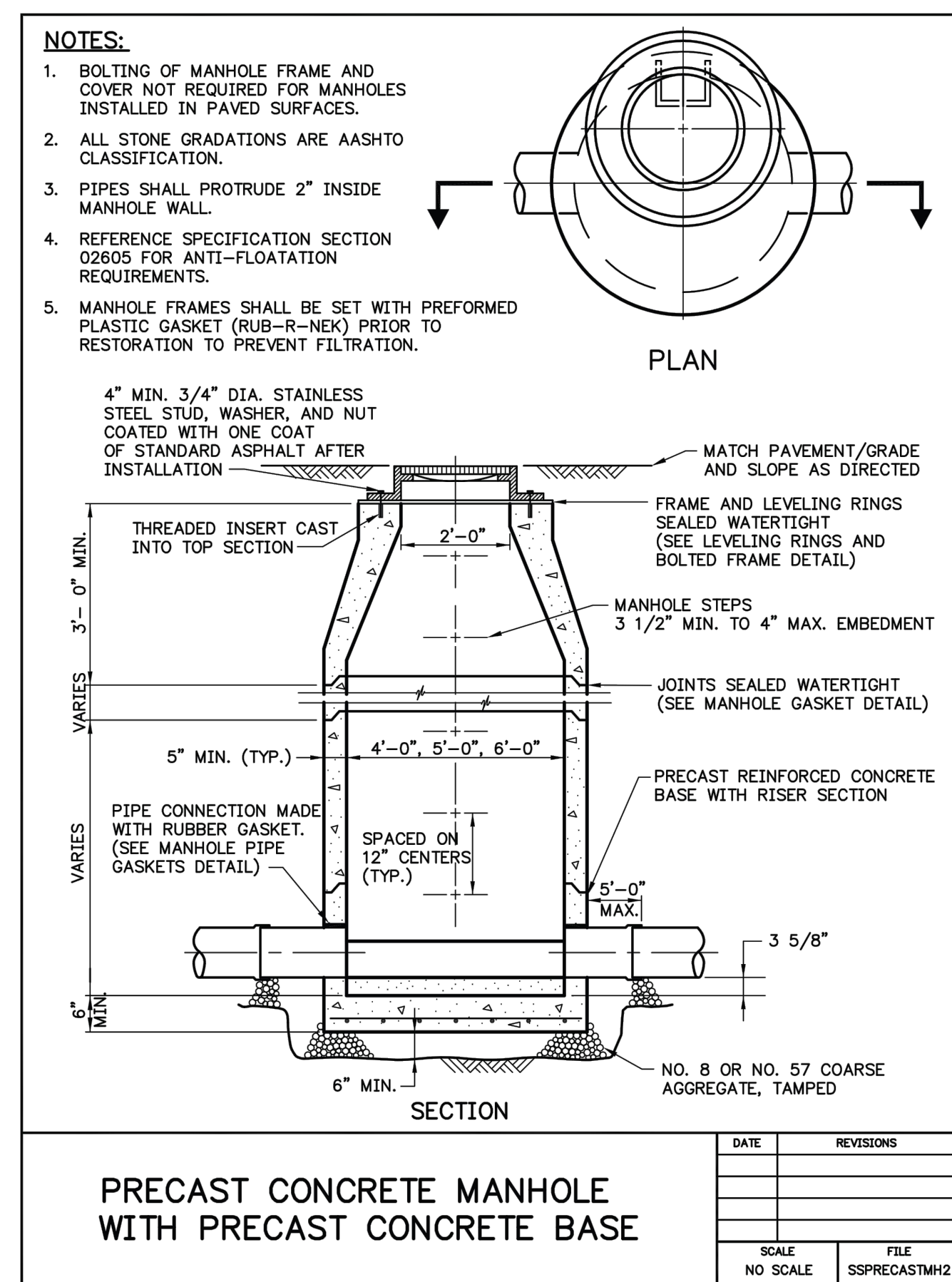
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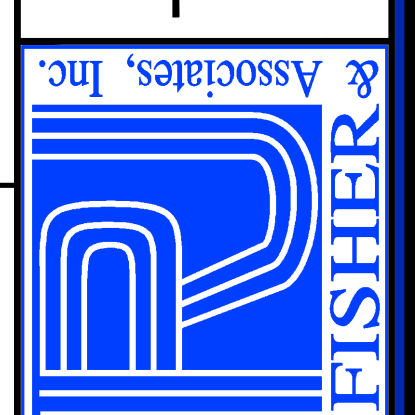
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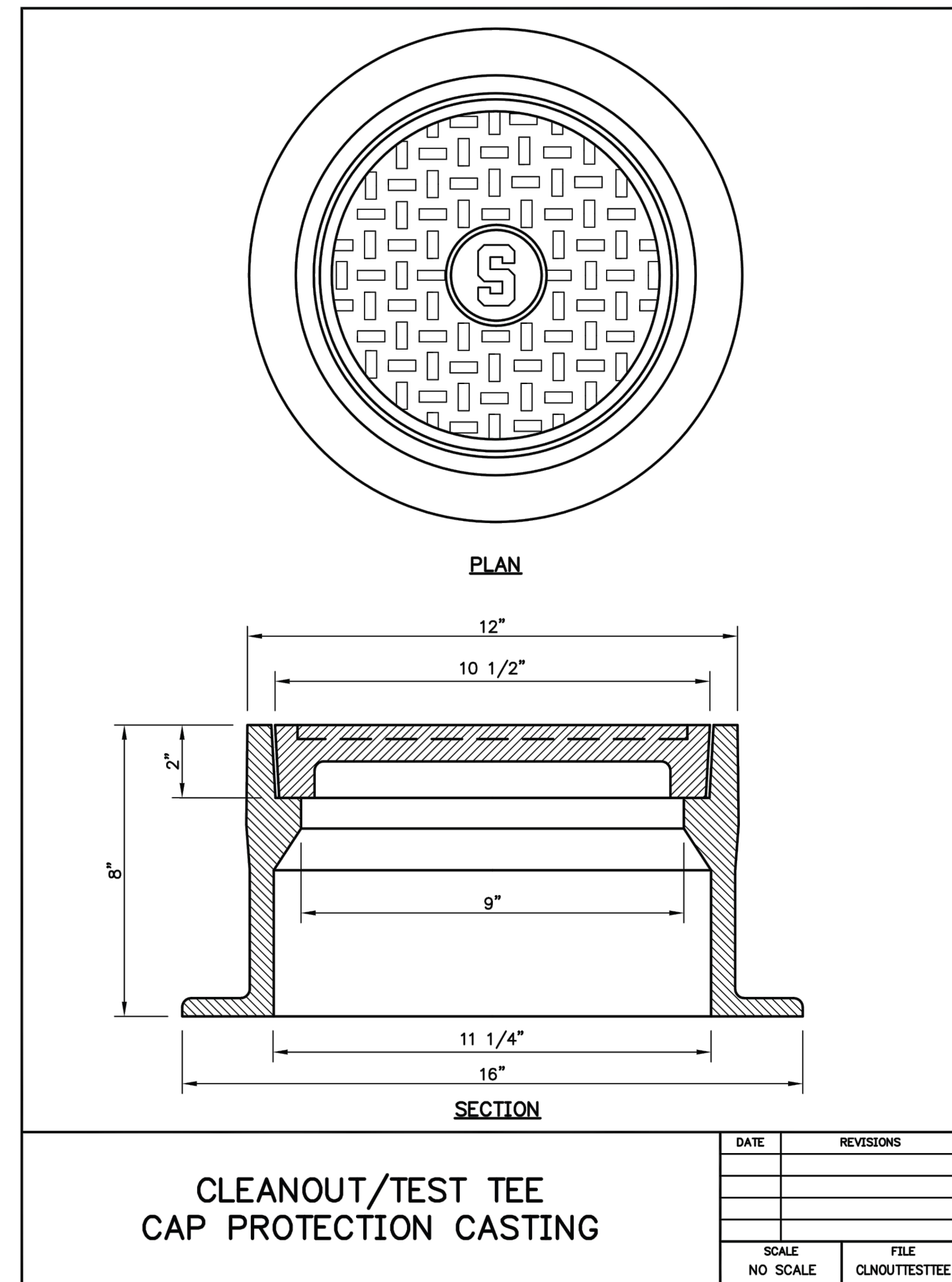
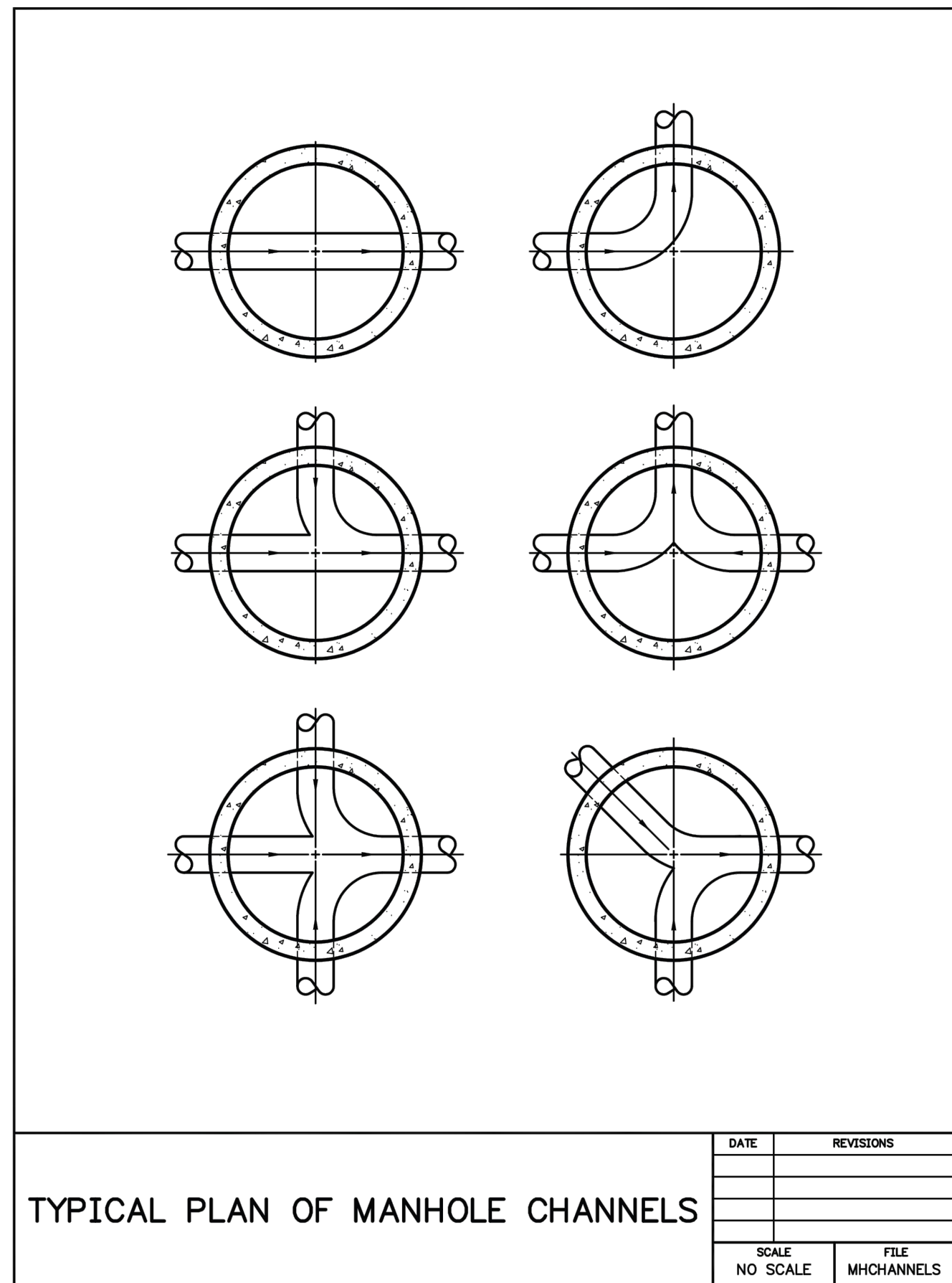
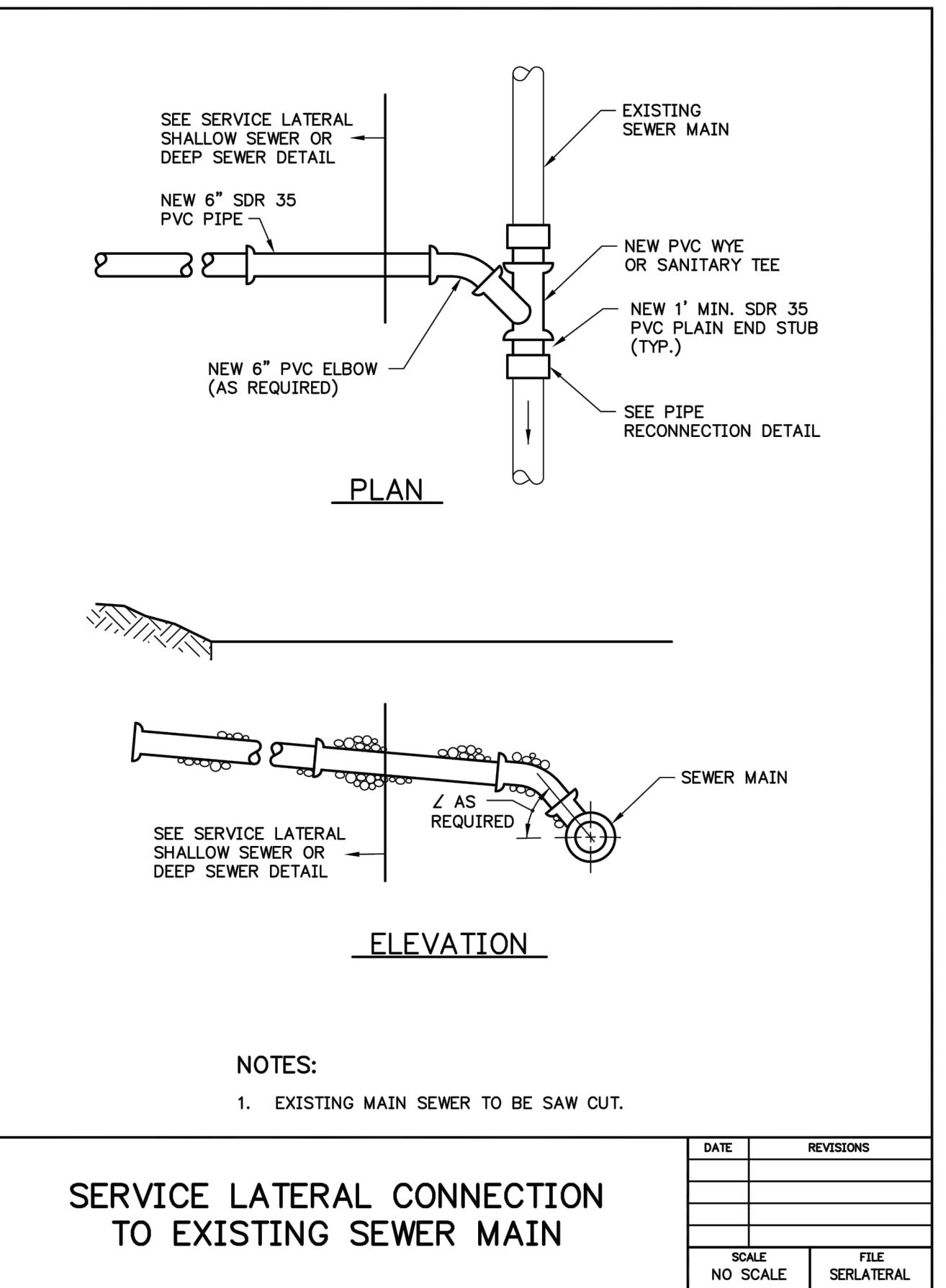
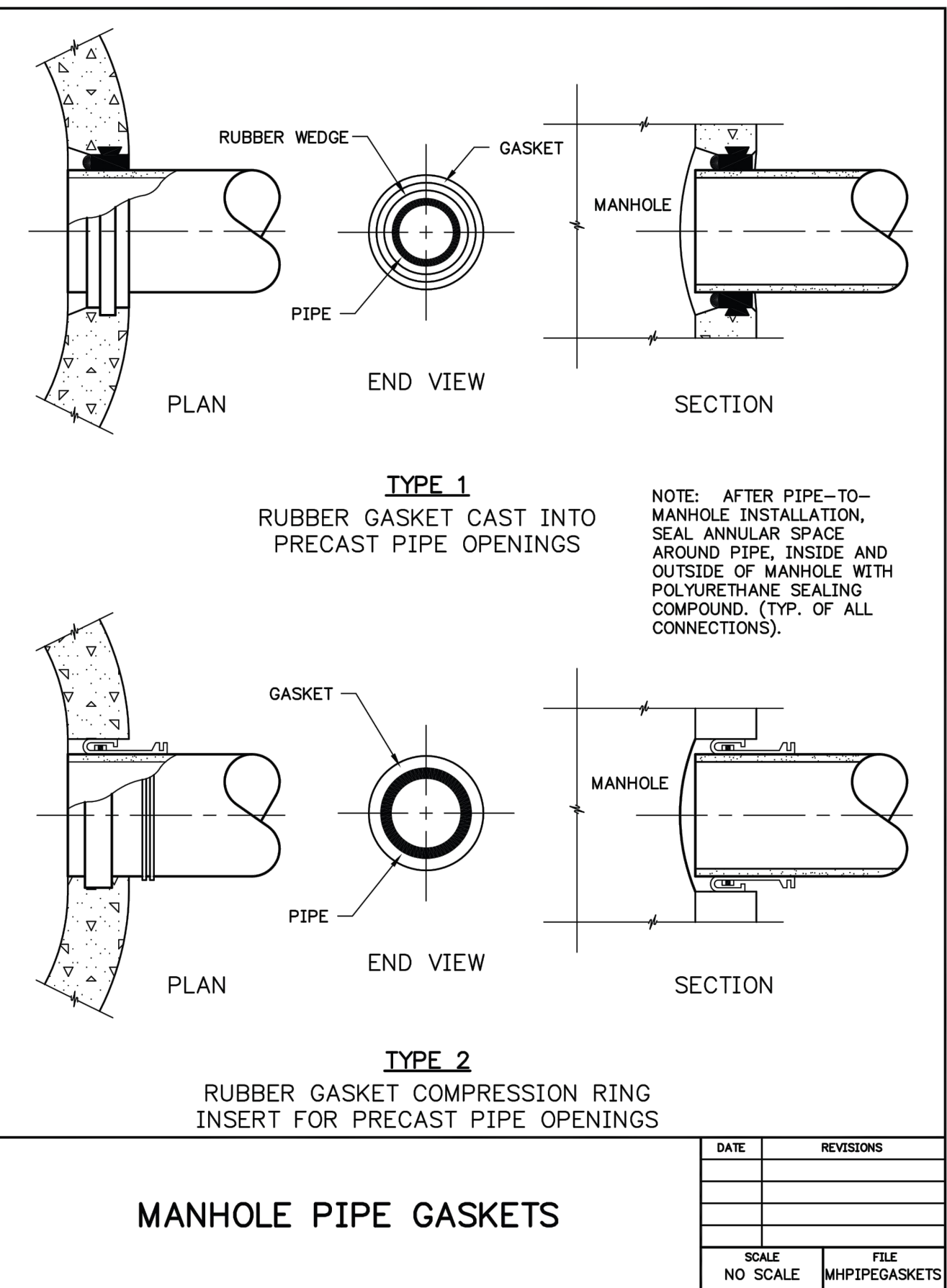
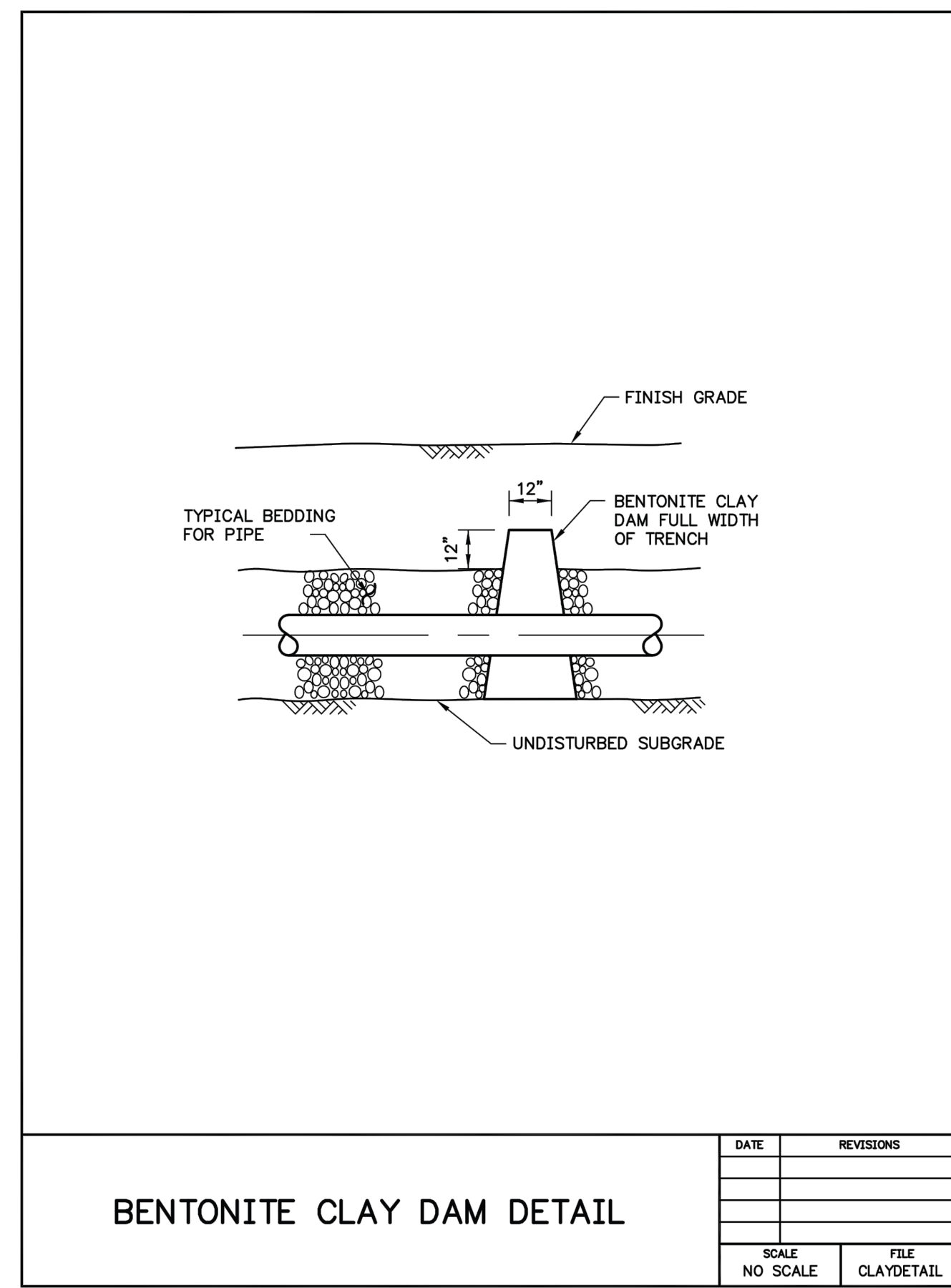
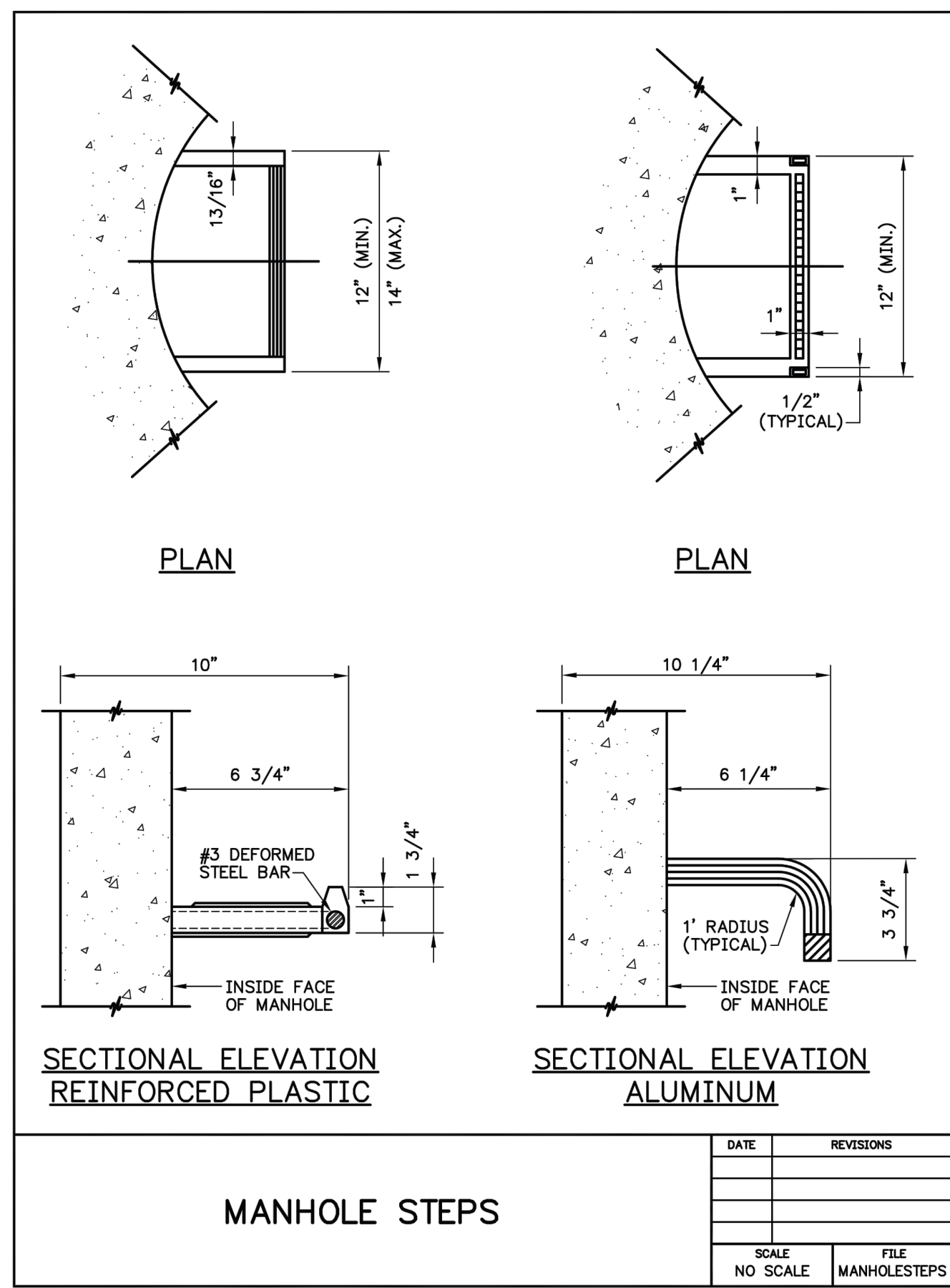
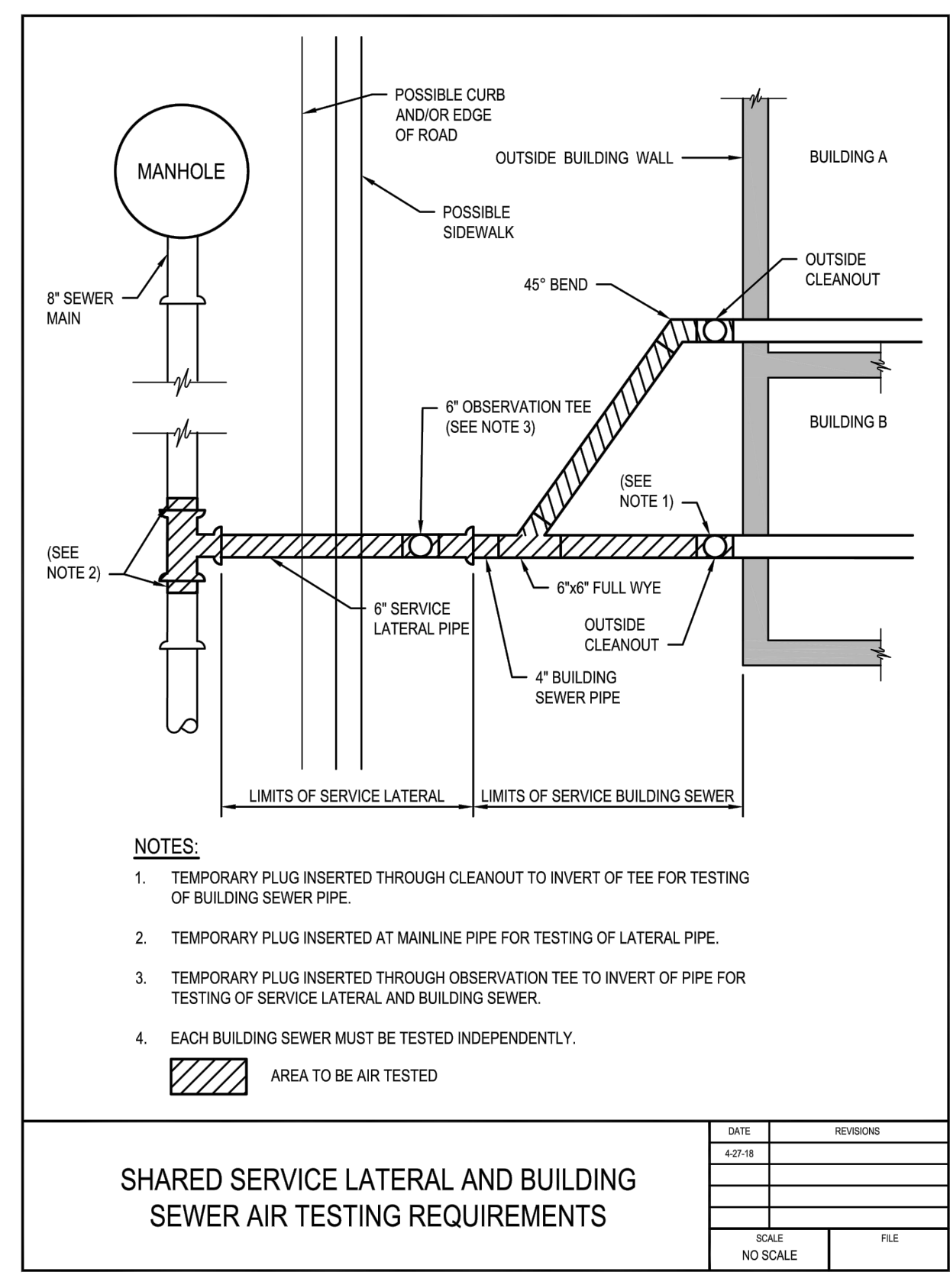
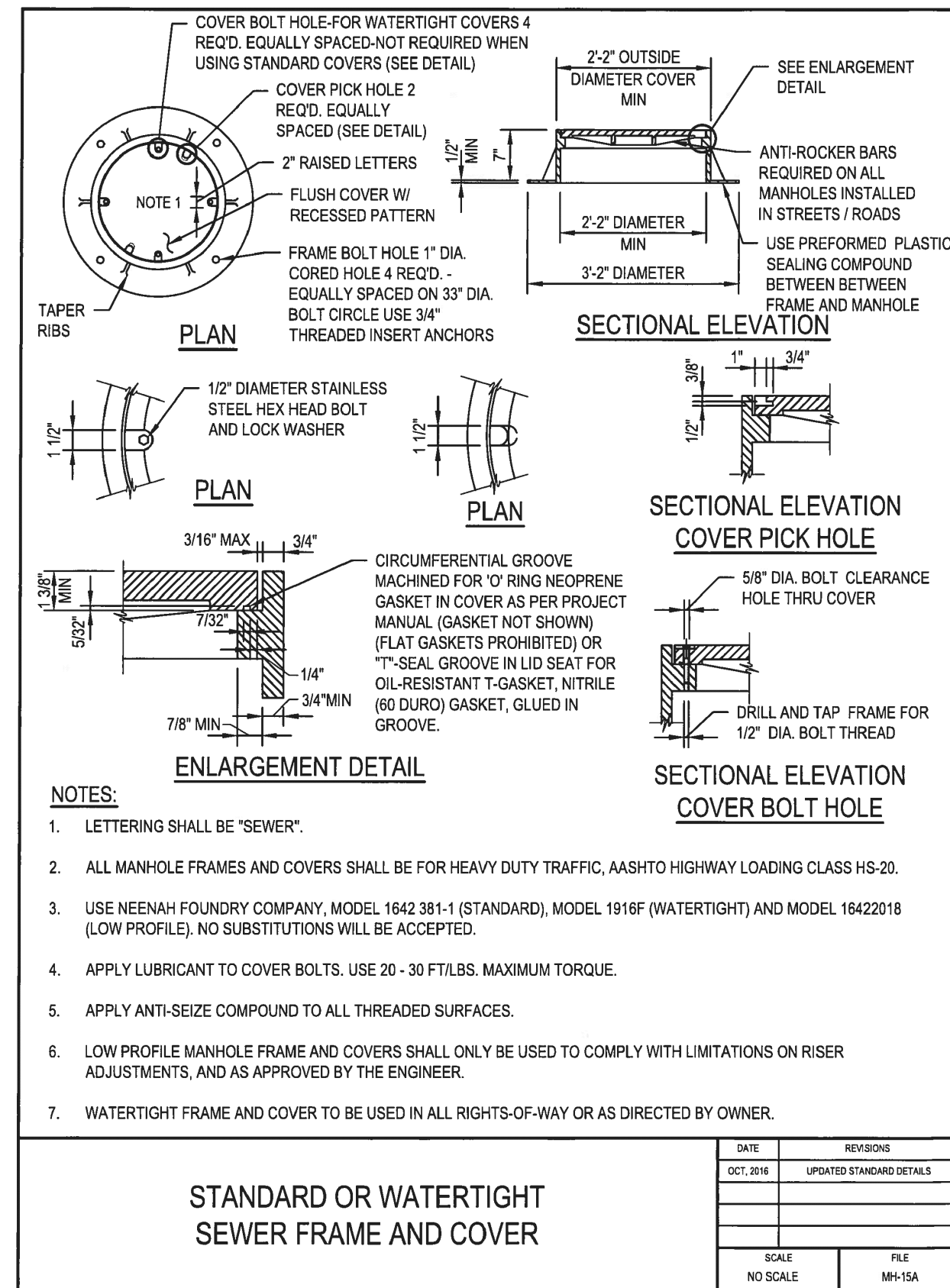
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