

**EXISTING CONDITIONS
GENERAL NOTES:**

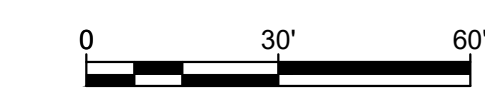
1. LOCATION: THE PROJECT SITE IS LOCATED AT 3405 & 3401 NORTH FRONT STREET, SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA.
2. THE FIELD SURVEY WAS PERFORMED BY PENNONI ASSOCIATES INC., 5072 RITTER ROAD, SUITE 102, MECHANICSBURG, PA 17055, ON FEBRUARY 8, 9, & 12, 2021. SITE WAS SNOW-COVERED FOR THE DURATION OF THE SURVEY.
3. PROPERTY BOUNDARY INFORMATION DEPICTED ON THIS PLAN IS BASED UPON RECORD DEED & PLAN INFORMATION AS IT RELATES TO FOUND MONUMENTATION.
4. EXISTING TOPOGRAPHY AND PLAIMETRIC FEATURES SHOWN ON THIS PLAN ARE BASED ON AN ON-THE-GROUND FIELD SURVEY, DERIVED FROM GPS OBSERVATIONS AND TRADITIONAL SURVEY METHODS.
5. THE SITE IS COMPRISED OF THE FOLLOWING TWO (2) PARCELS:
3405 NORTH FRONT STREET PID# 62-017-198
INSTRUMENT #20190005610
3401 NORTH FRONT STREET PID# 62-017-207
INSTRUMENT #20080044620
6. PLAN IS TIED HORIZONTALLY TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD83) AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
7. SITE BENCHMARK: CONTROL POINT #4 - "MAG" NAIL SET IN THE REAR 3401 NORTH FRONT STREET PARKING LOT, EAST OF THE DUMPSTER ENCLOSURE, AS SHOWN - ELEVATION 323.90' (NAV88).
8. REFERENCE PLANS: PLAN OF "BERGNER FARM" PREPARED BY GANNETT, SEELY & FLEMING, ENGINEERS, INC. IN MAY 1928 AND RECORDED IN THE DAUPHIN COUNTY RECORDER OF DEEDS OFFICE ON 8/5/1929 IN PLAN BOOK J-1 PAGE 23.
PLAN OF "SECTION A - MONTROSE PARK" RECORDED IN THE DAUPHIN COUNTY RECORDER OF DEEDS OFFICE ON 4/10/1923 IN PLAN BOOK H-1 PAGE 56.
9. THE SITE IS LOCATED PARTLY WITHIN ZONE X AND ZONE AE AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR DAUPHIN COUNTY, PA, MAP NUMBER 42043C0317D, PANEL 317 OF 501, HAVING AN EFFECTIVE DATE OF AUGUST 2, 2012.
10. THE NATIONAL WETLANDS INVENTORY MAP DOES NOT INDICATE THE PRESENCE OF WETLANDS ON THE SUBJECT PREMISES. AN INDEPENDENT ASSESSMENT/PRESENCE WETLAND DETERMINATION BY A WETLAND SCIENTIST HAS NOT BEEN PERFORMED.
11. THE SITE DOES NOT APPEAR TO BE PRESENT OF ANY ARCHAEOLOGICAL RESOURCES, HISTORICAL FEATURES, AND IMPORTANT NATURAL HABITAT.
12. THIS PLAN HAS BEEN PREPARED WITH THE BENEFIT OF A CLIENT SUPPLIED TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY FOR THE 3405 NORTH FRONT STREET PROPERTY - HAVING A COMMITMENT NUMBER OF 2020-1966-CLT AND A COMMITMENT DATE OF 12/10/2020. A TITLE REPORT WAS NOT PROVIDED FOR 3401 NORTH FRONT STREET WHICH MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS, COVENANTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS NOT PERFORMED ANY INDEPENDENT RESEARCH FOR ENCUMBRANCES OR TITLE EVIDENCE AFFECTING THE 3401 NORTH FRONT STREET PROPERTY THAT A CURRENT AND ACCURATE TITLE REPORT WOULD DISCLOSE.
13. THE WORD "CERTIFY" AS USED IN ITS VARIOUS FORMS HEREON, IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH, IT CONSTITUTES NEITHER A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

UTILITY NOTES:

1. IN ACCORDANCE WITH PA ACT 287 (1974), AS CURRENTLY AMENDED, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION. A PRELIMINARY DESIGN PA ONE CALL HAS BEEN PLACED FOR THIS PROJECT - SERIAL NUMBER 20210050887.
2. THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS (SUE ASCE STANDARD 38-02 QUALITY LEVEL C). SITE WAS SNOW-COVERED FOR THE DURATION OF THE FIELD SURVEY. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT ARE ACCURATELY AS POSSESSED FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE CONTRACTOR SHALL HAND DIG TO LOCATE ALL SHOWN UTILITIES. THE PROFESSIONAL HAS ATTEMPTED TO LOCATE AND INDICATE EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
4. THE LOCATION OF EXISTING OVERHEAD UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM FIELD OBSERVATION.

LEGEND

---	BUILDING SETBACK LINE	---	323	MINOR CONTOUR
---	EDGE OF PAVEMENT	---	325	MAJOR CONTOUR
---	EDGE OF GRAVEL	---	---	WATER
---	EASEMENT	---	---	FLOODPLAIN
---	FENCE	---	---	SINGLE HEAD LIGHT
---	NATURAL GAS	---	---	DOUBLE HEAD LIGHT
---	GUY WIRE	---	---	UTILITY POLE
---	SPOT LIGHT	---	---	PROPERTY LINE
---	POST	---	---	FLAG POLE
---	TRAFFIC SIGN	---	---	UTILITY MANHOLES
---	SANITARY SEWER	---	---	TREES
---	INLET	---	---	
---	STORM SEWER	---	---	



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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

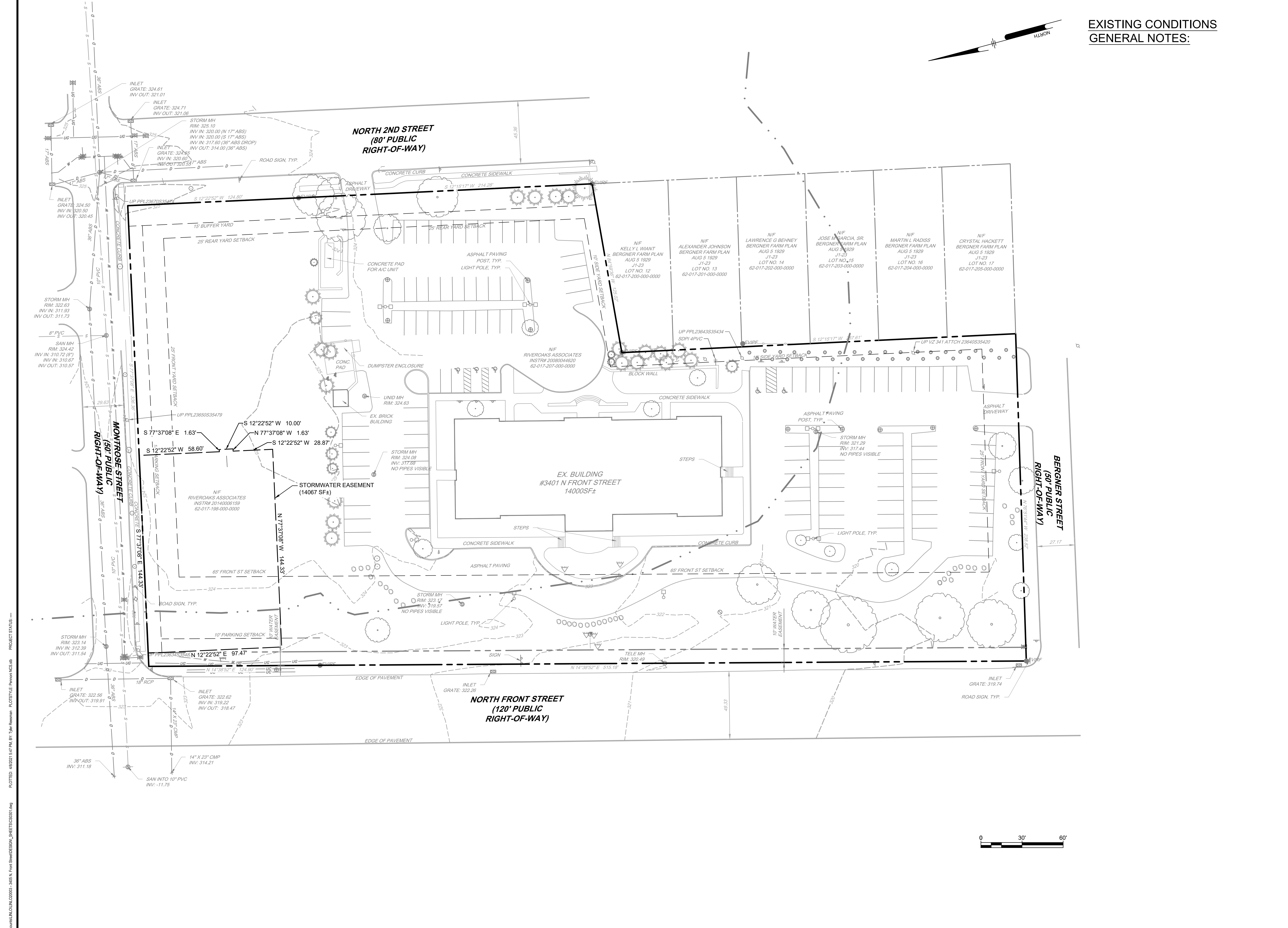
3405 AND 3401 NORTH FRONT STREET
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA
EXISTING CONDITIONS AND SITE DEMOLITION PLAN
LINLO MONTROSE PARK, LLC
150 CORPORATE CIRCLE, SUITE 100
CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: LINLO20003
DATE: 2021-03-05
DRAWING SCALE: AS SHOWN
DRAWN BY: CRH/TLR
APPROVED BY: PGD

CS0201
SHEET 2 OF 22



EXISTING CONDITIONS
GENERAL NOTES:

Pennoni
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3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA
EASEMENT PLAN
 LINLO MONROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

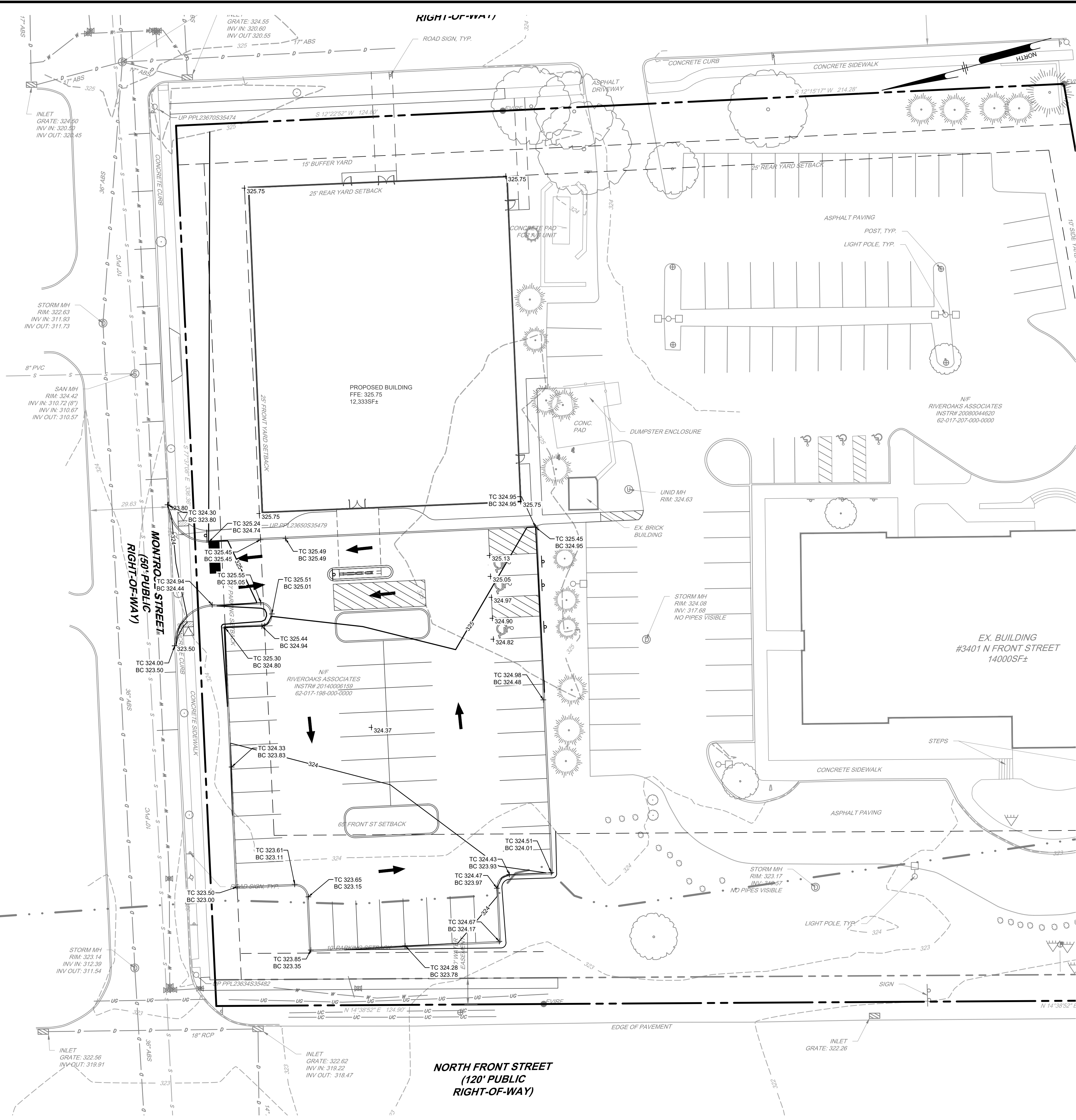
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PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

CS0301
 SHEET 3 OF 22

PROJECT STATUS:
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 PROJECT STATUS:



LEGEND

- 1120 --- EXISTING MAJOR CONTOUR
- 1121 --- EXISTING MINOR CONTOUR
- 1120 — PROPOSED MAJOR CONTOUR
- 1121 — PROPOSED MINOR CONTOUR
- X 1121.50 SPOT ELEVATION
- X TC 1122.00 TOP OF CURB ELEVATION
- X BC 1121.50 BOTTOM OF CURB ELEVATION
- 1.5% PROPOSED SLOPE

**GRADING PLAN
GENERAL NOTES:**

- THE CONTRACTOR MUST PERFORM A ONE CALL (1-800-242-1776) AT LEAST THREE (3) WORKING DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ACT 287 - 1974, OR AS AMENDED WITH ACT 287.
- THE EXACT LOCATION AND DEPTH OF ALL UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- COORDINATE PAVING LAYOUT WITH SITE PLANS. CONTRACTOR IS TO ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS ARE TO RECEIVE FOUR INCHES (4") OF TOPSOIL AND SEEDED/MULCHED PER THE E&S PLANS.

PRE-CONSTRUCTION MEETING
 CONTRACTOR SHALL CALL TOWNSHIP AT 717-545-4751 TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER PRIOR TO THE START OF SITE CONSTRUCTION.

INSPECTION DURING CONSTRUCTION
 THE TOWNSHIP SHALL INSPECT THE IMPROVEMENTS DURING CONSTRUCTION. THE DEVELOPER SHALL PAY THE COST OF ANY SUCH INSPECTION IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE V OF THE MUNICIPALITIES PLANNING CODE. THE DEVELOPER SHALL PROVIDE AT LEAST TWENTY-FOUR (24) HOURS NOTICE PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS THAT ARE SUBJECT TO INSPECTION. ALL INSPECTIONS OF COMPLETED ITEMS SHALL BE REQUESTED, IN WRITING, AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE INSPECTION TIME AND DATE.

IT IS GENERALLY REQUIRED THAT THE FOLLOWING PHASES OF SITE CONSTRUCTION HAVE MANDATORY INSPECTION. THIS GENERAL LIST OF PHASES MAY BE AMENDED BY MUTUAL AGREEMENT OF THE TOWNSHIP AND DEVELOPER WHEN THE SITE REQUIRES SPECIAL CONSTRUCTION PROCEDURES. THE INSPECTION SCHEDULE MUST BE RECORDED WITH THE FINAL PLAN OR SHOWN ON THE APPROVED IMPROVEMENT CONSTRUCTION PLAN.

- GENERAL SITE CONSTRUCTION
 - UPON COMPLETION OF PRELIMINARY SITE PREPARATION INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL, AND CONSTRUCTION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES.
 - UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
 - DURING THE CONSTRUCTION OF PERMANENT STORMWATER MANAGEMENT AND BMP FACILITIES.
 - UPON THE FINAL COMPLETION OF PERMANENT STORMWATER MANAGEMENT AND BMP FACILITIES, INCLUDING THE ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
 - AFTER REVIEW OF THE AS-BUILT DRAWINGS, REQUIRED IN THIS CHAPTER, BUT PRIOR TO FINAL RELEASE OF THE FINANCIAL GUARANTEE FOR COMPLETION OF FINAL GRADING, VEGETATIVE CONTROLS REQUIRED BY THE BMP STANDARDS, OR OTHER SITE RESTORATION WORK.
- B. IN ADDITION TO THE ABOVE OUTLINED OBSERVATIONS, ADDITIONAL OBSERVATIONS WILL BE MADE AT THE REQUEST OF THE DEVELOPER FOR REDUCTION OF FINANCIAL SECURITIES. RANDOM OBSERVATIONS SHOULD BE MADE AT THE FREQUENCY DESIRED BY THE MUNICIPALITY. AT THE TIME OF ANY OF THE ABOVE LISTED OBSERVATIONS, ALL ONGOING CONSTRUCTION (I.E. STORM DRAINAGE, SANITARY SEWER, WATER, EROSION CONTROL, ETC.) SHOULD ALSO BE CHECKED FOR COMPLIANCE WITH THE APPROVED PLANS AND THE FINDINGS REPORTED. SINCE THE ABOVE INSPECTIONS ARE MANDATORY, IT IS RECOMMENDED THAT REQUESTS FOR REDUCTION OF FINANCIAL GUARANTEE TO BE SUBMITTED TO COINCIDE WITH THE ABOVE INSPECTIONS.

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3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA

GRADING PLAN

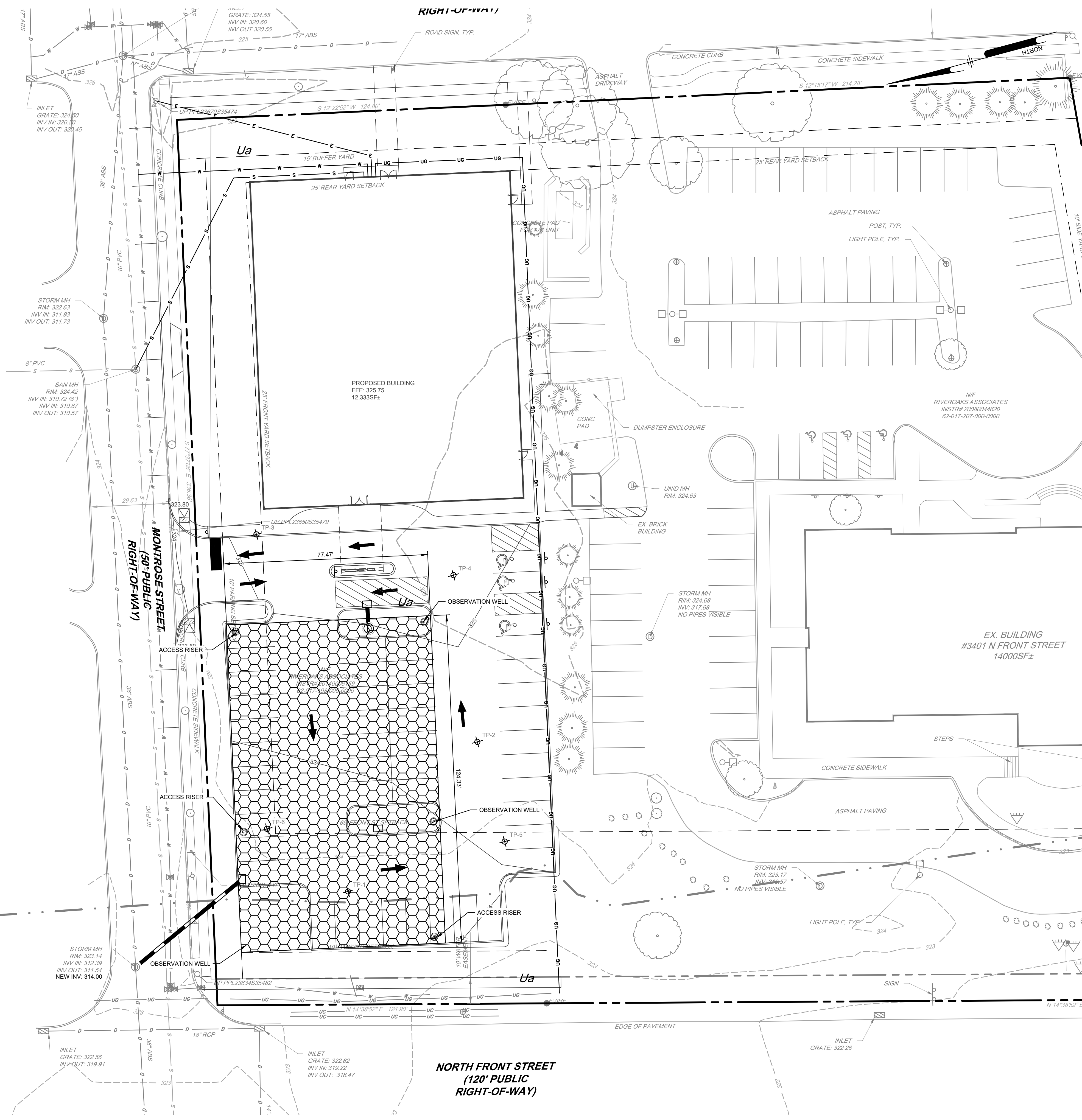
LINLO MONTROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

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PROJECT: LINLO20003
 DATE: 2021-03-05
 DRAWING SCALE: AS SHOWN
 DRAWN BY: CRH/TLR
 APPROVED BY: PGD

CS1501
 SHEET 6 OF 22



LEGEND

- 2' X 4' PRECAST INLET
- PENNDOT TYPE 'M' - LAWN AND PAVEMENT AREAS NOT ADJACENT TO CURB
- PENNDOT TYPE 'C' - ADJACENT TO CURB
- STORM SEWER
- SUBSURFACE INFILTRATION BASIN AREA (BMP)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SANITARY SEWER / CLEANOUT
- PROPOSED WATER
- PROPOSED ELECTRIC
- PROPOSED GAS
- SOIL LABEL

- ### UTILITY PLAN GENERAL NOTES:
- THE LOCATIONS OF EXISTING UTILITIES SHOWN HAVE BEEN DERIVED FROM FIELD SURVEYING AND BEST INFORMATION PROVIDED BY UTILITY PROVIDERS. THEY ARE GENERAL AND ILLUSTRATIVE IN NATURE AND ARE BEING PROVIDED FOR THE SOLE CONVENIENCE OF THE CONTRACTOR. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE EXACT LOCATIONS AND DEPTHS OF EXISTING UTILITIES MUST BE FIELD VERIFIED, AND ANY DISCREPANCIES REPORTED BACK TO THE DESIGN PROFESSIONAL.
 - THE CONTRACTOR MUST PERFORM A ONE CALL (1-800-242-1776) AT LEAST THREE (3) WORKING DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ACT 287 - 1974, OR AS AMENDED WITH ACT 287.
 - THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE MATERIAL SPECIFICATIONS AND INSTALLATION, TRENCHING, AND BACKFILLING REQUIREMENTS OF THE UTILITY PROVIDERS.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY PROVIDERS. CONTRACTOR MUST NOTIFY UTILITY PROVIDER INSPECTORS AT LEAST 72 HOURS IN ADVANCE BEFORE CONNECTING TO ANY EXISTING UTILITY.
 - COORDINATE WITH THE GRADING PLAN AS NEEDED TO INSTALL ALL MANHOLES, METER LIDS, INLET GRATES. FLUSH WITH PROPOSED FINISH GRADES.
 - REFER TO THE ARCHITECTURAL/MEP DRAWINGS FOR BUILDING TIE-IN LOCATIONS OF ALL UTILITIES INCLUDING SITE LIGHTING CONDUIT.
 - CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS INCLUDING ALL FINISHED PAVEMENT, WATER LINE, SEWER LINE, OTHER UTILITIES AND STORMWATER DRAINAGE.
 - NO WORK SHALL BE PERFORMED BEYOND THE PERMITTED LIMIT OF DISTURBANCE.
 - CONNECTION TO THE PUBLIC SEWER LINES AND PUBLIC WATER SYSTEM IS REQUIRED.
 - ALL SANITARY SEWER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARDS OF SUSQUEHANNA TOWNSHIP, PENNSYLVANIA AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP ENGINEER.
 - ALL ELECTRIC AND TELEPHONE LINES, INCLUDING STREET LIGHTING, SHALL BE PLACED UNDERGROUND.

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3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA

UTILITY PLAN

LINLO MONTROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

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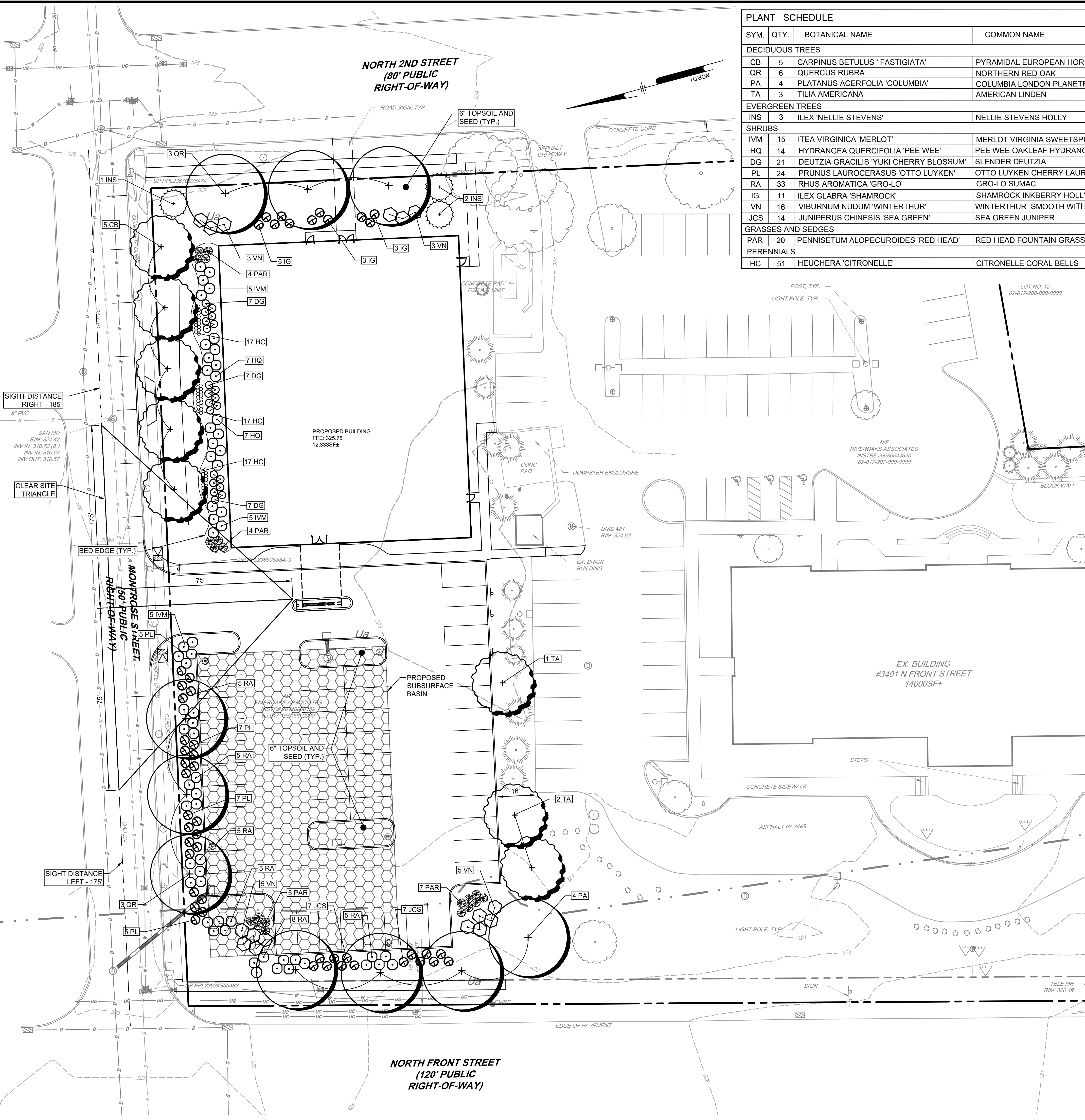
PROJECT	LINLO20003
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DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

CS1701

SHEET 7 OF 22

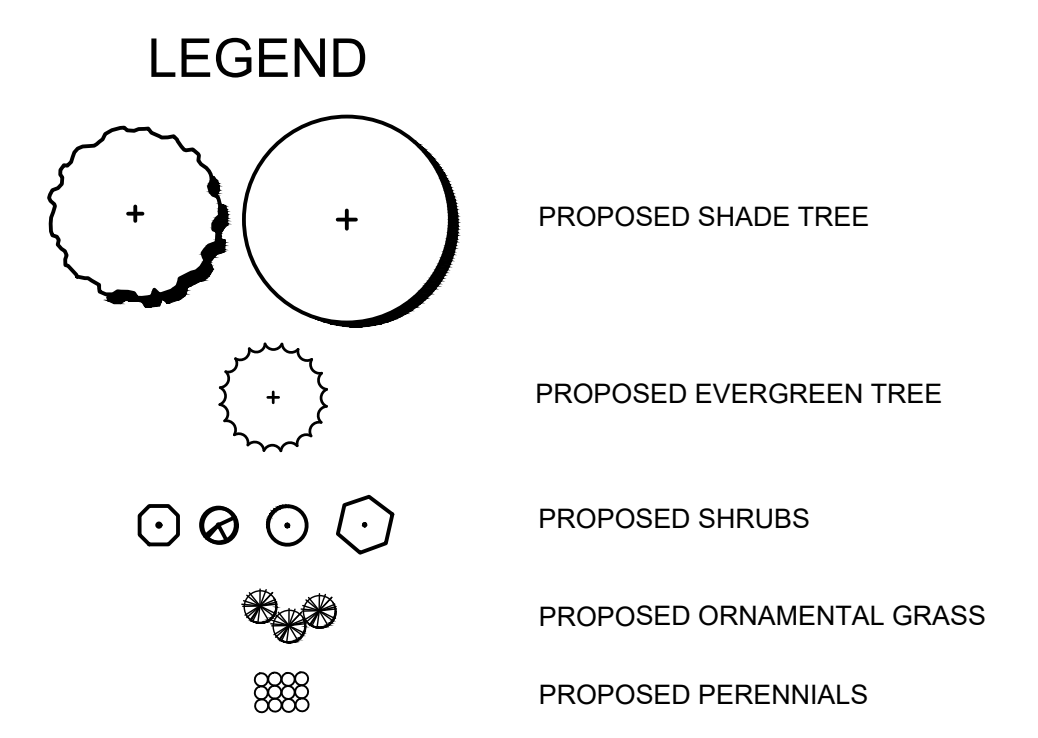
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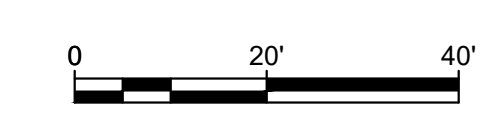


PLANT SCHEDULE							
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE	COMMENTS
DECIDUOUS TREES							
CB	5	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM	2.5-3" CAL.; 12-14' HGT.	B&B	35-40' HGT; 25-30' WD	FULL
QR	6	QUERCUS RUBRA	NORTHERN RED OAK	2.5-3" CAL.; 12-14' HGT.	B&B	40-60' HGT; 30-40' WD	FULL
PA	4	PLATANUS ACERIFOLIA 'COLUMBIA'	COLUMBIA LONDON PLANETREE	2.5-3" CAL.; 12-14' HGT.	B&B	40-60' HGT; 30-40' WD	FULL
TA	3	TILIA AMERICANA	AMERICAN LINDEN	2.5-3" CAL.; 12-14' HGT.	B&B	40-60' HGT; 30-40' WD	FULL
EVERGREEN TREES							
INS	3	ILEX 'NELLIE STEVENS'	NELLIE STEVENS HOLLY	6-7' HGT.	B&B	20-25' HGT; 10-12' WD	FULL; UNIFORM SPECIMENS
SHRUBS							
IVM	15	ITEA VIRGINICA 'MERLOT'	MERLOT VIRGINIA SWEETSPIRE	18 - 24" HGT.	#3 CONT.	3-4' HGT; 3-4' WD	FULL; 4.5' SPACING
HQ	14	HYDRANGEA QUERCIFOLIA 'PEE WEE'	PEE WEE OAKLEAF HYDRANGEA	24 - 30" HGT.	#3 CONT.	3-4' HGT; 3-4' WD	FULL; 4' SPACING
DG	21	DEUTZIA GRACILIS 'YUKI CHERRY BLOSSOM'	SLENDER DEUTZIA	24 - 30" HGT.	#3 CONT.	2-3' HGT; 2-3' WD	FULL; 3' SPACING
PL	24	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	30 - 36" HGT.	#5 CONT.	3' HGT; 5-6' WD	FULL; 4.5' SPACING
RA	33	RHUS AROMATICA 'GRO-LO'	GRO-LO SUMAC	18 - 24" HGT.	#3 CONT.	2-3' HGT; 5-6' WD	FULL; 4' SPACING
IG	11	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24 - 30" HGT.	#3 CONT.	3-4' HGT; 3-4' WD	FULL; 4.5' SPACING
VN	16	VIBURNUM NUDUM 'WINTERHUR'	WINTERHUR SMOOTH WITHEROD	30 - 36" HGT.	#5 CONT.	6-7' HGT; 6-7' WD	FULL; 6' SPACING
JCS	14	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	30 - 36" HGT.	#5 CONT.	5-6' HGT; 5-6' WD	FULL; 4.5' SPACING
GRASSES AND SEDGES							
PAR	20	PENNISETUM ALOPECUROIDES 'RED HEAD'	RED HEAD FOUNTAIN GRASS	15-18" HGT.	#3 CONT.	3' HGT; 3' WD	3' O.C. SPACING
PERENNIALS							
HC	51	HEUCHERA 'CITRONELLE'	CITRONELLE CORAL BELLS	8-12" HGT.	#1 CONT.	15" HGT; 15" WD	18" O.C. SPACING

LANDSCAPE COMPLIANCE SUMMARY			
CODE REF.	DESCRIPTION	REQUIRED QTY	PROVIDED QTY
27-2106 (5)	BUFFER YARDS AND SCREENING		
	MINIMUM BUFFER WIDTH: 15 FT. ADJACENT TO RESIDENTIAL ZONE OR USE MINIMUM SCREENING: 1 SHADE TREE PER 50 LINEAR FEET AND 1 EVERGREEN TREE PER 40 LINEAR FEET OF BUFFER YARD SCREEN	3 EVERGREEN AND 3 SHADE TREES BASED ON 125 LF FRONTAGE	3 EVERGREEN AND 3 SHADE TREES
INTERIOR PARKING LOT LANDSCAPING			
27-2306 (3)D	ONE (1) SHADE TREE PER ISLAND	3 SHADE TREES	3 SHADE TREES
STREET TREES			
22-1009 (3)	ONE (1) SHADE TREE FOR EVERY 40 LF OF RIGHT-OF-WAY	12 SHADE TREES BASED ON 451 L.F. OF R.O.W.	12 SHADE TREES
PARKING BUFFER			
27-2306	40% OF PARKING BUFFER AREA SHALL BE LANDSCAPED	2680 SF OF PARKING BUFFER x 0.40 = 1072 SF	1170 SF BASED ON 48 LARGE SHRUBS 38 SMALL SHRUBS 12 GRASSES



SEE SHEET CS6061 FOR LANDSCAPE DETAILS AND NOTES



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3405 AND 3401 NORTH FRONT STREET
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA

LANDSCAPE PLAN

LINLO MONROSE PARK, LLC
150 CORPORATE CIRCLE, SUITE 100
CAMP HILL, PENNSYLVANIA 17011

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DATE: 2021-03-05
DRAWING SCALE: AS NOTED
DRAWN BY: CRH/TLR
APPROVED BY: PGD

CS2001

SHEET 8 OF 22

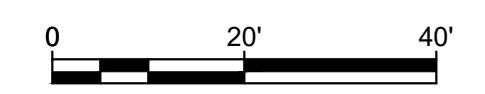
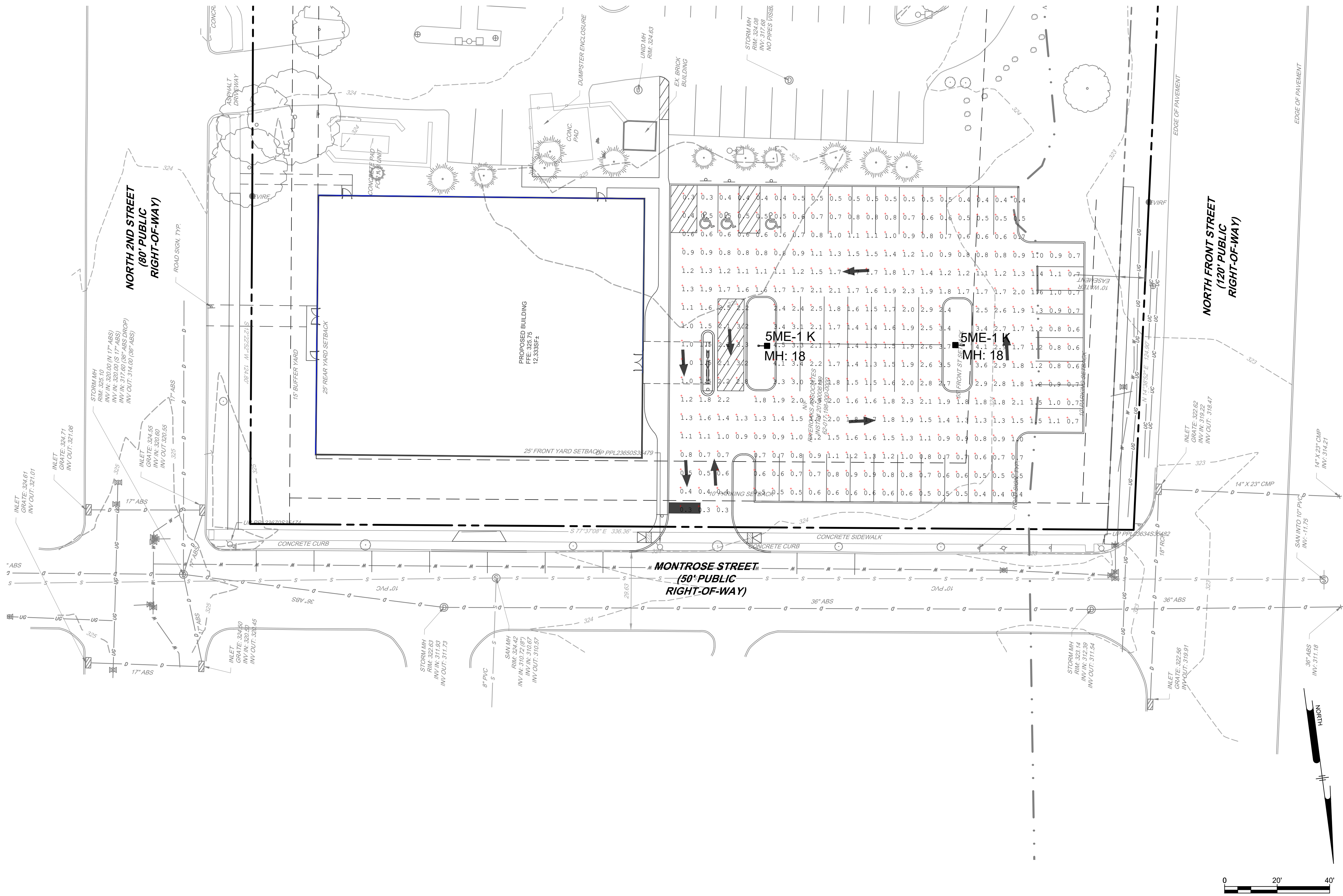
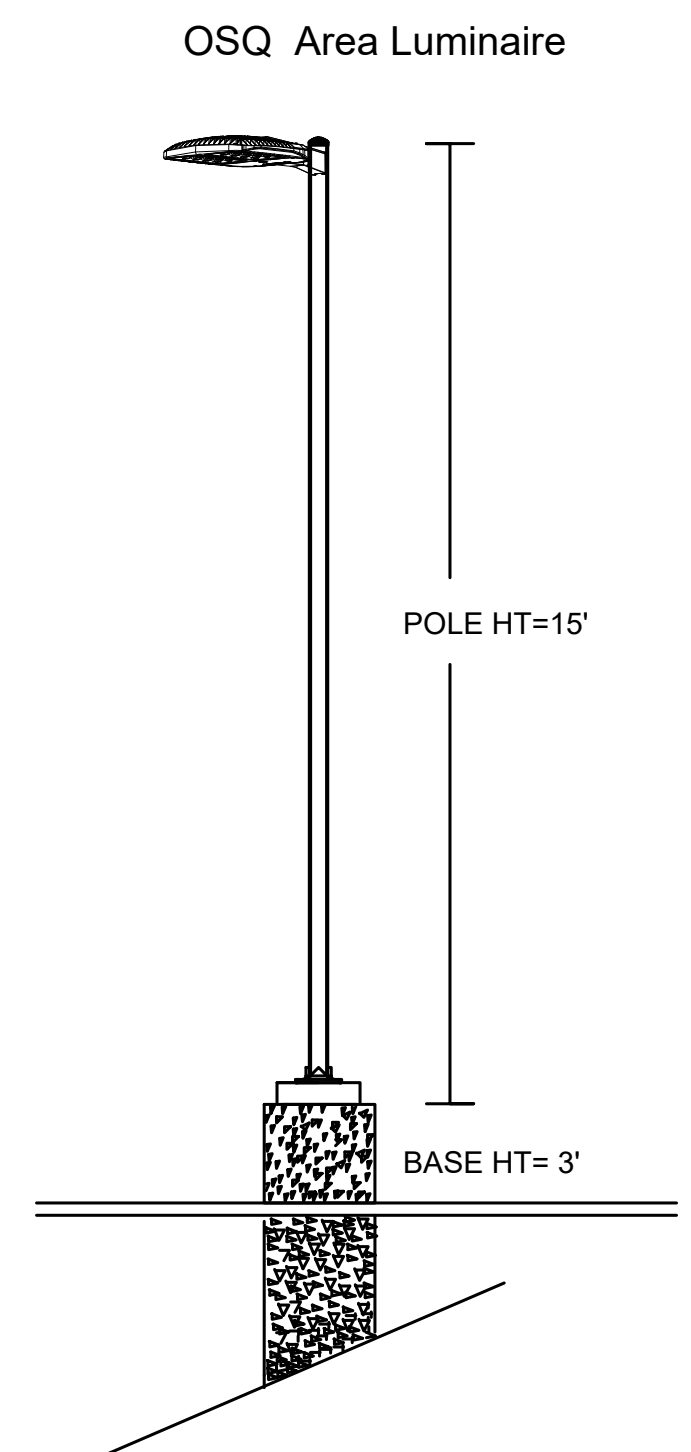
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number	BUG Rating
	2	5ME-1 K	SINGLE	1.030	15999	130	OSQ-A-NM-5ME-K-40K-UL-XX w/OSQ-DAXX	B4-U0-G4

Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED AREA	Fc	1.33	4.5	0.3	4.43	15.00

Pole Schedule
 (1) SSS-4-11-15-CW-BS-1D-C-xx (15' X 4" X 11ga STEEL SQUARE POLE)
 Proposed poles meet 140 MPH sustained winds.

Additional Equipment:
 (2) OSQ-DAXX (DIRECT ARM MOUNT)

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



Pennoni
 PENNONI ASSOCIATES, INC.
 5072 Ritter Road, Suite 102
 Mechanicsburg, PA 17055
 T 717.975.6481 F 717.975.6480

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA
LIGHTING PLAN
 LINLO MONTEPOSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

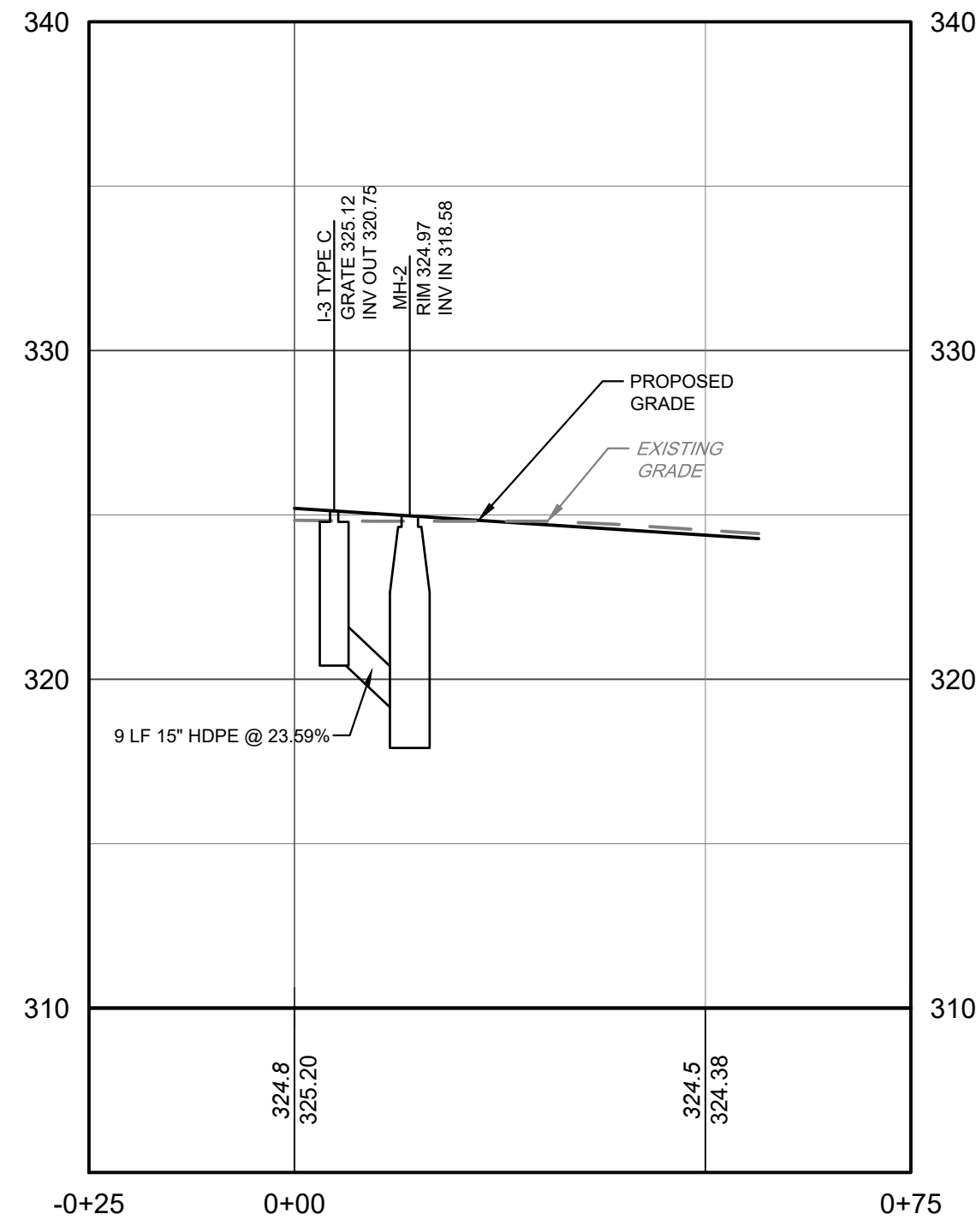
NO.	DATE	REVISIONS	BY

PROJECT: LINLO20003
 DATE: 2021-03-05
 DRAWING SCALE: AS SHOWN
 DRAWN BY: CRH/TLR
 APPROVED BY: PGD

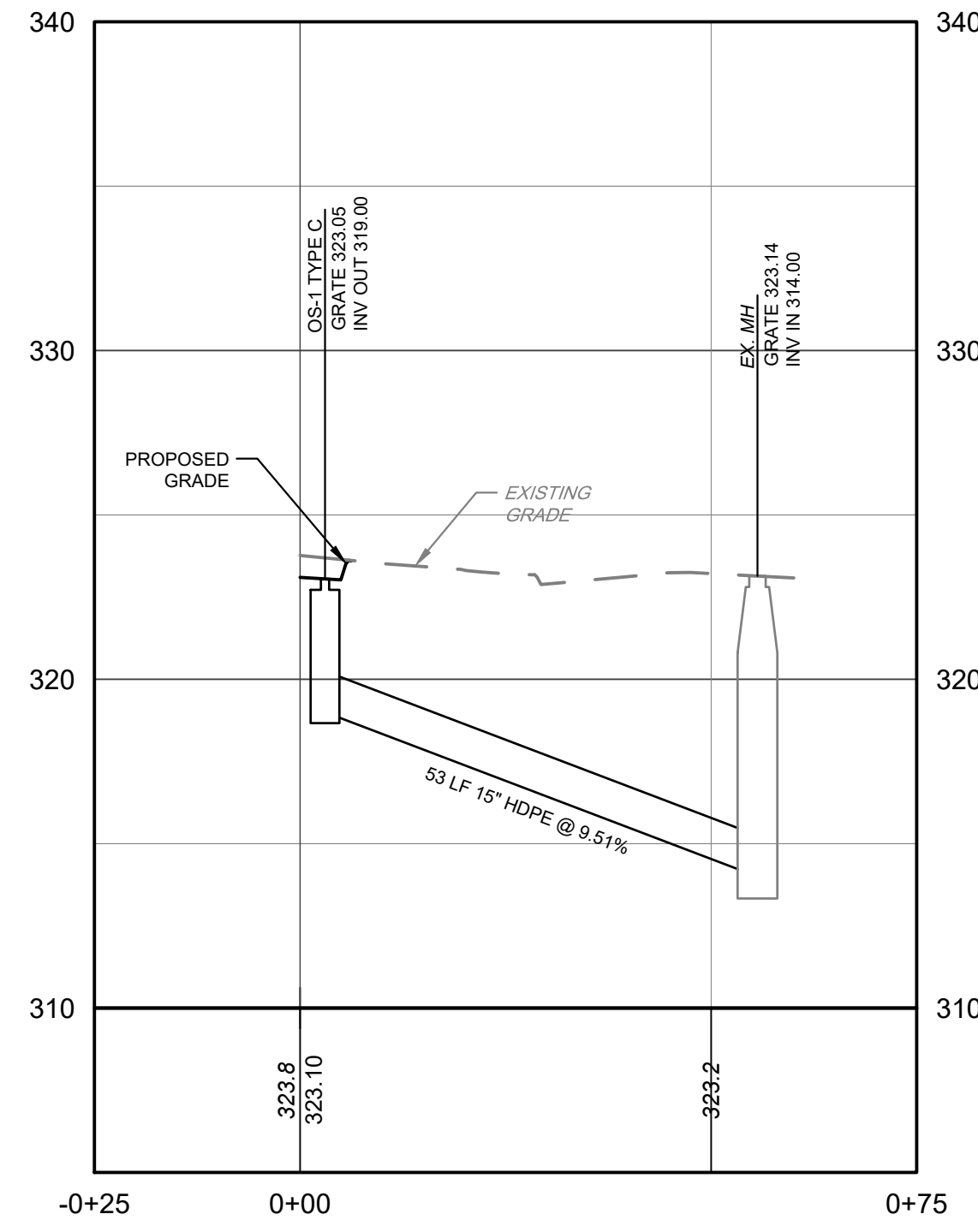
CS2201
 SHEET 9 OF 22

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 PLOTTED: 4/20/21 1:52 PM BY: J. Pennington PLOTFILE: Pennington.dwg

U:\Projects\LINLO\020003 - 3405 N. Front Street\CS4001_SHEET\CS4001.dwg PLOT STYLE: Pennant\CS4001.ctb PROJECT: ST16165



I-3 TO MH-2
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 5'



OS-1 TO EX INLET
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 5'



PENNONI ASSOCIATES INC.
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 AND OWNER MUST BE NOTIFIED OF ANY
 DISCREPANCIES BEFORE PROCEEDING WITH WORK



3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA

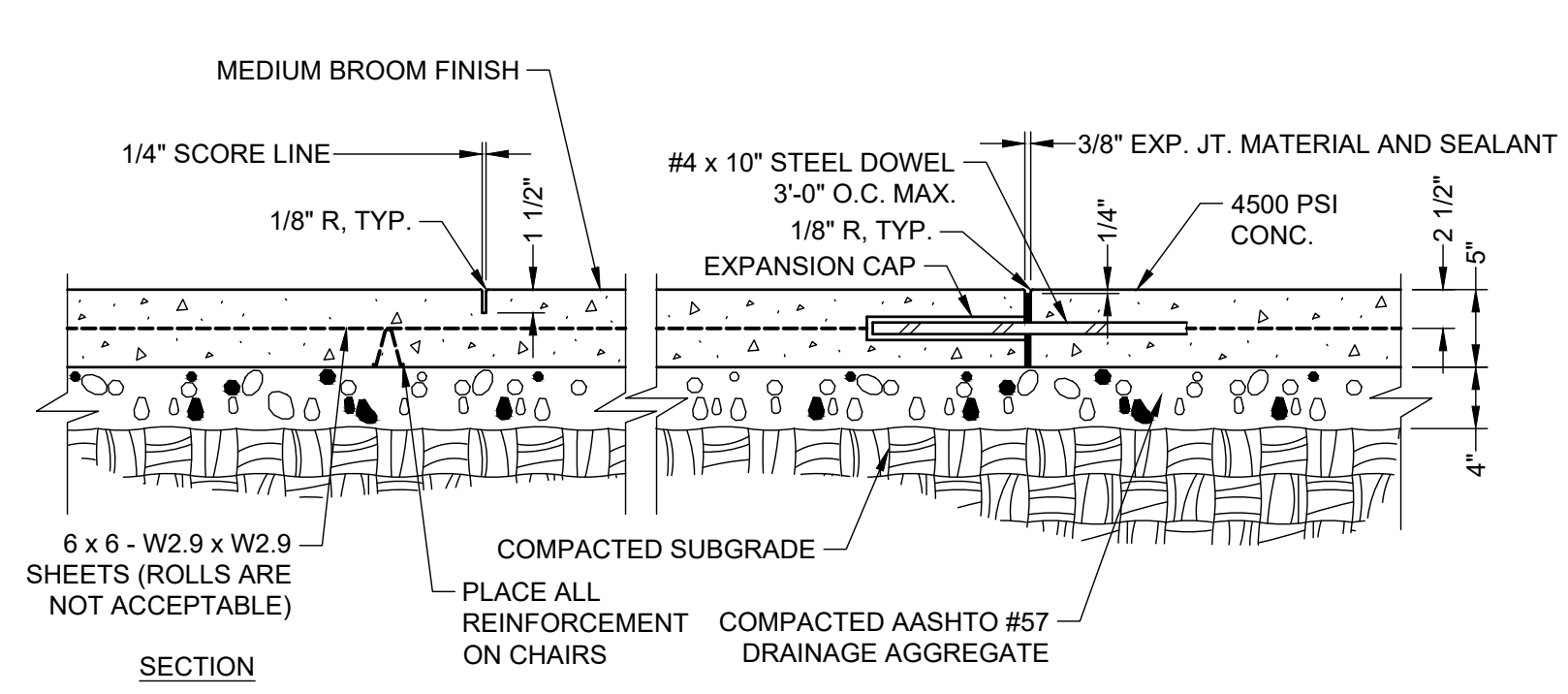
STORM SEWER PROFILES

LINLO MONTROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

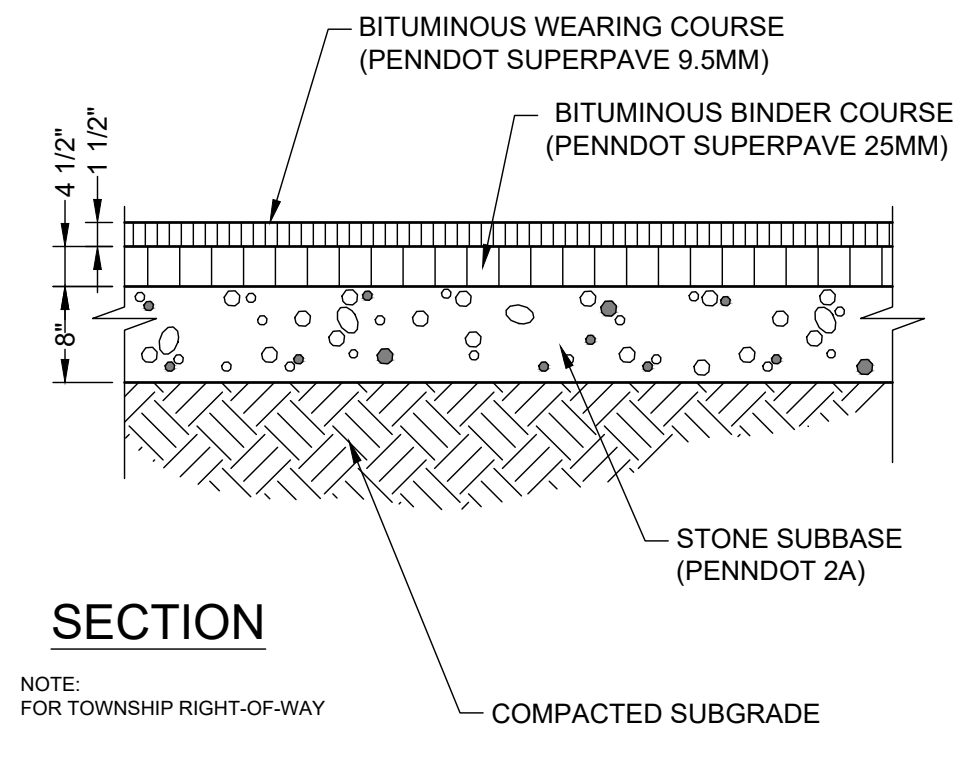
DATE	NO.	REVISIONS	BY

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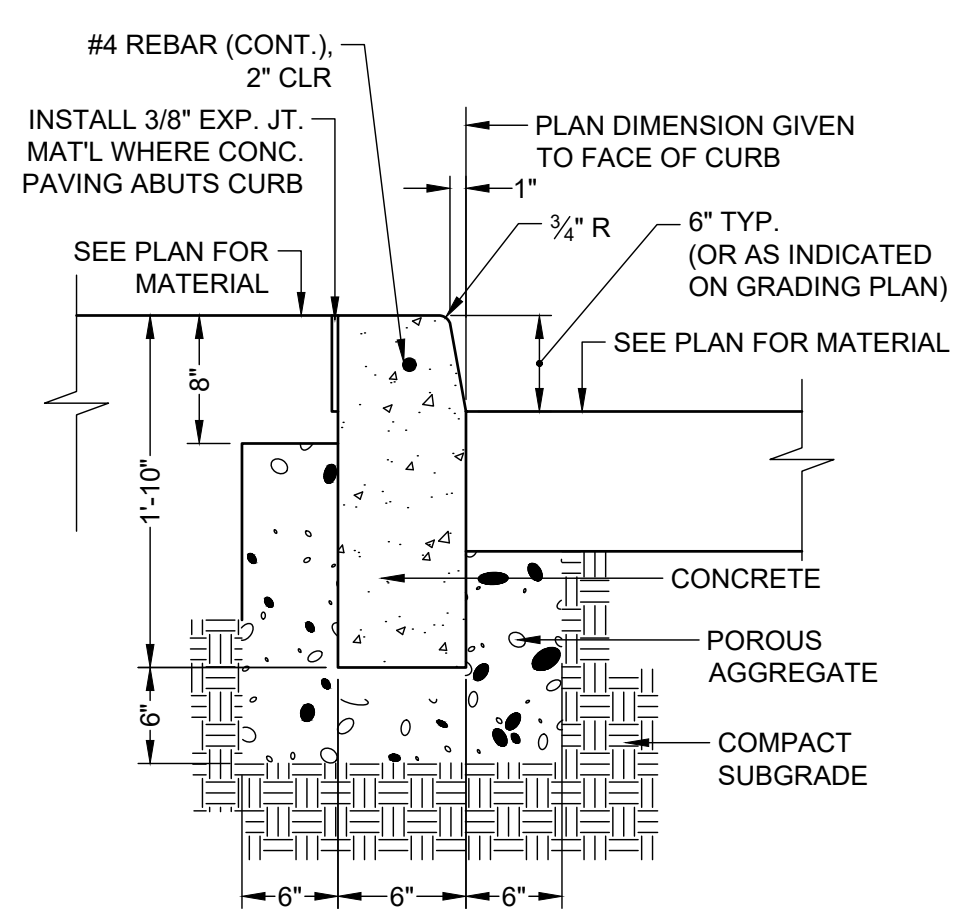
PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD



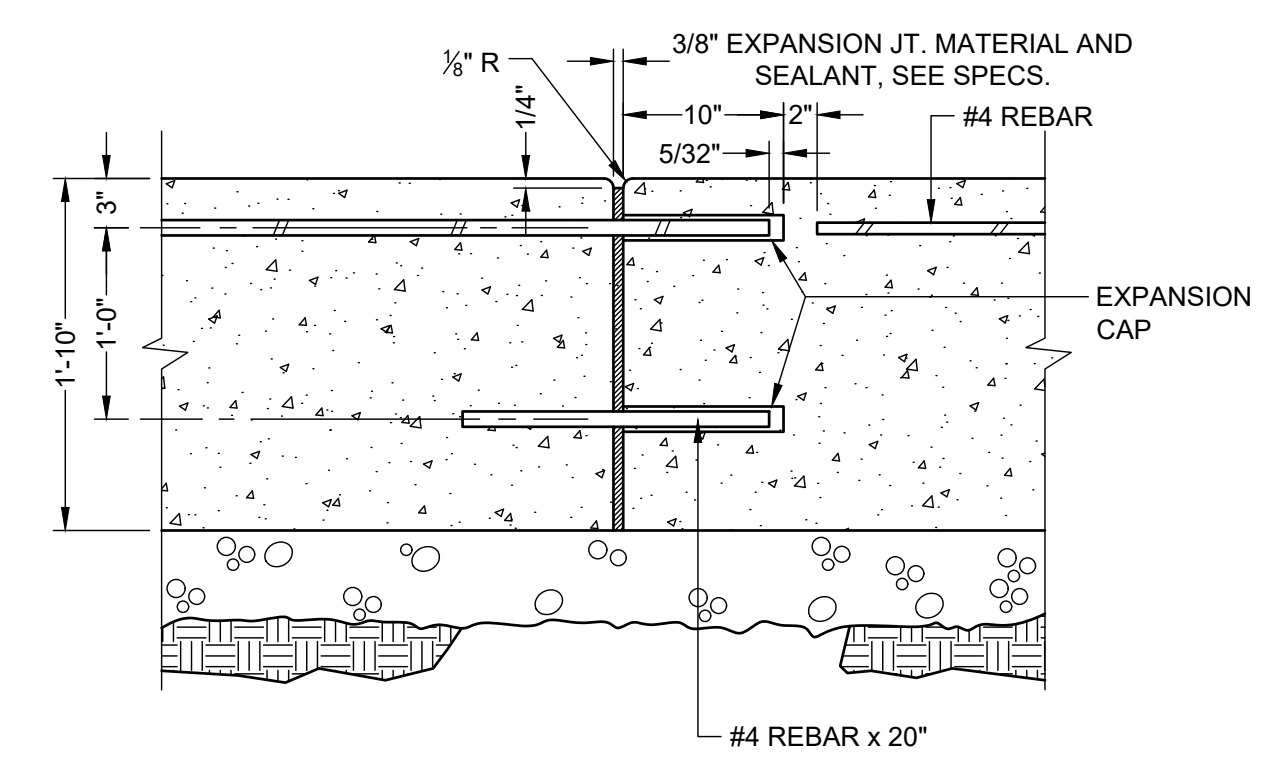
REGULAR DUTY CONCRETE PAVING
NOT TO SCALE



REGULAR DUTY BITUMINOUS PAVING
NOT TO SCALE

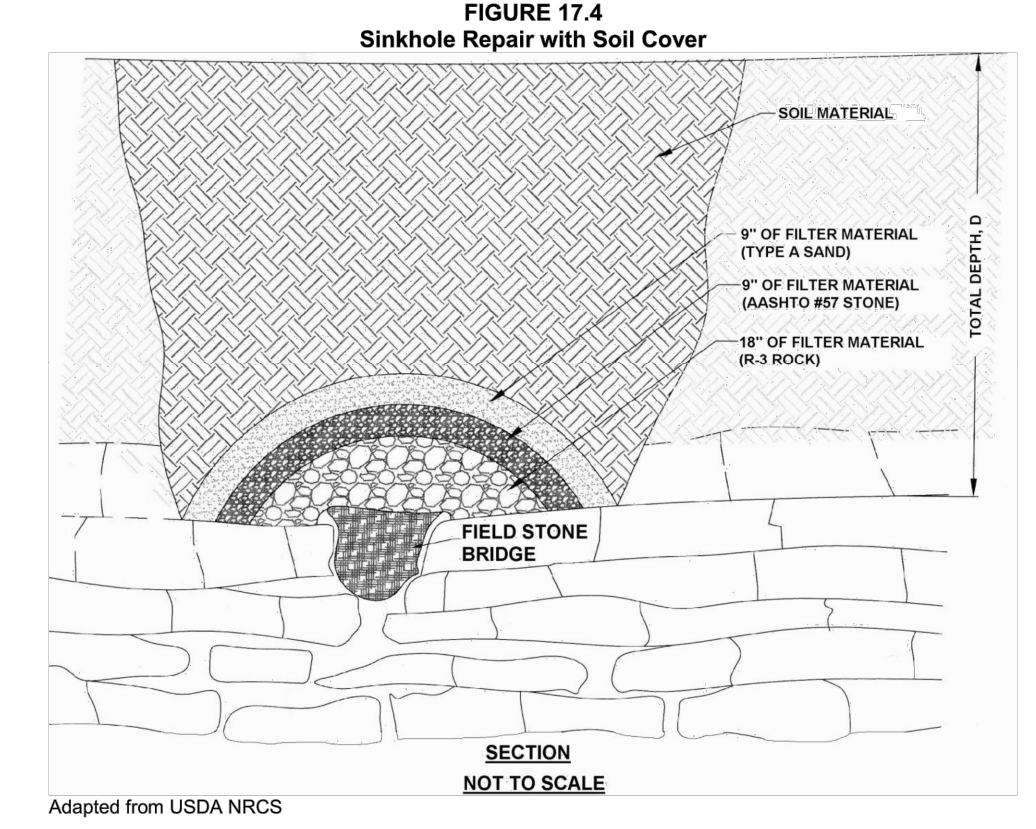


STANDARD CONCRETE CURB
NOT TO SCALE



FLUSH CONCRETE CURB
NOT TO SCALE

NOTE:
ANY SINKHOLES ENCOUNTERED DURING CONSTRUCTION SHOULD BE REMEDIATED ON A CASE-BY-CASE BASIS. THE GEOTECHNICAL ENGINEER SHOULD BE CONTACTED FOR SITE-SPECIFIC RECOMMENDATIONS IF SINKHOLES ARE OBSERVED. ANY SINKHOLES THAT ARE ENCOUNTERED DURING SITE DEVELOPMENT SHOULD BE REMEDIATED BY CONSTRUCTING AN INVERTED ROCK FILTER PER THE DETAIL SHOWN ON THIS SHEET.



Adapted from USDA NRCS

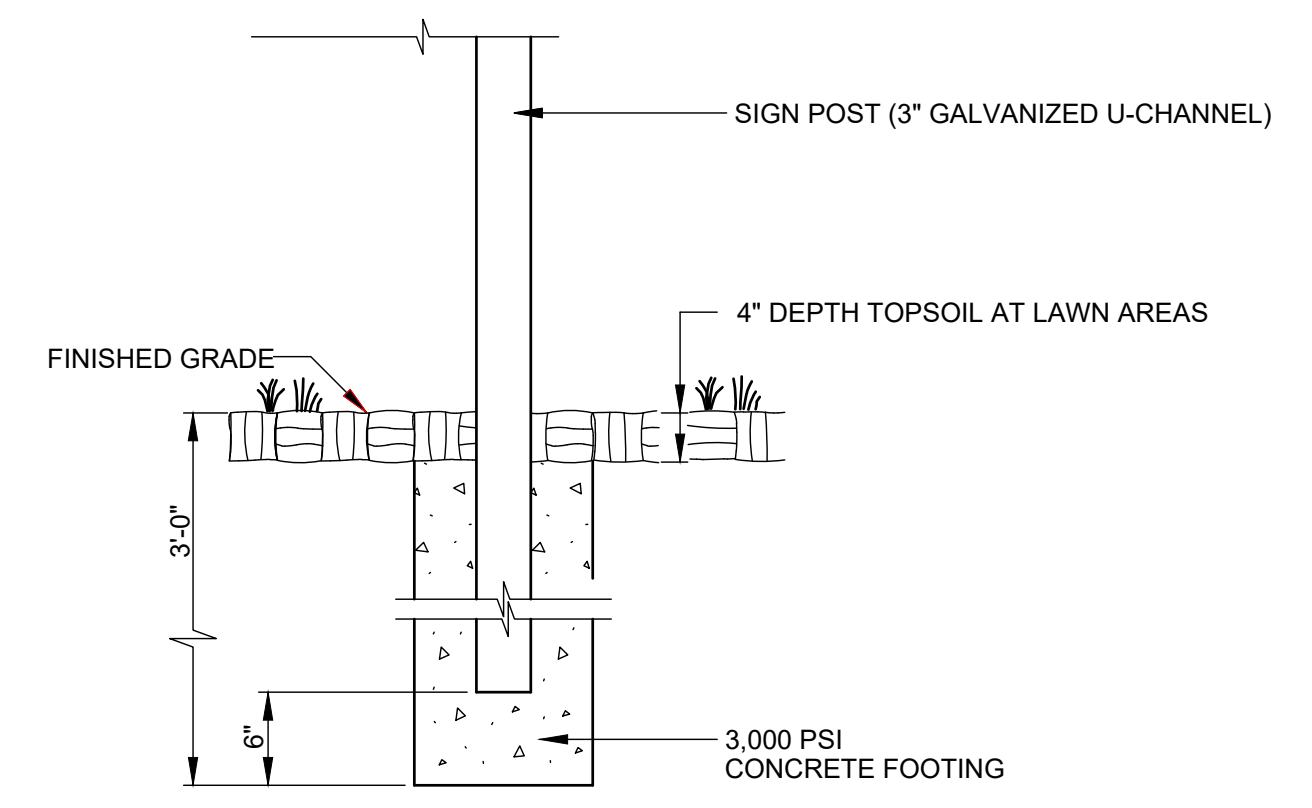
Loose material shall be excavated from the sinkhole and expose solution void(s) if possible. Enlarge sinkhole if necessary to allow for installation of filter materials. OSHA regulations must be followed at all times during excavation.

Select field stone(s) about 1.5 times larger than solution void(s) to form "bridges." Place rock(s) so no large openings exist along the sides. Stones used for the "bridge" and filters shall have a moderately hard rock strength and be resistant to abrasion and degradation. Shale and similar soft and/or non-durable rock are not acceptable.

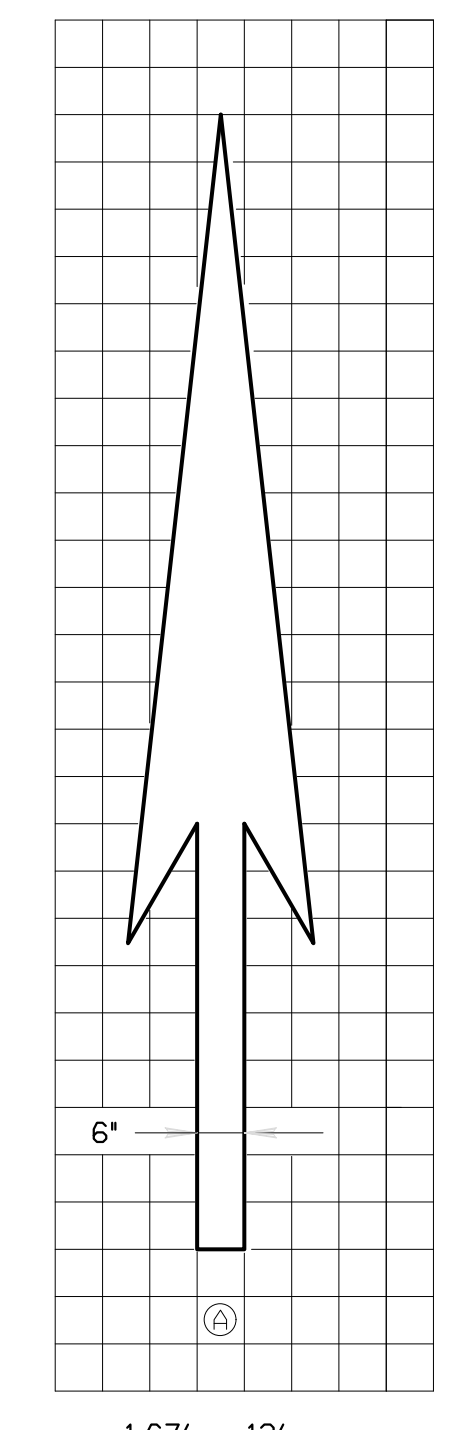
Minimum thickness of R-3 rock is 18." AASHTO #57 stone thickness shall be a minimum of 9" thick. Minimum thickness of type A sand shall be 9". NOTE: A non-woven geotextile with a burst strength between 100 and 200 psi may be substituted for the AASHTO#57 stone and type A sand.

Soil shall be mineral soil with at least 12% fines and overfilled by 5% to allow for settlement. Suitable soil from the excavation may be used. Any available topsoil shall be placed on top surface.

SINKHOLE REMEDIATION
NOT TO SCALE



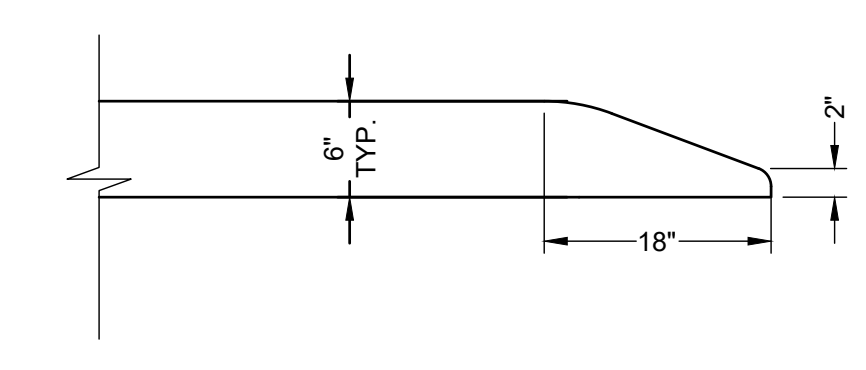
SIGN POST FOOTING
NOT TO SCALE



ARROW	QUANTITY FOR PAVEMENT MARKING REMOVAL
(A)	13 FT ²

MARKING ARROWS

PAVEMENT MARKING ARROW
NOT TO SCALE



CONCRETE CURB NOSE DOWN
NOT TO SCALE

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3405 AND 3401 NORTH FRONT STREET
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA

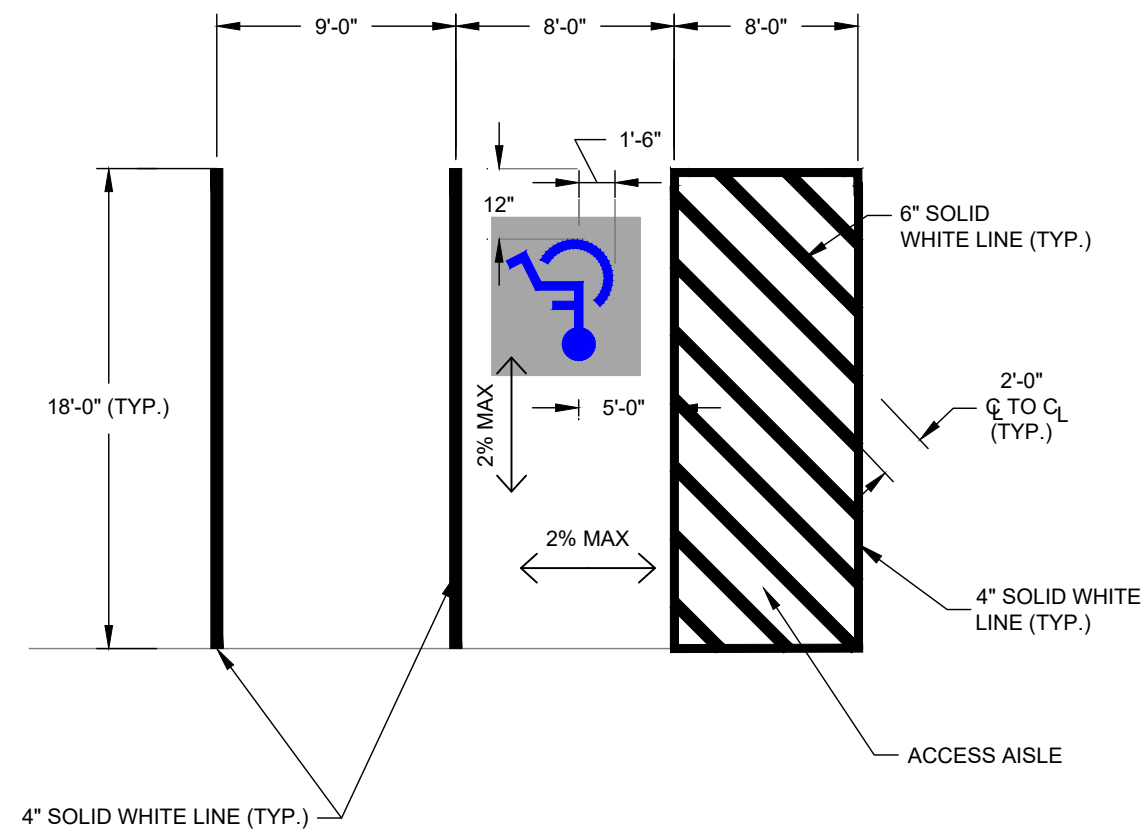
SITE DETAILS

LINLO MONROSE PARK, LLC
150 CORPORATE CIRCLE, SUITE 100
CAMP HILL, PENNSYLVANIA 17011

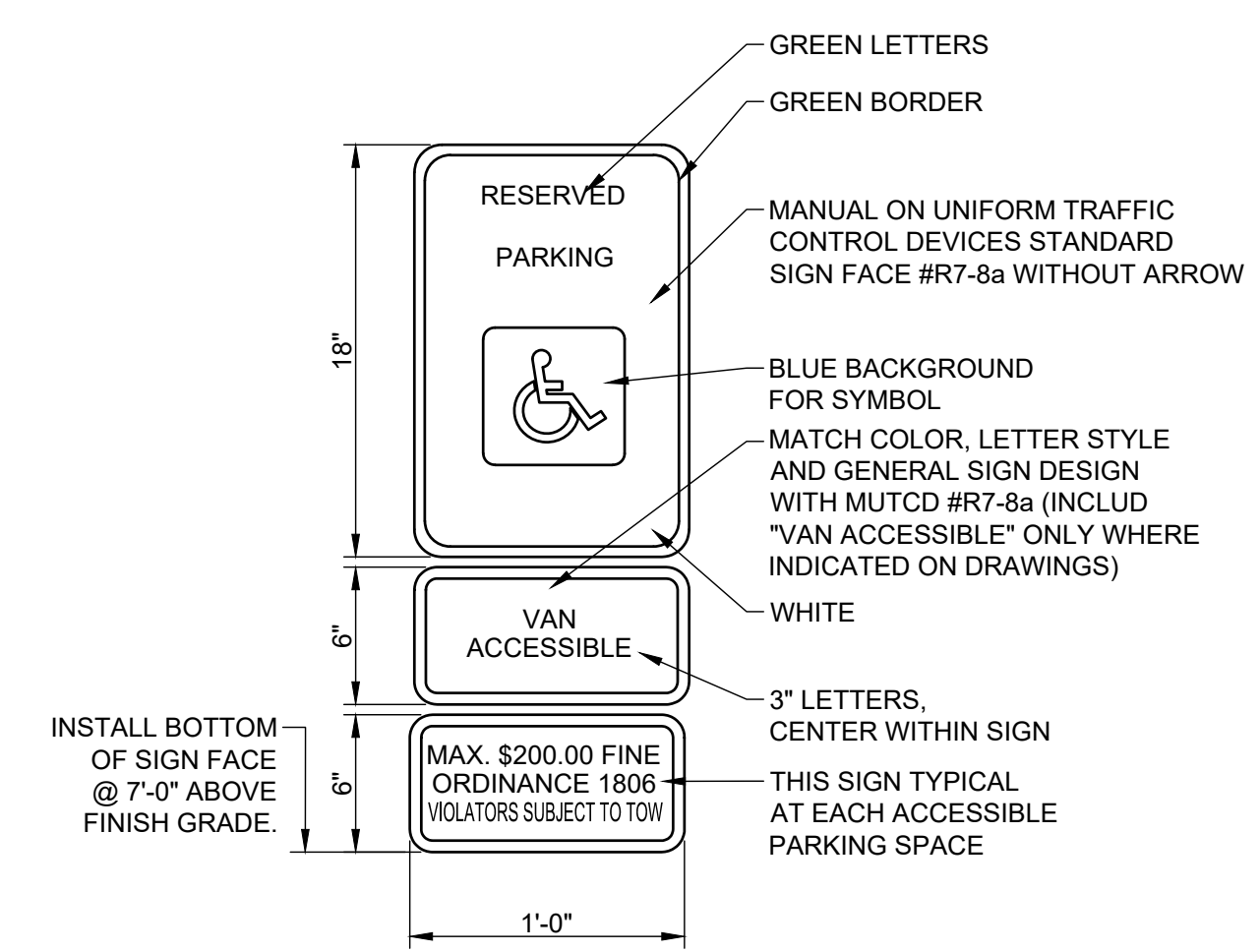
NO.	DATE	REVISIONS	BY

PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD
CS6001	
SHEET	11 OF 22

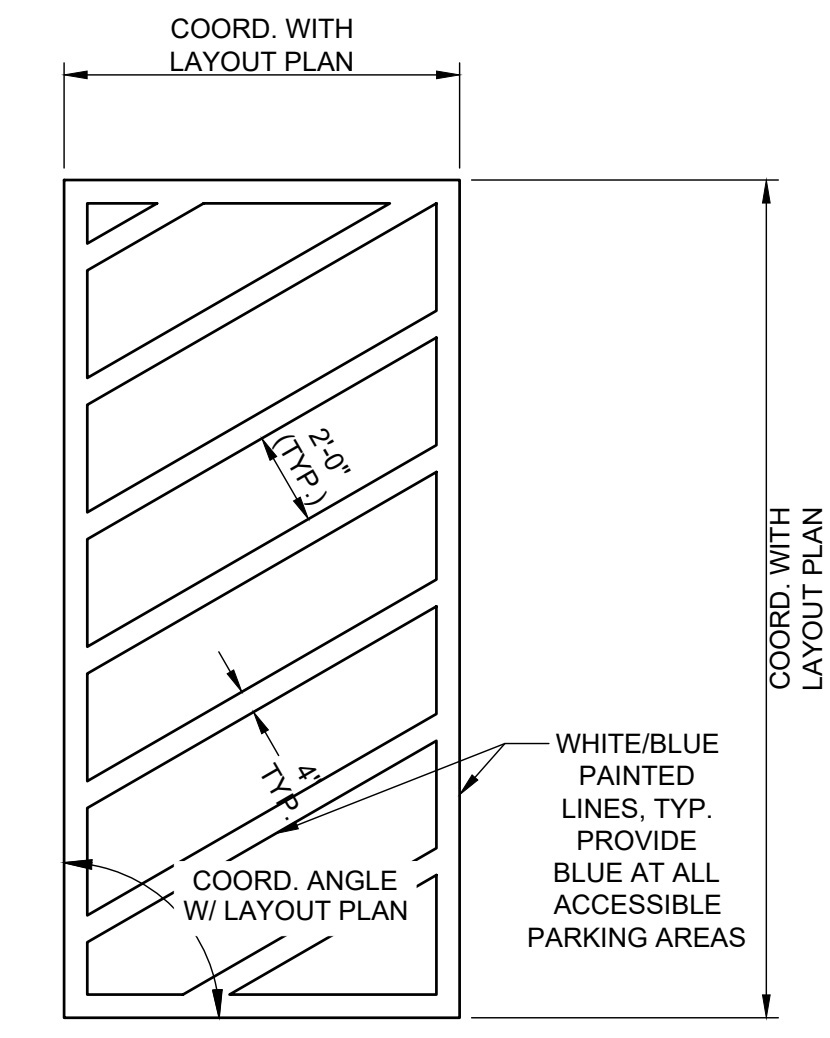
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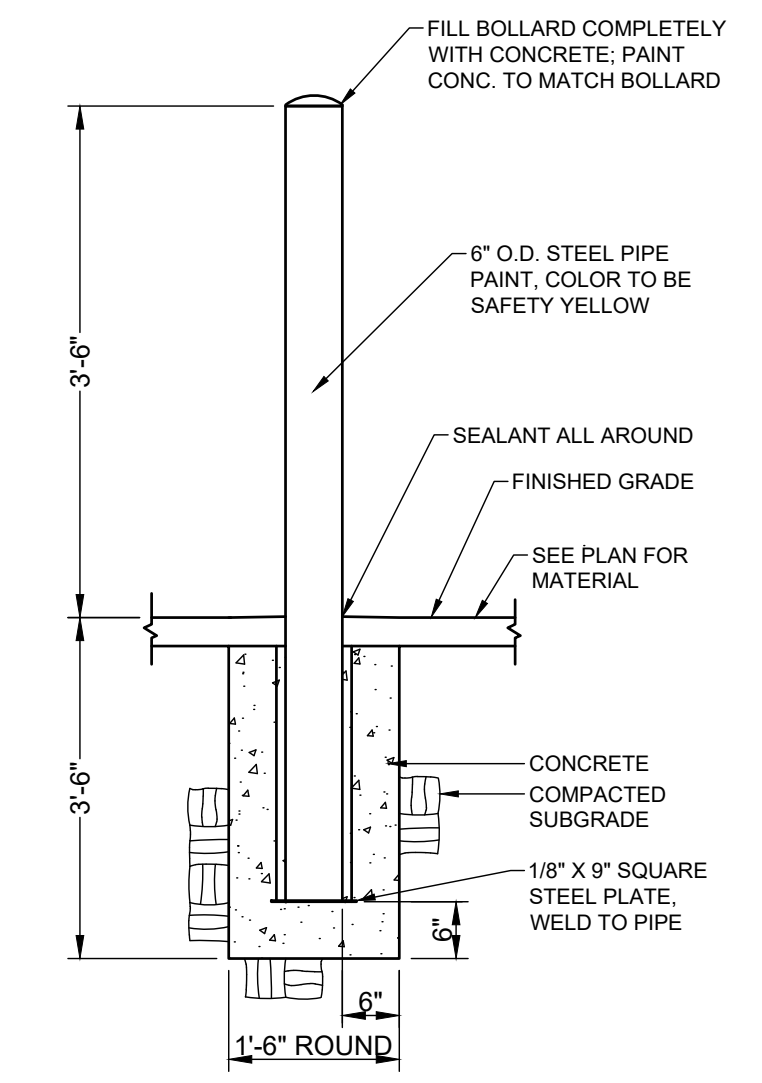
STALLS AND ADA PARKING STRIPING
NOT TO SCALE



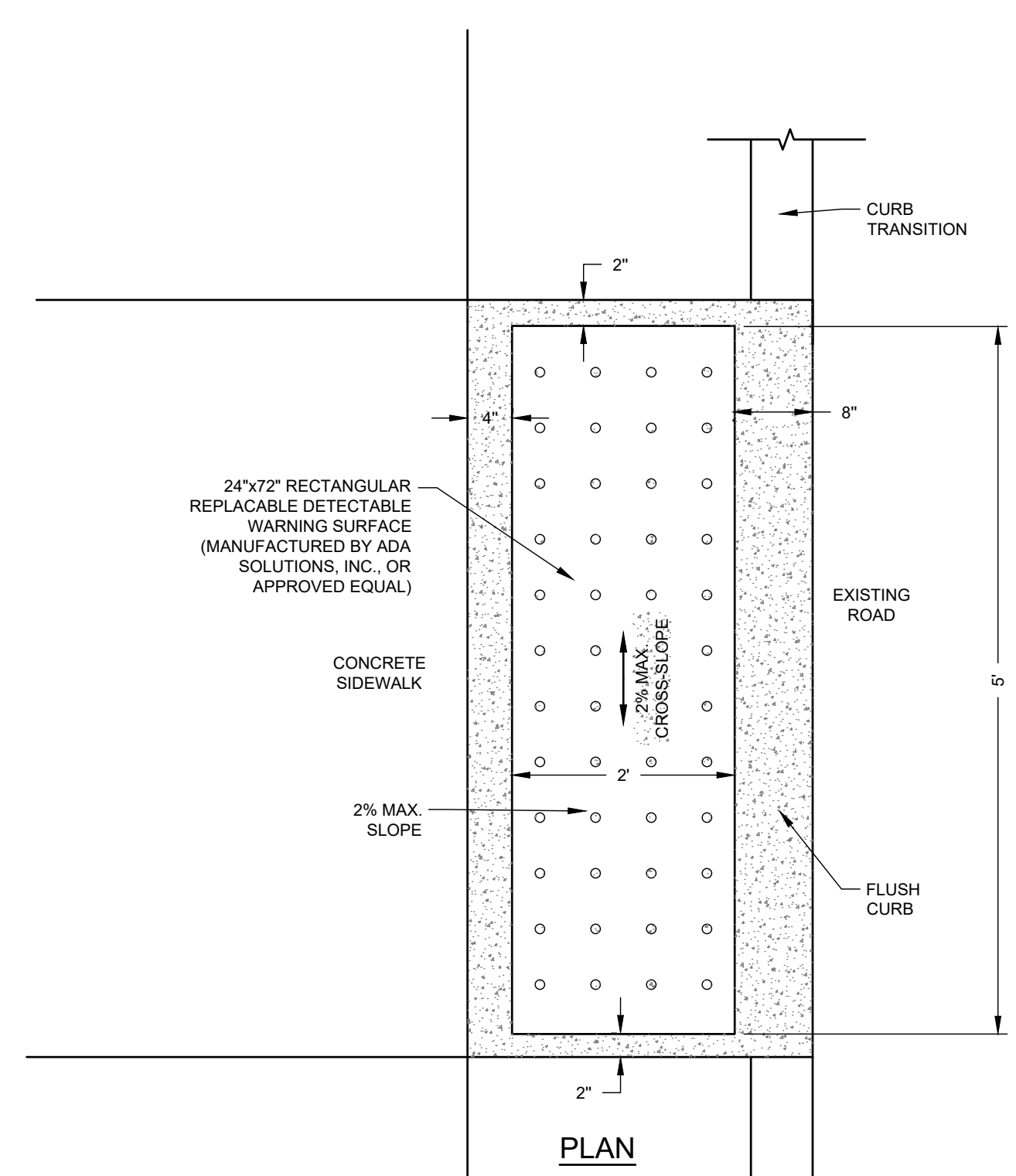
ADA PARKING SIGN



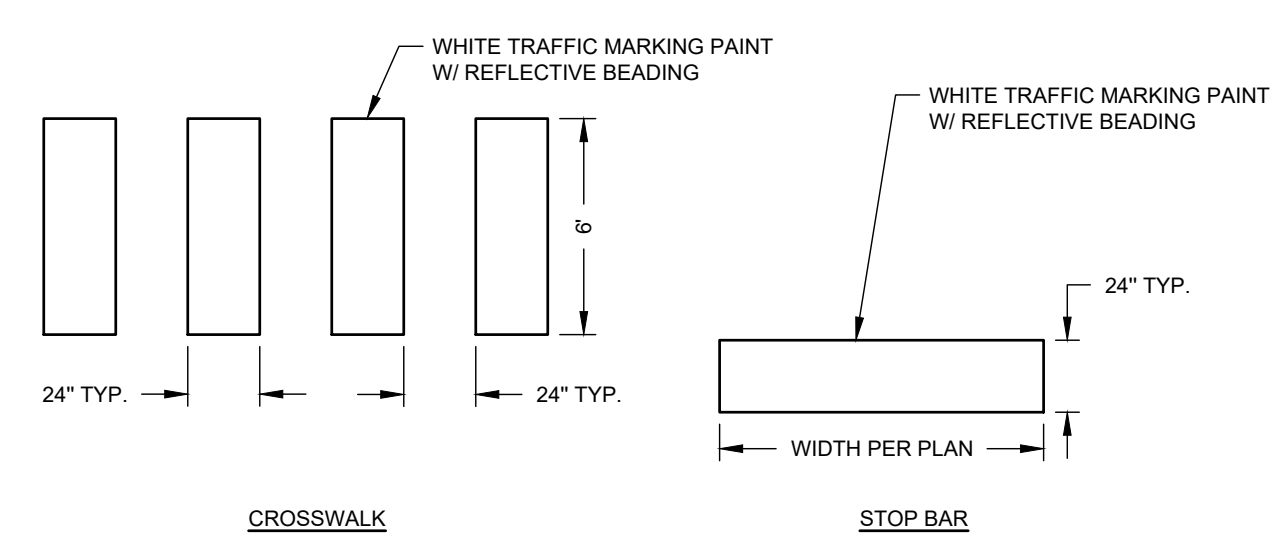
PAVEMENT LINE STRIPING
NOT TO SCALE



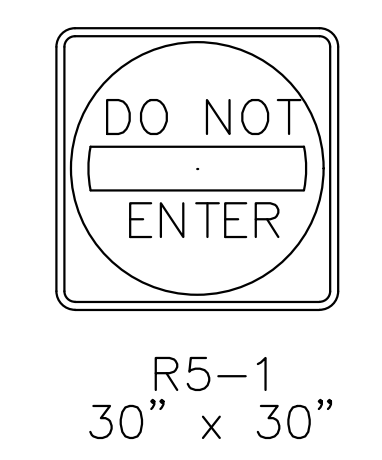
BOLLARD
NOT TO SCALE



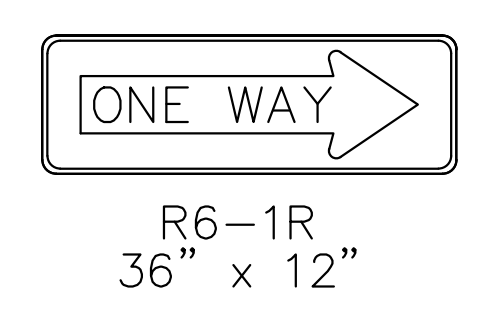
(DWS) DETECTABLE WARNING SURFACE - STANDARD
NOT TO SCALE



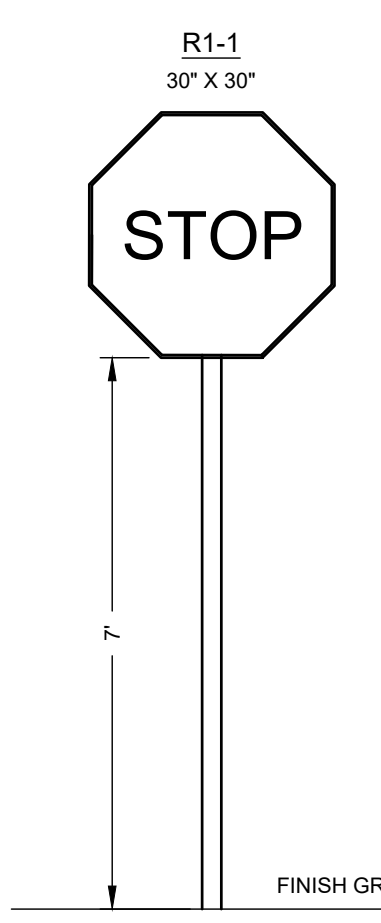
PAINTED CROSS WALKS AND STOP BARS
NOT TO SCALE



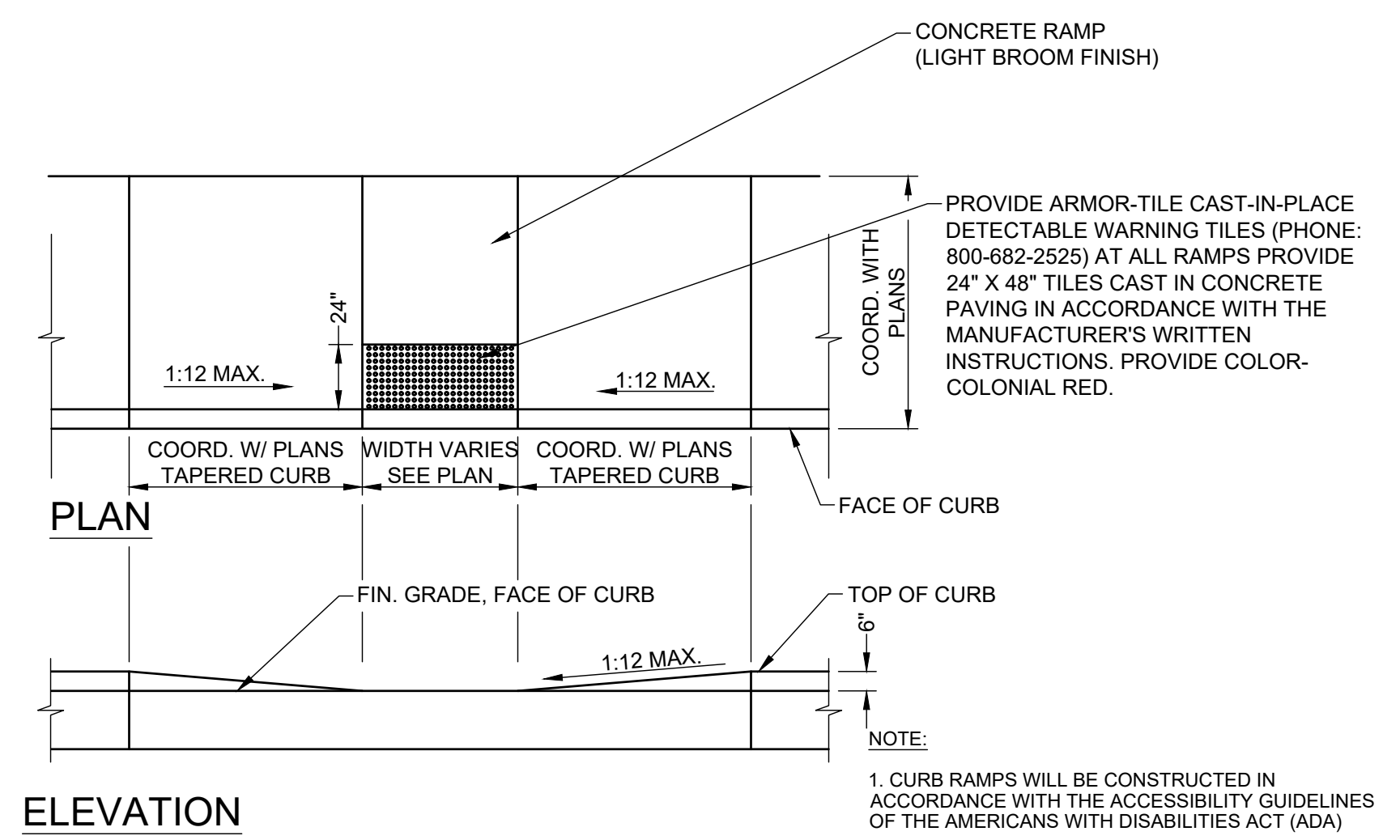
DO NOT ENTER SIGN
NOT TO SCALE



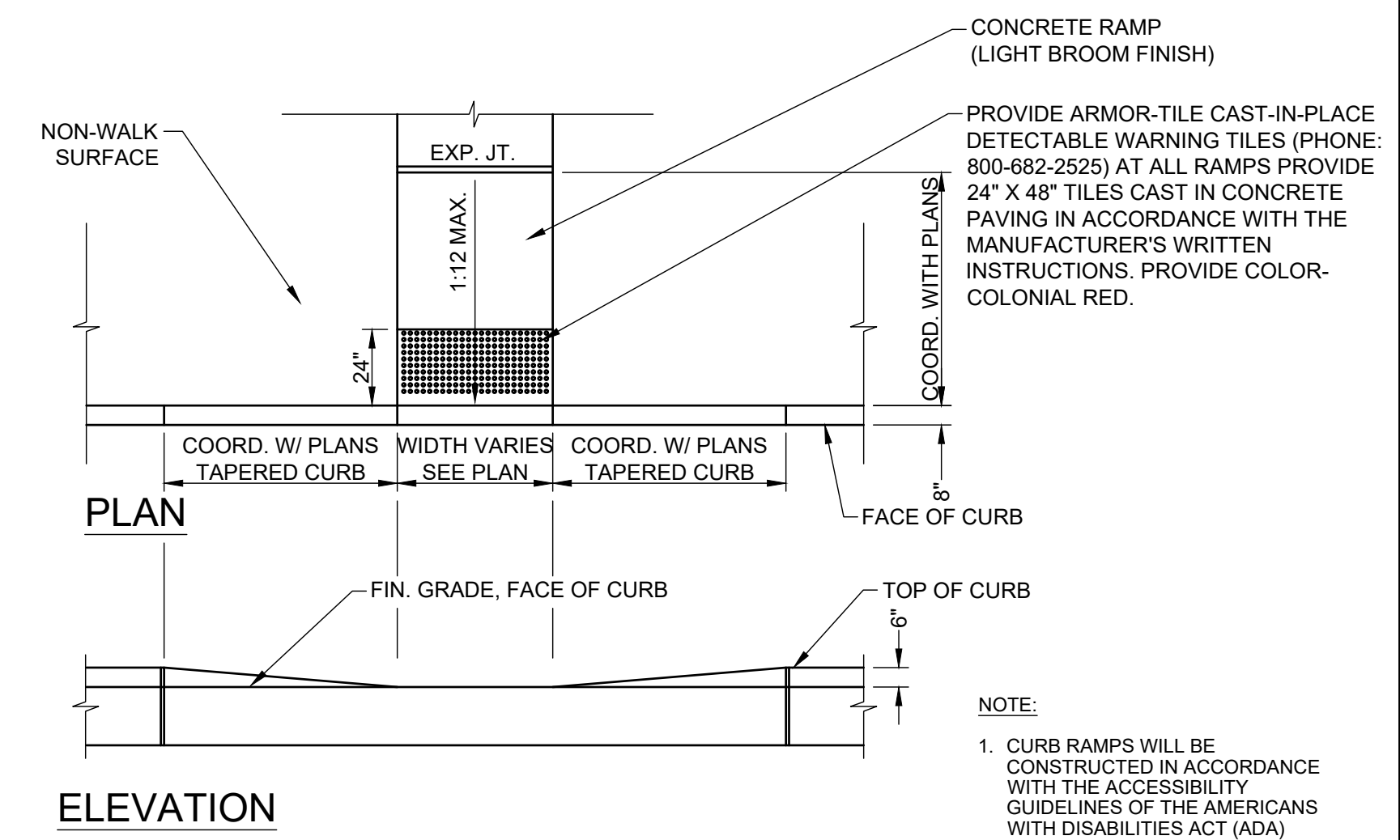
ONE WAY SIGN
NOT TO SCALE



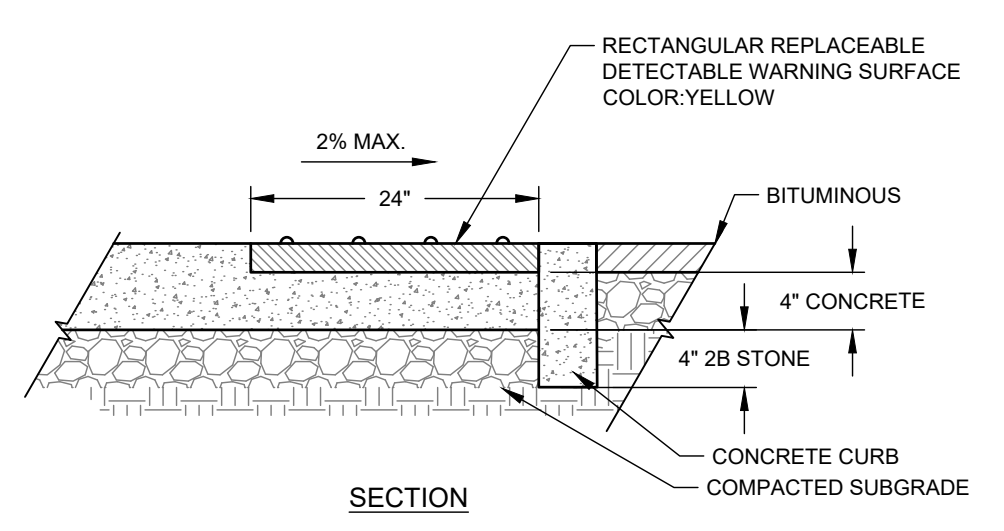
STANDARD STOP SIGN DETAIL
NOT TO SCALE



TYPE 1 CURB RAMP
NOT TO SCALE



TYPE 2 CURB RAMP
NOT TO SCALE



NO.	DATE	REVISIONS	BY

U:\Projects\LINLO\LINLO20003 - 3405 N. Front Street\DESIGN_SHEETS\CS6002.dwg PLOT FILE: Penmon1\CS6002.dwg PROJECT STATUS: FOOTED: 4/20/21 1:53 PM BY: J. Pennington



PENNONI ASSOCIATES INC.
 5072 Ritter Road, Suite 102
 Mechanicsburg, PA 17055
 T 717.975.6481 F 717.975.6480

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3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA

UTILITY DETAILS

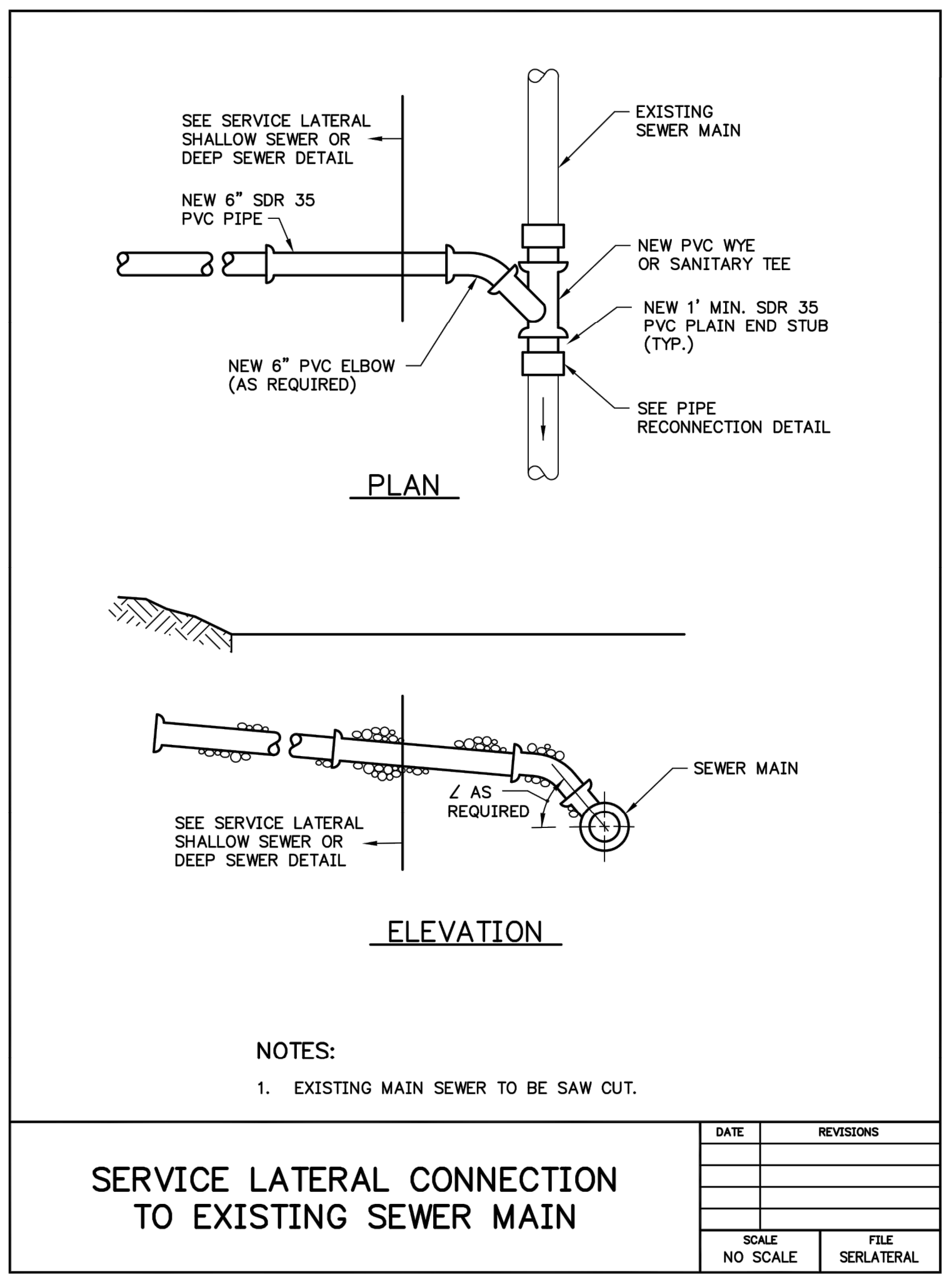
LINLO MONTRÖSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

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PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

CS6041
 SHEET 13 OF 22

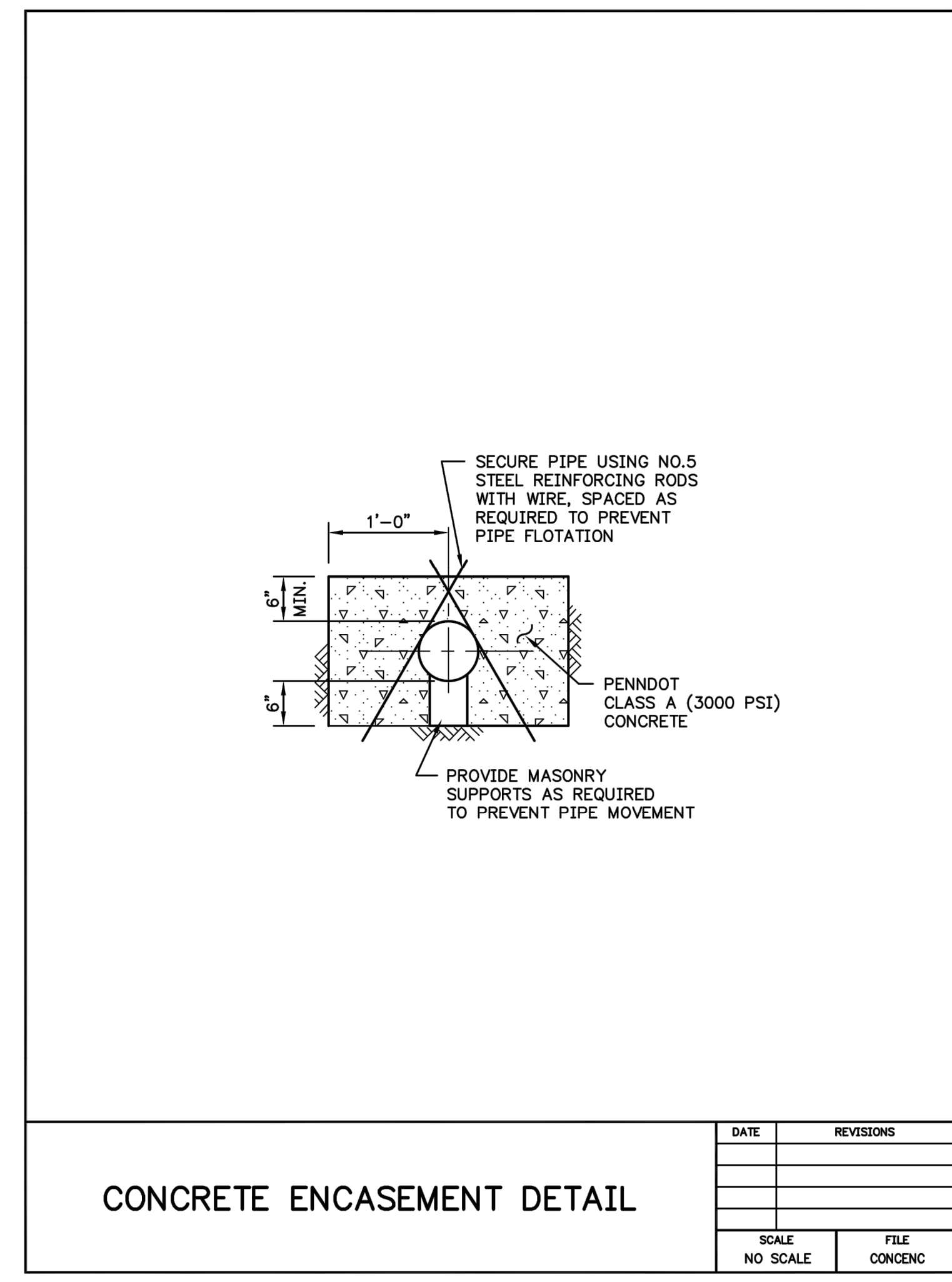


NOTES:
 1. EXISTING MAIN SEWER TO BE SAW CUT.

SERVICE LATERAL CONNECTION TO EXISTING SEWER MAIN

DATE	REVISIONS

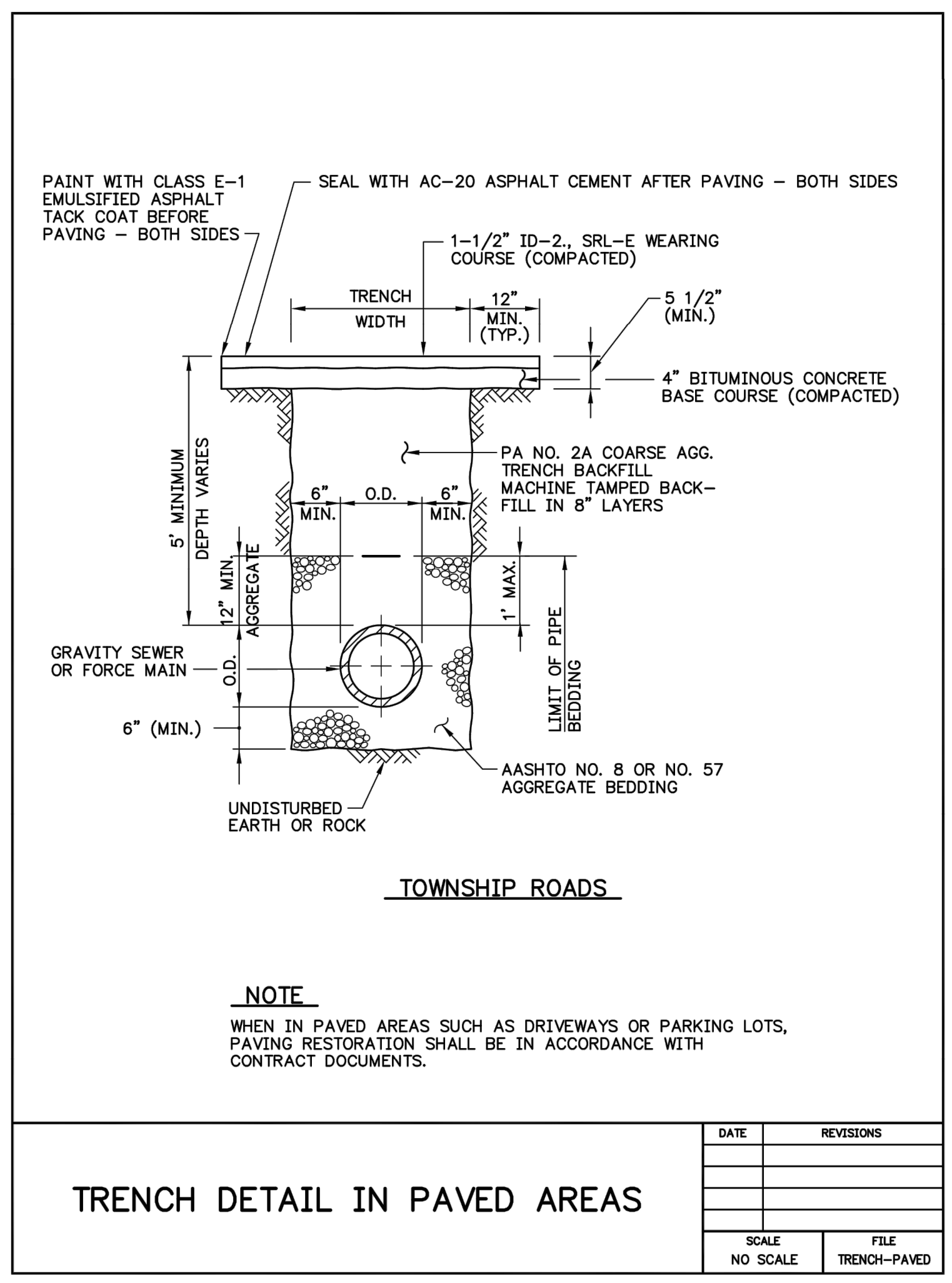
SCALE	FILE
NO SCALE	SERLATERAL



CONCRETE ENCASEMENT DETAIL

DATE	REVISIONS

SCALE	FILE
NO SCALE	CONCENC



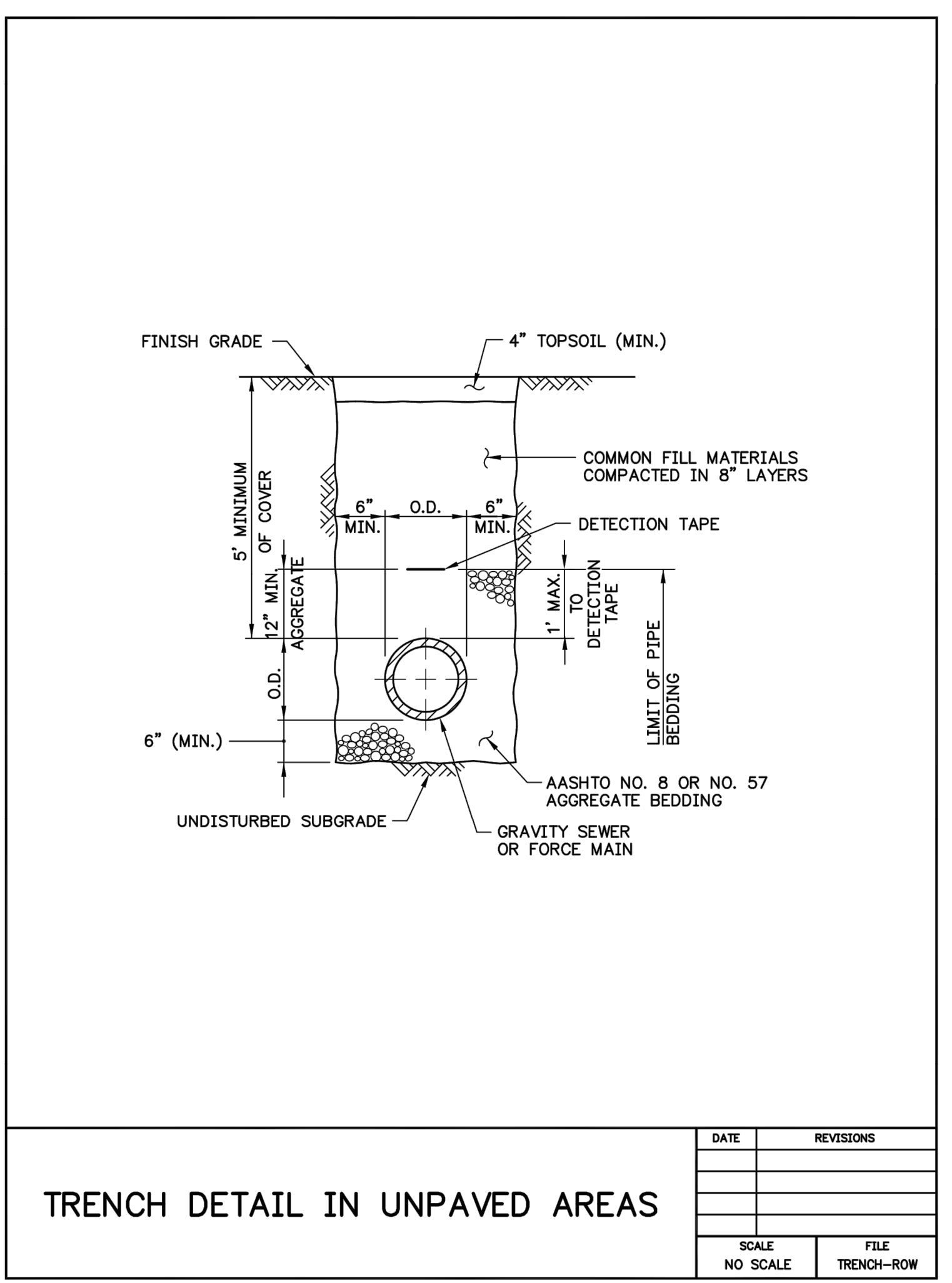
TOWNSHIP ROADS

NOTE
 WHEN IN PAVED AREAS SUCH AS DRIVEWAYS OR PARKING LOTS, PAVING RESTORATION SHALL BE IN ACCORDANCE WITH CONTRACT DOCUMENTS.

TRENCH DETAIL IN PAVED AREAS

DATE	REVISIONS

SCALE	FILE
NO SCALE	TRENCH-PAVED

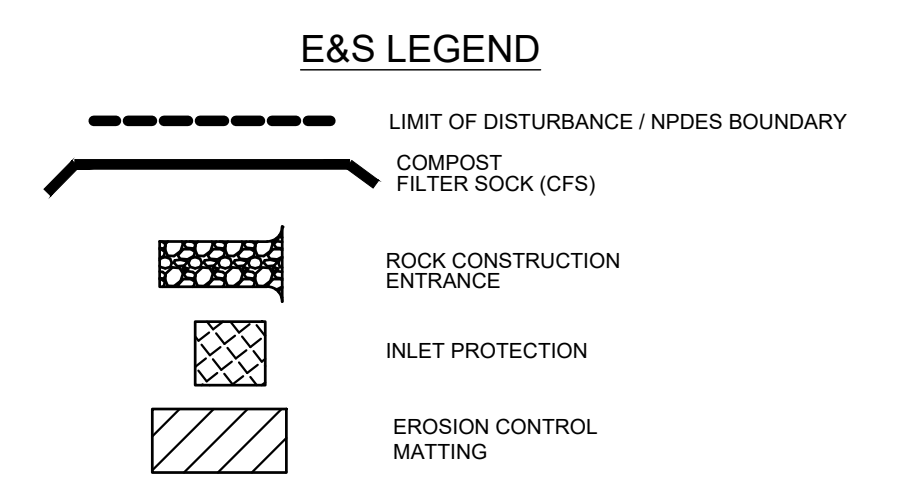
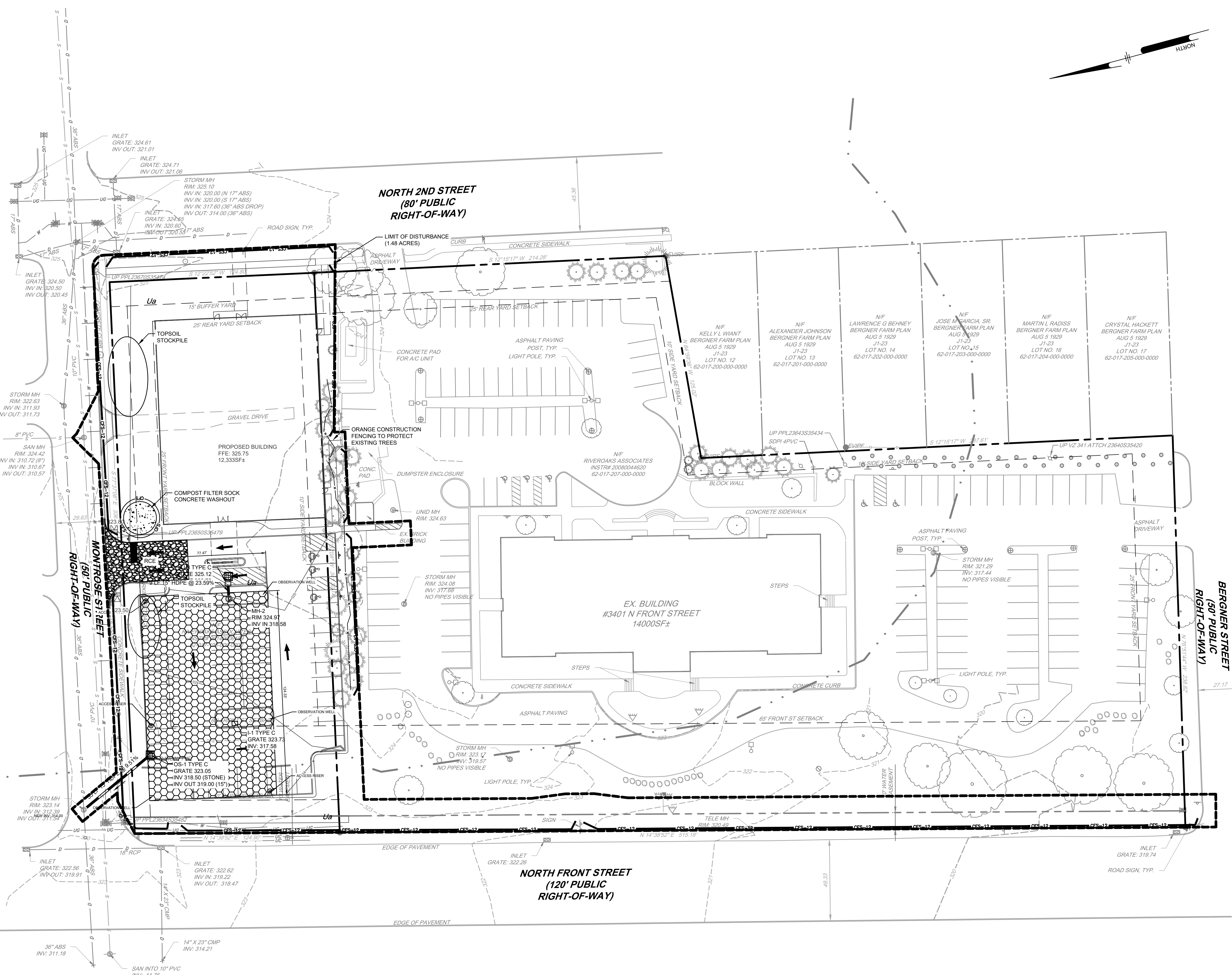


TRENCH DETAIL IN UNPAVED AREAS

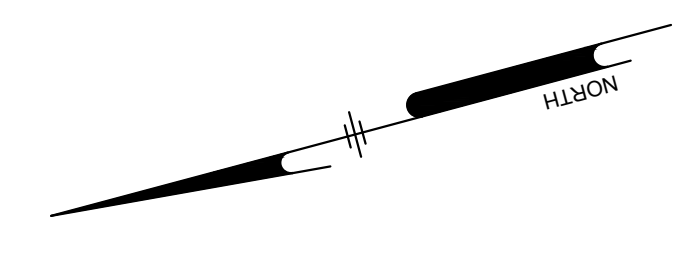
DATE	REVISIONS

SCALE	FILE
NO SCALE	TRENCH-ROW

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 PLOTTED: 4/20/21 1:53 PM BY: Jjm-Ramirez PLOTSTYLE: Penmon1.ctb
 PROJECT STATUS:



NOTE:
 THESE PLANS INDICATE CRITICAL AREAS FOR EROSION AND SEDIMENTATION CONTROL PLACEMENT BUT DO NOT RELIEVE THE CONTRACTOR FROM PROVIDING ADDITIONAL CONTROLS AS SITE CONDITIONS WARRANT. THE ENVIRONMENTAL COMPLIANCE MANAGER FOR THE PROJECT AND/OR CONSERVATION DISTRICT MAY DIRECT THE CONTRACTOR TO INSTALL E&S BMPs NOT DEPICTED ON THESE DRAWINGS IN ORDER TO PROTECT DOWN GRADIENT AREAS FROM EROSION AND SEDIMENTATION DURING CONSTRUCTION.



Pennoni
PENNONI ASSOCIATES, INC.
 5072 Ritter Road, Suite 102
 Mechanicsburg, PA 17055
 T 717.975.6481 F 717.975.6480

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3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA

EROSION AND SEDIMENTATION CONTROL PLAN

LINLO MONROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

PROJECT: LINLO20003
 DATE: 2021-03-05
 DRAWING SCALE: AS SHOWN
 DRAWN BY: CRH/TLR
 APPROVED BY: PGD

CS8001
 SHEET 15 OF 22

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 PLOT FILE: Penmon15.dwg
 PROJECT STATUS:

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

- NOTIFY THE DAUPHIN COUNTY CONSERVATION DISTRICT TEN (10) WORK DAYS IN ADVANCE OF ANY EARTH DISTURBANCE ACTIVITIES AT THE FOLLOWING ADDRESS:
DAUPHIN COUNTY CONSERVATION DISTRICT
1451 PETERS MOUNTAIN ROAD
DAUPHIN, PA 17018
TELEPHONE: 717-921-8100
- CONTRACTORS INVOLVED IN ANY EARTH DISTURBANCE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM, INCORPORATED, AT 1-800-242-1776, TO LOCATE BURIED UTILITIES.
- EARTH MOVING STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET; EARTH MOVING STOCKPILE SLOPES MUST BE 2H:1V OR FLATTER.
- CONTRACTOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT (E&S) CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
- UNTIL THE SITE ACHIEVES FINAL STABILIZATION, CONTRACTOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES (BMPs) ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES AND MAINTAIN AND MAKE AVAILABLE TO THE DAUPHIN COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. (EXAMPLE, THE IMPLEMENTATION OF SILT FENCE SHOULD A SECTION OF COMPOST FILTER SOCK BE DAMAGED.)
- BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, CONTRACTOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE DAUPHIN COUNTY CONSERVATION DISTRICT.
- CONTRACTOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE DAUPHIN COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP), SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
- CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
- ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE BMPs.
- EROSION AND SEDIMENT CONTROL BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- AT LEAST SEVEN (7) WORK DAYS BEFORE EARTH DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL UNITE THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND DAUPHIN COUNTY CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST THREE (3) WORK DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE PROVIDED SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, CONTRACTOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE (1) YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE (1) YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3H:1V AND STEEPER, IF APPLICABLE.
- CLEAN STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY, IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED SHALL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOOD PLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- ANY SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE CLEANED OFF BEFORE THE END OF THE DAY. CONTRACTOR MUST INSTRUCT DRIVERS OF ALL VEHICLES TO REMOVE SOIL AND LOOSE MATERIAL FROM THEIR WHEELS AND UNDERCARRIAGES WHEN LEAVING THE WORK AREA. CONTRACTOR MUST REMOVE ALL SOIL, MISCELLANEOUS DEBRIS OR OTHER MATERIAL SPILLED, DUMPED, OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS, OR OTHER PUBLIC THOROUGHFARES BY VEHICLES IN TRANSIT TO AND FROM THE WORK AREA.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW, THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- THERE IS POTENTIAL POLLUTION DUE TO ACCELERATED EROSION AND THE PROPOSED E&S BMPs ARE DESIGNED IN COMPLIANCE WITH DEP GUIDELINES TO PROTECT AGAINST THIS POTENTIAL. THESE BMPs INCLUDE COMPOST FILTER SOCK, INLET PROTECTION, CONCRETE WASHOUT, AND A ROCK CONSTRUCTION ENTRANCE.

SEQUENCE OF EARTHMOVING OPERATIONS

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE WILL BE COMPLETED IN COMPLIANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED.
- AT LEAST SEVEN (7) WORK DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, CONTRACTOR SHALL INVITE ALL SUB-CONTRACTORS, THE PROJECT OWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT (E&S) CONTROL PLAN PREPARER, THE POLLUTION CONTROL AND SEDIMENT MANAGEMENT (PCSM) PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM DAUPHIN COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
- AT LEAST THREE (3) WORK DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, CONTRACTOR SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY THE DAUPHIN COUNTY CONSERVATION DISTRICT OR BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO IMPLEMENTATION.

DEMOBILIZATION

- WHEN A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IS ESTABLISHED, CONTACT THE DAUPHIN COUNTY CONSERVATION DISTRICT FOR THEIR APPROVAL TO REMOVE THE CONTROL MEASURES.
- REMOVE INLET FILTER BAGS IN INLETS AND DISPOSE OF SEDIMENTS BY SPREADING ON STABILIZED SLOPE AREAS THAT DO NOT RECEIVE CONCENTRATED RUNOFF.
- ALL TOPSOIL STOCKPILE MATERIAL REMAINING SHALL BE SMOOTH GRADED TO PREVENT PONDING, THEN HAVE PERMANENT SEEDING AND MULCH APPLIED.
- ALL COMPOST FILTER SOCKS SHALL BE SLIT AND MATERIAL SPREAD SMOOTH. APPLY PERMANENT SEEDING AND MULCH TO SPREAD MATERIAL.

THERMAL IMPACTS

- THERMAL IMPACTS RELATED TO THIS PROJECT ARE NOT EXPECTED TO BE SIGNIFICANT. RUNOFF FROM THE PROJECT SITE WILL BE INTERCEPTED AND DETAINED BY THE PROPOSED STORMWATER TREATMENT AREAS, WHICH WILL ACT AS A HEAT SINK TO COOL THE WATERS. PARKING LOT LANDSCAPING, WITH TREES, WILL PROVIDE SOME SHADING OF THE PAVED SURFACES.

UTILITY LINE INSTALLATION REQUIREMENTS

- EXPOSED TRENCH EXCAVATIONS HAVE HIGH POTENTIAL FOR ACCELERATED EROSION AND SEDIMENT POLLUTION. SINCE THESE EXCAVATIONS ARE USUALLY LOCATED AT LOWER ELEVATIONS ALONG OR ACROSS EARTH DISTURBANCE SITED, OPEN TRENCHES SERVE TO CONCENTRATE SEDIMENT-LADEN RUNOFF AND CONVEY IT TO SITE BOUNDARIES OR WATERWAYS. THE MOST IMPORTANT EROSION AND SEDIMENT POLLUTION CONTROL CONSIDERATION FOR TRENCH CONSTRUCTION IS THE LIMITING AND SPECIFIC SCHEDULING OF WORK ACTIVITIES.
- ADVANCED CLEARING AND GRUBBING OPERATIONS FOR STRIP UTILITY LINE INSTALLATIONS SHALL BE LIMITED TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- DAILY TRENCH EXCAVATION SHALL BE LIMITED TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- TRENCH PLUGS WILL BE SPACED AND CONSTRUCTED IN ACCORDANCE TO THE DETAILS SHOWN ON PLANS. THE PLUGS MAY BE TEMPORARILY REMOVED WHEN PLACING THE PIPE, BUT THEN REPLACED.
- WATER WHICH ACCUMULATES IN THE OPEN TRENCH MUST BE COMPLETELY REMOVED BY PUMPING INTO A FILTER BAG, PRIOR TO PIPE PLACEMENT OR BACKFILLING OPERATIONS.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA SHALL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.
 - EXCEPTIONS - IN CERTAIN CASES, TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED. IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM B. WILL REMAIN IN EFFECT WITH THE FOLLOWING BEING AMENDED:
 - DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
 - IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.
- STREAM OR WETLAND CROSSINGS: THERE ARE NO PROPOSED STREAM OR WETLAND CROSSINGS ASSOCIATED WITH THIS PROJECT.

GENERAL CONSTRUCTION SEQUENCE

THE GENERAL SEQUENCE OF EARTHMOVING ACTIVITIES FOR THE CONSTRUCTION OF THE BMP IS AS FOLLOWS:

DO NOT CLEAR AND GRUB THE PROJECT SITE UNTIL THE PERIMETER SEDIMENT CONTROLS ARE INSTALLED OR CONSTRUCTED AND FUNCTIONAL.

- SCHEDULE AND ATTEND REQUIRED PRE-CONSTRUCTION MEETING AS STATED PREVIOUSLY.
- FIELD MARK THE LIMITS OF DISTURBANCE.
- INSTALL FILTER BAG INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS AS SHOWN ON THE PLANS.
- INSTALL THE ROCK CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE PLANS.
- INSTALL THE COMPOST FILTER SOCK AT THE LOCATIONS SHOWN ON THE PLANS.
- DEMOLISH OR SALVAGE ALL ITEMS DEPICTED ON THE DEMOLITION PLANS.
- UNDER THE SUPERVISION OF THE DESIGN PROFESSIONAL, CONSTRUCT THE PROPOSED UNDERGROUND DETENTION SYSTEM, OUTLET STRUCTURE, AND OUTLET PIPE AS SHOWN ON THE PLANS. COORDINATE AND ACCOUNT FOR UTILITY LINES THAT ARE TO REMAIN ACTIVE DURING CONSTRUCTION.
- STRIP ANY EXISTING TOPSOIL AND SPOIL ON-SITE OR AT A STOCKPILE AT A PERMITTED LOCATION OFF-SITE AT THE CONVENIENCE OF THE CONTRACTOR. ANY OFF-SITE BORROW/FILL AREAS MUST BE APPROVED BY THE DAUPHIN COUNTY CONSERVATION DISTRICT PRIOR TO USE.
- INSTALL NEW UTILITY SYSTEMS AS SHOWN ON THE DRAWINGS.
- PERFORM THE GRADING FOR THE PROPOSED BUILDING AND DRIVEWAYS.
- CONSTRUCT THE PROPOSED BUILDING.
- REMOVED AND PROPERLY DISPOSE OF THE ACCUMULATED SEDIMENT ON-SITE AS NEEDED OR OFF-SITE TO A PERMITTED SITE.
- COMPLETE THE FINAL GRADING AND FINAL LANDSCAPING.
- WHEN THE PERMANENT VEGETATION HAS REACHED A MINIMUM 70% PERENNIAL VEGETATIVE COVER, REMOVE THE SEDIMENT CONTROL DEVICES.
- PERMANENTLY STABILIZE ANY AREAS DISTURBED BY THE SEDIMENT CONTROL DEVICES.

WASTE MANAGEMENT & DISPOSAL

- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. PROPER HOUSEKEEPING, MATERIAL MANAGEMENT AND LITTER CONTROL MEASURES MUST BE PLANNED AND IMPLEMENTED.
- WASTE MATERIALS FROM THIS SITE ARE ANTICIPATED TO INCLUDE, BUT ARE NOT LIMITED TO ROCKS, ROOTS, AND STUMPS. BULK CONSTRUCTION WASTE MUST BE DISPOSED OF OFF-SITE AT A PERMITTED LOCATION.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EROSION AND SEDIMENT (E&S) CONTROL PLAN APPROVED BY DAUPHIN COUNTY CONSERVATION DISTRICT OR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL WATER PUMPING FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- CONSTRUCTION ACTIVITY WASH WATER AND SANITARY WASTE SHALL NOT BE DISCHARGED TO THE STORMWATER SYSTEM NOR SHALL IT BE PERMITTED TO FLOW OVERLAND TO RECEIVING WATERS.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BEST MANAGEMENT PRACTICES (BMPs) SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- CONCRETE WASH WATER SHALL BE HANDLED IN A SAFE MANNER. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO ENTER THE SURFACE OR GROUNDWATER SYSTEMS. CONTRACTOR SHALL MAINTAIN A WASH-WATER STATION ON-SITE AND A SPILL PREVENTION AND CONTINGENCY PLAN FOR THE WASH-WATER STATION.

CLEAN FILL & ENVIRONMENTAL DUE DILIGENCE

- THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR THIS PROJECT, OF WHICH THIS EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN IS A PART, COVERS THE "MOVING, DEPOSITING, STOCKPILING, OR STORING OF SOIL ROCK OR EARTH MATERIALS". IF THIS PROJECT WILL NEED FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL SHALL RESIDE WITH THE CONTRACTOR.
- ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS, OR AUDITS.
- ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE.
- IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION POLICY "MANAGEMENT OF FILL".
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, USED BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH, THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH OF PENNSYLVANIA UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
- FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL WILL BE CONSIDERED REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL MANAGEMENT, IF APPLICABLE.
- FILL DETERMINATION IS NOT REQUIRED OF THE CONTRACTOR UNLESS THERE IS EVIDENCE THAT A SPILL OR RELEASE OF A REGULATED SUBSTANCE HAS OCCURRED.

DESIGN APPROACH

- MINIMIZES EXTENT AND DURATION OF EARTH DISTURBANCE:
 - A MAJORITY OF THE SUBJECT PARCEL IS TO BE DISTURBED DURING THE LENGTH OF THIS PROJECT, BUT THE CONSTRUCTION SCHEDULE FOR THIS PROJECT IS EXPECTED TO BE EXPEDITED, DUE TO THE TIME RESTRAINT OF THE EXPECTED SCHEDULE.
- MAXIMIZING THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION:
 - INSTALLATION OF COMPOST FILTER SOCKS AND INLET PROTECTION BAGS WILL MINIMIZE THE IMPACTS ON THE DOWNSTREAM DRAINAGE AREAS AND VEGETATION, AND PROTECT EXISTING DRAINAGE FEATURES.
- UTILIZES OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF:
 - THE PROPOSED STORMWATER MANAGEMENT DESIGN PROTECTS AND UTILIZES THE EXISTING DRAINAGE PATTERN. NO OTHER NON-DISCHARGE ALTERNATIVES ARE PROPOSED.

TOPSOIL APPLICATION

- GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE.
- TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES MINIMUM - 2 INCHES ON FILL OUTCROPS. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.
- TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

TABLE 11.1		
CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS		
DEPTH (in)	PER 1,000 SQUARE FEET	PER ACRE
1	3.1000	134
2	6.2000	268
3	9.3000	403
4	12.4000	537
5	15.5000	672
6	18.6000	806
7	21.7000	940
8	24.8000	1074

TEMPORARY & PERMANENT STABILIZATION SPECIFICATIONS

FOR TEMPORARY MEASURES

SEED FORMULA: PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FORMULA E

- APPLY FORMULA E - 100% ANNUAL RYEGRASS SEED AT 10.0 LB./1000 SQ. YD
- APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE
- PERFORM SEEDING BETWEEN MARCH 15 AND OCTOBER 15.

FOR PERMANENT MEASURES

FOR SLOPES 3H:1V or FLATTER-

SEED FORMULA: PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FORMULA B

- 20% PERENNIAL RYEGRASS MIXTURE AT 4.0 LB./SQ. YD
30% CREEPING RED FESCUE OR CHEWINGS FESCUE AT 6.0 LB./SQ. YD
50% KENTUCKY BLUEGRASS MIXTURE AT 11.0 LB./SQ. YD
- APPLY GROUND LIMESTONE AT 800 LBS PER ACRE.
- APPLY FERTILIZER (10-10-20) AT 140 POUNDS PER 1000 SQUARE YARDS.
- APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE.
- PERFORM SEEDING BETWEEN MARCH 15 AND JUNE 1, AND AUGUST 1 AND OCTOBER 15.

SEED FORMULA: PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FORMULA D

- 70% TALL FESCUE AT 4.0 LB./SQ. YD
30% CREEPING RED FESCUE OR CHEWINGS FESCUE AT 6.0 LB./SQ. YD
- APPLY GROUND LIMESTONE AT 800 LBS PER ACRE.
- APPLY FERTILIZER (10-10-20) AT 140 POUNDS PER 1000 SQUARE YARDS.
- APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE.

PERFORM SEEDING BETWEEN MARCH 15 AND JUNE 1, AND AUGUST 1 AND OCTOBER 15



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3405 AND 3401 NORTH FRONT STREET
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA

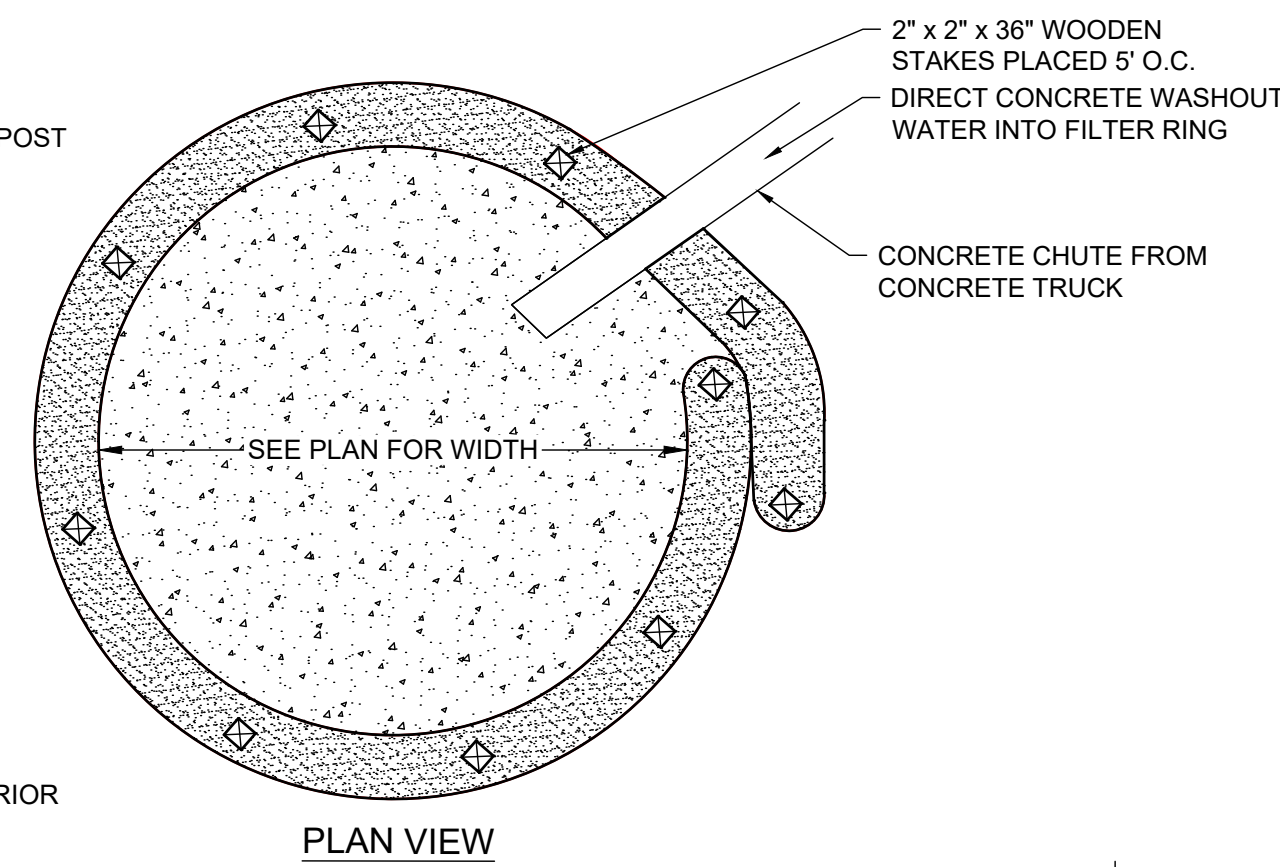
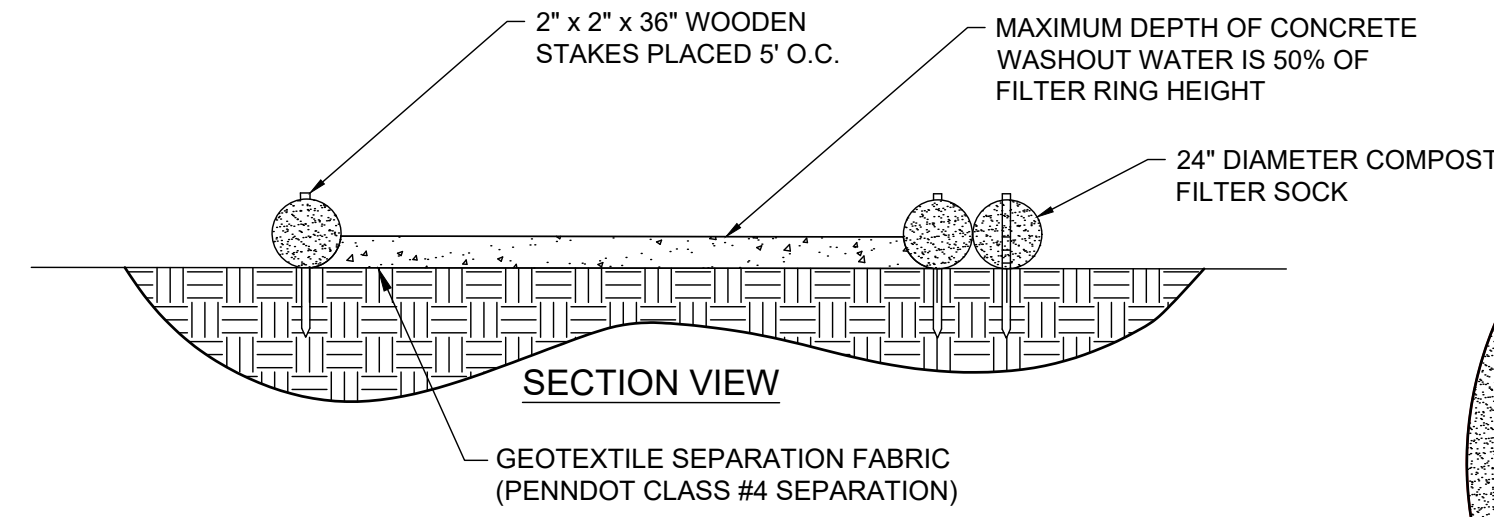
EROSION AND SEDIMENTATION CONTROL NOTES

LINLO MONTROSE PARK, LLC
150 CORPORATE CIRCLE, SUITE 100
CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

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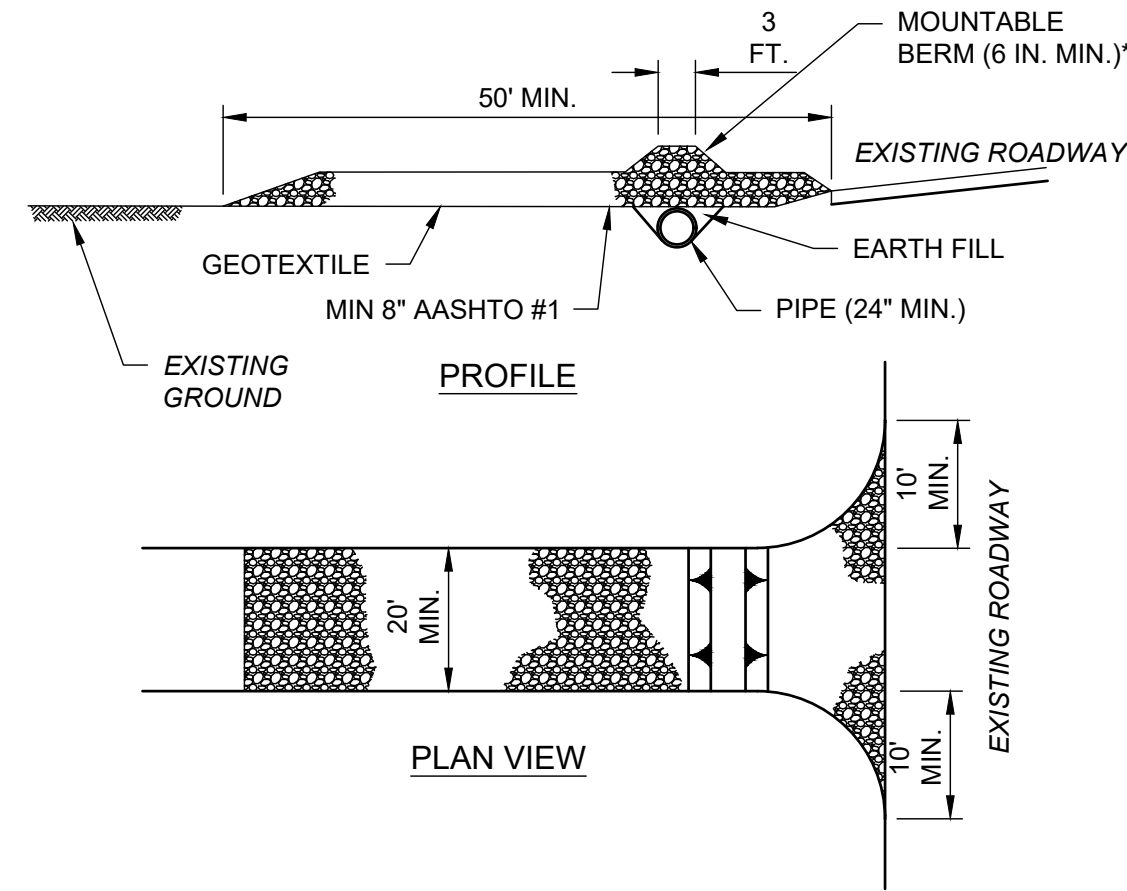
PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD
CS8501	
SHEET	16 OF 22



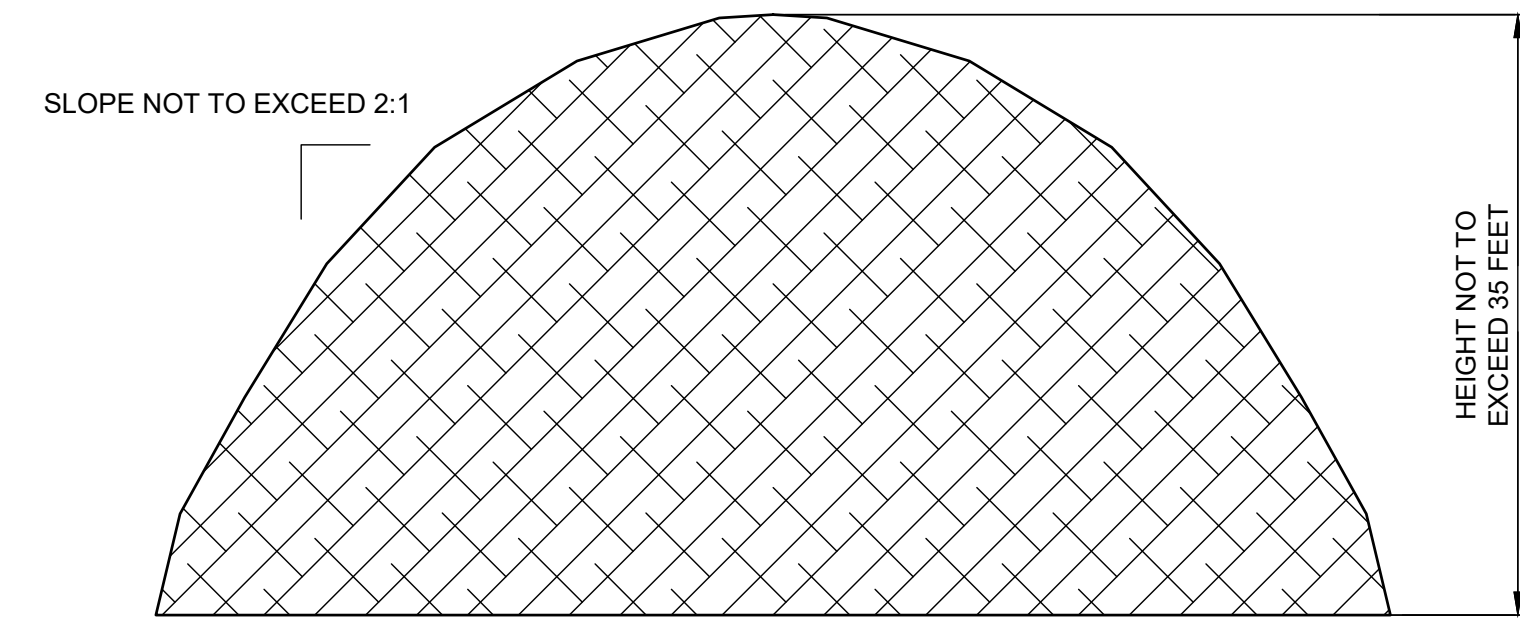
- NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT
 3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

STANDARD CONSTRUCTION DETAIL #3-18
CONCRETE WASHOUT
 NOT TO SCALE

- NOTES:
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

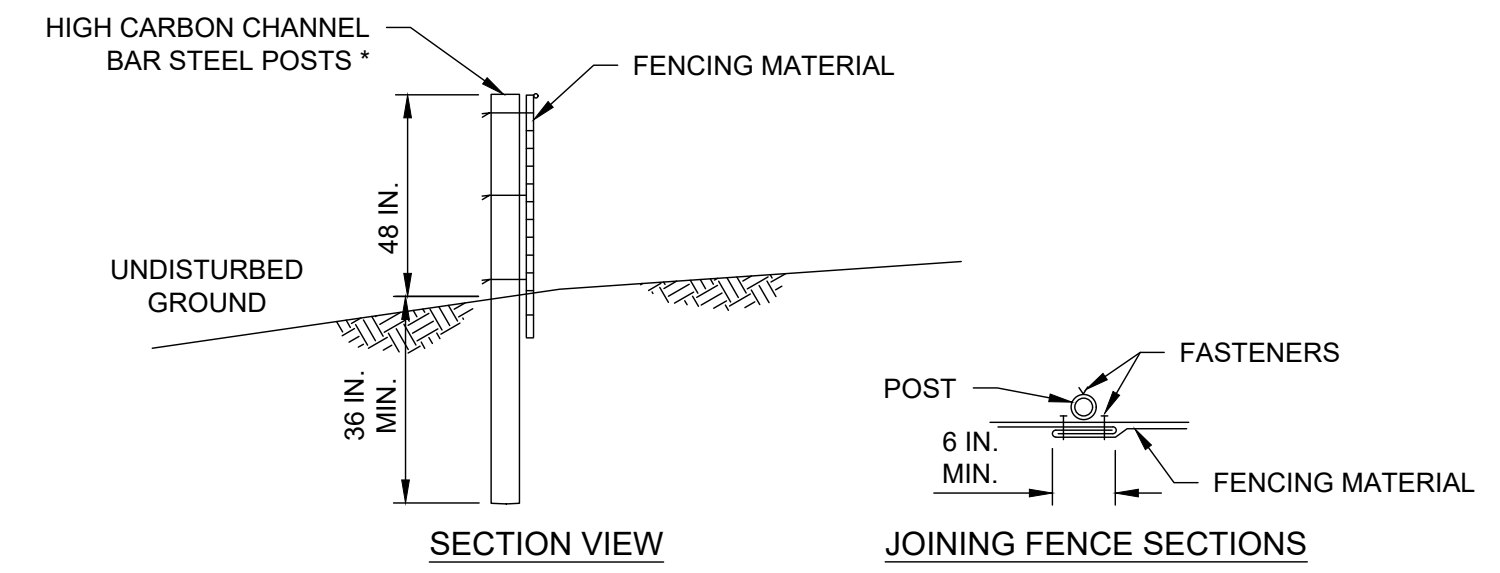


STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE
 NOT TO SCALE



NOTE: TEMPORARY TOP SOIL STOCKPILE IS TO BE SURROUNDED BY 12" COMPOST FILTER SOCK ON DOWNGRADE SIDE.

TOPSOIL STOCKPILE
 NOT TO SCALE



- * POSTS SPACED AT 10 FT. MAX.
- NOTES:
- FENCING MATERIAL IS REQUIRED TO BE HIGHLY VISIBLE.
 - CONTRACTOR TO INSPECT WEEKLY.
 - REPAIR/REPLACE ANY DAMAGED FENCE WITHIN 24 HOURS.
- TEMPORARY PROTECTIVE CONSTRUCTION FENCE**
 NOT TO SCALE



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3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA

EROSION AND SEDIMENTATION CONTROL DETAILS

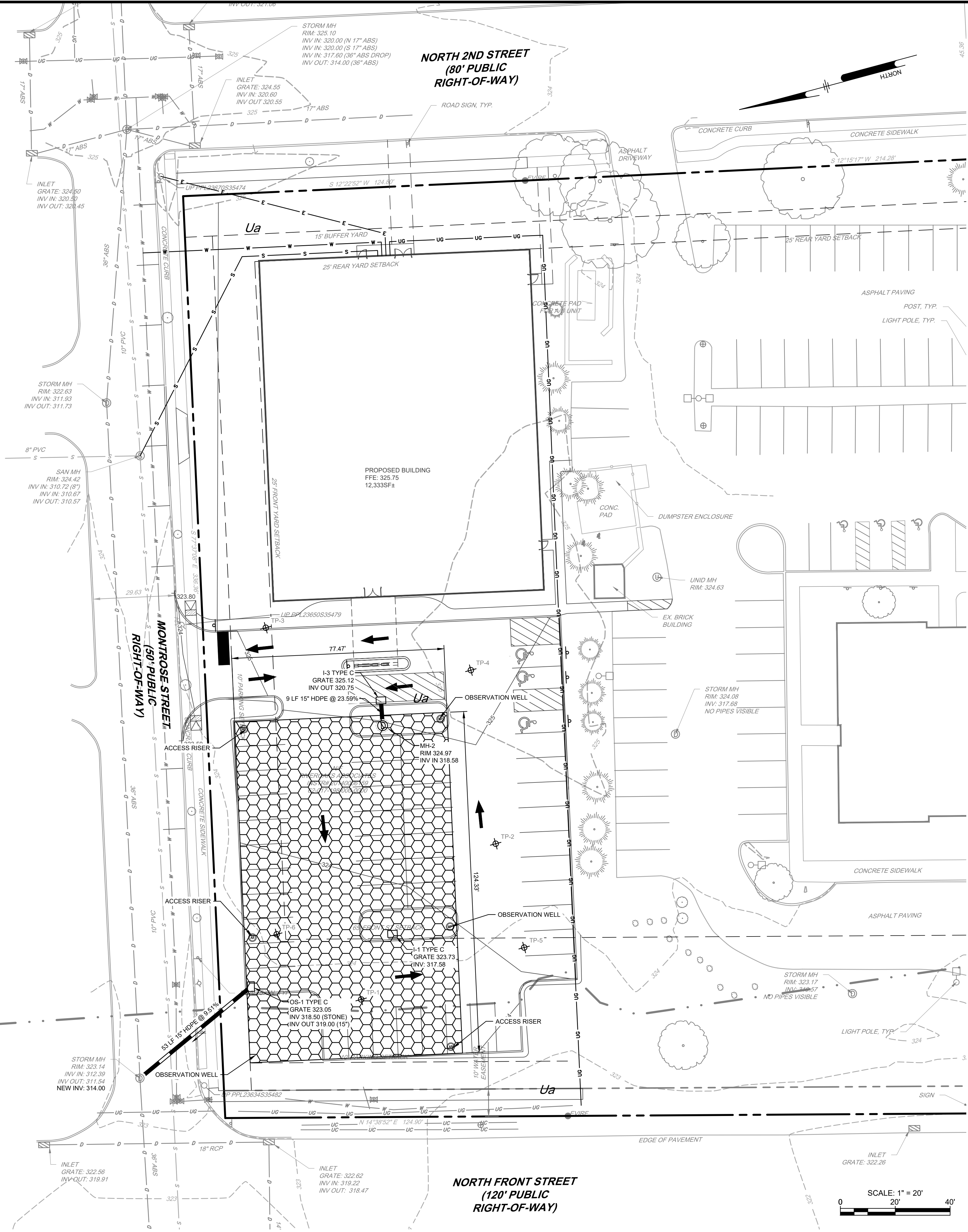
LINLO MONTROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

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PROJECT: LINLO20003
 DATE: 2021-03-05
 DRAWING SCALE: AS SHOWN
 DRAWN BY: CRH/TLR
 APPROVED BY: PGD

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 PLOTTER: 4/20/21 1:52 PM BY: JHM/RLM/MLR
 PROJECT STATUS:



LEGEND

- 2' X 4' PRECAST INLET
- PENNDOT TYPE "M" - LAWN AND PAVEMENT AREAS NOT ADJACENT TO CURB
- PENNDOT TYPE "C" - ADJACENT TO CURB
- STORM SEWER
- SUBSURFACE INFILTRATION BASIN AREA (BMP)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SANITARY SEWER / CLEANOUT
- PROPOSED WATER
- PROPOSED ELECTRIC
- PROPOSED GAS
- SOIL LABEL

STORMWATER MANAGEMENT PLAN GENERAL NOTES:

1. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS AND SPECIFICATIONS IDENTIFIED ON THIS PLAN. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER HIS SUCCESSORS AND ASSIGNS UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO SUSQUEHANNA TOWNSHIP, AS REQUIRED BY THE SUSQUEHANNA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN AND IN ACCORDANCE WITH THE SUSQUEHANNA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
3. ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED.
4. RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT FACILITIES. STORMWATER RUNOFF FROM EXISTING NATURAL SWALES AND/OR OTHER EXISTING DRAINAGE CONVEYORS SHALL NOT BE DIRECTED TOWARDS OR INTERCEPTED BY THE STORMWATER MANAGEMENT FACILITIES.
5. SUSQUEHANNA TOWNSHIP OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES.
6. CONTACT SUSQUEHANNA TOWNSHIP AT (717) 545-4751 PRIOR TO CONSTRUCTION TO COORDINATE INSPECTIONS OF STORMWATER MANAGEMENT FACILITIES BY THE TOWNSHIP ENGINEER. NO OCCUPANCY PERMITTED UNTIL STORMWATER MANAGEMENT FACILITIES HAVE BEEN INSTALLED AND APPROVED THROUGH INSPECTION BY THE TOWNSHIP ENGINEER.
7. ANY WORK REQUIRED OUTSIDE OF THE NPDES PERMITTED LIMIT OF DISTURBANCE BOUNDARY MAY REQUIRE THE CONTRACTOR TO COMPLETE AND SUBMIT A MAJOR MODIFICATION TO THE NPDES PERMIT.
8. STORMWATER BEST MANAGEMENT PRACTICES (BMPs) CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY THE DAUPHIN COUNTY CONSERVATION DISTRICT (DCCD). STORMWATER BMPs ARE:
 - 8.1. STORMWATER DETENTION BASIN
9. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD PRIOR TO THE INSTALLATION OF ALL CRITICAL BMPs AS THE ENGINEER OF RECORD OR DESIGNEE MUST OBSERVE THE INSTALLATION PER NPDES REQUIREMENTS. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR MAY BE REQUIRED TO EXPOSE AND RECONSTRUCT THE CRITICAL BMPs AT THE EXPENSE OF THE CONTRACTOR. REFER TO THE E&S PLANS, REPORT AND NPDES PERMIT TO DETERMINE THE CRITICAL BMPs.
10. ALL STORM PIPE CONNECTING TO STRUCTURES AND FACILITIES MUST BE GROUDED TO ASSURE WATERTIGHT CONNECTIONS.
11. THE CONTRACTOR IS REQUIRED TO SUBMIT AN AS-BUILT PLAN OF ALL STORMWATER IMPROVEMENTS TO THE OWNER AND ENGINEER OF RECORD.
12. IF IT IS DETERMINED THAT THE OWNER OR THEIR HEIR(S) ARE NOT ADEQUATELY MAINTAINING OR MONITORING THE POST-CONSTRUCTION STORMWATER PLAN AS DEFINED BY THE STORMWATER OPERATIONS AND MAINTENANCE AGREEMENT TO BE RECORDED, SUSQUEHANNA TOWNSHIP HAS THE RIGHT OF ACCESS TO MONITOR, AND/OR MAINTAIN THE STORMWATER MANAGEMENT PLAN, WITH ASSOCIATED COSTS BEING THE RESPONSIBILITY OF THE OWNER/HEIR(S). NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP.
13. ROOF DRAIN MATERIAL SHALL BE SDR-35 POLYVINYL CHLORIDE (PVC) OR APPROVED EQUAL. MINIMUM PIPE SIZE SHALL BE 4". PIPING SERVING TWO OR MORE DOWNSPOUTS SHALL BE 6" MAX, UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL/MEP PLANS FOR DOWNSPOUT AND RWC DETAILS AND SPECIFICATIONS.
14. I, _____, UNDERSTAND AND ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE REMOVED WITHOUT PRIOR APPROVAL BY SUSQUEHANNA TOWNSHIP.
15. THE OPERATIONS AND MANAGEMENT AGREEMENT IS PART OF THIS POST CONSTRUCTION STORMWATER MANAGEMENT SITE PLAN.
16. RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF FINANCIAL SECURITY.
17. I, _____, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.
18. I, _____, HEREBY CERTIFY THAT THERE ARE NOT WETLANDS ON THE SUBJECT PROPERTY, THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS, AND PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.
19. INLETS MUST BE SIZED TO ACCEPT THE SPECIFIED PIPE SIZES WITHOUT KNOCKING OUT ANY OF THE INLET CORNERS. ALL PIPES ENTERING OR EXITING INLETS SHALL BE CUT FLUSH WITH THE INLET WALL.
20. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH PENNDOT'S PUBLICATION 408 AND PENNDOT'S PUBLICATION 72M, LATEST EDITION.
21. ALL FRAMES, CONCRETE TOP UNITS, AND GRADE ADJUSTMENT RINGS SHALL BE SET IN A BED OF FULL MORTAR ACCORDING TO PUBLICATION 408.

PENNONI ASSOCIATES, INC.
 5072 Ritter Road, Suite 102
 Mechanicsburg, PA 17055
 T 717.975.6481 F 717.975.6480

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN

LINLO MONTROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

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PROJECT: LINLO20003
 DATE: 2021-03-05
 DRAWING SCALE: AS SHOWN
 DRAWN BY: CRH/TLR
 APPROVED BY: PGD

CS9001

SHEET 19 OF 22

OPERATION AND MAINTENANCE NOTES

PCSM RESPONSIBLE PARTY:
LINLO MONTROSE PARK, LLC
150 CORPORATE CIRCLE, SUITE 102
LEMOYNE, PA 17043

- THE FOLLOWING PERMANENT BEST MANAGEMENT PRACTICES (BMPs) ARE PROPOSED FOR THIS SITE: SUBSURFACE DETENTION BASIN.
- LINLO MONTROSE PARK, LLC (HEREAFTER "OWNER") IS RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF ANY AND ALL BMPs LOCATED WITHIN THE OWNER'S PROPERTY AS OUTLINED IN THE DRAINAGE COVENANT.
- ON A BIENNIAL BASIS, TYPICALLY IN THE SPRING AND FALL, ALL THE INLETS AND PIPES ARE TO BE INSPECTED AND ALL SEDIMENT AND TRASH IS TO BE REMOVED. ALL INLET GRATES AND PIPE INVERTS ARE TO BE CLEARED OF ALL SEDIMENT AND DEBRIS.
- TO KEEP THE SUBSURFACE DETENTION BASIN FUNCTIONAL, THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL REQUIRES THAT THE SUBSURFACE DETENTION BASIN SHOULD BE INSPECTED AT A MINIMUM OF ONE TIME A YEAR OR AFTER MAJOR RAIN EVENTS IF NECESSARY. CLEANING SHOULD BE DONE AT THE DISCRETION OF THE INDIVIDUALS RESPONSIBLE TO MAINTAIN PROPER STORAGE AND FLOW. WHILE MAINTENANCE CAN GENERALLY BE PERFORMED YEAR-ROUND, IT SHOULD BE SCHEDULED DURING A RELATIVELY DRY SEASON.
- TREES SHALL BE INSPECTED TWICE PER YEAR TO EVALUATE THE HEALTH OF THE VEGETATION. DURING PERIODS OF EXTENDED DROUGHT, VEGETATION MAY REQUIRE WATERING. WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING WILL BE REQUIRED.
- ADDITIONAL MAINTENANCE REQUIREMENTS: OWNER SHALL MAINTAIN DRAINAGE OF THE SITE. THIS INCLUDES LAWN MAINTENANCE, INCLUDING PROPER WATERING AND MOWING AND THE REPLACEMENT OF ANY VEGETATION THAT HAS ERODED; REGULAR INSPECTION AND MAINTENANCE OF ROOF DRAINS; AND REGULARLY CLEANING DEBRIS FROM GUTTERS AND DOWNSPOUTS. OWNER SHALL MAINTAIN THE STORM SEWER SYSTEM INCLUDING THE HEADWALLS AND PIPES. INLETS AND HEADWALLS SHALL BE INSPECTED ONCE PER MONTH FOR DEBRIS OR TRASH AND THE PIPES SHALL BE CLEANED IF NECESSARY. ANY EROSION AT OUTLETS SHALL BE REPAIRED IMMEDIATELY WITH THE APPROPRIATELY SIZED RIPRAP APRON OR CABLE CONCRETE AS NECESSARY.
- OWNER SHALL ENSURE THAT ALL MATERIALS TRANSPORTED ON AND OFF OF THE SITE AND STORED ON THE SITE ARE HANDLED AND STORED PROPERLY TO PREVENT SPILLAGE AND CONTAMINATION OF DOWNSTREAM WATERS. IN THE EVENT OF A SPILL, OWNER SHALL IMMEDIATELY CLEAN ALL AFFECTED AREAS AND MITIGATE ALL DOWNSTREAM IMPACTS. OWNER SHALL ENSURE THAT ALL TENANTS WITHIN THE SITE HAVE AN EMERGENCY PLAN PREPARED FOR IMMEDIATE IMPLEMENTATION UPON A SPILL OF ANY MATERIALS UNDER THEIR CONTROL. ALL TENANTS SHALL ENSURE THAT THE EMERGENCY PLAN IS POSTED AND THAT ALL STAFF ARE TRAINED IN ITS IMPLEMENTATION.
- ALL WASTES AND MATERIALS DEPOSITED IN AND REMOVED FROM POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) BMP FACILITIES AND FROM IMPERVIOUS AREA DURING OPERATION AND MAINTENANCE SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- SEE OPERATION AND MAINTENANCE NOTES AND SCHEDULE ON SHEET CS6022 FOR MORE DETAILS.

RECYCLING AND DISPOSAL NOTE:
CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 et seq. AND 287.1 et seq.

CONSTRUCTION SEQUENCE

SUBSURFACE DETENTION BASIN:

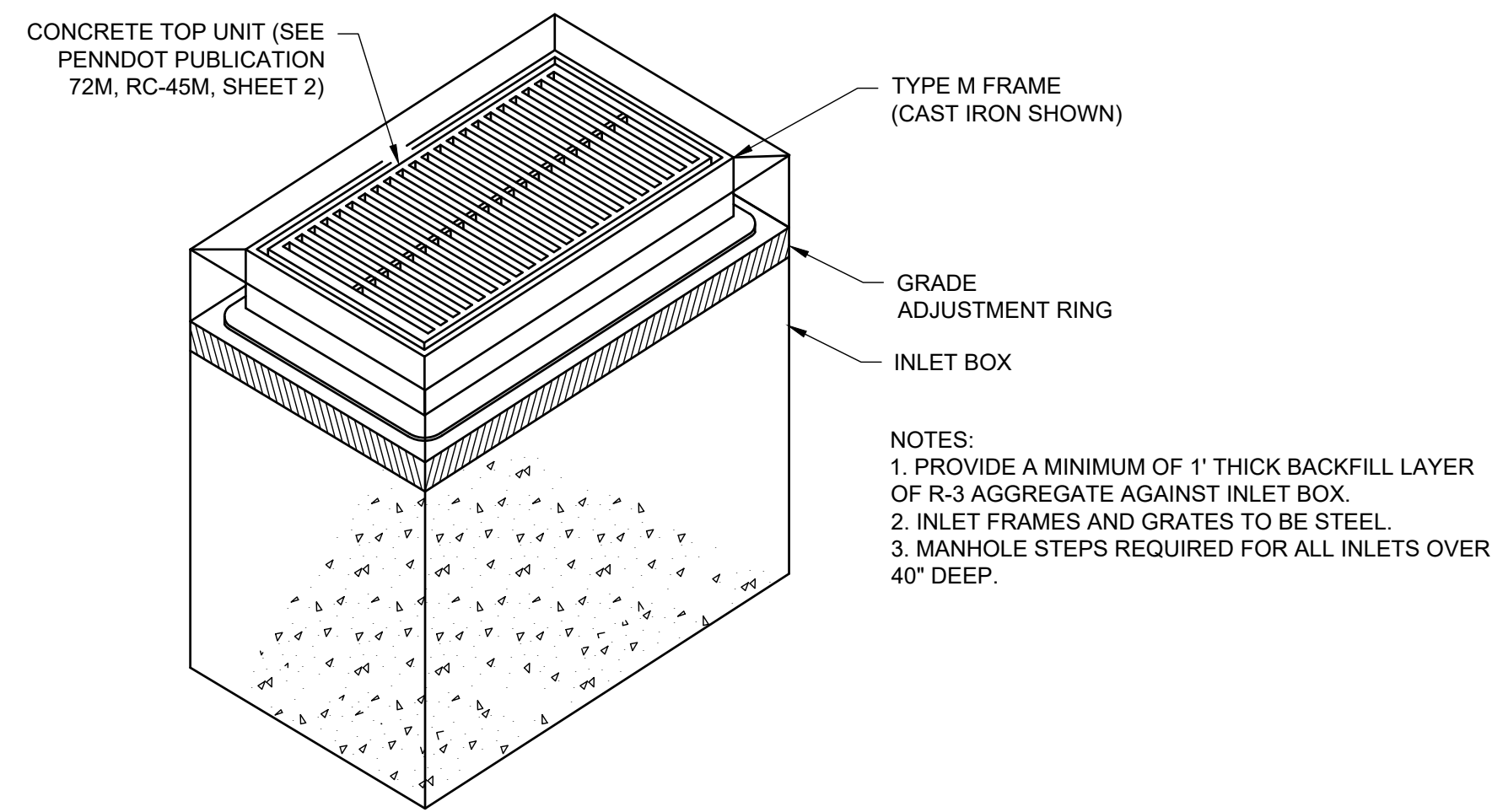
COORDINATE TIMING WITH GENERAL CONSTRUCTION SEQUENCE:

THE GENERAL SEQUENCE OF EARTHMOVING ACTIVITIES FOR THE CONSTRUCTION OF THE BMP IS AS FOLLOWS:

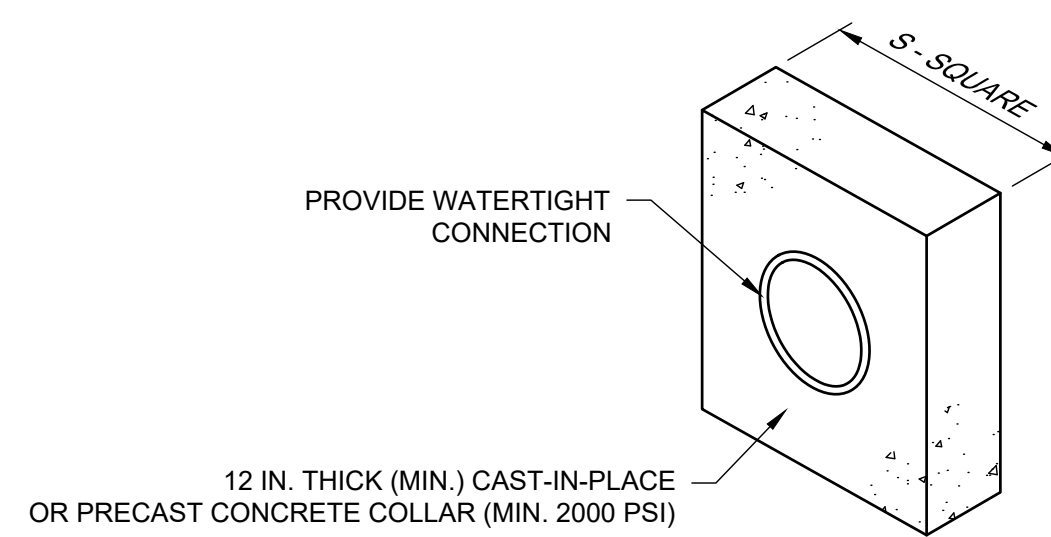
- SCHEDULE AND ATTEND REQUIRED PRE-CONSTRUCTION MEETING AS STATED IN THE "SEQUENCE OF EARTHMOVING OPERATIONS."
- FIELD MARK THE LIMITS OF DISTURBANCE.
- INSTALL THE COMPOST FILTER SOCK AT THE LOCATIONS SHOWN ON THE E&S PLANS.
- INSTALL THE ROCK CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE PLANS.
- DEMOLISH OR SALVAGE ALL ITEMS DEPICTED ON THE DEMOLITION PLANS.
- STRIP TOPSOIL IN AREA OF PARKING LOTS.
- PERFORM THE GRADING FOR THE PROPOSED PARKING LOTS.
 - CONSTRUCT SLOPES.
 - APPLY GEOTEXTILE AND GRAVEL AS SOON AS FINAL GRADING IS ACHIEVED.
 - UPON COMPLETION OF FINAL GRADING, SEED EXPOSED AREAS AND MULCH TO DETER EROSION.
 - UTILIZE EROSION CONTROL BLANKETS/MULCHES ON SLOPES STEEPER THAN 3H:1V OR IN AREAS WITHIN 100 FEET OF SURFACE WATER.
- INSTALL ALL DIVERSION BERMS.
- INSTALL ALL INLETS STORM PIPING AND SUBSURFACE INFILTRATION AS SHOWN ON THE PLANS BEGINNING DOWNSTREAM.
- COMPLETE THE FINAL GRADING AND INSTALL LANDSCAPING.
- WHEN THE PERMANENT VEGETATION HAS REACHED A MINIMUM 70% PERENNIAL VEGETATIVE COVER, REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES.
- PERMANENTLY STABILIZE ANY AREAS DISTURBED BY THE SEDIMENT CONTROL DEVICES.
- REMOVE ALL ACCUMULATED SEDIMENT FROM REMAINING E&S BMPs.
- FILTER SOCK COMPOST MATERIAL SHALL BE DISPOSED OF PROPERLY. STABILIZE THE AREAS WHERE THE BMPs WERE LOCATED. DISPOSE OF ANY EXCESS SEDIMENT AS OUTLINES IN MAINTENANCE NOTES.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- THE SITE PREPARATION CONTRACTOR SHALL CONTACT DAUPHIN COUNTY CONSERVATION DISTRICT (TELEPHONE: 717-921-8100) FOR APPROVAL THAT THE SITE HAS BEEN ADEQUATELY STABILIZED.
- SUBMIT AN NPDES NOTICE OF TERMINATION TO THE DAUPHIN COUNTY CONSERVATION DISTRICT, FOR EACH CO-PERMITTEE.

THERMAL IMPACTS

THERMAL IMPACTS RELATED TO THIS PROJECT ARE NOT EXPECTED TO BE SIGNIFICANT. RUNOFF FROM THE PROJECT SITE WILL BE INTERCEPTED AND DETAINED BY THE PROPOSED STORMWATER TREATMENT AREAS, WHICH WILL ACT AS A HEAT SINK TO COOL THE WATERS. PARKING LOT LANDSCAPING, WITH TREES, WILL PROVIDE SOME SHADING OF THE PAVED SURFACES.

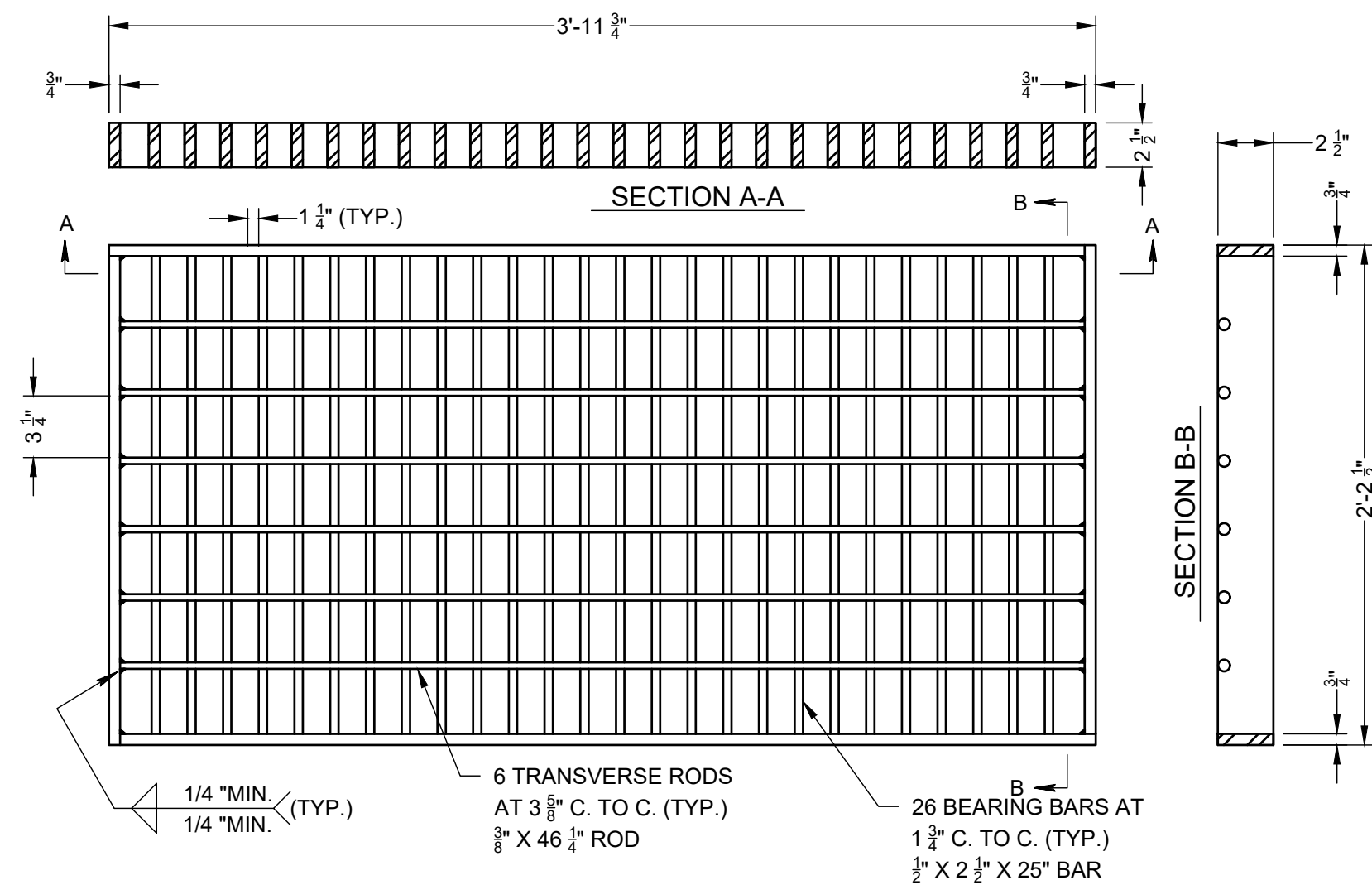


PENNDOT TYPE M INLET
NOT TO SCALE



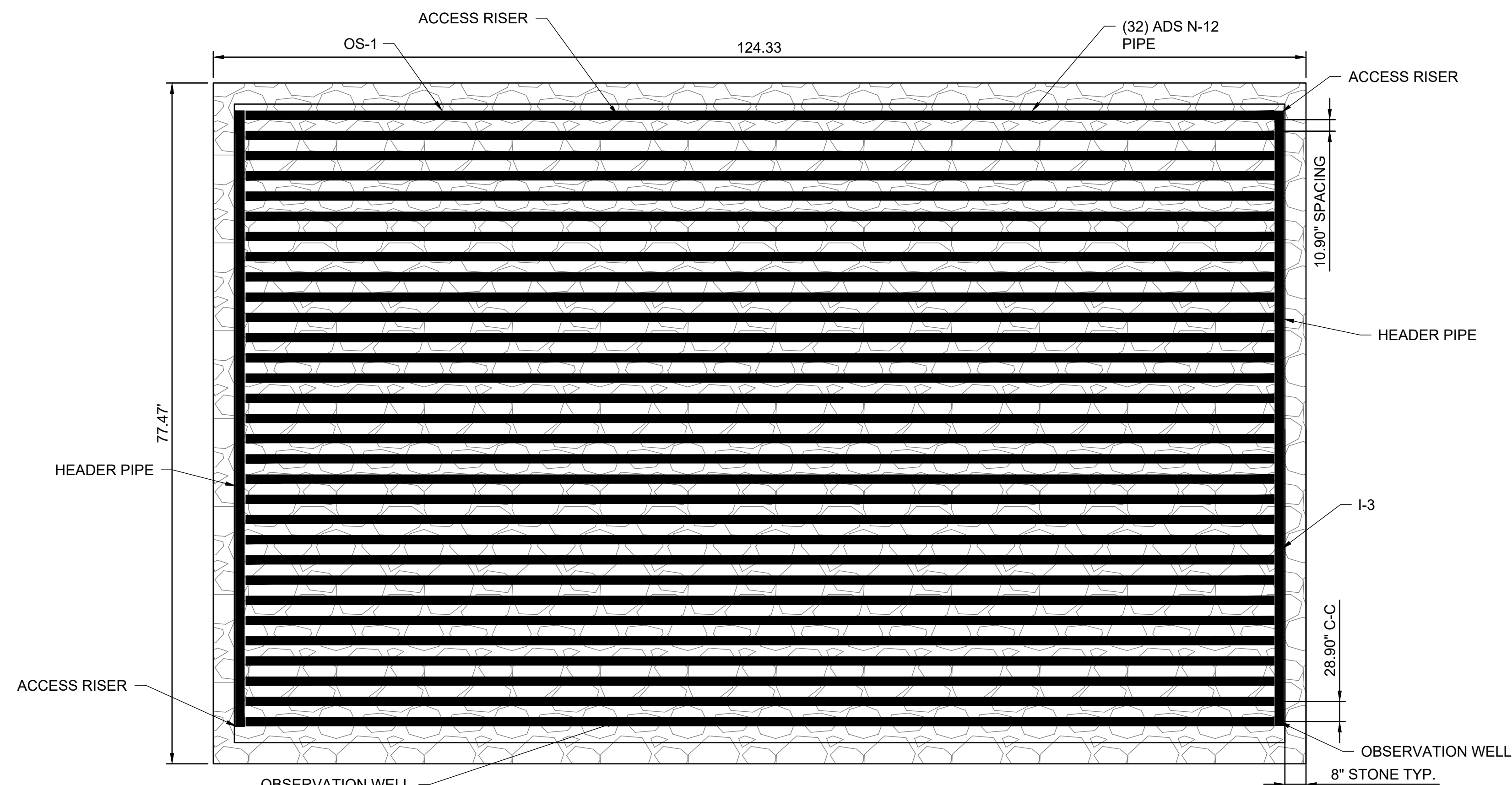
BASIN OR TRAP NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)
1	15	36	1	4

NOTES:
ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.
COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.



BICYCLE SAFE STRUCTURAL STEEL GRATE
NOT TO SCALE

ANTI-SEEP COLLAR
NOT TO SCALE



SUBSURFACE STORMWATER MANAGEMENT SYSTEM - PLAN VIEW
NOT TO SCALE



PENNONI ASSOCIATES INC.
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3405 AND 3401 NORTH FRONT STREET
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS

LINLO MONTROSE PARK, LLC
150 CORPORATE CIRCLE, SUITE 100
CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

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PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

CS9501
SHEET 20 OF 22

POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) STANDARD NOTES

PCSM REQUIREMENTS:
 A LICENSED PROFESSIONAL OR A DESIGNEE SHALL BE PRESENT ON SITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPs, STRUCTURALLY ENGINEERED BMPs, OR OTHER BMPs AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.
 THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS:
 THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs.
 A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs LOCATED ON THE PROPERTY.

PERMIT TERMINATION:
 UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN, THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT.
 THE NOTICE OF TERMINATION MUST INCLUDE:

1. THE FACILITY NAME, ADDRESS AND LOCATION
2. THE OPERATOR NAME AND ADDRESS
3. THE NPDES PERMIT NUMBER
4. THE REASON FOR PERMIT TERMINATION
5. IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM
6. COPY OF LEGAL INSTRUMENT, FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION.
7. FINAL CERTIFICATION: THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA. C.S.A. 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

- (1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- (2) THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.

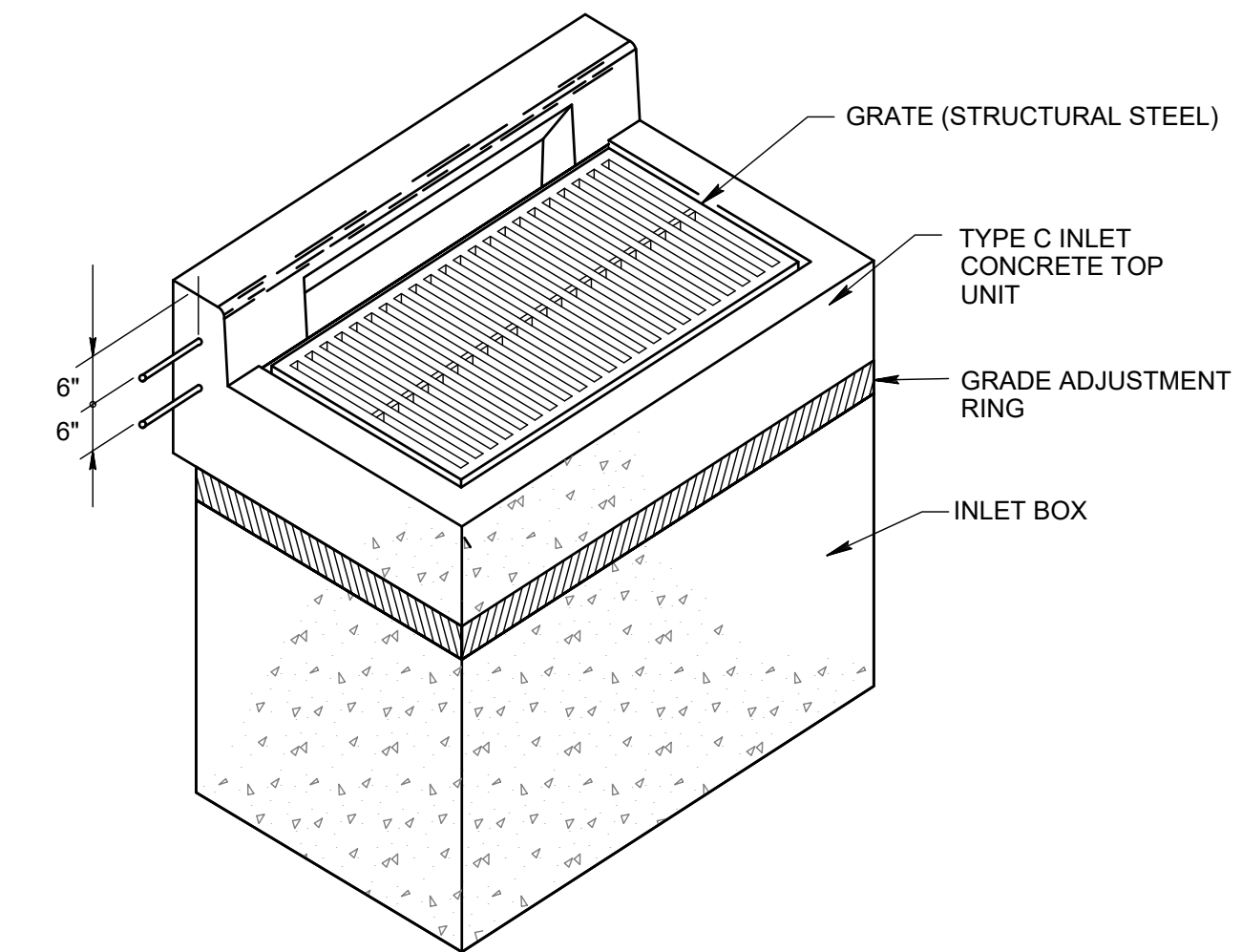
SCHEDULE OF INSPECTIONS

A DETAILED SCHEDULE OF INSPECTIONS, AS GENERALLY OUTLINED AS FOLLOWS, WHICH IS TAILORED FOR THE SITE UNDER CONSIDERATION. ALL INSPECTIONS SHALL BE CONDUCTED BY A QUALIFIED PROFESSIONAL.

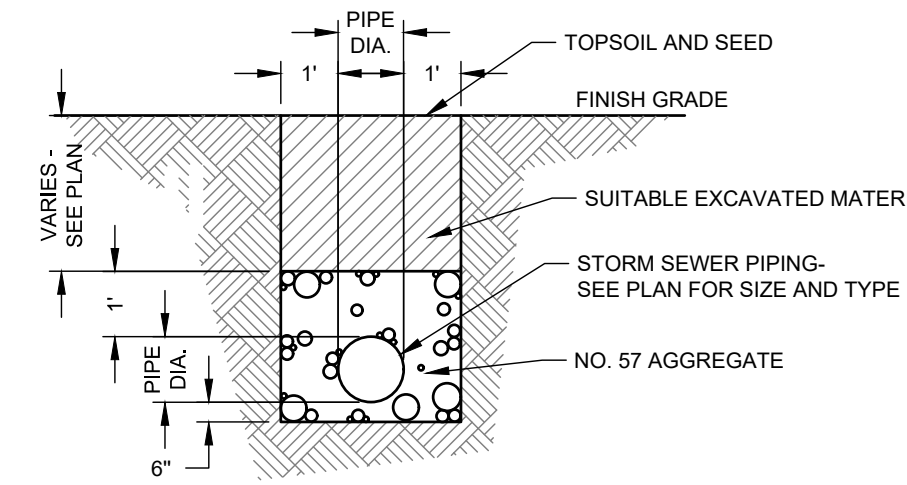
1. THE TOWNSHIP SHALL INSPECT THE IMPROVEMENTS DURING CONSTRUCTION. THE DEVELOPER SHALL PAY THE COST OF ANY SUCH INSPECTION. THE DEVELOPER SHALL PROVIDE AT LEAST TWENTY-FOUR (24) HOURS NOTICE PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS THAT ARE SUBJECT TO INSPECTION. ALL INSPECTIONS OF COMPLETED ITEMS SHALL BE REQUESTED, IN WRITING, AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE INSPECTION TIME AND DATE.
2. IT IS GENERALLY REQUIRED THAT THE FOLLOWING PHASES OF SITE CONSTRUCTION HAVE MANDATORY INSPECTIONS. THIS GENERAL LIST OF PHASES MAY BE AMENDED BY MUTUAL AGREEMENT OF THE TOWNSHIP AND DEVELOPER WHEN THE SITE REQUIRES SPECIAL CONSTRUCTION PROCEDURES. THE INSPECTION SCHEDULE MUST BE SHOWN ON THE APPROVED STORM WATER MANAGEMENT SITE PLAN.
3. GENERAL SITE CONSTRUCTION INSPECTIONS
 - a. UPON COMPLETION OF PRELIMINARY SITE PREPARATION INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL AND CONSTRUCTION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES.
 - b. UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
 - c. DURING THE CONSTRUCTION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES.
 - d. UPON THE FINAL COMPLETION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES, INCLUDING THE ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
 - e. AFTER REVIEW OF THE AS-BUILT DRAWINGS, REQUIRED BY SECTION 604, BUT PRIOR TO FINAL RELEASE OF THE FINANCIAL GUARANTEE FOR COMPLETION OF FINAL GRADING, VEGETATIVE CONTROLS REQUIRED BY THE BMP STANDARDS, OR OTHER SITE RESTORATION WORK.
4. IN ADDITION TO THE ABOVE OUTLINED OBSERVATIONS, ADDITIONAL OBSERVATIONS WILL BE MADE AT THE REQUEST OF THE DEVELOPER FOR REDUCTION OF FINANCIAL SECURITIES. RANDOM OBSERVATIONS SHOULD BE MADE AT THE FREQUENCY DESIRED BY THE MUNICIPALITY, AT THE TIME OF ANY OF THE ABOVE LISTED OBSERVATIONS. ALL ONGOING CONSTRUCTION (I.E. STORM DRAINAGE, SANITARY SEWER, WATER, EROSION CONTROL, ETC.) SHOULD ALSO BE CHECKED FOR COMPLIANCE WITH THE APPROVED PLANS AND THE FINDINGS REPORTED. SINCE THE ABOVE INSPECTIONS ARE MANDATORY, IT IS RECOMMENDED THAT REQUESTS FOR REDUCTION OF FINANCIAL GUARANTEE TO BE SUBMITTED TO COINCIDE WITH THE ABOVE INSPECTIONS.
5. MS4 DURING CONSTRUCTION BMP INSPECTION SCHEDULE. FOR THOSE SITES LOCATED WITHIN THE DESIGNATED MS4 AREA, THE REQUIRED MS4 INSPECTION SCHEDULE AND REQUIRED RECORD KEEPING SHALL BE NOTED ON THE APPROVED PLANS. THESE INSPECTIONS MAY INCLUDE BUT ARE NOT LIMITED TO:
 - a. THE SUBGRADE OF DETENTION FACILITIES
 - b. STONE AND/OR CONCRETE PLACEMENT
 - c. PLACEMENT OF LINERS
 - d. R-TANK INSTALLATION
 - e. INSTALLATION OF PRETREATMENT/WATER QUALITY DEVICES
 - f. PERMANENT EROSION CONTROL MATTING INSTALLATION
 - g. GENERAL SITE GRADING
 - h. DOWNSPOUT LOCATIONS.
6. POST-CONSTRUCTION STORM WATER MANAGEMENT BMP INSPECTION SCHEDULE.
 - a. THE BMP INSPECTION SCHEDULE SHALL BE DEVELOPED BY THE APPLICANT AND COMPLY WITH THE CURRENT MS4 REQUIREMENTS
 - b. THE INSPECTION SCHEDULE AND RECORD KEEPING REQUIREMENTS FOR THE INSTALLED BMPs SHALL BE NOTED ON THE APPROVED PLANS. THE INSPECTIONS WILL INCLUDE ALL BMPs SUCH AS RAIN GARDENS, RECAPTURE AND REUSE DEVICES, PLANTINGS, STORAGE DEVICES, UNDER AND ABOVE GROUND INFILTRATION FACILITIES, DOWNSPOUTS, PERVIOUS PAVING, INLET WATER QUALITY DEVICES, SWALES AND ANY OTHER BMP SPECIFIED ON THE PLANS.
 - c. THE MINIMUM BMP INSPECTION INTERVAL SHALL BE NOTED ON THE APPROVED PLANS:
 - i. DURING OR IMMEDIATELY AFTER EACH 10-YEAR FREQUENCY STORM EVENT IN ADDITION TO THOSE LISTED BELOW.
 - ii. ANNUALLY FOR THE FIRST 5 YEARS AFTER CONSTRUCTION.
 - iii. AFTER THE FIRST 5 YEARS, ONCE EVERY 3 YEARS.
 - iv. AT A GREATER FREQUENCY DETERMINED APPROPRIATE BY UNUSUAL SITE CONDITIONS, AS A RESULT OF CONFLICTS WITH OTHER PERMITTING REQUIREMENTS (SUCH AS NPDES) OR BASED ON THE JUDGMENT OF THE DESIGNER AND/OR TOWNSHIP ENGINEER.
 - d. A NOTE SHALL BE PLACED ON THE PLANS INDICATING THAT THE INSPECTION REPORTS GENERATED BY THIS SECTION SHALL BE SUBMITTED TO THE TOWNSHIP WITHIN 60 DAYS OF THE INSPECTION.
 - e. OPERATION AND MAINTENANCE REQUIREMENTS CAN BE FOUND IN ARTICLE VI.

OPERATIONS AND MAINTENANCE SCHEDULE

ONGOING MAINTENANCE ACTIVITY	FREQUENCY
REGULARLY CLEAN OUT GUTTERS AND CATCH BASINS TO REDUCE SEDIMENT LOAD TO SYSTEM	BI-ANNUALLY OR AS NEEDED
CLEAN INTERMEDIATE SUMP BOXES IN DIRECT CONNECTION OF THE SYSTEM	BI-ANNUALLY OR AS NEEDED
KEEP INFLOW AREA AND OUTLET CONTROL STRUCTURE FREE AND CLEAR OF DEBRIS AND OBSTRUCTIONS	BI-ANNUALLY OR AS NEEDED
INSPECT AND CLEAN AS NEEDED ALL COMPONENTS AND CONNECTIONS TO SUBSURFACE DETENTION SYSTEM	EVERY 3 MONTHS
EVALUATE THE DRAIN-DOWN TIME OF THE SUBSURFACE DETENTION SYSTEM TO ENSURE THE DRAIN-DOWN TIME OF 24-72 HOURS	EVERY 3 MONTHS
VACUUM OR FLUSH PIPES AND UNDERGROUND CHAMBERS	BI-ANNUALLY OR AS NEEDED
MAINTAIN RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITY	IN PERPETUITY

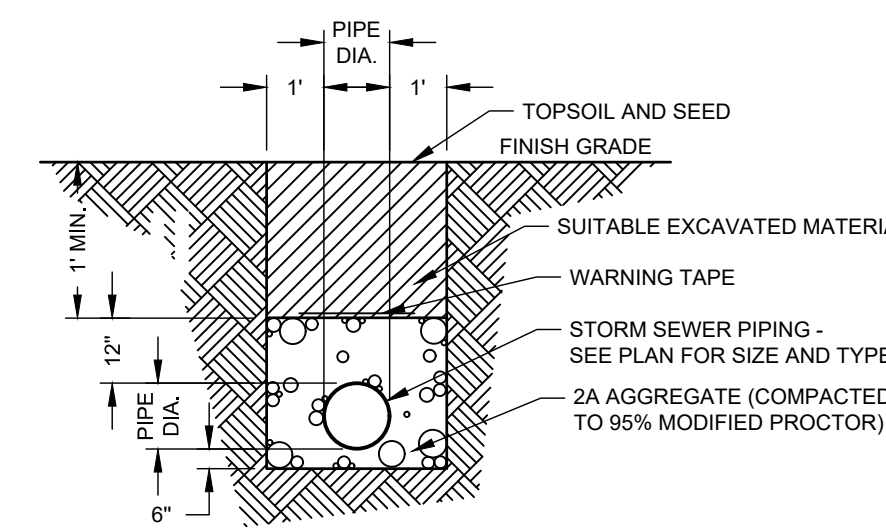


PENNDOT TYPE C INLET
NOT TO SCALE



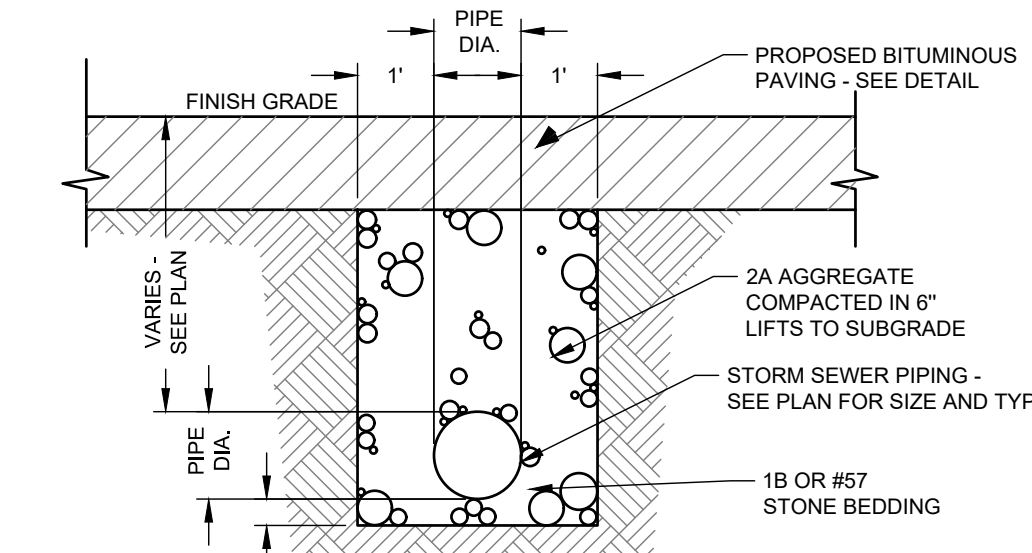
- NOTES:
 1. SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS AND SAFETY CODES.
 2. BEDDING AND BACKFILL IN ACCORDANCE WITH PENNDOT STANDARD DRAWING RC-30M.

STORM SEWER TRENCH DETAIL - LAWN AREAS
NOT TO SCALE



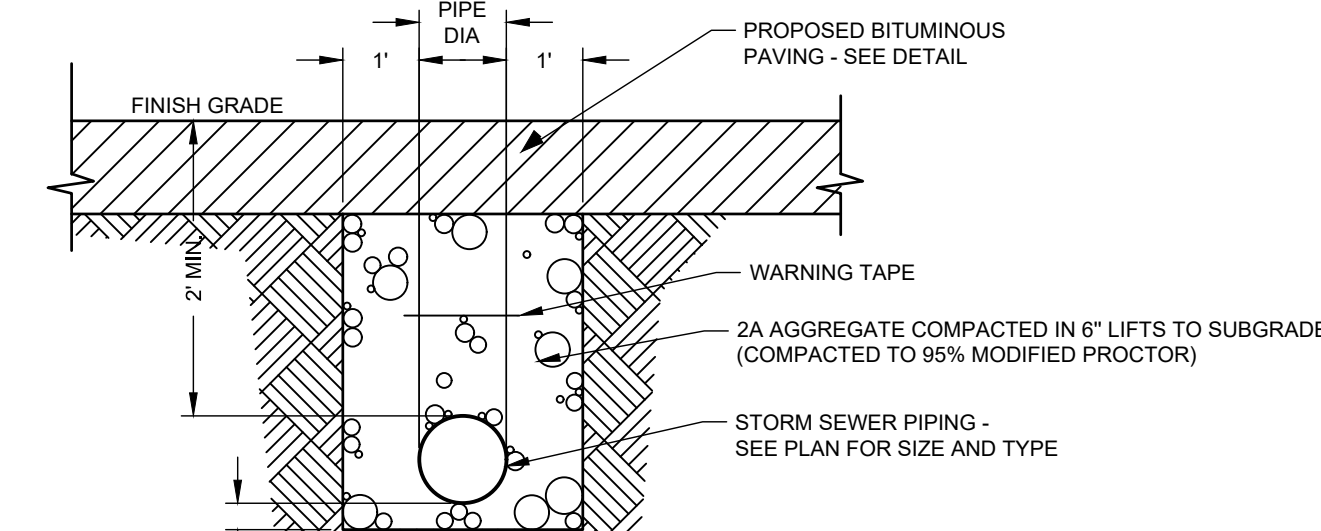
- NOTES:
 1. SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS & SAFETY CODES.
 2. BEDDING AND BACKFILL IN ACCORDANCE WITH PENNDOT STANDARD DRAWING RC-30M.

ROOF LATERAL TRENCH DETAIL - LAWN AREAS
NOT TO SCALE



- NOTE:
 SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS AND SAFETY CODES.

STORM SEWER TRENCH DETAIL - PAVED AREAS
NOT TO SCALE



- NOTES:
 1. SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS & SAFETY CODES.
 2. BEDDING AND BACKFILL IN ACCORDANCE WITH PENNDOT STANDARD DRAWING RC-30M.

STORM SEWER TRENCH DETAIL - PAVED AREAS
NOT TO SCALE

OPERATIONS AND MAINTENANCE SCHEDULE

EARLY MAINTENANCE ACTIVITY	FREQUENCY
INSPECT CONTROLS, OUTLET STRUCTURES, AND STORAGE AREAS FOR TRASH AND SEDIMENT ACCUMULATION	MONTHLY FOR THE FIRST YEAR AFTER INSTALLATION TO DETERMINE ONGOING MAINTENANCE FREQUENCY.
INSPECT EROSION CONTROL AND FLOW SPREADING DEVICES UNTIL SOIL SETTLEMENT AND STABILIZATION OF CONTRIBUTING AREAS HAVE OCCURRED	BIWEEKLY

Pennoni
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

3405 AND 3401 NORTH FRONT STREET
 SUSQUEHANNA TOWNSHIP
 DAUPHIN COUNTY, PENNSYLVANIA
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS
 LINLO MONTROSE PARK, LLC
 150 CORPORATE CIRCLE, SUITE 100
 CAMP HILL, PENNSYLVANIA 17011

NO.	DATE	REVISIONS	BY

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PROJECT: LINLO20003
 DATE: 2021-03-05
 DRAWING SCALE: AS SHOWN
 DRAWN BY: CRH/TLR
 APPROVED BY: PGD

CS9502
 SHEET 21 OF 22

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PROJECT: LINLO20003
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 DRAWING SCALE: AS SHOWN
 DRAWN BY: CRH/TLR
 APPROVED BY: PGD

CS9503
 SHEET 22 OF 22

Nominal Diameter in (mm)	AASHTO Specification	Perforation Type	Diameter, max. in (mm)	Perforation Configuration
12 (300)	M294	Circular	0.375 (10)	E
15 (375)	M294	Circular	0.375 (10)	E
18 (450)	M294	Circular	0.375 (10)	E
24 (600)	M294	Circular	0.375 (10)	F
30 (750)	M294	Circular	0.375 (10)	H
36 (900)	M294	Circular	0.375 (10)	H
42 (1050)	M294	Circular	0.375 (10)	H
48 (1200)	M294	Circular	0.375 (10)	H
60 (1500)	M294	Circular	0.375 (10)	H

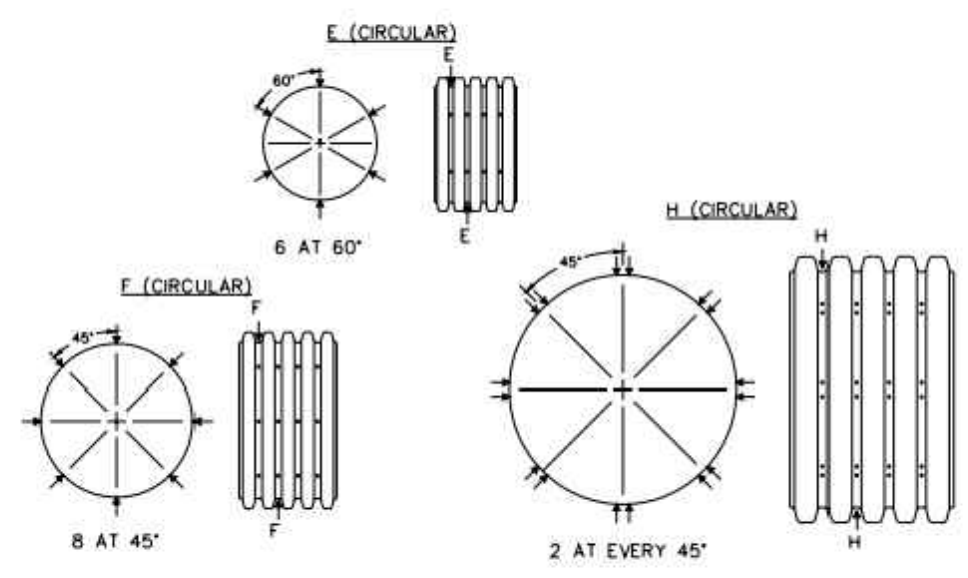
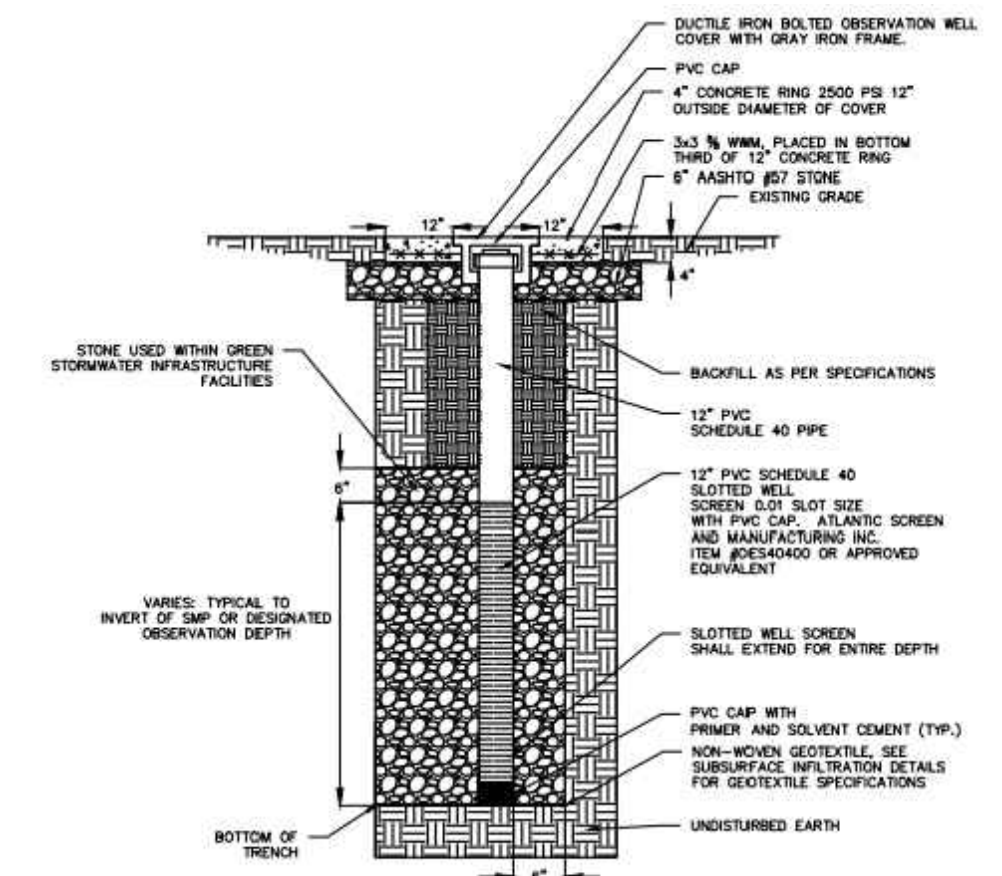
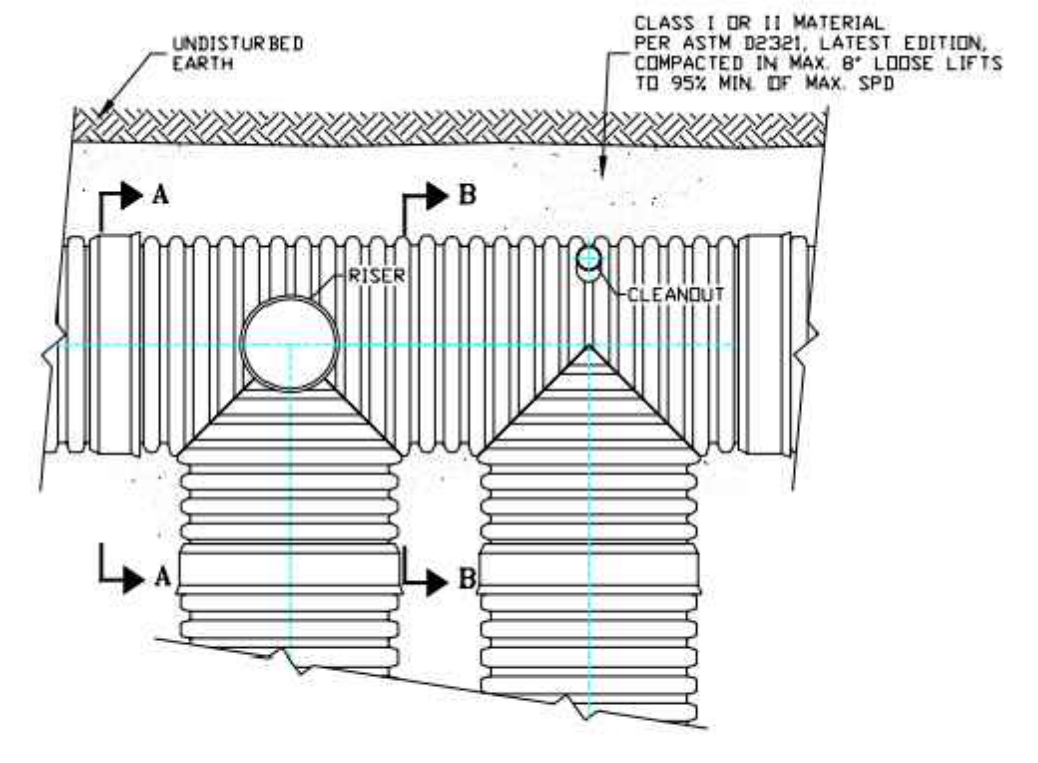


Figure 7: Perforation configurations

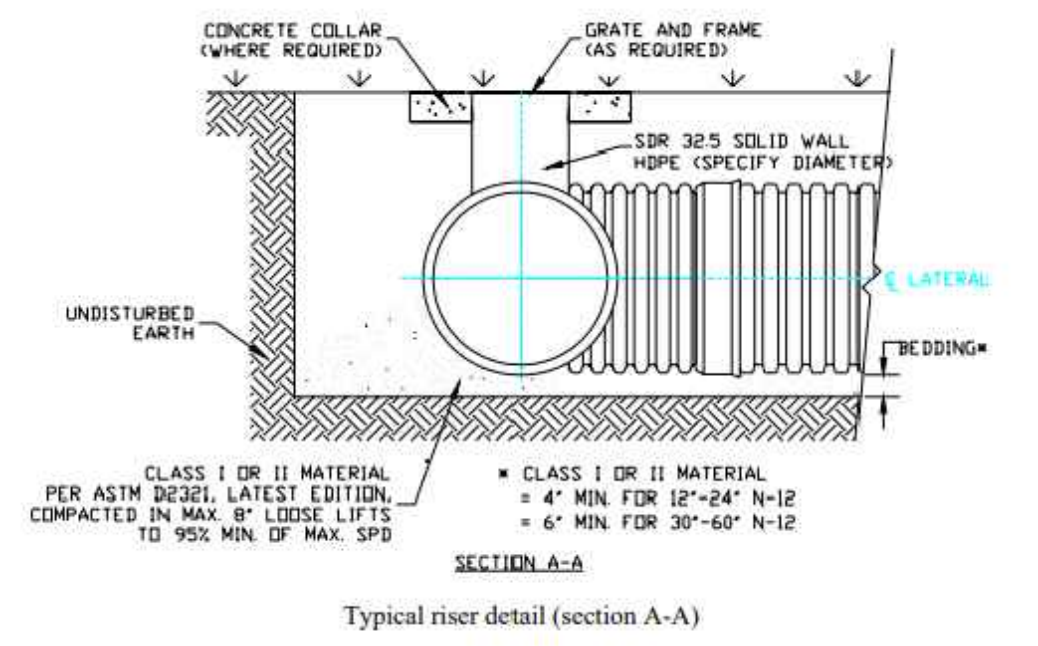


NOTES:
 1. WELL COVER SHALL BE SECURED IN CONCRETE SURROUND (1'-6" TOTAL DIAMETER) IF WELL IS NOT OTHERWISE SECURED BY SURFACE RESTORATION.



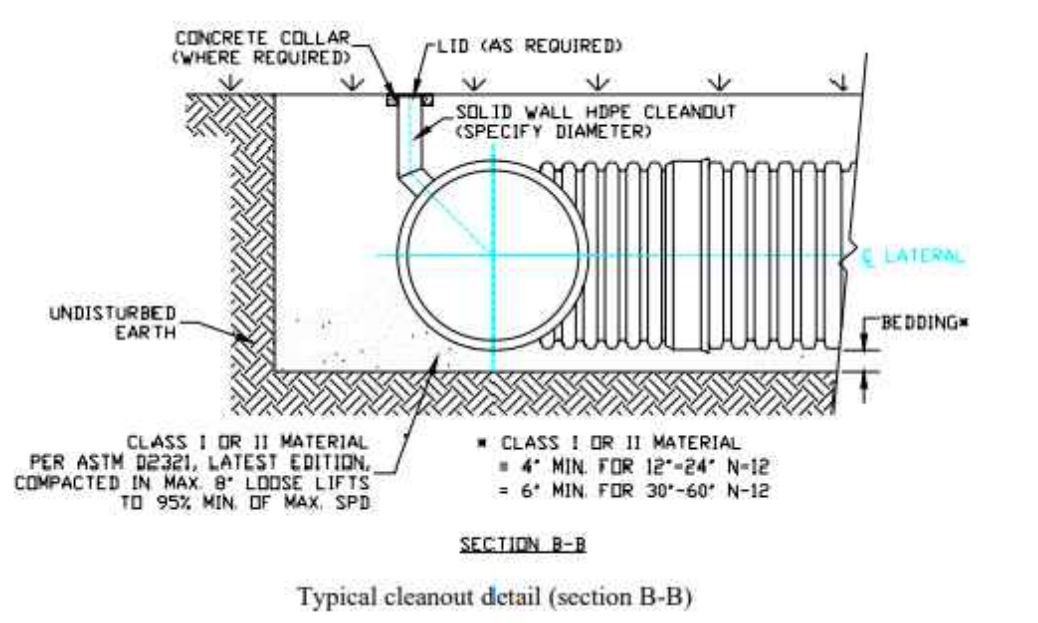
(a) Typical riser and cleanout detail (plan view)

1 PIPE MANIFOLD
 NTS



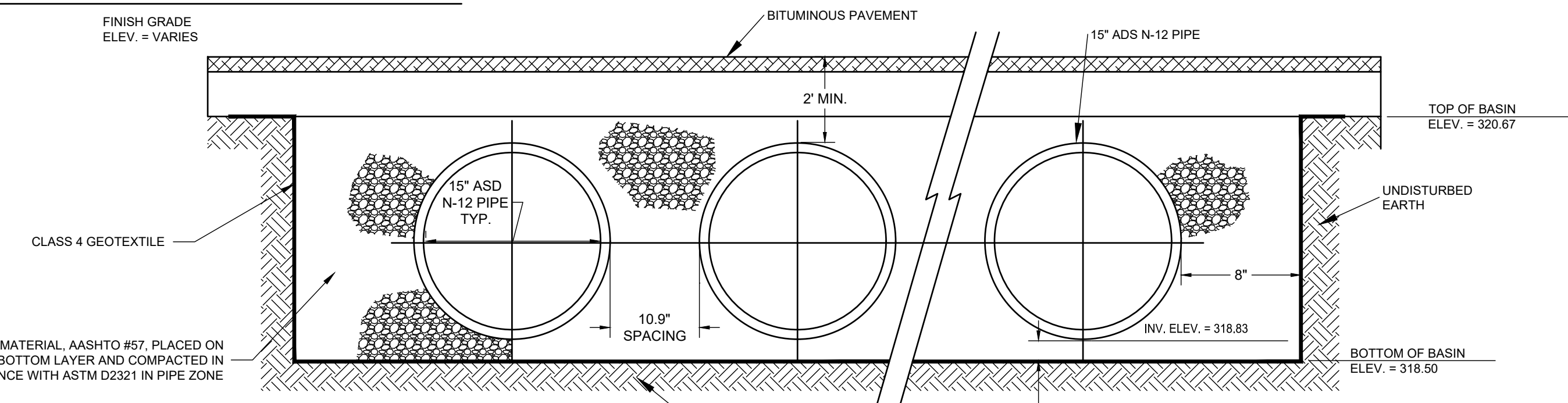
Typical riser detail (section A-A)

2 ACCESS RISER
 NTS



Typical cleanout detail (section B-B)

3 CLEANOUT
 NTS

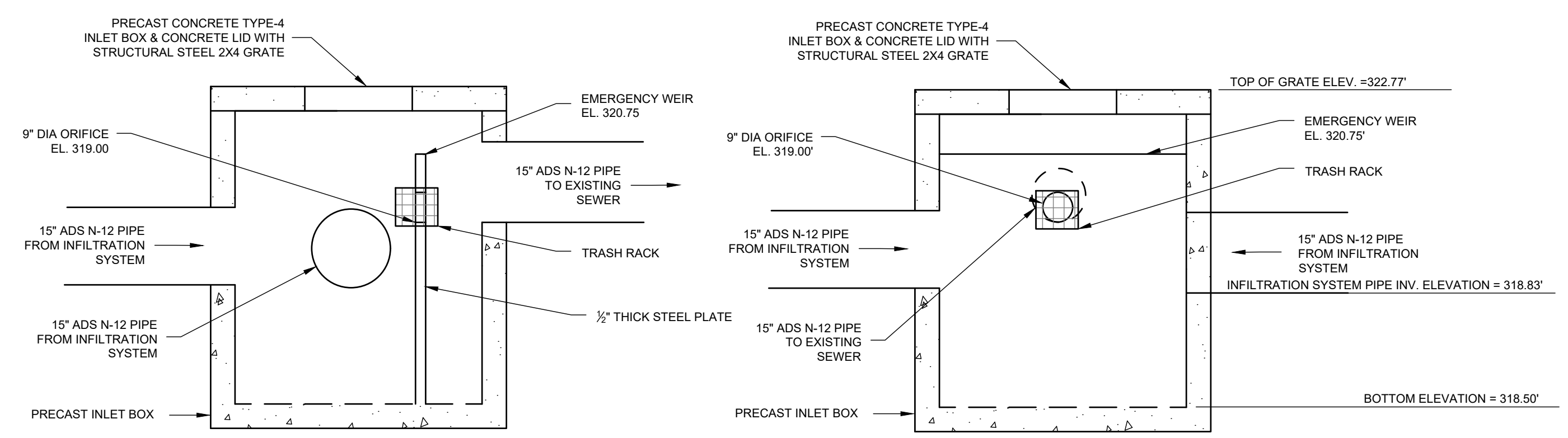


NOTES:
 1. ALL AGGREGATES WITHIN THE STONE STORAGE BED SHALL BE CLEAN-WASHED, DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST.
 2. GEOTEXTILE SHALL CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:
 GRAB TENSILE STRENGTH (ASTM-D4632) > OR = 120 LBS.
 MULLEN BURST STRENGTH (ASTM-D3786) > OR = 225 LBS.
 FLOW RATE (ASTM-D4491) > OR = 95 GAL./MIN./FT.
 UV RESISTANCE AFTER 500 HRS. (ASTM-D4355) > OR = 70%
 HEAT-SET OR HEAT CALENDARED FABRICS ARE NOT PERMITTED
 3. FOR HS-25 LOADING, A MINIMUM STONE COVER OF 2'-0" MUST BE MAINTAINED OVER THE SUBSURFACE INFILTRATION BASIN.
 4. CLASS II PERFORATIONS SHALL BE LOCATED IN THE OUTSIDE VALLEYS OF THE CORRUGATIONS, BE CIRCULAR AND/OR SLOTTED AND EVENLY SPACED AROUND THE CIRCUMFERENCE AND LENGTH OF THE PIPE.
 5. BASIN DIMENSIONS: 124.33' X 77.47'

6 SUBSURFACE INFILTRATION BASIN (IB-1) - CROSS SECTION
 NTS

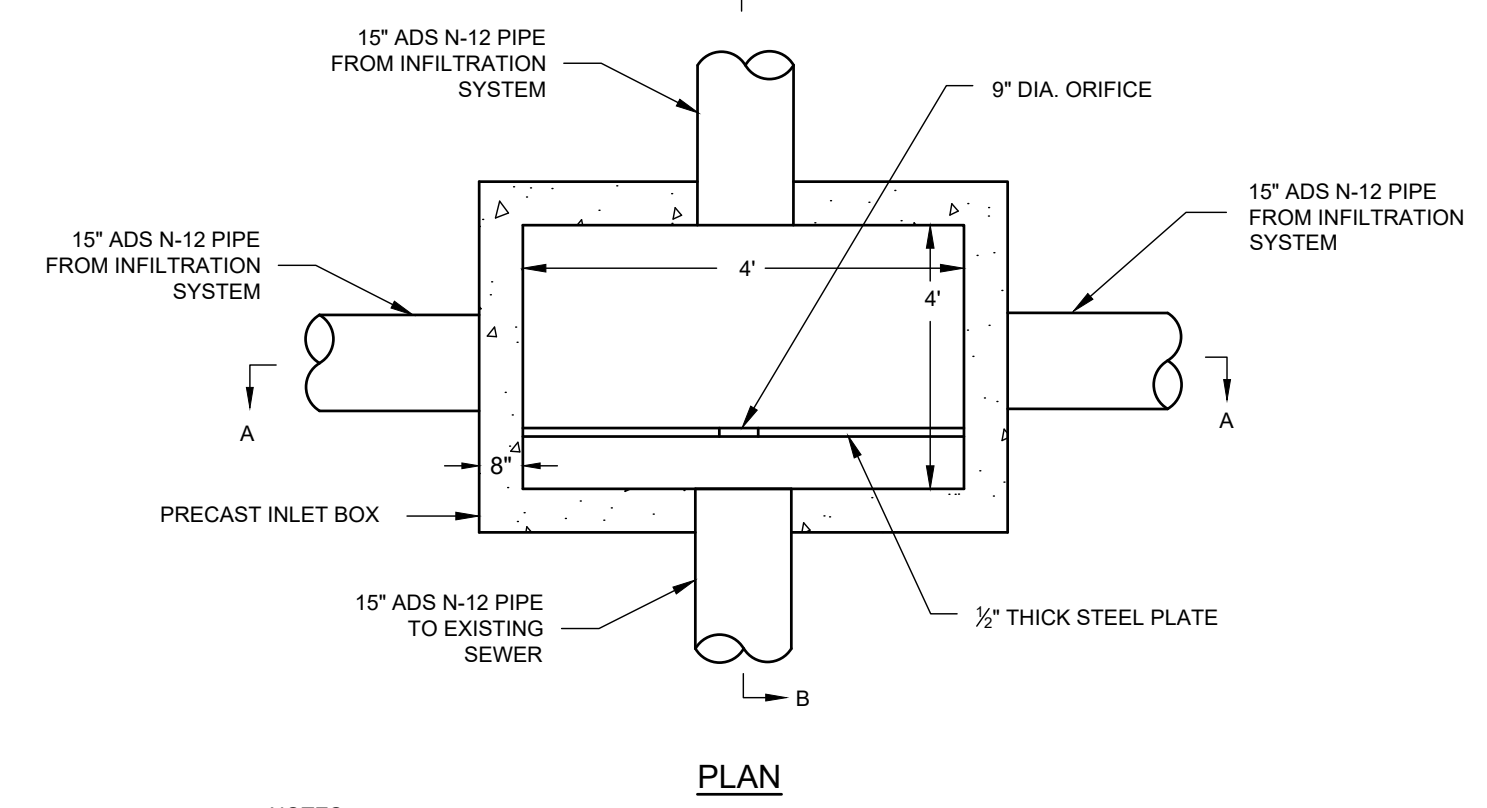
4 DUAL WALL HDPE PERFORATION PATTERNS
 NTS

5 OBSERVATION WELL IN SUBSURFACE INFILTRATION BASIN
 NTS



SECTION B-B

SECTION A-A



PLAN

NOTES:
 1. PRECAST REINFORCED CONCRETE CATCH BASIN, GRATE, AND FRAME SHALL MEET ALL REQUIREMENTS OF SUSQUEHANNA TOWNSHIP SPECIFICATIONS FOR SEWERS.
 2. PROVIDE #6 DOWELS AT A MAXIMUM OF 12" ON CENTER TO PROVIDE POSITIVE CONNECTION BETWEEN WEIR AND PRECAST OUTLET STRUCTURE.
 3. THE MINIMUM EMBEDMENT OF THE REBAR INTO THE WEIR SHALL BE 12".

7 OUTLET STRUCTURE (OS-1)
 NTS

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