

# 3405 AND 3401 NORTH FRONT STREET FINAL SUBDIVISION AND LAND DEVELOPMENT

SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA  
MARCH 5, 2021

PREPARED FOR:  
OWNER/DEVELOPER  
**LINLO MONTROSE PARK, LLC**  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

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3405 AND 3401 NORTH FRONT STREET  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA  
**COVER SHEET**  
LINLO MONTROSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

COUNTY PLANNING COMMISSION APPROVAL  
REVIEWED/APPROVED BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 2021.  
SECRETARY \_\_\_\_\_  
DIRECTOR \_\_\_\_\_ (SEAL)

SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS  
REVIEWED/APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 2021.  
SECRETARY \_\_\_\_\_  
PRESIDENT \_\_\_\_\_ (SEAL)

SUSQUEHANNA TOWNSHIP PLANNING COMMISSION  
REVIEWED/APPROVED BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 2021.  
SECRETARY \_\_\_\_\_  
CHAIRMAN \_\_\_\_\_ (SEAL)

THE FOLLOWING SIGNATURE BLOCK CERTIFIES THAT THE TOWNSHIP ENGINEER HAS REVIEWED THE DEVELOPMENT PLAN:  
I, \_\_\_\_\_, A REGISTERED PROFESSIONAL ENGINEER OF THE TOWNSHIP OF SUSQUEHANNA, DO HEREBY CERTIFY THAT THIS DEVELOPMENT PLAN MEETS ALL THE ENGINEERING AND DESIGN REQUIREMENTS OF THE TOWNSHIP SUBDIVISION AND ZONING ORDINANCE, EXCEPT AS DEPARTURES HAVE BEEN AUTHORIZED BY THE APPROVAL AUTHORITY.  
DATE \_\_\_\_\_ TOWNSHIP ENGINEER REGISTRATION NO. \_\_\_\_\_

OWNER'S ADOPTION AND DEDICATION  
KNOW ALL MEN BY THESE PRESENTS, THAT \_\_\_\_\_ OF THE TOWNSHIP OF SUSQUEHANNA, DAUPHIN COUNTY, PENNSYLVANIA, THEREOF, DO HEREBY ADOPT THIS PLAN AS OUR PLAN OF LOTS OF THEIR PROPERTIES SITUATED IN THE TOWNSHIP OF SUSQUEHANNA, DAUPHIN COUNTY, COMMONWEALTH OF PENNSYLVANIA, AND FOR DIVERS ADVANTAGES ACCRUING TO ME, DO HEREBY DEDICATE FOREVER, FOR PUBLIC USE FOR HIGHWAY PURPOSES ALL SLOPE AREAS AND ALL DRIVES, ROADS, STREETS, LANES, WAYS AND OTHER PUBLIC HIGHWAYS SHOWN UPON THE PLAN, WITH THE SAME FORCE AND EFFECTS AS IF THE SAME HAD BEEN THROUGH LEGAL PROCEEDINGS, AND IN CONSIDERATION OF THE APPROVAL OF SAID PLAN, ANY FUTURE ACCEPTANCE OF SAID PUBLIC HIGHWAYS BY THE COMMONWEALTH OF PENNSYLVANIA, COUNTY OF DAUPHIN, AND THE TOWNSHIP OF SUSQUEHANNA.  
WITNESS \_\_\_\_\_ OWNER SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_ PRINTED NAME OF OWNER \_\_\_\_\_

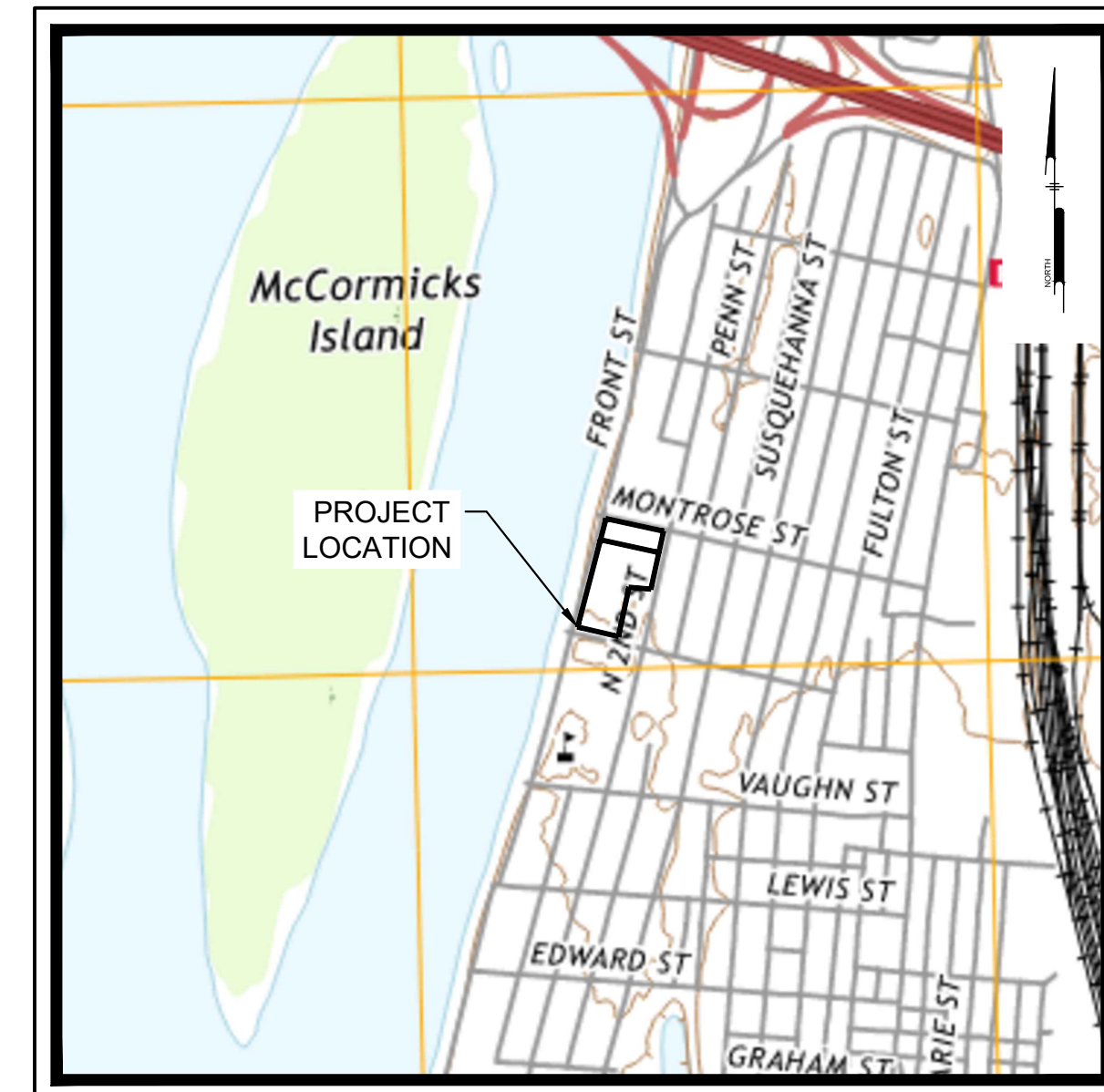
SURVEYOR'S CERTIFICATION  
I, DAVID RUSSEL BOYER, A REGISTERED LAND SURVEYOR FOR THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN CORRECTLY REPRESENTS THE LOTS, LANDS STREETS AND HIGHWAYS AS SURVEYED AND PLOTTED BY ME FOR THE OWNERS OR AGENTS.  
DATE \_\_\_\_\_ DAVID RUSSEL BOYER, PLS REGISTRATION NO. SU-XXXXXXX

ENGINEERS CERTIFICATION  
I, PATRICK G. DENARDO, A PROFESSIONAL ENGINEER FOR THE COMMONWEALTH OF PENNSYLVANIA, DO HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT ALL INFORMATION SHOWN IS CORRECT.  
DATE \_\_\_\_\_ PATRICK G. DENARDO, PE REGISTRATION NO. \_\_\_\_\_

REQUESTED MODIFICATIONS  
1. SECTION 19-501.J - DEPTH OF STORMWATER MANAGEMENT FACILITIES IN RELATION TO ADJACENT FEMA FLOODPLAIN  
ACTION:  
DATE:  
2. SECTION 19-501.K - BASIN OUTFLOW DISCHARGING INTO FLOODPLAIN TAILWATER ANALYSIS  
ACTION:  
DATE:



**LOCATION MAP**  
Scale: 1" = 1000'



**USGS MAP**  
Scale: 1" = 1000'

**ZONING INFORMATION:**  
THE SUBJECT PREMISES LIES WITHIN THE BOR (BUSINESS OFFICE RESIDENTIAL) ZONING DISTRICT

ZONING DISTRICT:	BOR	REQUIRED	PROVIDED
MIN. LOT AREA:	15,000 SQ. FT.	15,000 SQ. FT.	187,625 SQ. FT.
MIN. LOT WIDTH:	150 FEET	150 FEET	339 FEET
MAX. IMPERVIOUS SURFACE COVERAGE:	80%	80%	62%
MAX. BUILDING COVERAGE:	35%	35%	14%
MIN. FRONT YARD:	25 FEET 65 FEET (N FRONT ST)	>25 FEET >65 FEET	>25 FEET >65 FEET
MIN. SIDE YARD:	10 FEET	10 FEET	>10 FEET
MIN. REAR YARD:	25 FEET	25 FEET	25 FEET
MAX. BUILDING HEIGHT:	42 FEET	42 FEET	20 FEET

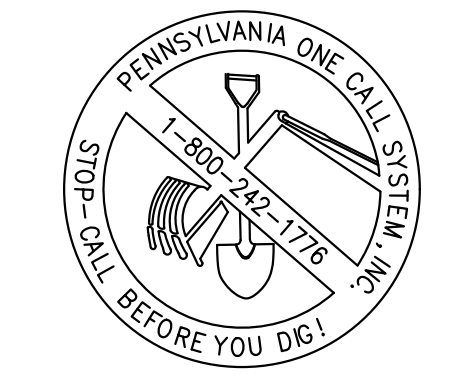
**PARKING INFORMATION:**

	REQUIRED	PROVIDED
3401 N FRONT ST (EXISTING BUILDING)		122 (NO SPACES TO BE ADDED)
3405 N FRONT ST (PROPOSED BUILDING)		
5090 SF OFFICE	5090SF/250SF = 21 SPACES	
1 SPACE PER 250 SF		
7243 SF MEDICAL (DIALYSIS CLINIC)	1 VISITING DOCTOR AT SITE = 5 SPACES	56 (49 ONSITE/7 ON MONTROSE ST)
5 SPACES PER DOCTOR		

PREPARED BY:  
**PENNONI ASSOCIATES INC.**



5072 Ritter Road, Suite 102  
Mechanicsburg, PA 17055  
T 717.975.6481  
F 717.975.6480



**CALL BEFORE YOU DIG**  
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA  
CALL 1-800-242-1776  
PA. ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.  
SERIAL NUMBER(S): 20210050687

**NPDES INFO**  
PERMIT NO: XXXXXXXXXX  
EXPIRATION DATE: XXXXXXXXXX

NO.	DATE	REVISIONS	BY

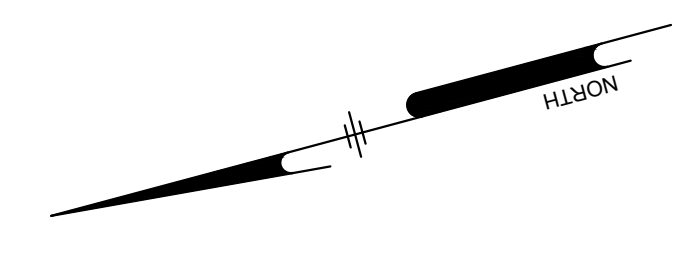
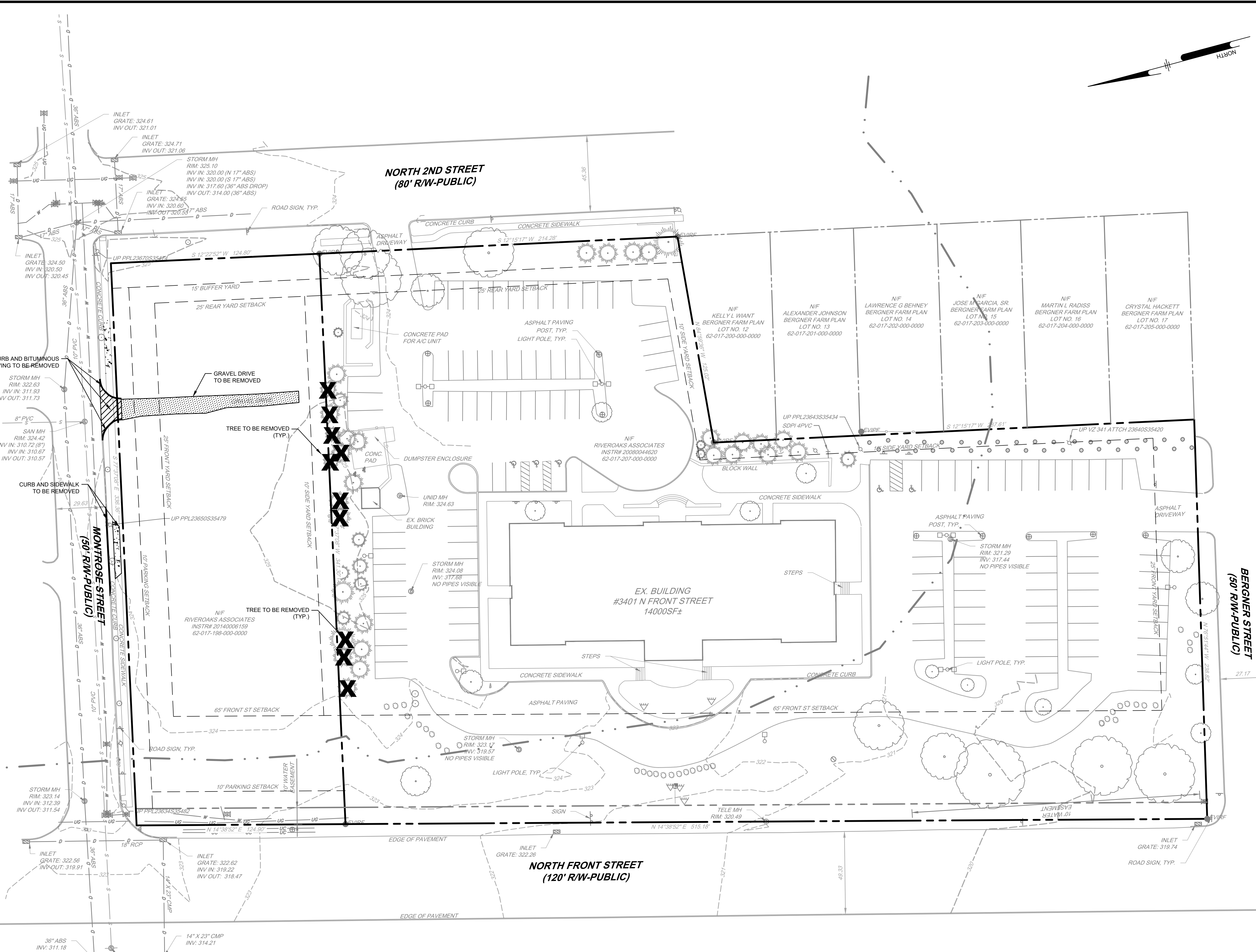
ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE. OWNER SHALL PROMPTLY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: LINLO20003  
DATE: 2021-03-05  
DRAWING SCALE: AS SHOWN  
DRAWN BY: CRH/TLR  
APPROVED BY: PGD

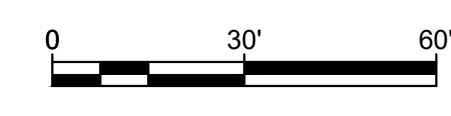
**CS0001**  
SHEET 1 OF 21

U:\Documents\LINLO\LINLO20003 - 3405 N. Front Street\CS0001\_SHEET1620003.dwg PLOTTED: 3/2/2021 1:50:00 AM BY: jpb\jpb\pennoni PLOTSTYLE: Pennoni.ctb PROJECT STATUS: ---

U:\Projects\LINCOLN\020003 - 3405 N. Front Street\DESIGN\_SHEETS\CS0201.dwg  
 PLOTTED: 3/20/2021 8:51 AM BY: J. Pennington PLOTFILE: Pennington.dsb PROJECT STATUS:



LEGEND	
	BUILDING SETBACK LINE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	EASEMENT
	FENCE
	NATURAL GAS
	GUY WIRE
	SPOT LIGHT
	POST
	TRAFFIC SIGN
	SANITARY SEWER
	INLET
	STORM SEWER
	MINOR CONTOUR
	MAJOR CONTOUR
	WATER
	FLOODPLAIN
	SINGLE HEAD LIGHT
	DOUBLE HEAD LIGHT
	UTILITY POLE
	PROPERTY LINE
	FLAG POLE
	UTILITY MANHOLES
	TREES



### EXISTING CONDITIONS GENERAL NOTES:

- LOCATION:** THE PROJECT SITE IS LOCATED AT 3405 & 3401 NORTH FRONT STREET, SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA.
- THE FIELD SURVEY WAS PERFORMED BY PENNONI ASSOCIATES INC., 5072 RITTER ROAD, SUITE 102, MECHANICSBURG, PA. 17055, ON FEBRUARY 8, 9, & 12, 2021. SITE WAS SNOW-COVERED FOR THE DURATION OF THE SURVEY.
- PROPERTY BOUNDARY INFORMATION DEPICTED ON THIS PLAN IS BASED UPON RECORD DEED & PLAN INFORMATION AS IT RELATES TO FOUND MONUMENTATION.
- EXISTING TOPOGRAPHY AND PLAIMETRIC FEATURES SHOWN ON THIS PLAN ARE BASED ON AN ON-THE-GROUND FIELD SURVEY, DERIVED FROM GPS OBSERVATIONS AND TRADITIONAL SURVEY METHODS.
- THE SITE IS COMPRISED OF THE FOLLOWING TWO (2) PARCELS:  
 3405 NORTH FRONT STREET PID# 62-017-198  
 INSTRUMENT #20190005610  
 3401 NORTH FRONT STREET PID# 62-017-207  
 INSTRUMENT #20080044620
- PLAN IS TIED HORIZONTALLY TO THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM (NAD83) AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
- SITE BENCHMARK:** CONTROL POINT #4 - "MAG" NAIL SET IN THE REAR 3401 NORTH FRONT STREET PARKING LOT. DATUM OF THE DUMPSTER ENCLOSURE, AS SHOWN - ELEVATION 323.90' (NAV88).
- REFERENCE PLANS:** PLAN OF "BERGNER FARM" PREPARED BY GANNETT, SEELY & FLEMING, ENGINEERS, INC. IN MAY 1928 AND RECORDED IN THE DAUPHIN COUNTY RECORDER OF DEEDS OFFICE ON 8/5/1929 IN PLAN BOOK J-1 PAGE 23.  
 PLAN OF "SECTION A - MONTROSE PARK" RECORDED IN THE DAUPHIN COUNTY RECORDER OF DEEDS OFFICE ON 4/10/1923 IN PLAN BOOK H-1 PAGE 56.
- THE SITE IS LOCATED PARTLY WITHIN ZONE X AND ZONE AE AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR DAUPHIN COUNTY, PA, MAP NUMBER 42043C0317D, PANEL 317 OF 501, HAVING AN EFFECTIVE DATE OF AUGUST 2, 2012.
- THE NATIONAL WETLANDS INVENTORY MAP DOES NOT INDICATE THE PRESENCE OF WETLANDS ON THE SUBJECT PREMISES. AN INDEPENDENT ASSESS/PRESERVE WETLAND DETERMINATION BY A WETLAND SCIENTIST HAS NOT BEEN PERFORMED.
- THE SITE DOES NOT APPEAR TO BE PRESENT OF ANY ARCHAEOLOGICAL RESOURCES, HISTORICAL FEATURES, AND IMPORTANT NATURAL HABITAT.
- THIS PLAN HAS BEEN PREPARED WITH THE BENEFIT OF A CLIENT SUPPLIED TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY FOR THE 3405 NORTH FRONT STREET PROPERTY - HAVING A COMMITMENT NUMBER OF 2020-1966-CLT AND A COMMITMENT DATE OF 12/10/2020. A TITLE REPORT WAS NOT PROVIDED FOR 3401 NORTH FRONT STREET WHICH MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAYS, COVENANTS AND OTHER RESTRICTIONS, EITHER RECORDED OR UNRECORDED. THE SURVEYOR HAS NOT PERFORMED ANY INDEPENDENT RESEARCH FOR ENCUMBRANCES OR TITLE EVIDENCE AFFECTING THE 3401 NORTH FRONT STREET PROPERTY THAT A CURRENT AND ACCURATE TITLE REPORT WOULD DISCLOSE.
- THE WORD "CERTIFY" AS USED IN ITS VARIOUS FORMS HEREON, IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH, IT CONSTITUTES NEITHER A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

#### UTILITY NOTES:

- IN ACCORDANCE WITH PA ACT 287 (1974), AS CURRENTLY AMENDED, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1776) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION. A PRELIMINARY DESIGN PA ONE CALL HAS BEEN PLACED FOR THIS PROJECT - SERIAL NUMBER 20210050887.
- THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS (SUE ASCE STANDARD 38-02 QUALITY LEVEL C). SITE WAS SNOW-COVERED FOR THE DURATION OF THE FIELD SURVEY. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT ARE ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE CONTRACTOR SHALL HAND DIG TO LOCATE ALL SHOWN UTILITIES. THE PROFESSIONAL HAS ATTEMPTED TO LOCATE AND INDICATE EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED. IF CONFLICTS ARE FOUND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- THE LOCATION OF EXISTING OVERHEAD UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM FIELD OBSERVATION.

**PENNONI ASSOCIATES INC.**  
 5072 Ritter Road, Suite 102  
 Mechanicsburg, PA 17055  
 T 717.975.6461 F 717.975.6480

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
 AND OWNER MUST BE NOTIFIED OF ANY  
 DISCREPANCIES BEFORE PROCEEDING WITH WORK

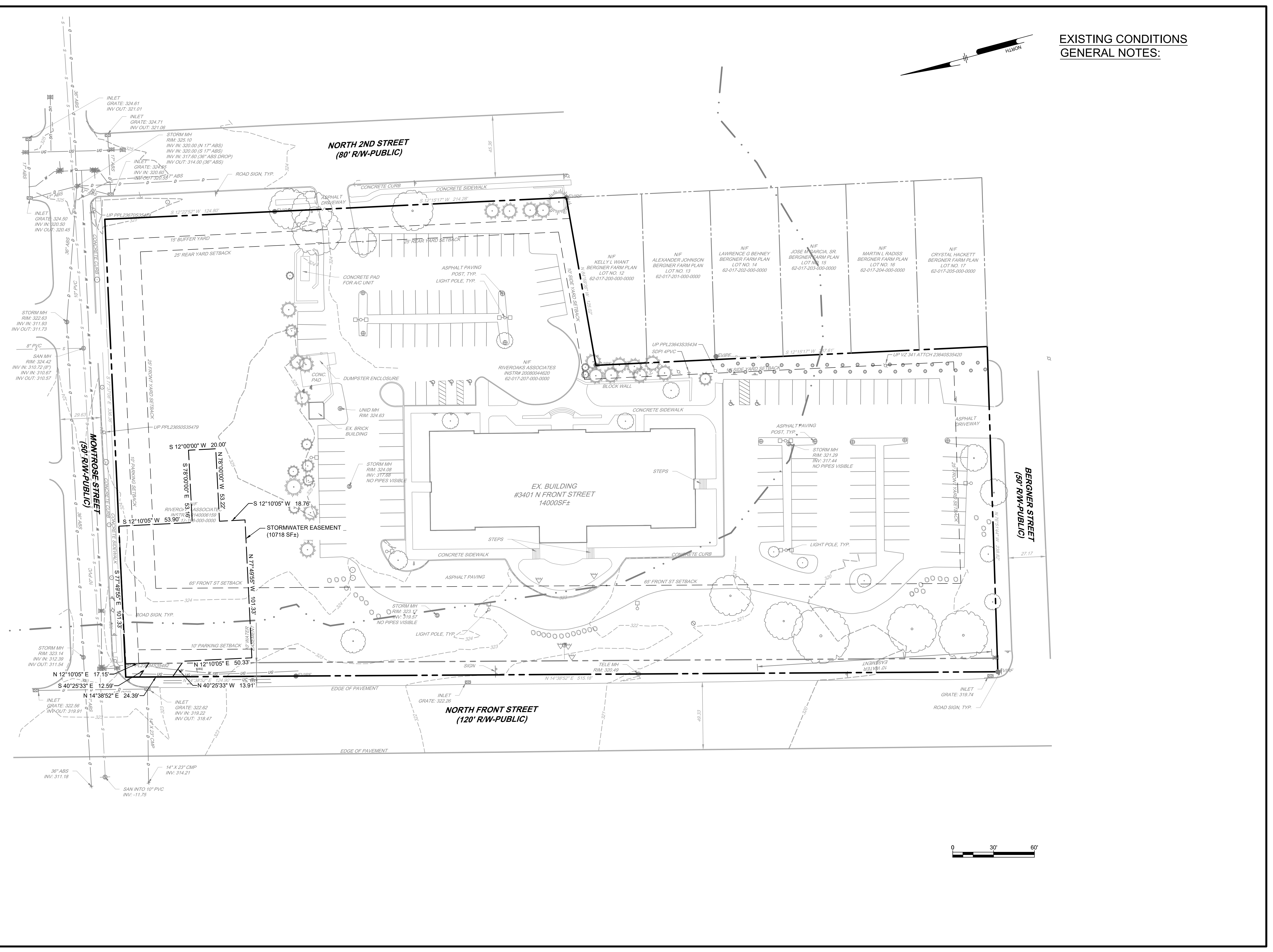
**3405 AND 3401 NORTH FRONT STREET**  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA  
**EXISTING CONDITIONS AND SITE DEMOLITION  
 PLAN**  
 LINLO MONTROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

**CS0201**  
 SHEET 2 OF 21



EXISTING CONDITIONS  
GENERAL NOTES:

**PENNONI ASSOCIATES, INC.**  
5072 Ritter Road, Suite 102  
Mechanicburg, PA 17055  
T 717.975.6481 F 717.975.6480

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR  
AND OWNER MUST BE NOTIFIED OF ANY  
DISCREPANCIES BEFORE PROCEEDING WITH WORK

**3405 AND 3401 NORTH FRONT STREET  
EASEMENT PLAN**  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA  
LINLO MONTROSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

PROJECT **LINLO20003**

DATE **2021-03-05**

DRAWING SCALE **AS SHOWN**

DRAWN BY **CRH/TLR**

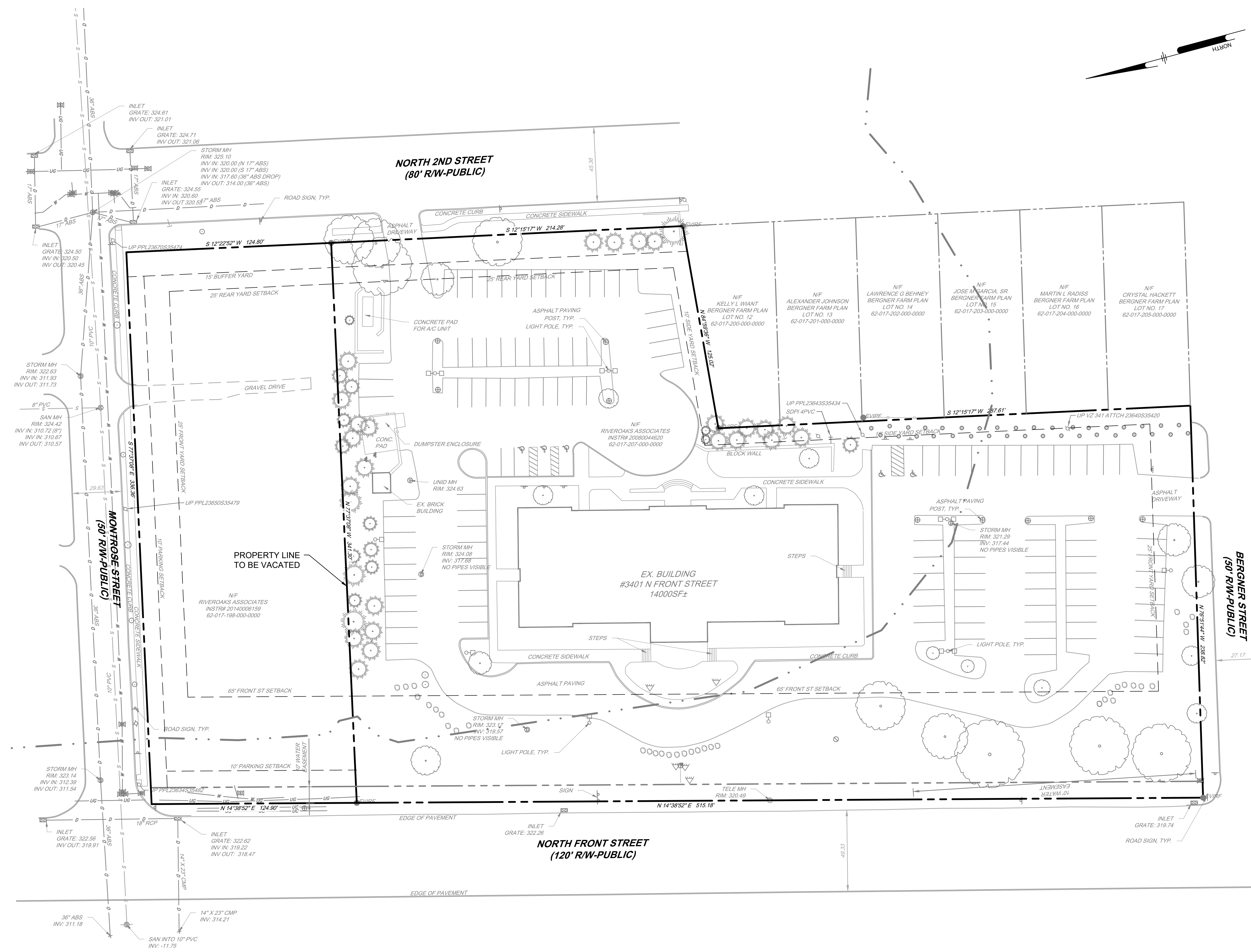
APPROVED BY **PGD**

**CS0301**

SHEET **3** OF **21**

PROJECT STATUS: —  
FOOTED: 3/2/2021 8:51 AM BY: J. H. Hester PLT/ST/PL/Permit/NC/SLB  
U:\Projects\LINLO\LINLO0003 - 3405 N Front Street\DESIGN\_SHEETS\CS0301.dwg

PLOTTED: 3/30/21 4:53 AM BY: The Registrar - F:\DTP\FILE\_Pennoni\K28-48 PROJECT STATUS: UP:Accommodate\LINK\LINK020003 - 3401 N Front Street\CS0901\_SHEET 4 OF 280801.CAD



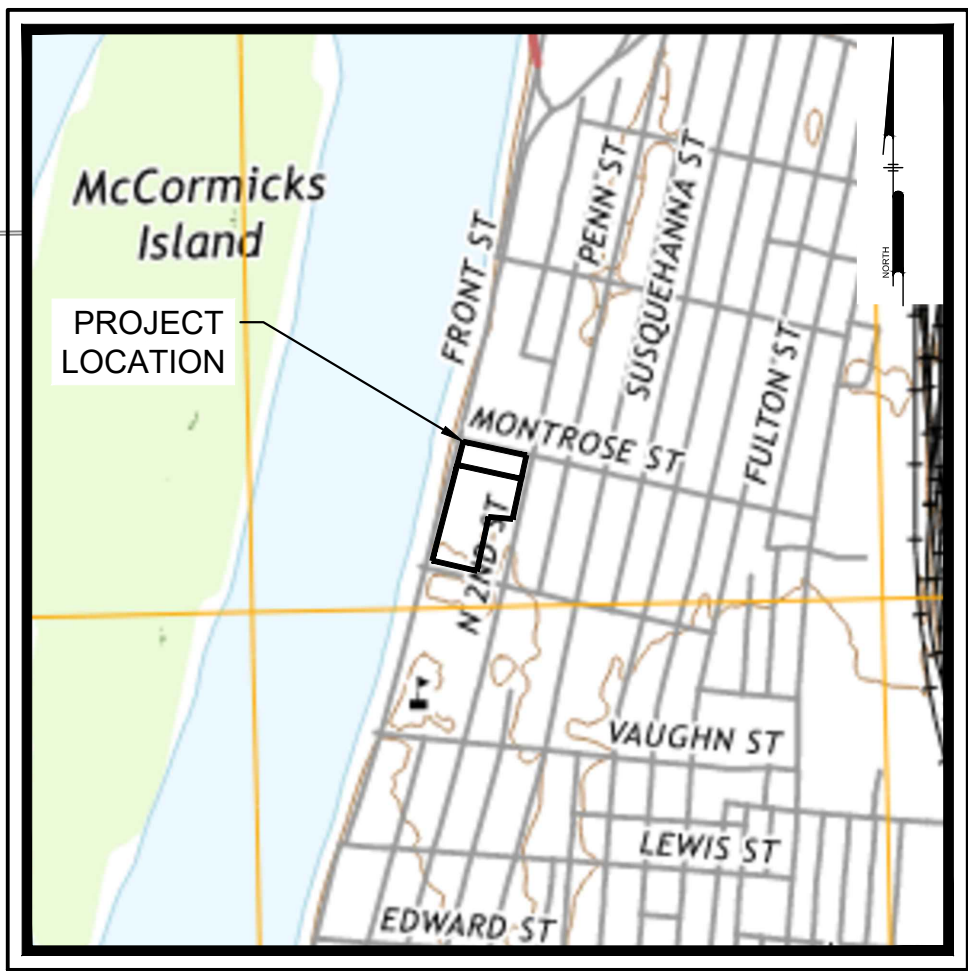
**GENERAL NOTES:**

- THE PURPOSE OF THIS CONSOLIDATION PLAN IS TO COMBINE BLOCK 62-017 LOTS 198 & 207 INTO 1 LOT.
- A FIELD SURVEY OF THE SITE WAS PERFORMED BY PENNONI ASSOCIATES IN FEBRUARY, 2021.
- THIS SITE IS CURRENTLY ZONED BOR, ACCORDING TO THE SUSQUEHANNA TOWNSHIP ZONING MAP.
- UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
  - RIGHTS OR INTERESTS OF THE UNITED STATES OF AMERICA OR COMMONWEALTH OF PENNSYLVANIA OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE, OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OF ANY FEDERAL, STATE, OR LOCAL AGENCY.
  - BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY. THE SETBACK LINES SHOWN GRAPHICALLY ARE BASED ON THOSE SHOWN IN THE SUSQUEHANNA TOWNSHIP ZONING ORDINANCE. DEVELOPER HAS THE RESPONSIBILITY OF APPLYING THE CORRECT INTERPRETATION OF SAID ORDINANCE AND PLAN INFORMATION REGARDING SETBACK LINE LOCATIONS.
  - ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
- THE FOLLOWING NOTES PERTAIN TO UTILITIES:
  - THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE.
  - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
  - IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF 2008. THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1176) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION.
  - THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
- THE WORD "CERTIFY" AS USED IN ITS VARIOUS FORMS HEREON, IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, WHICH IS BASED ON HISHER BEST KNOWLEDGE, INFORMATION AND BELIEF. AS SUCH, IT CONSTITUTES NEITHER A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
- THERE IS NO OBSERVED EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
- THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION INCLUDING ADDITIONS, OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR ON THE SITE.
- BEARINGS BASED ON GEOODETIC NORTH. COORDINATES BASED ON PENNSYLVANIA STATE PLANE (SOUTH ZONE) NAD 83. VERTICAL DATUM BASED ON NAVD88.
- THE SITE IS LOCATED PARTLY WITHIN ZONE X AND ZONE AE AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP FOR DAUPHIN COUNTY, PA, MAP NUMBER 42043C0317D, PANEL 317 OF 501, HAVING AN EFFECTIVE DATE OF AUGUST 2, 2012.
- THERE ARE NO GAS OR OIL WELLS LOCATED ON THIS PROPERTY.
- PENNONI ASSOCIATES RESERVES THE RIGHT TO REVISE THIS DRAWING IF ADDITIONAL INFORMATION IS FOUND OR SUPPLIED IN THE FUTURE.
- A CONDOMINIUM PLAN WILL BE PREPARED AND EXECUTED BETWEEN LINLO MONTROSE PARK, LLC AND RIVEROAKS ASSOCIATES WHICH WILL GOVERN ACCESS, OWNERSHIP, AND MAINTENANCE OF BUILDINGS AND SHARED FACILITIES ON NEW LOT.

**ZONING INFORMATION:**

THE SUBJECT PREMISES LIES WITHIN THE BOR (BUSINESS OFFICE RESIDENTIAL) ZONING DISTRICT

ZONING DISTRICT:	BOR	REQUIRED	PROVIDED
MIN. LOT AREA:	15000 SQ. FT.	15000 SQ. FT.	187,625 SQ. FT.
MIN. LOT WIDTH:	150 FEET	150 FEET	339 FEET
MAX. IMPERVIOUS SURFACE COVERAGE:	80%	80%	62%
MAX. BUILDING COVERAGE:	35%	35%	14%
MIN. FRONT YARD:	25 FEET 65 FEET (N FRONT ST)	25 FEET 65 FEET (N FRONT ST)	>25 FEET >65 FEET
MIN. SIDE YARD:	10 FEET	10 FEET	>10 FEET
MIN. REAR YARD:	25 FEET	25 FEET	25 FEET
MAX. BUILDING HEIGHT:	42 FEET	42 FEET	20 FEET



**FORMER AREA TABULATION**

PARCEL	SQ. FT.	ACRES
62-017-198-000-0000	42,286	0.97
62-017-207-000-0000	145,335	3.34
<b>TOTAL</b>	<b>187,621</b>	<b>4.31</b>

**TABULATION OF AREAS**

PARCEL	SQ. FT.	ACRES
LOT 1	187,621	4.31
<b>TOTAL</b>	<b>187,621</b>	<b>4.31</b>

**PROPERTY INFORMATION**

SITE ADDRESS	3401 & 3405 N FRONT STREET HARRISBURG, PA. 17110
COUNTY	DAUPHIN
TAX MAP No.	62-017, LOTS 198 & 207
TOTAL GROSS LAND AREA	187,621 SQ. FT. 4.31 ACRES

**OWNER INFORMATION**

RIVEROAKS ASSOCIATES 3401 N FRONT STREET HARRISBURG, PA. 17110
LINLO MONTROSE PARK, LLC 150 CORPORATE CIRCLE, SUITE 100 LEMOYNE, PENNSYLVANIA 17043

**PENNONI ASSOCIATES, INC.**  
5072 Ritter Road, Suite 102  
Mechanicburg, PA 17055  
T 717.975.6481 F 717.975.6481

**ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK**

**3405 AND 3401 NORTH FRONT STREET**  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA

**LOT CONSOLIDATION PLAN**

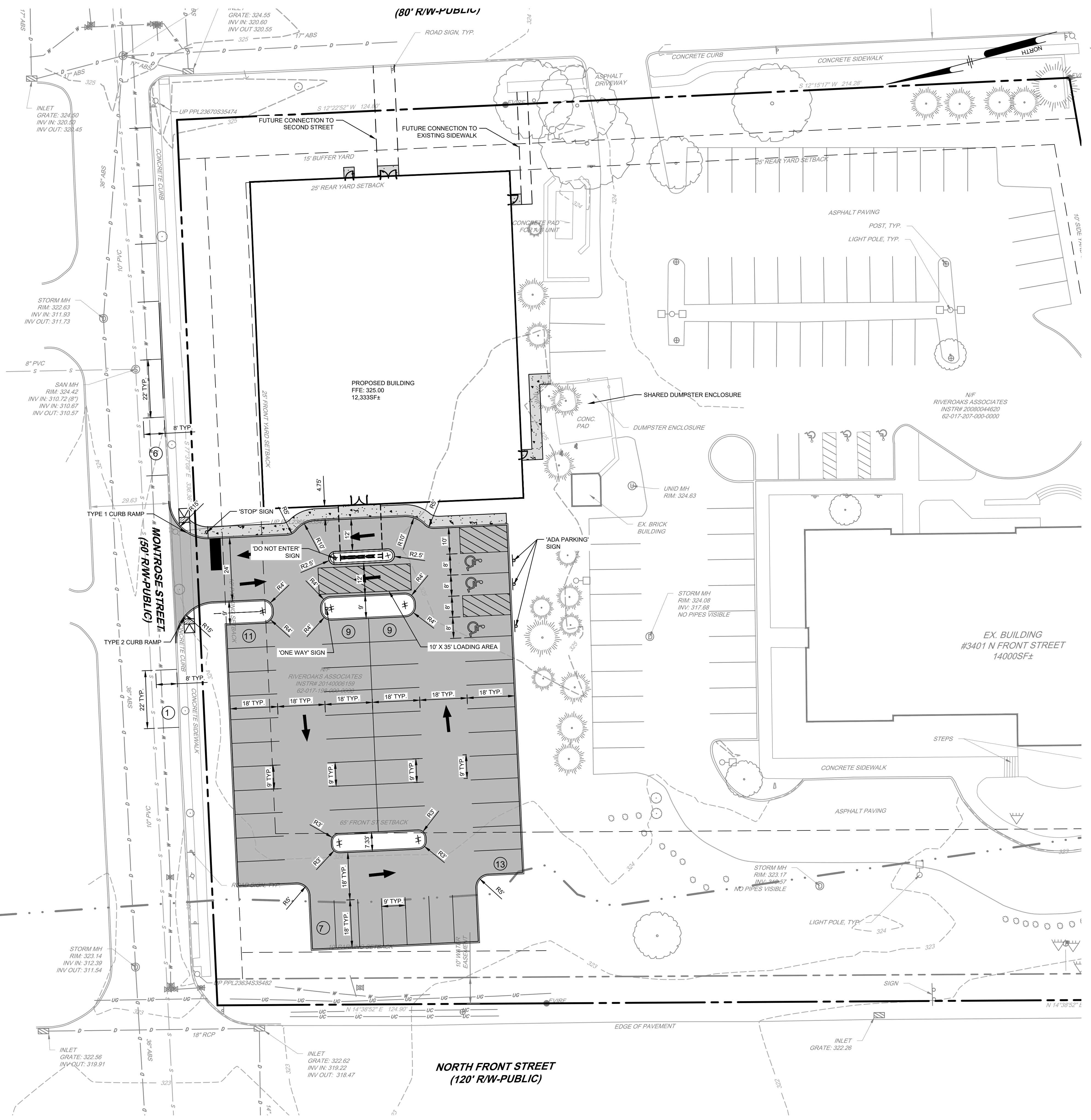
**LINLO MONTROSE PARK, LLC**  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

NO.	REVISIONS	BY

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PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

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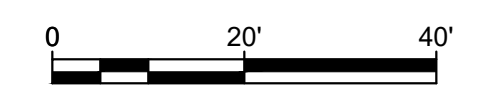


**LEGEND**

- BITUMINOUS PAVING (REGULAR DUTY)
- CONCRETE SIDEWALK (REGULAR DUTY)
- CONCRETE CURB
- PARKING SPACE COUNT

**SITE PLAN GENERAL NOTES:**

- INTENT OF THIS PLAN IS TO CONSTRUCT A MEDICAL / OFFICE BUILDING WITH ASSOCIATED SITE IMPROVEMENTS, PARKING, AND A STORMWATER MANAGEMENT FACILITY.
- THE CONTRACTOR MUST PERFORM A ONE CALL (1-800-242-1776) AT LEAST THREE (3) WORKING DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ACT 287 - 1974, OR AS AMENDED WITH ACT 287.
- ALL WORK AND MATERIALS MUST COMPLY WITH SUSQUEHANNA TOWNSHIP REGULATIONS, CODES, AND OSHA STANDARDS.
- ADA ACCESSIBLE ROUTES ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE.
- ALL MUD FROM CONSTRUCTION ACTIVITIES THAT GETS TRACKED ONTO STREETS, EITHER DEDICATED OR UNDEDICATED, SHALL BE CLEANED BY THE BUILDER/CONTRACTOR AT THE END OF EACH WORKDAY.



**DRAFT**

**Pennoni**  
**PENNONI ASSOCIATES INC.**  
 5072 Ritter Road, Suite 102  
 Mechanicsburg, PA 17055  
 T 717.975.6481 F 717.975.6480

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3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA

**SITE LAYOUT PLAN**

LINLO MONROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

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DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

(80' R/W-PUBLIC)

### LEGEND

- 1120 EXISTING MAJOR CONTOUR
- 1121 EXISTING MINOR CONTOUR
- 1120 PROPOSED MAJOR CONTOUR
- 1121 PROPOSED MINOR CONTOUR
- 1121.50 SPOT ELEVATION
- TC 1122.00 TOP OF CURB ELEVATION
- BC 1121.50 BOTTOM OF CURB ELEVATION
- 1.5% PROPOSED SLOPE

### GRADING PLAN GENERAL NOTES:

- THE CONTRACTOR MUST PERFORM A ONE CALL (1-800-242-1776) AT LEAST THREE (3) WORKING DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ACT 287 - 1974, OR AS AMENDED WITH ACT 287.
- THE EXACT LOCATION AND DEPTH OF ALL UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- COORDINATE PAVING LAYOUT WITH SITE PLANS. CONTRACTOR IS TO ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS ARE TO RECEIVE FOUR INCHES (4") OF TOPSOIL AND SEEDED/MULCHED PER THE E&S PLANS.

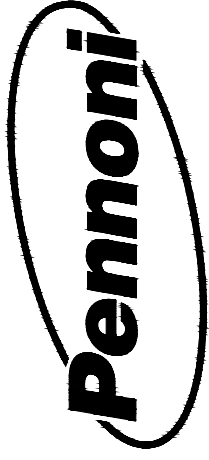
PRE-CONSTRUCTION MEETING  
CONTRACTOR SHALL CALL TOWNSHIP AT 717-545-4751 TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWNSHIP ENGINEER PRIOR TO THE START OF SITE CONSTRUCTION.

INSPECTION DURING CONSTRUCTION  
THE TOWNSHIP SHALL INSPECT THE IMPROVEMENTS DURING CONSTRUCTION. THE DEVELOPER SHALL PAY THE COST OF ANY SUCH INSPECTION IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE V OF THE MUNICIPALITIES PLANNING CODE. THE DEVELOPER SHALL PROVIDE AT LEAST TWENTY-FOUR (24) HOURS NOTICE PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS THAT ARE SUBJECT TO INSPECTION. ALL INSPECTIONS OF COMPLETED ITEMS SHALL BE REQUESTED, IN WRITING, AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE INSPECTION TIME AND DATE.

IT IS GENERALLY REQUIRED THAT THE FOLLOWING PHASES OF SITE CONSTRUCTION HAVE MANDATORY INSPECTION. THIS GENERAL LIST OF PHASES MAY BE AMENDED BY MUTUAL AGREEMENT OF THE TOWNSHIP AND DEVELOPER WHEN THE SITE REQUIRES SPECIAL CONSTRUCTION PROCEDURES. THE INSPECTION SCHEDULE MUST BE RECORDED WITH THE FINAL PLAN OR SHOWN ON THE APPROVED IMPROVEMENT CONSTRUCTION PLAN.

- GENERAL SITE CONSTRUCTION
  - UPON COMPLETION OF PRELIMINARY SITE PREPARATION INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL, AND CONSTRUCTION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES.
  - UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
  - DURING THE CONSTRUCTION OF PERMANENT STORMWATER MANAGEMENT AND BMP FACILITIES.
  - UPON THE FINAL COMPLETION OF PERMANENT STORMWATER MANAGEMENT AND BMP FACILITIES, INCLUDING THE ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
  - AFTER REVIEW OF THE AS-BUILT DRAWINGS, REQUIRED IN THIS CHAPTER, BUT PRIOR TO FINAL RELEASE OF THE FINANCIAL GUARANTEE FOR COMPLETION OF FINAL GRADING, VEGETATIVE CONTROLS REQUIRED BY THE BMP STANDARDS, OR OTHER SITE RESTORATION WORK.

B. IN ADDITION TO THE ABOVE OUTLINED OBSERVATIONS, ADDITIONAL OBSERVATIONS WILL BE MADE AT THE REQUEST OF THE DEVELOPER FOR REDUCTION OF FINANCIAL SECURITIES. RANDOM OBSERVATIONS SHOULD BE MADE AT THE FREQUENCY DESIRED BY THE MUNICIPALITY. AT THE TIME OF ANY OF THE ABOVE LISTED OBSERVATIONS, ALL ONGOING CONSTRUCTION (I.E. STORM DRAINAGE, SANITARY SEWER, WATER, EROSION CONTROL, ETC.) SHOULD ALSO BE CHECKED FOR COMPLIANCE WITH THE APPROVED PLANS AND THE FINDINGS REPORTED. SINCE THE ABOVE INSPECTIONS ARE MANDATORY, IT IS RECOMMENDED THAT REQUESTS FOR REDUCTION OF FINANCIAL GUARANTEE TO BE SUBMITTED TO COINCIDE WITH THE ABOVE INSPECTIONS.



**PENNONI ASSOCIATES, INC.**  
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3405 AND 3401 NORTH FRONT STREET  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA

### GRADING PLAN

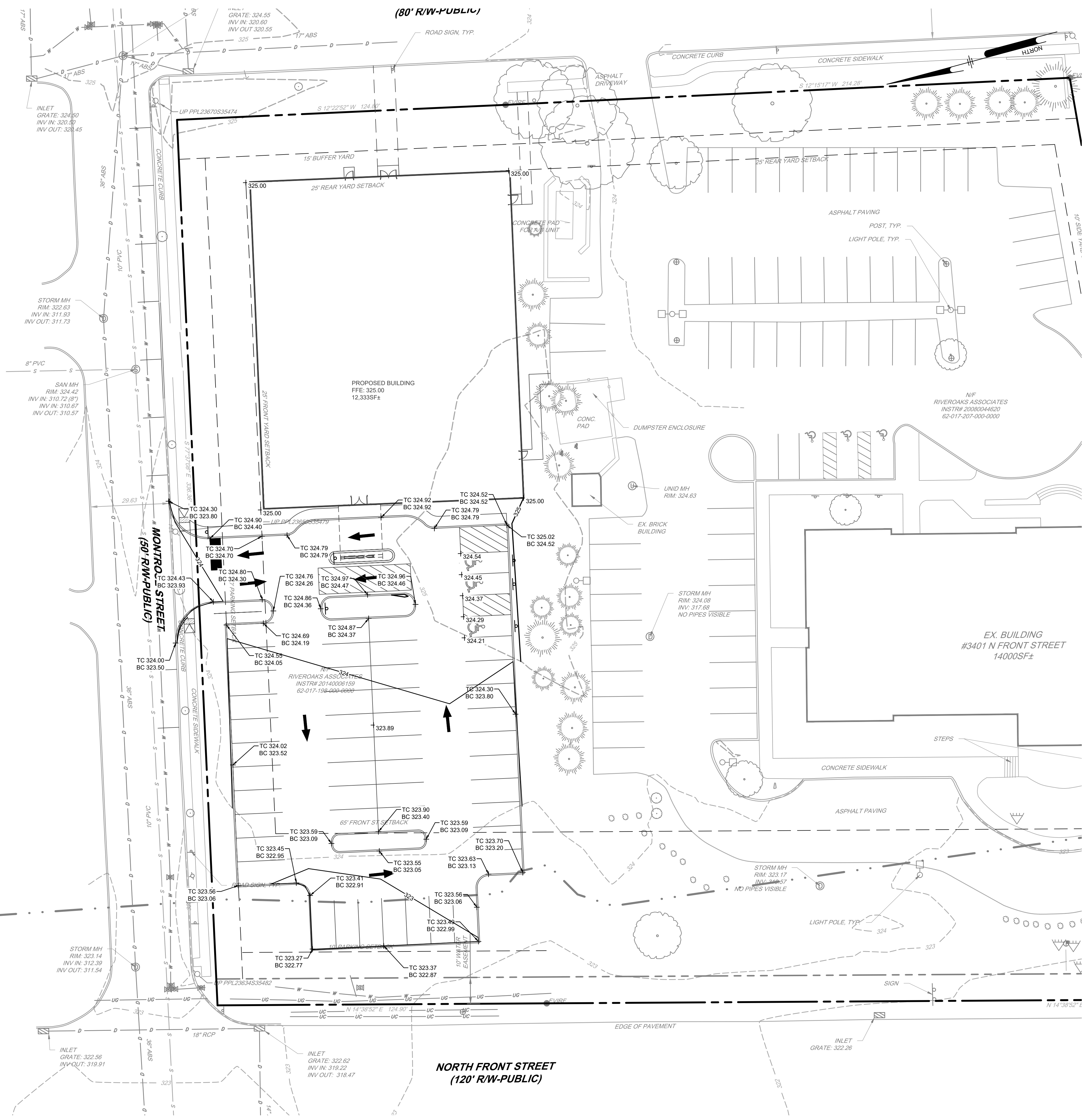
LINLO MONTROSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

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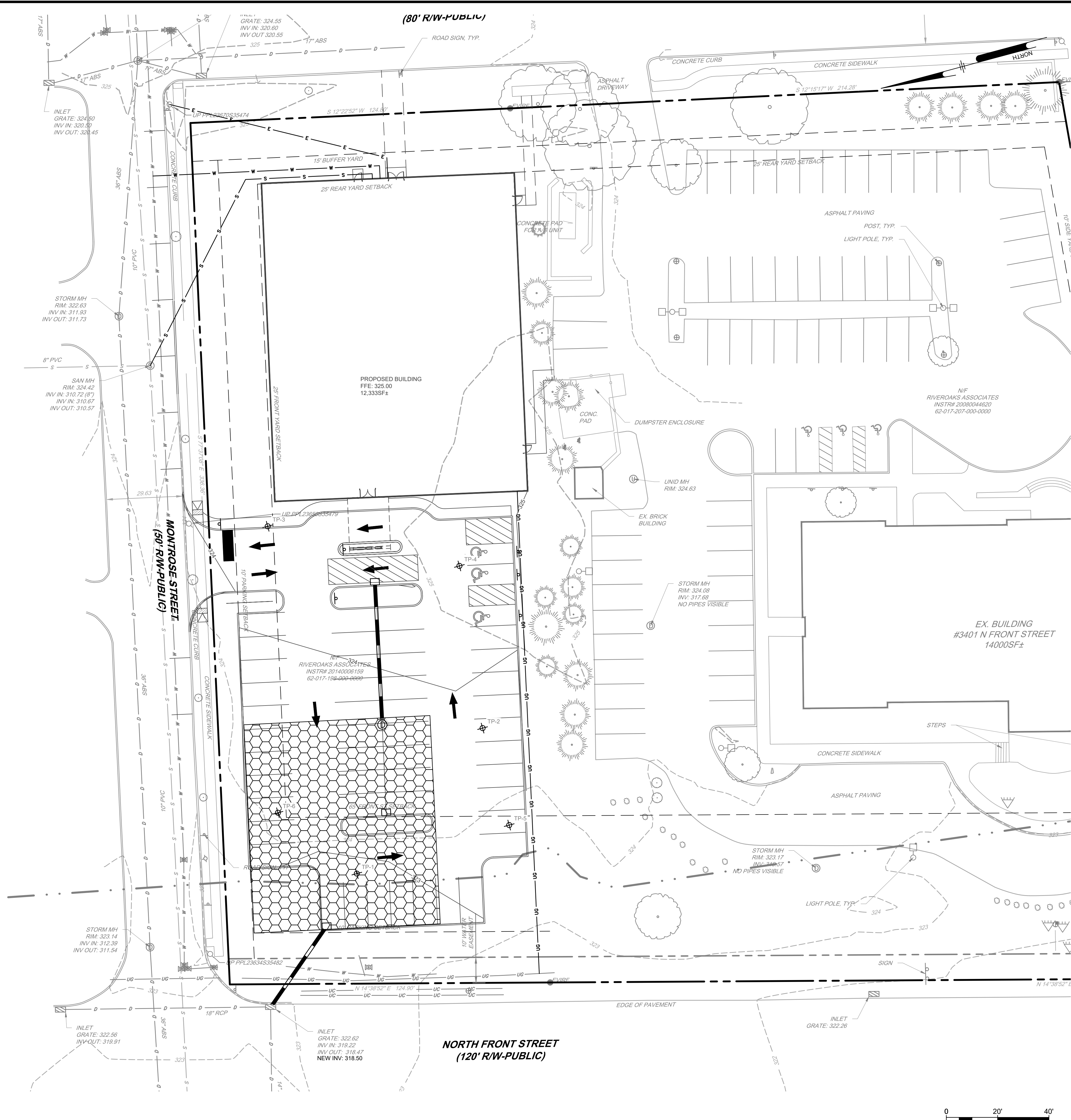
PROJECT: LINLO20003  
DATE: 2021-03-05  
DRAWING SCALE: AS SHOWN  
DRAWN BY: CRH/TLR  
APPROVED BY: PGD

**CS1501**  
SHEET 6 OF 21



PROJECT STATUS:   
FOOTED: 3/20/21 8:24 AM BY: Jhp/Remmer/ PLOTSTYLE: Pennoni.ncs.dwg   
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 PROJECT: 3/20/21 8:58 AM BY: Jm Roman PLOTTITLE: Penmon\CS.dwg  
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### LEGEND

- 2' X 4' PRECAST INLET PENNDOT TYPE 'M' - LAWN AND PAVEMENT AREAS NOT ADJACENT TO CURB
- PENNDOT TYPE 'C' - ADJACENT TO CURB
- STORM SEWER
- SUBSURFACE INFILTRATION BASIN AREA (BMP)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- 1120 PROPOSED MAJOR CONTOUR
- 1122 PROPOSED MINOR CONTOUR
- PROPOSED SANITARY SEWER / CLEANOUT
- PROPOSED WATER
- PROPOSED ELECTRIC
- PROPOSED GAS

### UTILITY PLAN GENERAL NOTES:

1. THE LOCATIONS OF EXISTING UTILITIES SHOWN HAVE BEEN DERIVED FROM FIELD SURVEYING AND BEST INFORMATION PROVIDED BY UTILITY PROVIDERS. THEY ARE GENERAL AND ILLUSTRATIVE IN NATURE AND ARE BEING PROVIDED FOR THE SOLE CONVENIENCE OF THE CONTRACTOR. THE DESIGN PROFESSIONAL ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. THE EXACT LOCATIONS AND DEPTHS OF EXISTING UTILITIES MUST BE FIELD VERIFIED, AND ANY DISCREPANCIES REPORTED BACK TO THE DESIGN PROFESSIONAL.
2. THE CONTRACTOR MUST PERFORM A ONE CALL (1-800-242-1776) AT LEAST THREE (3) WORKING DAYS PRIOR TO PERFORMING ANY CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ACT 287 - 1974, OR AS AMENDED WITH ACT 287.
3. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE MATERIAL SPECIFICATIONS AND INSTALLATION, TRENCHING, AND BACKFILLING REQUIREMENTS OF THE UTILITY PROVIDERS.
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY PROVIDERS. CONTRACTOR MUST NOTIFY UTILITY PROVIDER INSPECTORS AT LEAST 72 HOURS IN ADVANCE BEFORE CONNECTING TO ANY EXISTING UTILITY.
5. COORDINATE WITH THE GRADING PLAN AS NEEDED TO INSTALL ALL MANHOLES, METER LIDS, INLET GRATES. FLUSH WITH PROPOSED FINISH GRADES.
6. REFER TO THE ARCHITECTURAL/MEP DRAWINGS FOR BUILDING TIE-IN LOCATIONS OF ALL UTILITIES INCLUDING SITE LIGHTING CONDUIT.
7. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS INCLUDING ALL FINISHED PAVEMENT, WATER LINE, SEWER LINE, OTHER UTILITIES AND STORMWATER DRAINAGE.
8. NO WORK SHALL BE PERFORMED BEYOND THE PERMITTED LIMIT OF DISTURBANCE.
9. CONNECTION TO THE PUBLIC SEWER LINES AND PUBLIC WATER SYSTEM IS REQUIRED.
10. ALL SANITARY SEWER CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST STANDARDS OF SUSQUEHANNA TOWNSHIP, PENNSYLVANIA AND SHALL BE SUBJECT TO APPROVAL BY THE TOWNSHIP ENGINEER.

**PENNONI ASSOCIATES, INC.**  
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3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA

### UTILITY PLAN

LINLO MONTROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

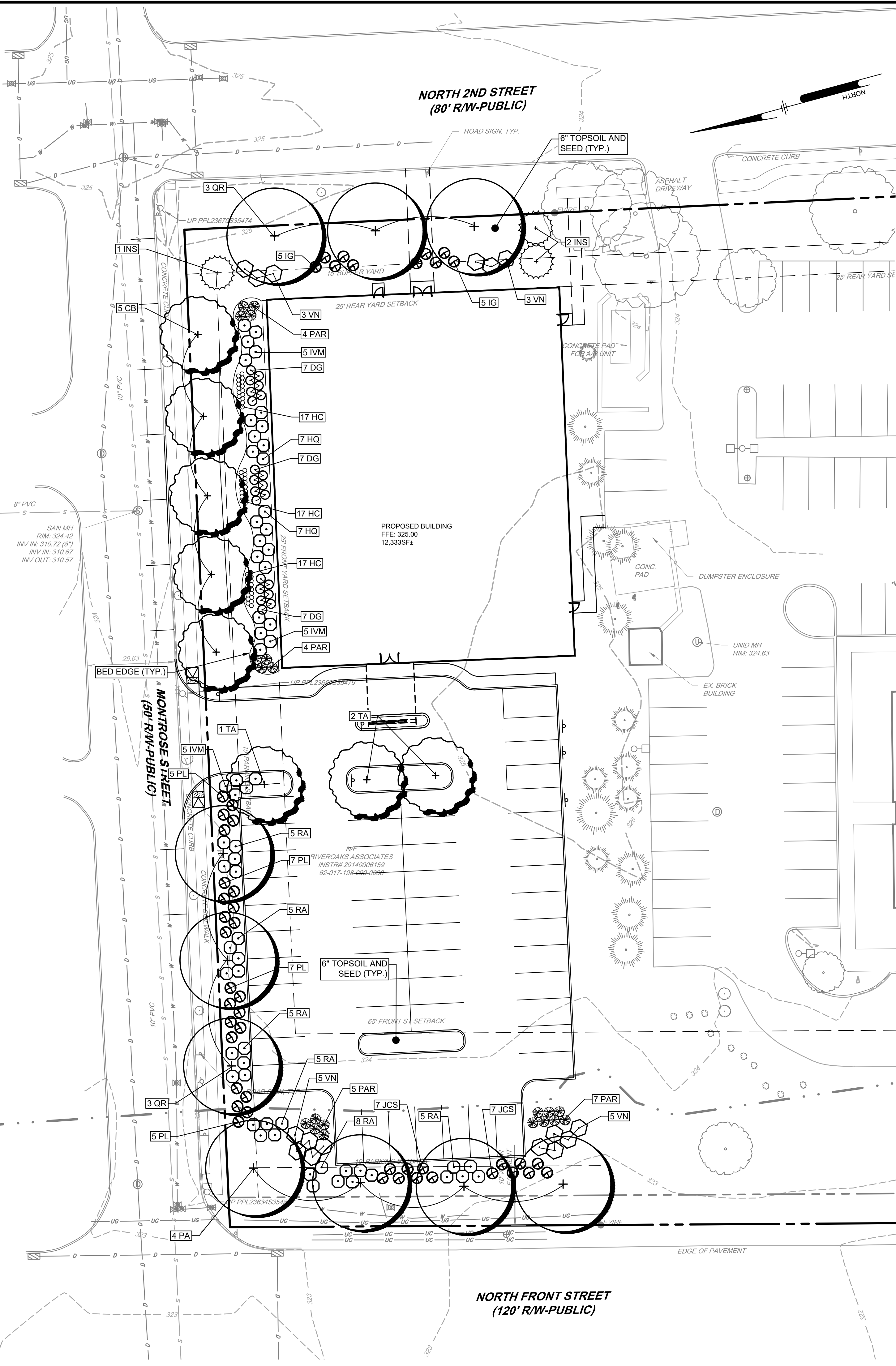
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 DRAWING SCALE: AS SHOWN  
 DRAWN BY: CRH/TLR  
 APPROVED BY: PGD

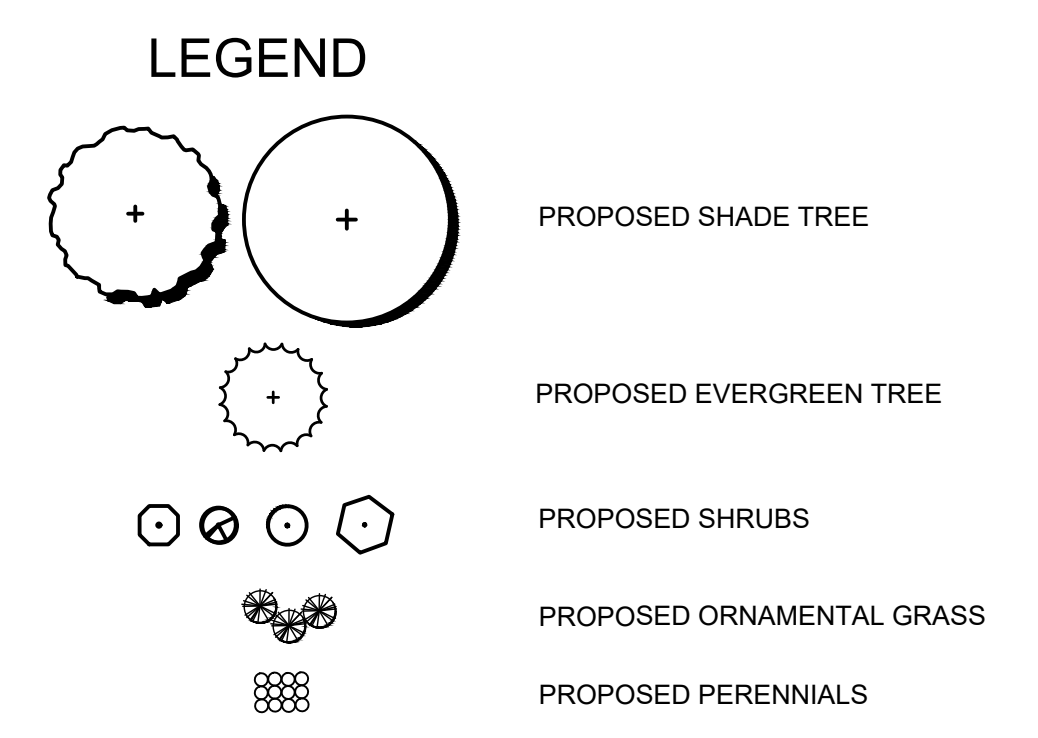
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SHEET 7 OF 21

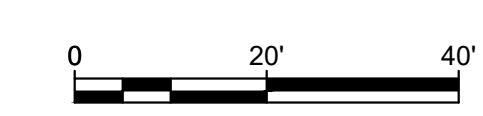


PLANT SCHEDULE							
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE SIZE	COMMENTS
<b>DECIDUOUS TREES</b>							
CB	5	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM	2.5-3" CAL.; 12-14' HGT.	B&B	35-40' HGT; 25-30' WD	FULL
QR	6	QUERCUS RUBRA	NORTHERN RED OAK	2.5-3" CAL.; 12-14' HGT.	B&B	40-60' HGT; 30-40' WD	FULL
PA	4	PLATANUS ACERIFOLIA 'COLUMBIA'	COLUMBIA LONDON PLANETREE	2.5-3" CAL.; 12-14' HGT.	B&B	40-60' HGT; 30-40' WD	FULL
TA	3	TILIA AMERICANA	AMERICAN LINDEN	2.5-3" CAL.; 12-14' HGT.	B&B	40-60' HGT; 30-40' WD	FULL
<b>EVERGREEN TREES</b>							
INS	3	ILEX 'NELLIE STEVENS'	NELLIE STEVENS HOLLY	6-7' HGT.	B&B	20-25' HGT; 10-12' WD	FULL; UNIFORM SPECIMENS
<b>SHRUBS</b>							
IVM	15	ITEA VIRGINICA 'MERLOT'	MERLOT VIRGINIA SWEETSPIRE	18 - 24" HGT.	#3 CONT.	3-4' HGT; 3-4' WD	FULL; 4.5' SPACING
HQ	14	HYDRANGEA QUERCIFOLIA 'PEE WEE'	PEE WEE OAKLEAF HYDRANGEA	24 - 30" HGT.	#3 CONT.	3-4' HGT; 3-4' WD	FULL; 4' SPACING
DG	21	DEUTZIA GRACILIS 'YUKI CHERRY BLOSSOM'	SLENDER DEUTZIA	24 - 30" HGT.	#3 CONT.	2-3' HGT; 2-3' WD	FULL; 3' SPACING
PL	24	PRUNUS LAURICERASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	30 - 36" HGT.	#5 CONT.	3' HGT; 5-6' WD	FULL; 4.5' SPACING
RA	33	RHUS AROMATICA 'GRO-LO'	GRO-LO SUMAC	18 - 24" HGT.	#3 CONT.	2-3' HGT; 5-6' WD	FULL; 4' SPACING
IG	10	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	24 - 30" HGT.	#3 CONT.	3-4' HGT; 3-4' WD	FULL; 4.5' SPACING
VN	16	VIBURNUM NUDUM 'WINTERTHUR'	WINTERTHUR SMOOTH WITHEROD	30 - 36" HGT.	#5 CONT.	6-7' HGT; 6-7' WD	FULL; 6' SPACING
JCS	14	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	30 - 36" HGT.	#5 CONT.	5-6' HGT; 5-6' WD	FULL; 4.5' SPACING
<b>GRASSES AND SEDGES</b>							
PAR	20	PENNISETUM ALOPECUROIDES 'RED HEAD'	RED HEAD FOUNTAIN GRASS	15-18" HGT.	#3 CONT.	3' HGT; 3' WD	3' O.C. SPACING
<b>PERENNIALS</b>							
HC	51	HEUCHERA 'CITRONELLE'	CITRONELLE CORAL BELLS	8-12" HGT.	#1 CONT.	15" HGT; 15" WD	18" O.C. SPACING

LANDSCAPE COMPLIANCE SUMMARY			
CODE REF.	DESCRIPTION	REQUIRED QTY	PROVIDED QTY
	<b>BUFFER YARDS AND SCREENING</b>		
27-2106 (5)	MINIMUM BUFFER WIDTH: 15 FT. ADJACENT TO RESIDENTIAL ZONE OR USE MINIMUM SCREENING: 1 SHADE TREE PER 50 LINEAR FEET AND 1 EVERGREEN TREE PER 40 LINEAR FEET OF BUFFER YARD SCREEN	3 EVERGREEN AND 3 SHADE TREES BASED ON 125 LF FRONTAGE	3 EVERGREEN AND 3 SHADE TREES
	<b>INTERIOR PARKING LOT LANDSCAPING</b>		
27-2306 (3)D	ONE (1) SHADE TREE PER ISLAND	3 SHADE TREES	3 SHADE TREES
	<b>STREET TREES</b>		
22-1009 (3)	ONE (1) SHADE TREE FOR EVERY 40 LF OF RIGHT-OF-WAY	12 SHADE TREES BASED ON 451 L.F. OF R.O.W.	12 SHADE TREES
	<b>PARKING BUFFER</b>		
27-2306	40% OF PARKING BUFFER AREA SHALL BE LANDSCAPED	2680 SF OF PARKING BUFFER x 0.40 = 1072 SF	1170 SF BASED ON 48 LARGE SHRUBS 38 SMALL SHRUBS 12 GRASSES



**SEE SHEET CS6061 FOR LANDSCAPE DETAILS AND NOTES**



**PENNONI ASSOCIATES, INC.**  
1215 Manor Drive, Suite 100  
Mechanicsburg, PA 17055  
T 717.975.6481 F 717.975.6480

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3405 AND 3401 NORTH FRONT STREET  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA

**LANDSCAPE PLAN**

LINLO MONROSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

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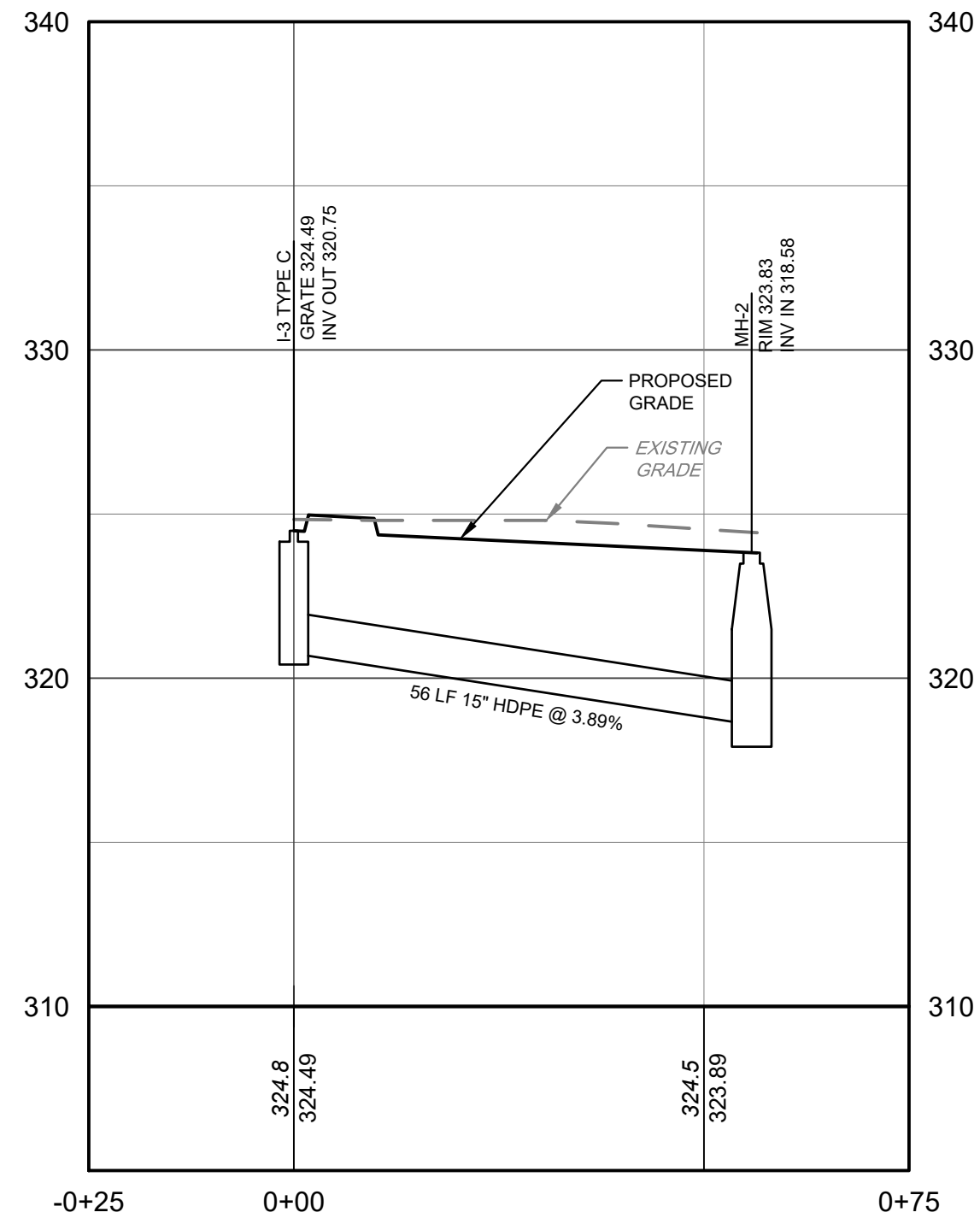
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PROJECT: LINLO20003  
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APPROVED BY: PGD

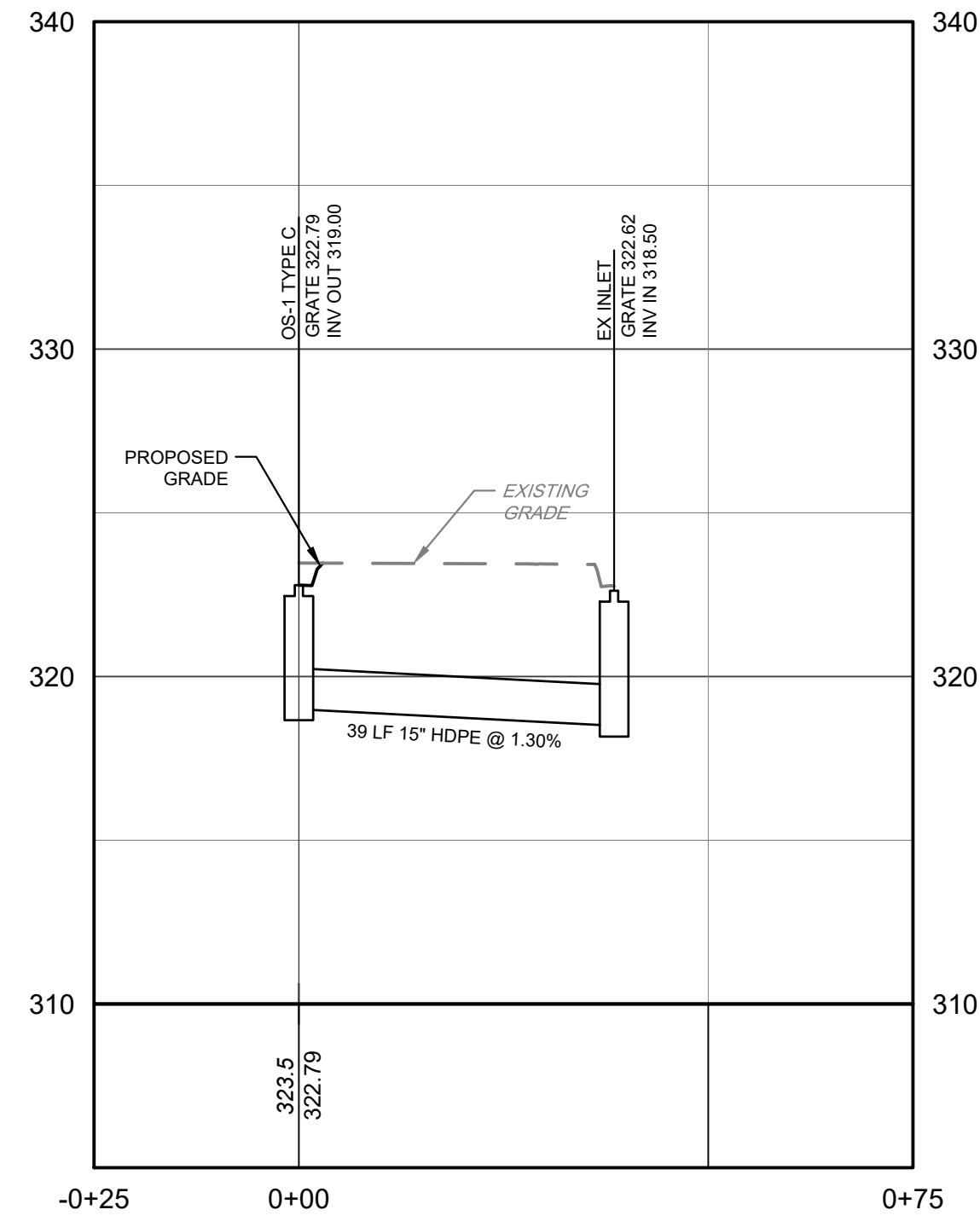
CS2001

SHEET 8 OF 21





I-3 TO MH-2  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 5'



OS-1 TO EX INLET  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: 1" = 5'



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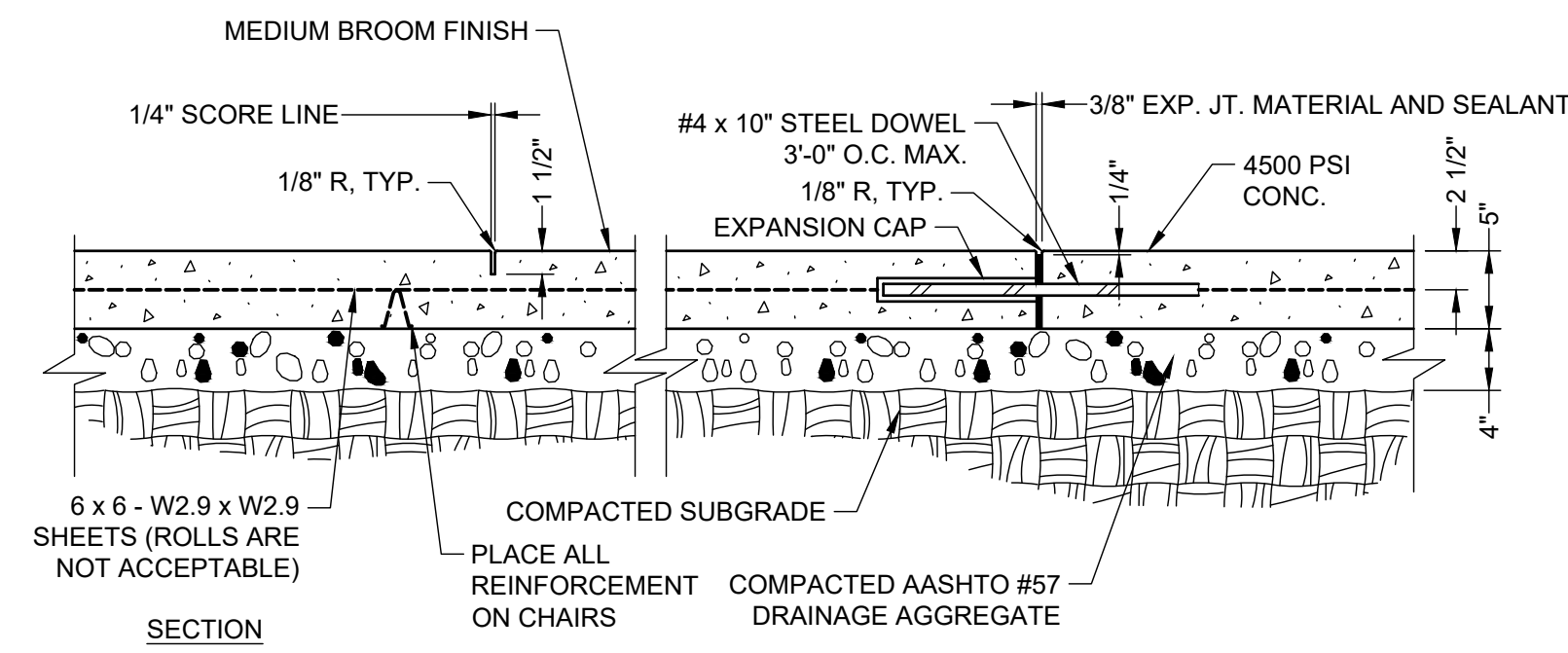
**STORM SEWER PROFILES**

LINLO MONTROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

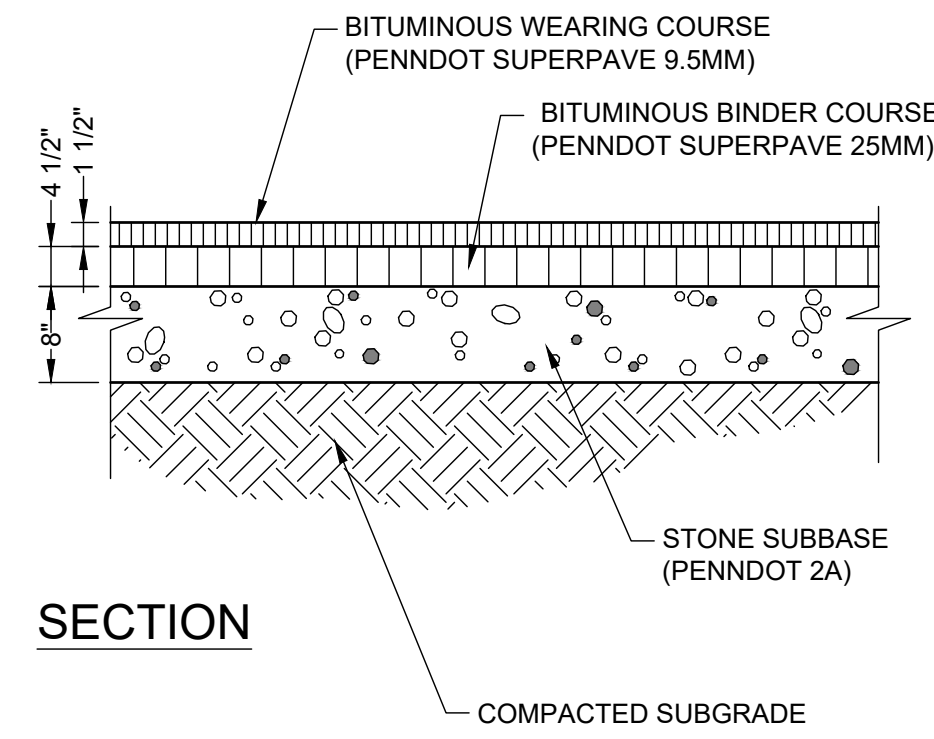
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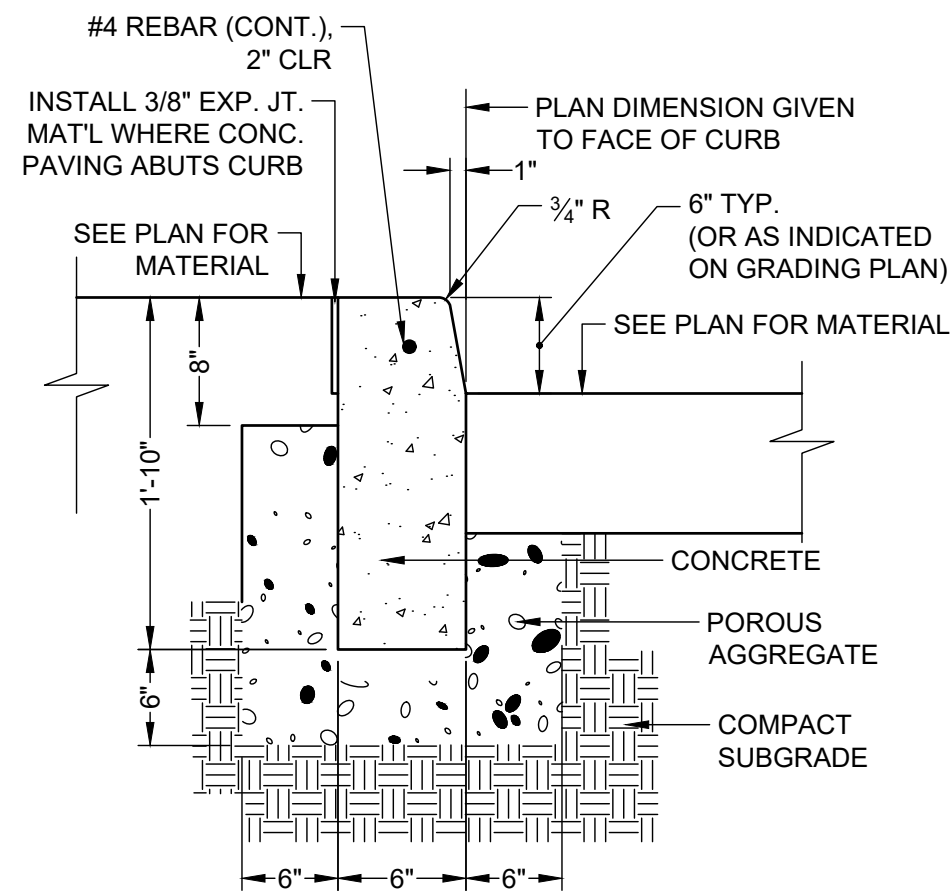


**REGULAR DUTY CONCRETE PAVING**  
NOT TO SCALE

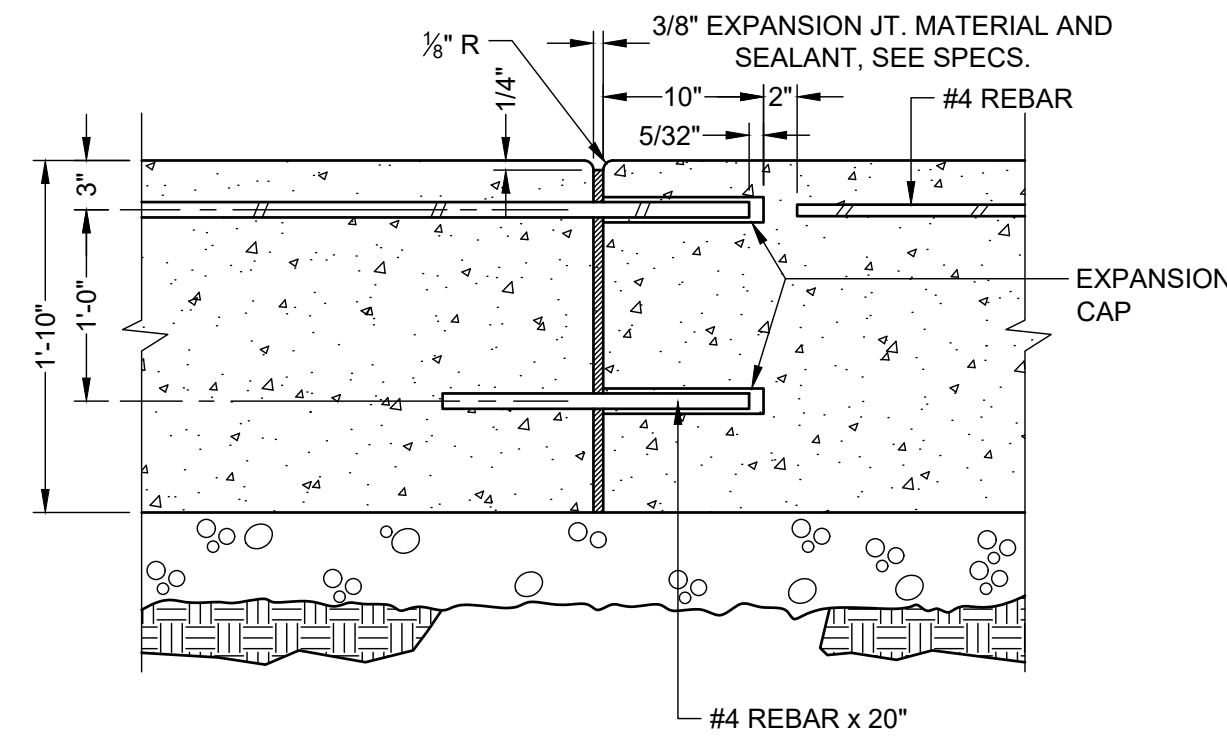


**REGULAR DUTY BITUMINOUS PAVING**  
NOT TO SCALE

NOTE:  
ANY SINKHOLES ENCOUNTERED DURING CONSTRUCTION SHOULD BE REMEDIATED ON A CASE-BY-CASE BASIS. THE GEOTECHNICAL ENGINEER SHOULD BE CONTACTED FOR SITE-SPECIFIC RECOMMENDATIONS IF SINKHOLES ARE OBSERVED. ANY SINKHOLES THAT ARE ENCOUNTERED DURING SITE DEVELOPMENT SHOULD BE REMEDIATED BY CONSTRUCTING AN INVERTED ROCK FILTER PER THE DETAIL SHOWN ON THIS SHEET.



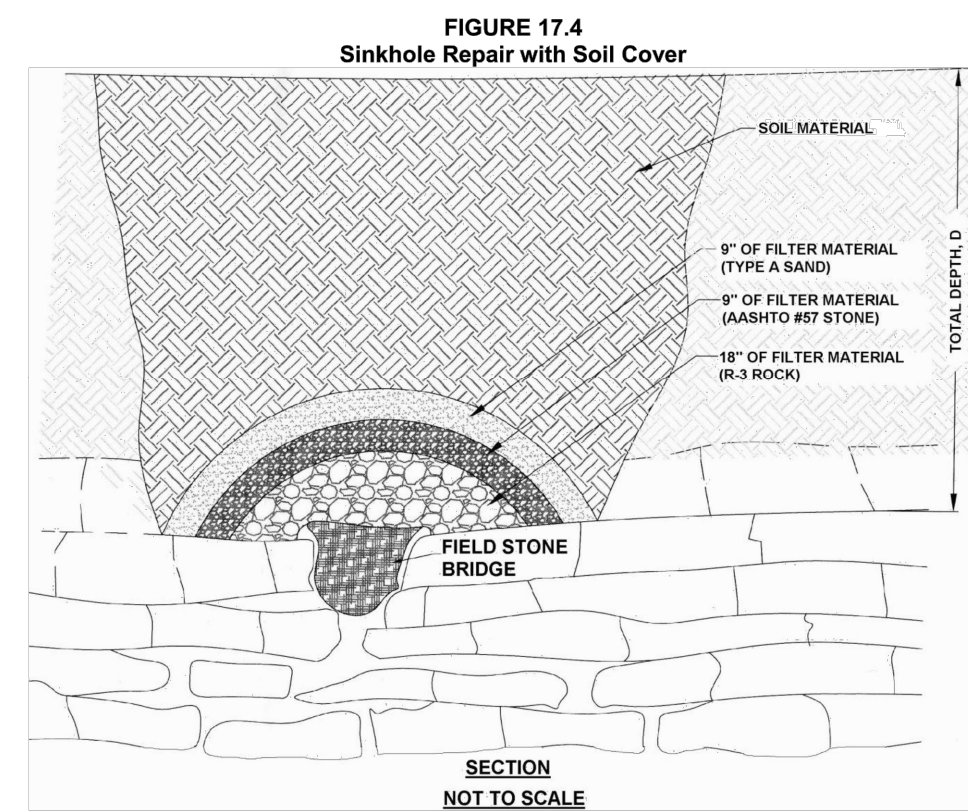
**SECTION**



**SECTION**

NOTE:  
PROVIDE EXP. JT. MAX. 20' O.C., AT P.C., P.T. AND AT CENTER PT. OF ALL RADII OVER 5' AND WITHIN 2' OF CHANGE OF DIRECTION WHERE NO RADIUS IS STATED. WHERE APPLICABLE EXPANSION JOINTS SHALL COINCIDE WITH TRANSVERSE JOINTS IN ADJACENT PAVEMENT.

**STANDARD CONCRETE CURB**  
NOT TO SCALE



Adapted from USDA NRCS

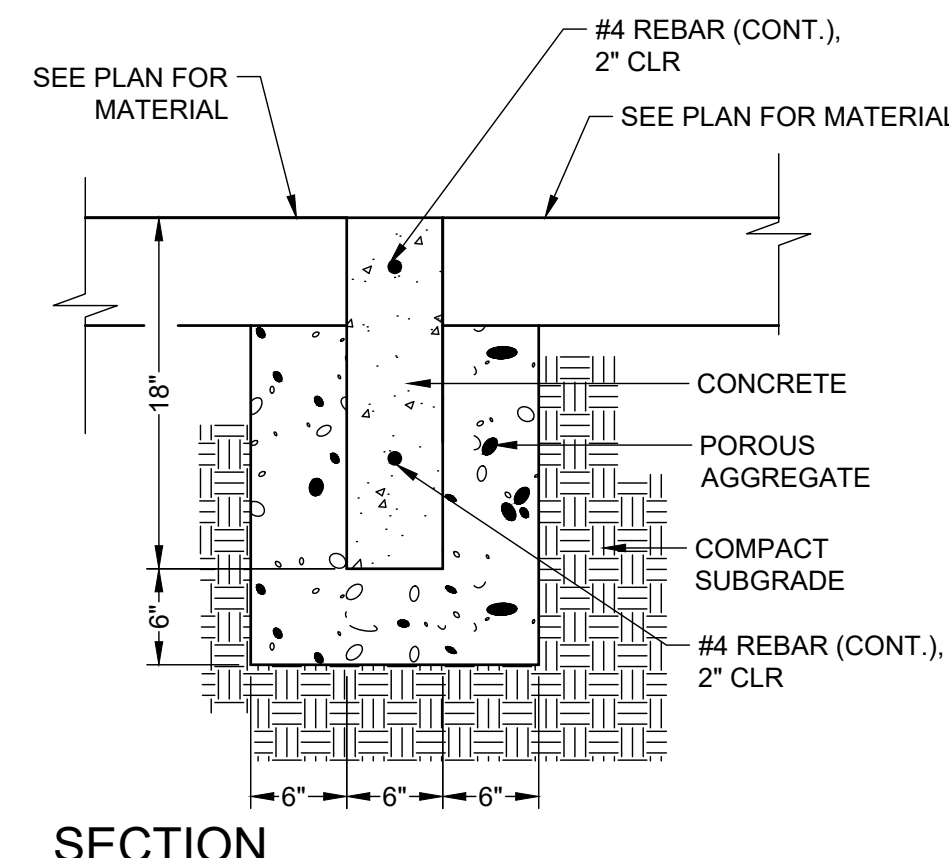
Loose material shall be excavated from the sinkhole and expose solution void(s) if possible. Enlarge sinkhole if necessary to allow for installation of filter materials. OSHA regulations must be followed at all times during excavation.

Select field stone(s) about 1.5 times larger than solution void(s) to form "bridges." Place rock(s) so large openings exist along the sides. Stones used for the "bridges" and filters shall have a moderately hard rock strength and be resistant to abrasion and degradation. Shale and similar soft and/or non-durable rock are not acceptable.

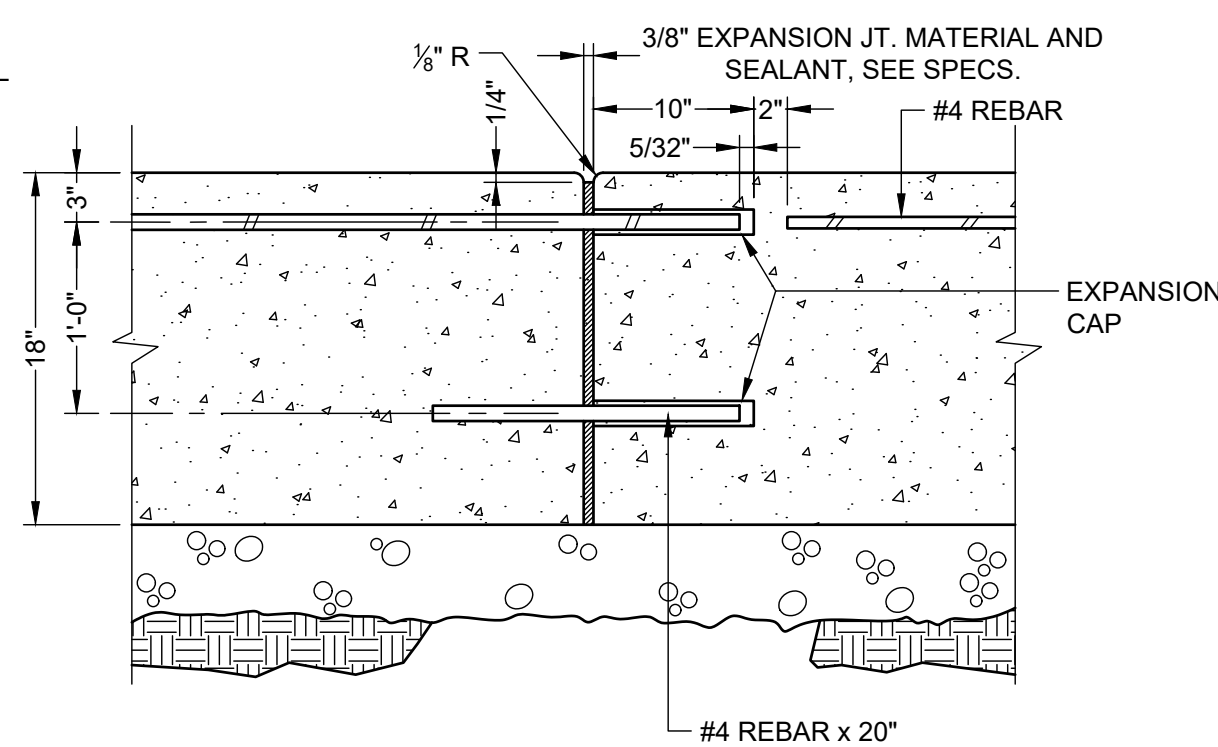
Minimum thickness of R-3 rock is 18." AASHTO #57 stone thickness shall be a minimum of 9" thick. Minimum thickness of type A sand shall be 9". NOTE: A non-woven geotextile with a burst strength between 100 and 200 psi may be substituted for the AASHTO#57 stone and type A sand.

Soil shall be mineral soil with at least 12 % fines and overfilled by 5% to allow for settlement. Suitable soil from the excavation may be used. Any available topsoil shall be placed on top surface.

**SINKHOLE REMEDIATION**  
NOT TO SCALE



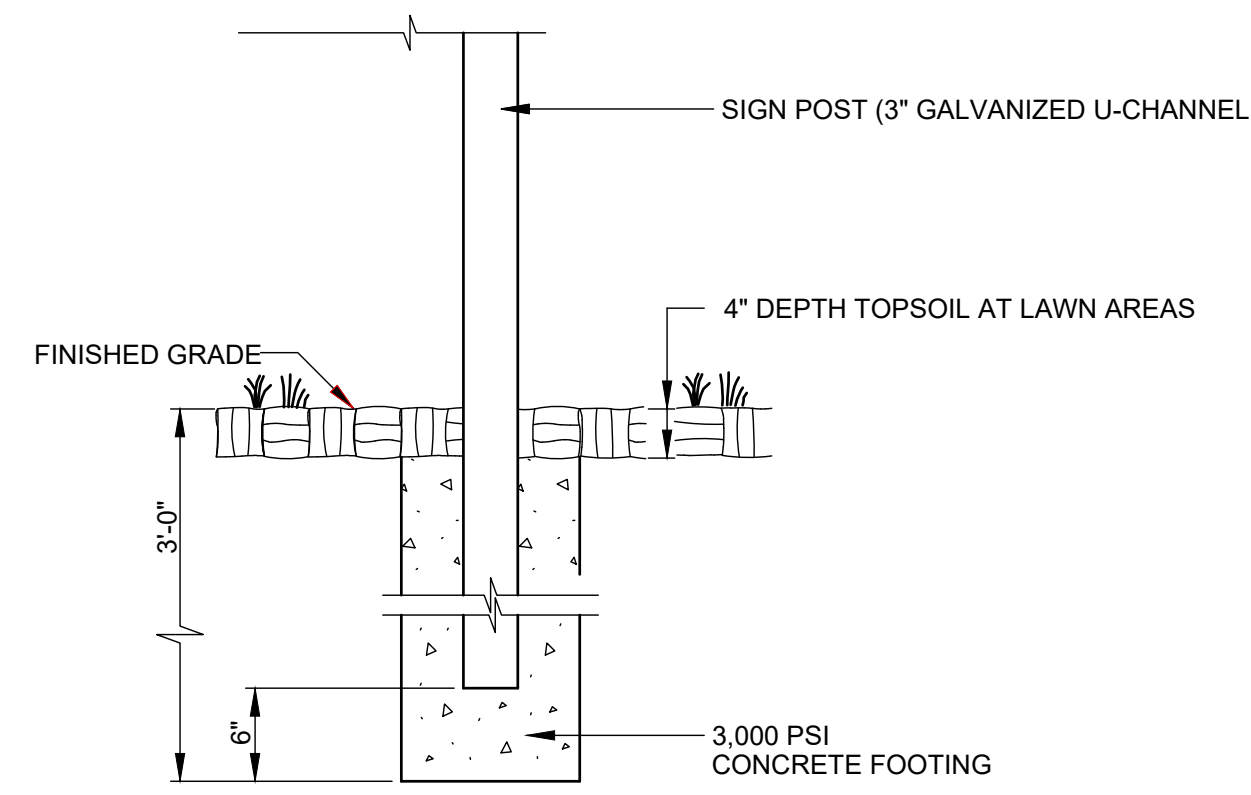
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**SECTION**

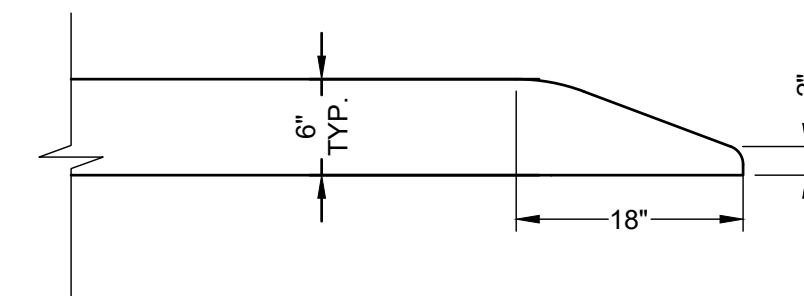
NOTE:  
PROVIDE EXP. JT. MAX. 20' O.C., AT P.C., P.T. AND AT CENTER PT. OF ALL RADII OVER 5' AND WITHIN 2' OF CHANGE OF DIRECTION WHERE NO RADIUS IS STATED. WHERE APPLICABLE EXPANSION JOINTS SHALL COINCIDE WITH TRANSVERSE JOINTS IN ADJACENT PAVEMENT.

**FLUSH CONCRETE CURB**  
NOT TO SCALE

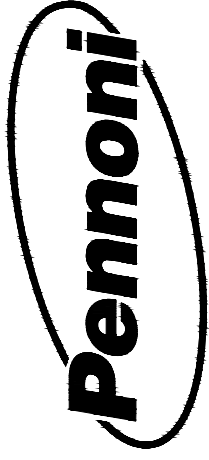


**SECTION**

**SIGN POST FOOTING**  
NOT TO SCALE



**CONCRETE CURB NOSE DOWN**  
NOT TO SCALE



**PENNONI ASSOCIATES INC.**  
5072 Ritter Road, Suite 102  
Mechanicburg, PA 17055  
T 717.975.6481 F 717.975.6480



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

**3405 AND 3401 NORTH FRONT STREET**  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA

**SITE DETAILS**

**LINLO MONROSE PARK, LLC**  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

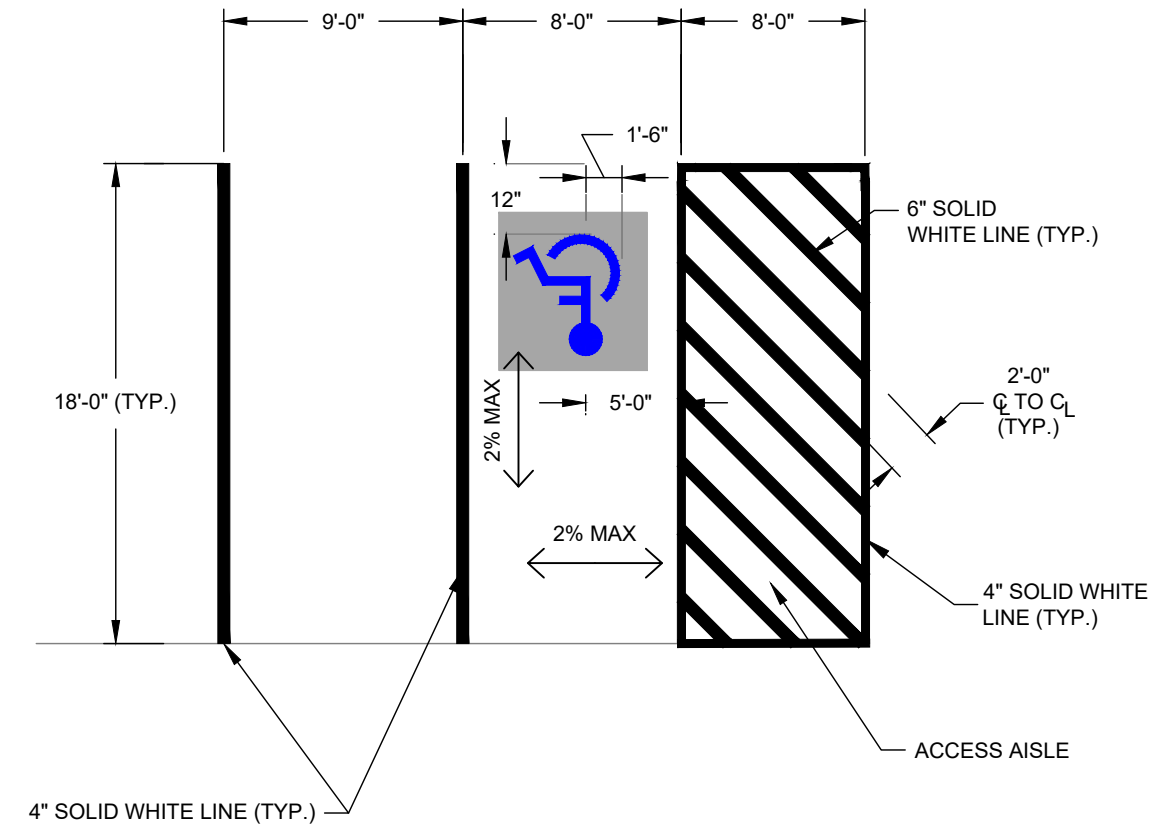
NO.	DATE	REVISIONS	BY

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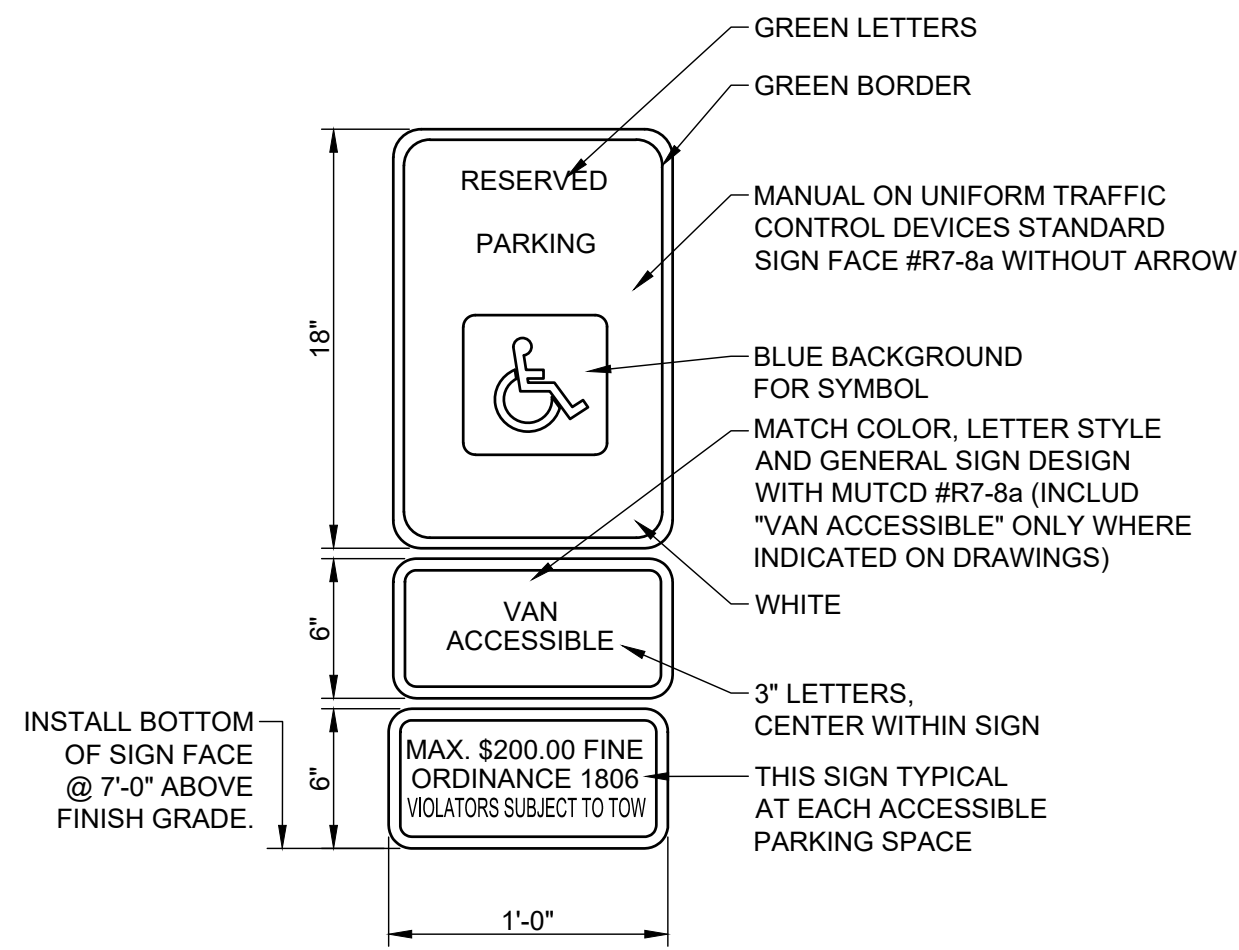
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DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

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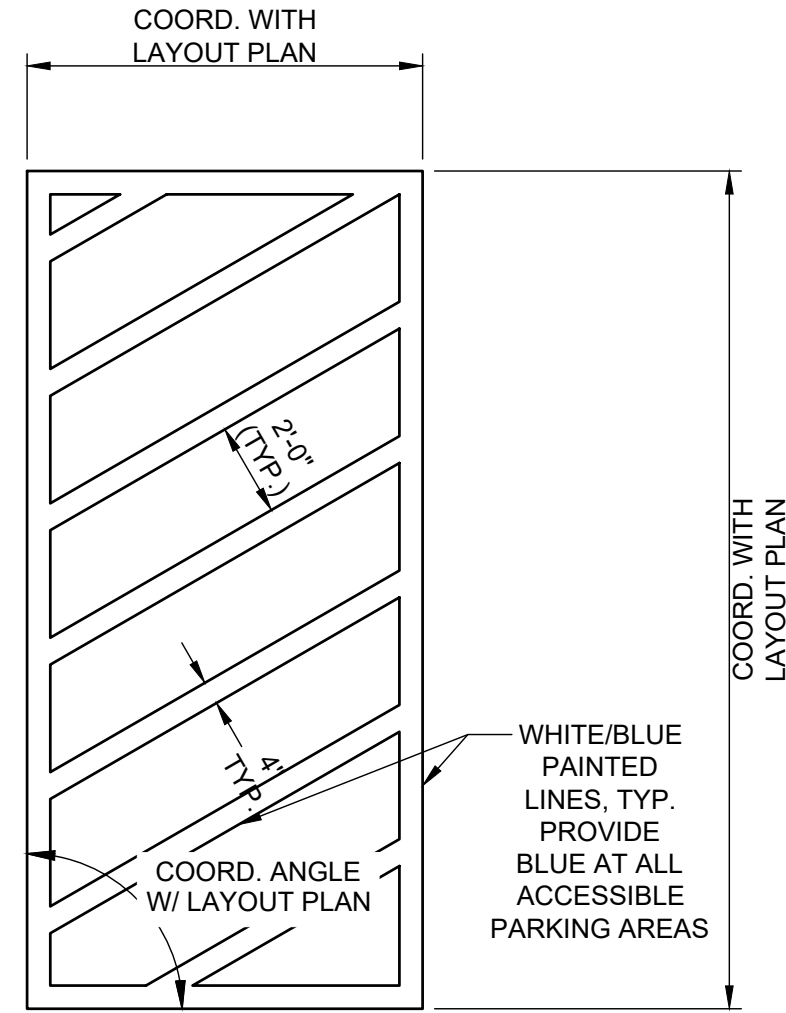
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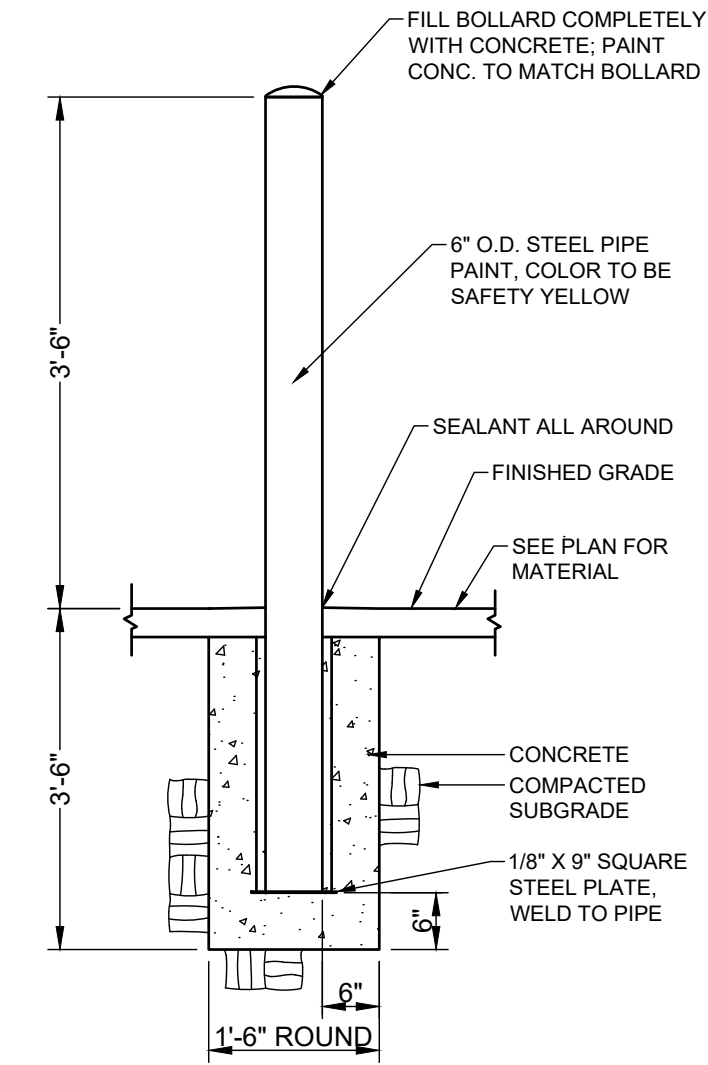
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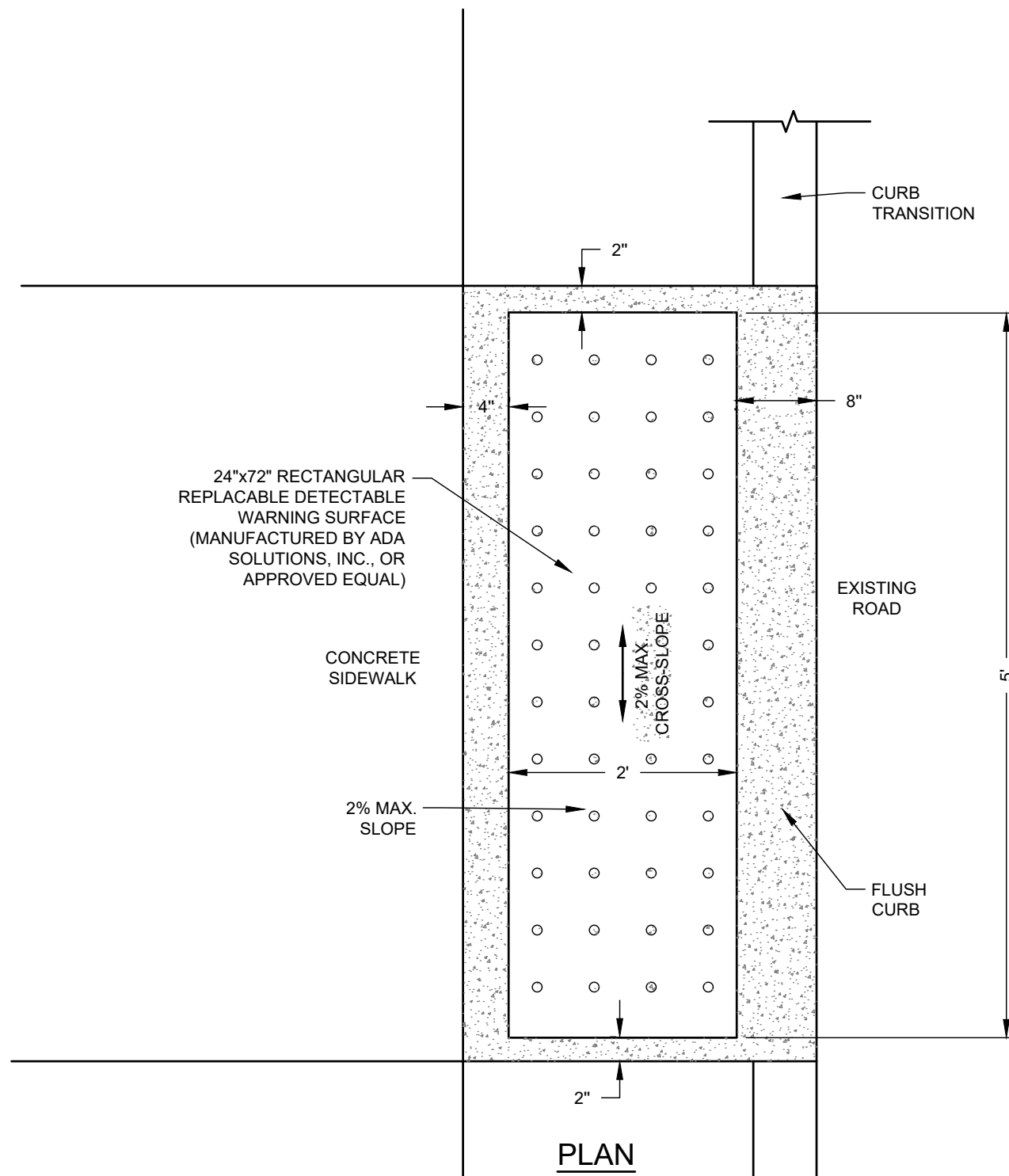
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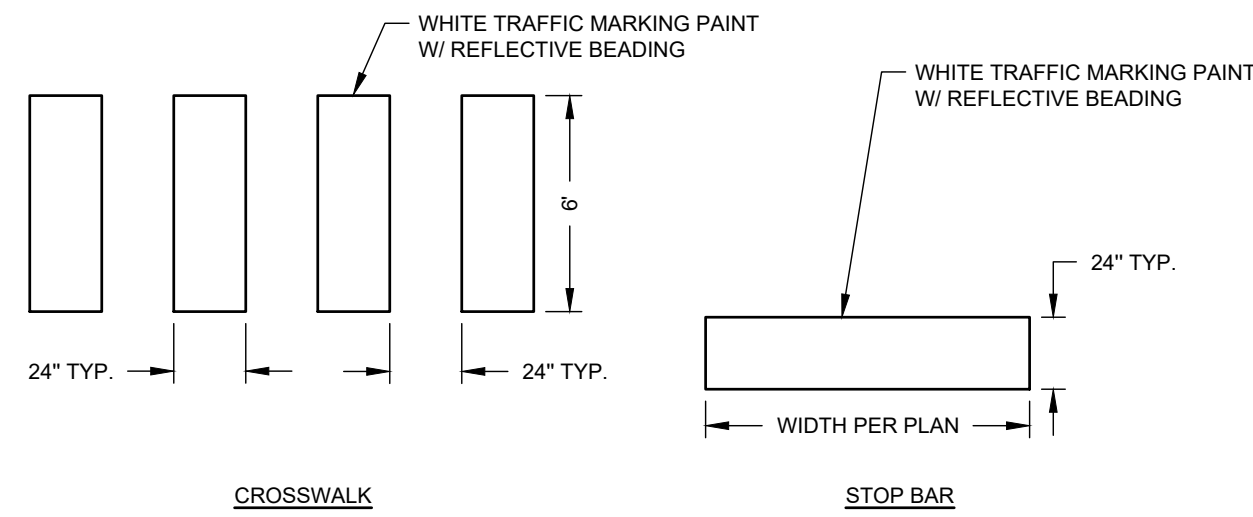
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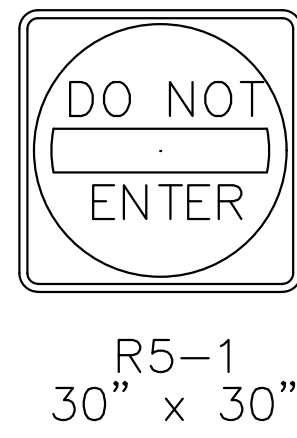
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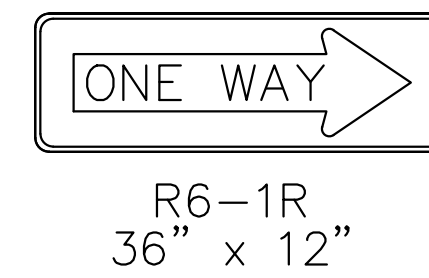
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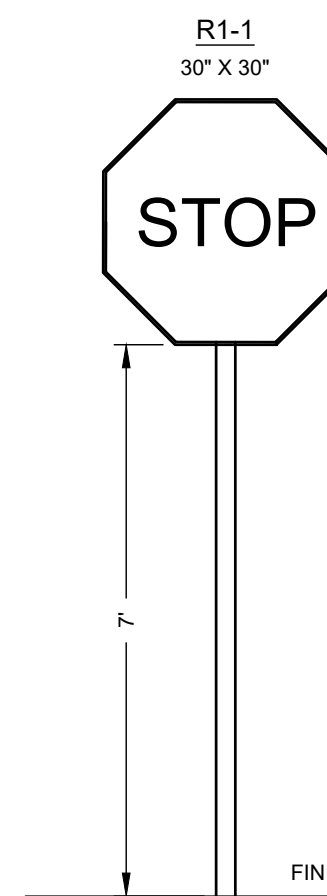
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NOT TO SCALE



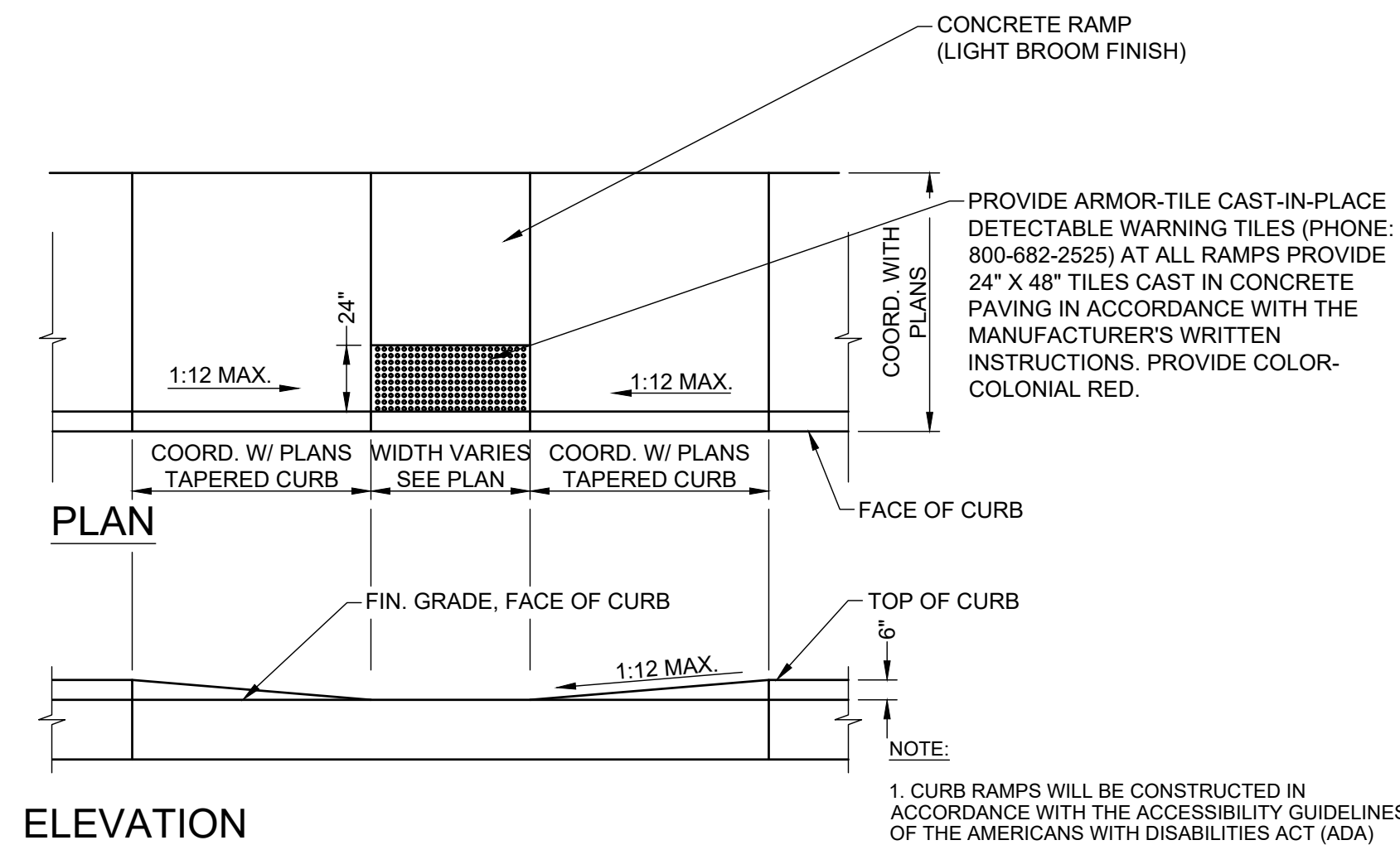
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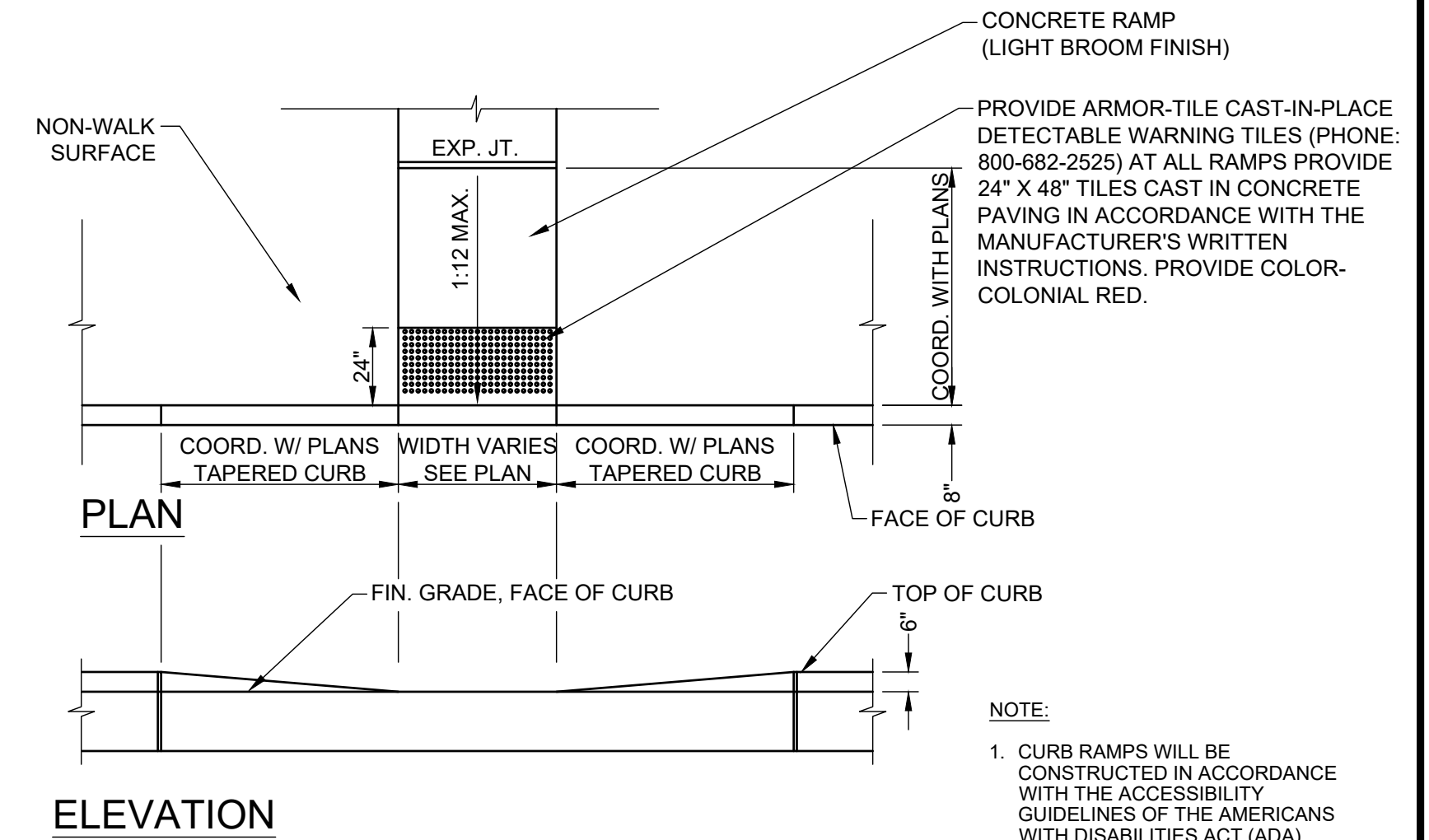
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NOT TO SCALE



**STANDARD STOP SIGN DETAIL**  
NOT TO SCALE



**TYPE 1 CURB RAMP**  
NOT TO SCALE



**TYPE 2 CURB RAMP**  
NOT TO SCALE

NO.	DATE	REVISIONS	BY



**PENNONI ASSOCIATES INC.**  
 5072 Ritter Road, Suite 102  
 Mechanicsburg, PA 17055  
 T 717.975.6481 F 717.975.6480

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3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA

UTILITY DETAILS

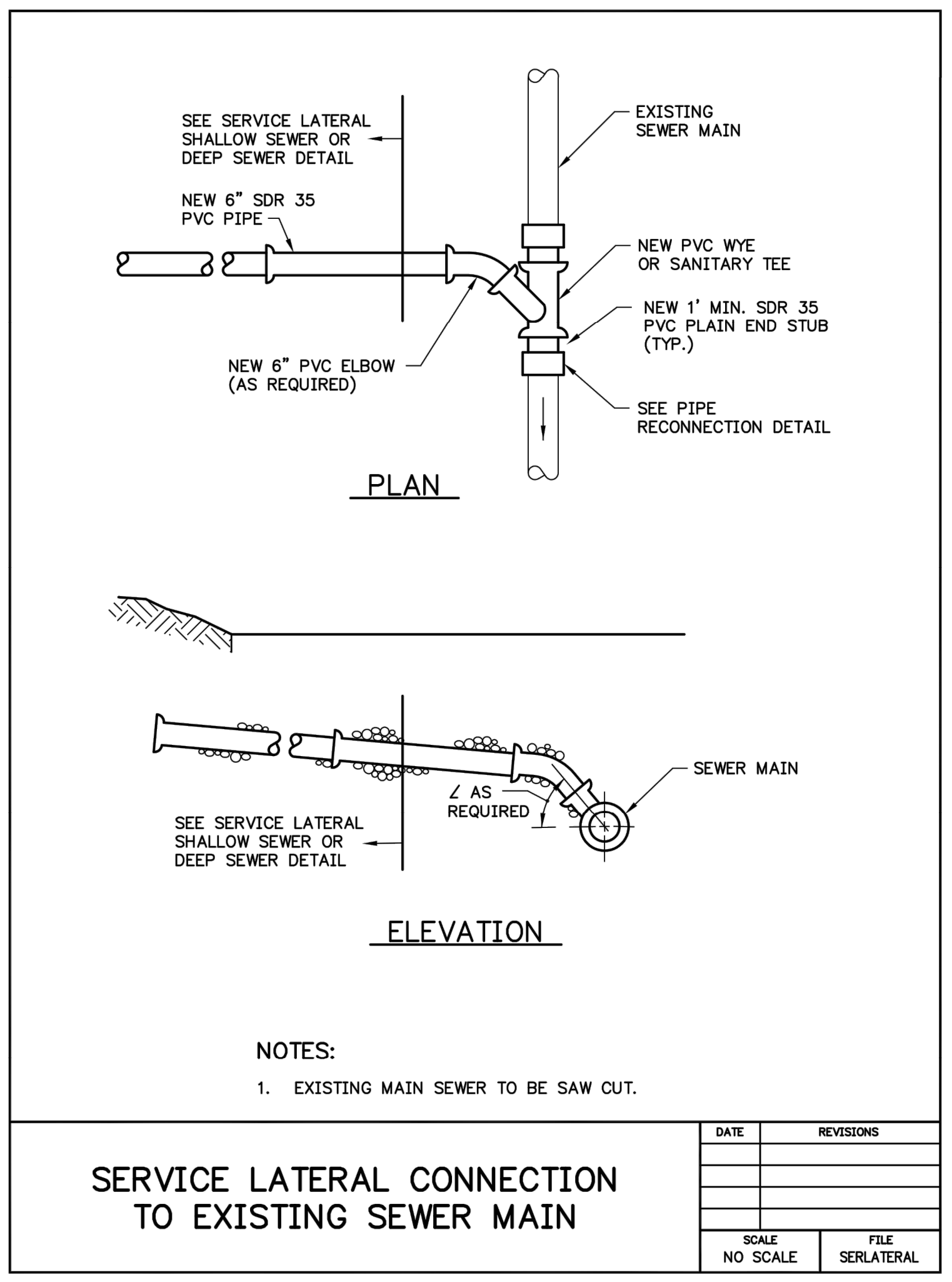
LINLO MONTRORSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

DATE	NO.	REVISIONS	BY

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PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

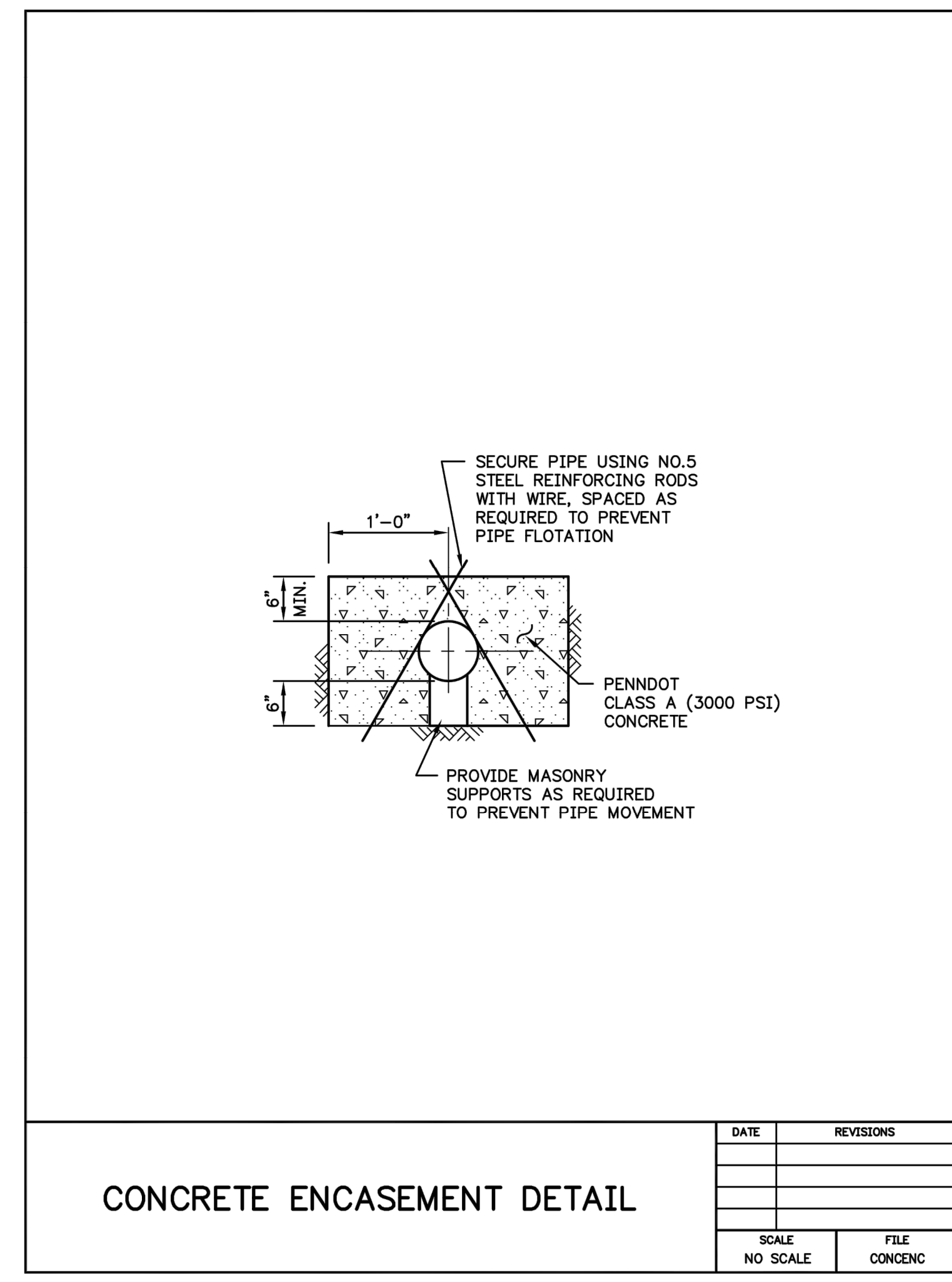
**CS6041**  
 SHEET 12 OF 21



SERVICE LATERAL CONNECTION TO EXISTING SEWER MAIN

DATE	REVISIONS

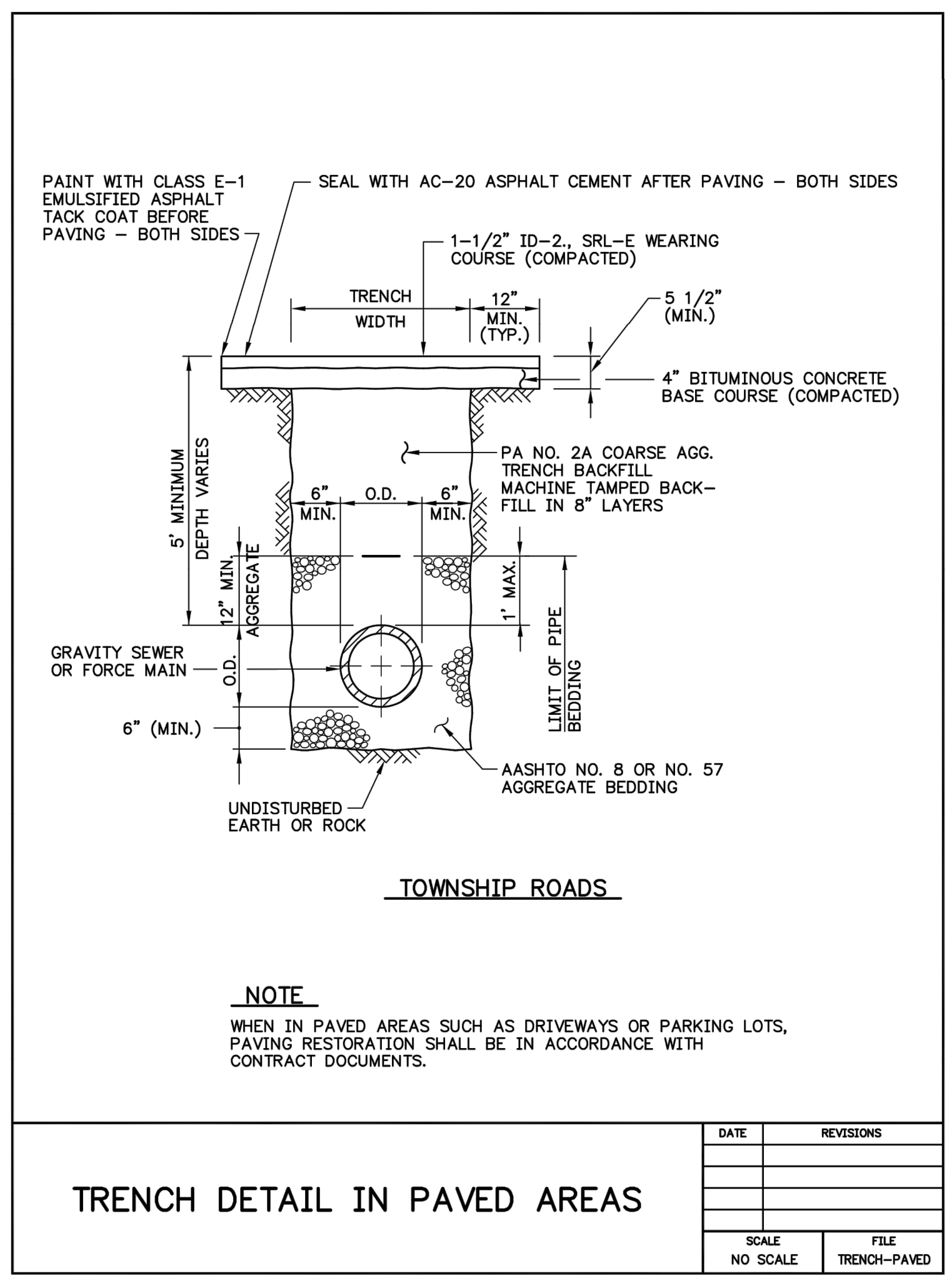
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DATE	REVISIONS

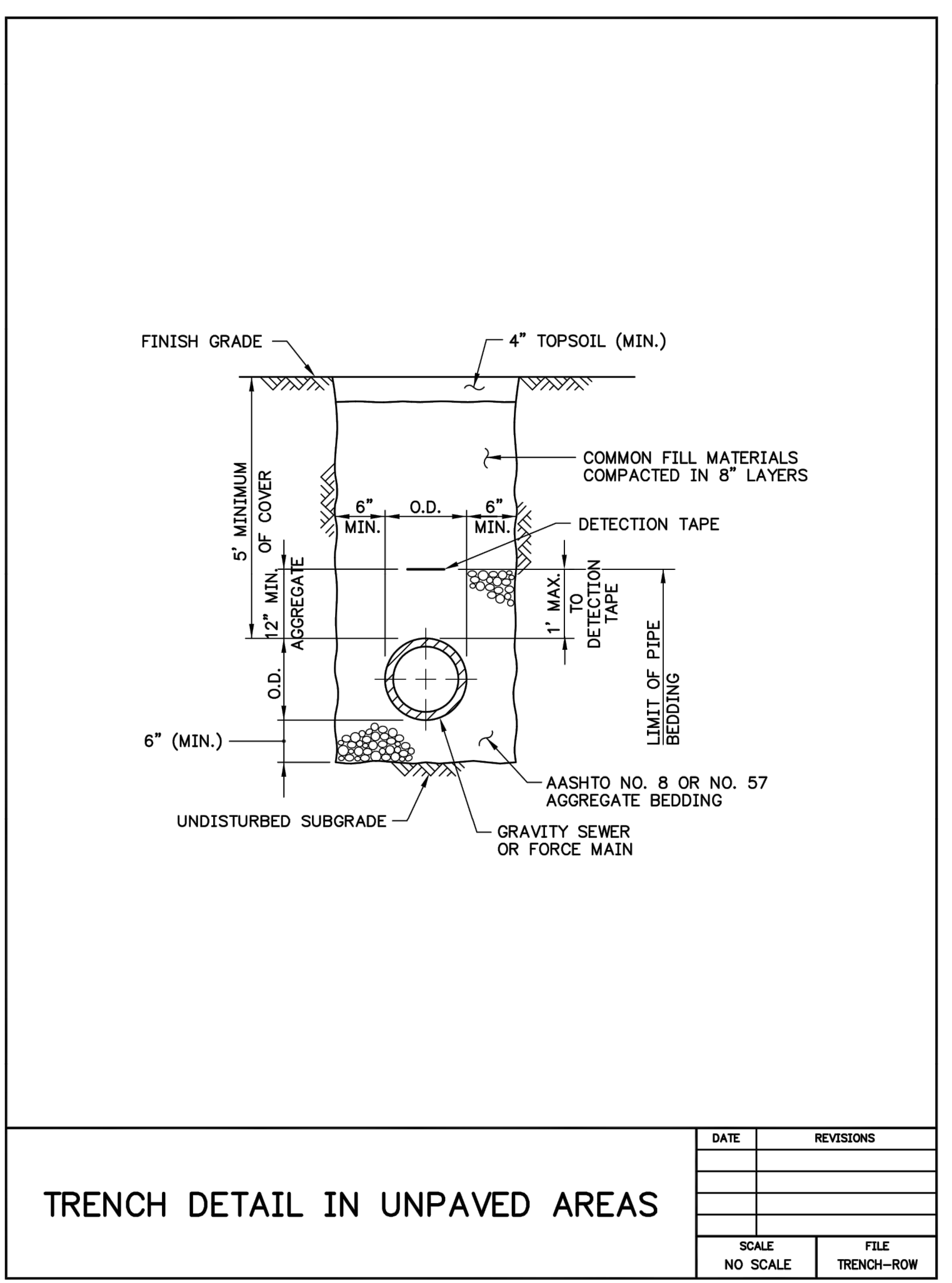
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TRENCH DETAIL IN PAVED AREAS

DATE	REVISIONS

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TRENCH DETAIL IN UNPAVED AREAS

DATE	REVISIONS

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 PLOTTED: 3/5/2021 1:59:00 AM BY: J. M. Humeier PLOTSTYLE: Penmon1.ctb  
 PROJECT STATUS:

**PLANTING NOTES**

- ALL PLANT LOCATIONS SHALL BE STAKED IN THE FIELD AND LOCATIONS APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- TOPSOIL WITH A QUALITY ORGANIC SOIL AMENDMENT SHALL BE USED FOR ALL PLANTING AND SEEDING OPERATIONS.
- INSTALL 12" MINIMUM TOPSOIL MIXTURE IN GROUNDCOVER BEDS AND 24" IN SHRUB BEDS AND ISLANDS. 6" OF TOPSOIL ARE TO REMAIN ON ALL DISTURBED AREAS TO RECEIVE SOD OR SEED.
- NOTIFY ALL UTILITY COMPANIES AND LOCATE ALL UTILITIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UNDERGROUND UTILITIES.
- SHOULD ANY DISCREPANCY ARISE BETWEEN THE PLANTING PLAN AND THE PLANTING SCHEDULE, THE DEVELOPER IS RESPONSIBLE FOR THE QUANTITIES SHOWN ON THE LANDSCAPE PLAN.
- ALL PLANT MATERIAL SHALL BE OF NURSERY STOCK QUALITY AS DEFINED BY THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND SHALL BE FIRST QUALITY NURSERY GROWN STOCK FREE OF DISEASE AND OBJECTIONABLE DISFIGUREMENTS AND PLANTED IN CONFORMANCE WITH SOUND NURSERY PRACTICE AND APPLICABLE CITY STANDARDS.
- ALL NON-BIODEGRADABLE ROOT WRAPPING TO BE REMOVED COMPLETELY BEFORE PLANTING.
- ALL TREES SHALL BE BALLED AND BULLAPED, NURSERY GROWN STOCK.
- ALL PLANT MATERIAL AND LAWNS SHALL BE PLANTED WITHIN THE RECOMMENDED SEASONAL TIME PERIODS AS PRESCRIBED BY ACCEPTED HORTICULTURAL PRACTICE. RECOMMENDED PLANTING TIMES ARE BETWEEN APRIL 15TH THRU MAY 31ST OR AUGUST 17TH THRU OCTOBER 15TH. FALL DIGGING AND TRANSPLANT HAZARD TREE SPECIES (OAKS, ETC.) SHALL BE ONLY BE DUG AND PLANTED IN SPRING.
- ALL PLANT MATERIAL SHALL BE APPROVED UPON ARRIVAL TO THE SITE, UNLESS OTHERWISE NOTIFIED.
- PROPOSED PLANT MATERIAL MAY BE SUBSTITUTED BY SIMILAR PLANTS PRIOR TO INSTALLATION, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- A TEMPORARY FENCE, SUCH AS SNOW FENCE, SHALL BE ERRECTED AT THE PERIMETER OF THE DRIPLINE OF ALL EXISTING VEGETATION INDICATED TO REMAIN. PRIOR TO EXCAVATION, CONSTRUCTION OR SITE WORK. THIS FENCE SHALL BE REMOVED ONLY AT THE TIME OF COMPLETION OF ALL CONSTRUCTION AND FINAL GRADING.
- EXISTING TREES TO BE RELOCATED SHALL BE HANDLED ACCORDING TO ACCEPTABLE HORTICULTURE PRACTICE.
- ALL DISTURBED AREAS NOT SHOWN AS PLANTED OR LAWN SHALL BE TOPSOILED AND SEEDDED OR RETURNED TO THEIR ORIGINAL STATE BEFORE DISTURBANCE AS DIRECTED BY THE CITY ENGINEER.
- ALL AREAS NOT RELATED TO THE PROPOSED DEVELOPMENT SHALL REMAIN IN THEIR NATURAL STATE. DISTURBANCE OF EXISTING VEGETATION SHALL BE LIMITED TO WORK AREA AND AS DEFINED ON DWGS. CS0501-04 AND CS8001.
- ADDITIONAL LANDSCAPING APPROVED BY THE CITY ENGINEER SHALL BE PROVIDED BY THE APPLICANT TO REPALCE ANY VEGETATION IN ADVERTENTLY REMOVED OUTSIDE THE LIMIT OF DISTURBANCE LINE AS SHOWN ON THE APPROVED GRADING PLAN DURING CONSTRUCTION.
- PROPOSED TREES SHALL NOT BE PLANTED WITHIN EASEMENTS, DRIVEWAYS AND SITE TRIANGLES. THEREFORE, THE TREE LOCATIONS SHALL BE APPROXIMATE AND SHALL BE ADJUSTED IN THE FIELD AS REQUIRED.
- ALL SHADE TREES IN PEDESTRIAN WALKS AREAS SHALL HAVE AN INITIAL LIMBS PRUNED STARTING AT A MINIMUM OF 7 FT. ABOVE FINISHED GRADE.
- ALL TREES SHALL BE MULCHED WITH A THREE INCH (3") MINIMUM DEPTH OF SHREDDED HARDWOOD BARK.
- PLANTS ARRANGED IN CONTINUOUS GROUPINGS SHALL BE SET IN MULCHED BEDS.
- PLANTING DEBRIS SHALL BE REMOVED FROM THE PROPERTY.
- ANY LIVE TREE WHICH IS SUBSTANTIALLY DAMAGED AS A RESULT FO GRADING OR GENERAL CONSTRUCTION MUST BE REMOVED AND REPLACED WITH ANOTHER TREE OR TREES AS APPROVED BY THE CITY ENGINEER.
- TREE REMOVAL FROM ANY SLOPE OR ENVIRONMENTALLY SENSITIVE AREA IS PROHIBITED IF IT WILL CONTRIBUTE, IN THE OPINION OF THE CITY ENGINEER, TO EXTRA RUNOFF OF SURFACE WATER ONTO ADJOINING PROPERTY AND EROSION AND SILTING, UNLESS OTHER MEANS APPROVED BY THE CITY ENGINEER ARE PROVIDED TO PREVENT RUNOFF AND EROSION.
- NO HEALTHY TREE THAT IS SPECIAL BY VIRTUE OF HISTORY, UNUSUAL SIZE, OR AGE OR OF RAE SPECIES, SHALL BE REMOVED EXCEPT AS MAY BE REQUIRED FOR PROTECTION OF PUBLIC HEALTH, SAFETY AND WELFARE.
- SELECTED EXISTING HEALTHY TREES SIX (6) INCHES IN CALIPER OR LESS MEASURED FOUR (4) FEET ABOVE THE GROUND SHALL BE RELOCATED ON-SITE UNDER THE DIRECTION AND APPROVAL OF THE CITY ENGINEER.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF PLANTING. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT AND REGULAR GROWTH OF PLANTS.
- ALL SHRUBS SPACED 7 FT. O.C. OR CLOSER SHALL BE IN CONTINUOUS MULCHED BEDS.
- SEED ALL DISTURBED AREAS WITH REQUIRED SEED MIX (SEE DWG. CS8501 FOR SEEDING MIX SCHEDULE).
- TREES SHOULD BE PLANTED A MIN. OF FIVE (5) FEET FROM SIDEWALKS UNLESS IN TREE PITS.
- GUY WIRES AND STAKES WILL ONLY BE UTILIZED IF CONDITIONS MERIT AND WILL BE REMOVED BY THE DEVELOPER AT THE END OF THE GUARANTEE PERIOD.

**SEEDING NOTES**

- SEED ALL AREAS DISTURBED BY CONSTRUCTION NOT OTHERWISE CONTAINING PLANTING BEDS, SIDEWALKS, BUILDINGS, ETC.
- BEFORE SEEDING, CONTRACTOR SHALL PROVIDE SOIL TESTS AND INCORPORATE NECESSARY SOIL AMENDMENTS PER SOIL TEST RECOMMENDATIONS.
- PERFORM ALL FINISH GRADING, WITHIN AREAS OF DISTURBANCE, NECESSARY TO BRING SITE TO REQUIRED FINISHED ELEVATIONS. FINISH GRADING SHALL CONSIST OF PREPARING SUBGRADE AND SPREADING TOPSOIL READY FOR SEEDING OPERATIONS.
- TOPSOIL SHALL BE UNIFORMLY SPREAD IN DISTURBED AREAS WITH BLADE GRADER, OR BY ANY OTHER APPROVED METHOD, TO A MINIMUM DEPTH OF 6 INCHES TO PERMIT 1 INCH OF SETTLEMENT. CORRECT ANY SURFACE IRREGULARITIES TO PREVENT FORMATION OF LOW SPOTS AND POCKETS THAT WOULD RETAIN WATER. PRIOR TO FINE GRADING, REMOVE ALL EXISTING ANNUAL TYPE VEGETATION.
- SOW SEED AT THE RECOMMENDED SEEDING RATE AS SHOWN IN THE SEEDING MIX SCHEDULE AS NOTED ON EROSION CONTROL PLANS.
- SEED SHALL BE APPLIED APRIL 15TH THRU MAY 31ST OR AUGUST 17TH THRU OCTOBER 15TH.
- ON ALL SLOPES 3:1 OR GREATER, USE AN ORGANIC SOIL STABILIZER SUCH AS 'CON-TACK' OR EQUAL AT THE RATE OF 25 LBS PER 1,000 GALLONS OR AT RATES RECOMMENDED BY THE MANUFACTURER.
- KEEP NEWLY SEEDDED GRASS AREAS MOISTENED DURING SEED GERMINATION AND UNTIL THE GRASS COVERS AT LEAST 75% OF THE SEEDDED AREAS TO A HEIGHT OF 2 TO 3 INCHES.
- ALL AREAS AND SPOTS, WHICH DO NOT SHOW A PROMPT CATCH OF GRASS, SHALL THEN BE RE-SEEDDED, AND THE OPERATION REPEATED UNTIL COMPLETE COVERAGE IS OBTAINED.
- SEE DWG. CS8501 FOR SEEDING SPECIFICATIONS AND RATES.

**LANDSCAPE MAINTENANCE NOTES**

**PLANT MATERIAL GUARANTEE**

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR BY THE CONTRACTOR TO BE IN HEALTHY AND VIGOROUS CONDITION FROM THE DATE OF ACCEPTANCE LANDSCAPE ARCHITECT, OWNER AND CITY INSPECTOR. ANY AND ALL PLANT MATERIAL THAT DIES OR FAILS TO THRIVE SHALL BE IMMEDIATELY REPLACED WITH LIKE SPECIES. IT IS UNDERSTOOD THAT THE CONTRACTOR WILL PROVIDE ADEQUATE AND TIMELY CARE DURING THE GUARANTEE PERIOD TO THE HIGHEST HORTICULTURAL STANDARDS.

**MAINTENANCE**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF SITE VEGETATION DURING THE GUARANTEE PERIOD TO INCLUDE BUT NOT BE LIMITED TO:

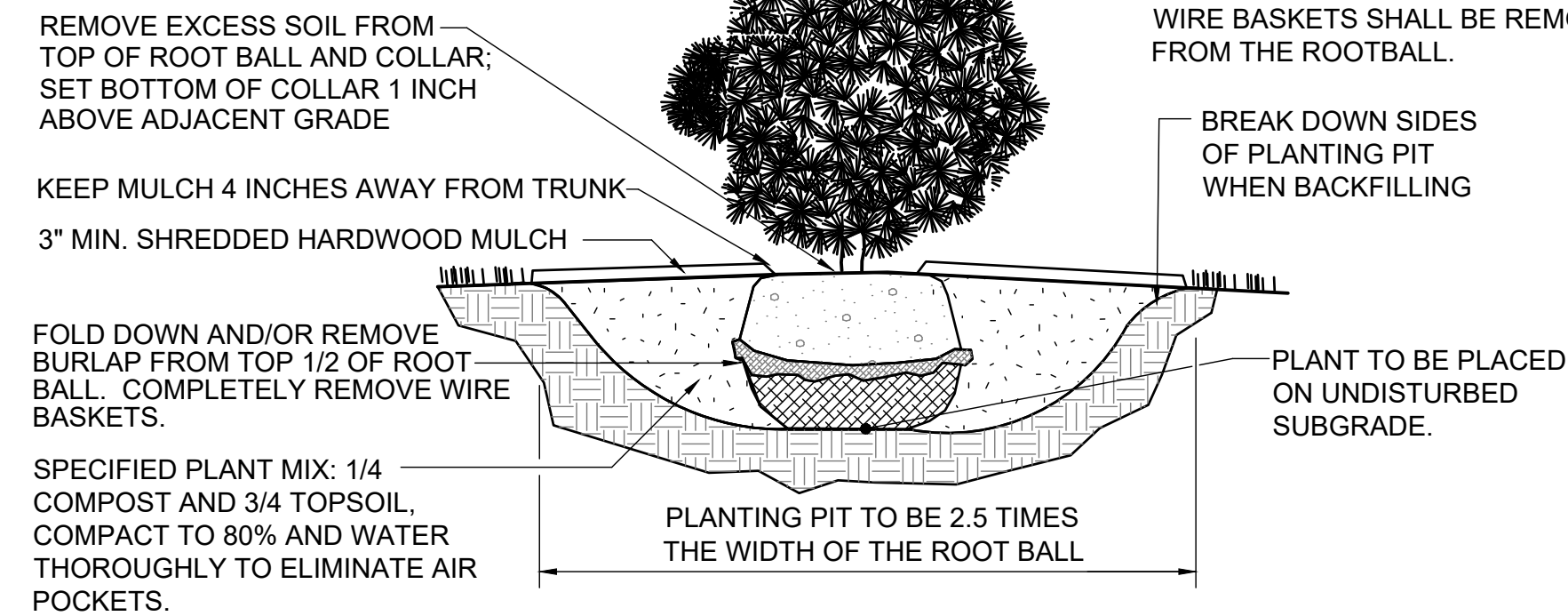
- FERTILIZER:** SPRING AND FALL FERTILIZER APPLICATIONS.
- PRUNING:** PRUNING SHALL BE LIMITED OR REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DIFFERENCES/SAFETY REASONS. PRUNING OF SHRUBS AND TREES SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
- PEST CONTROL:** PRE-EMERGENT WEED CONTROL FOR MOWN LAWNS AND SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
- MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 3" IN PLANT BEDS AND AROUND BASE OF TREES.
- MOWING:** MOWN LAWN SEED MIX SHALL BE MOWN AT REGULAR INTERVALS THROUGHOUT THE GROWING SEASON. GRASS HEIGHT SHOULD NOT EXCEED 4 INCHES BEFORE CUTTING. MOWER BLADES SHALL BE SET AT 3 INCHES UNLESS OTHERWISE DIRECTED.
- PLANT PROTECTION:** AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
- WATERING:** UNLESS STATED OTHERWISE IN THESE DOCUMENTS, PROVIDE APPROXIMATELY 1-INCH OF RAINFALL/WATER PER WEEK THROUGHOUT THE GROWING SEASON FOR THE FIRST YEAR.

**PERENNIAL AND GROUNDCOVER MAINTENANCE**

- WEED CONTROL CAN BE A PROBLEM UNDER THE GROUNDCOVERS/ PERENNIALS HAVE SPREAD AND FILLED IN THE AREA. CONTROL OF PERSISTENT, PERENNIAL WEEDS, SUCH AS BERMUDAGRASS AND NUTGRASS SHOULD BE ACHIEVED BEFORE PLANTING. USE A NONSELECTIVE HERBICIDE, SUCH AS ROUNDUP. A MULCH APPLIED AFTER PLANTING AND REPLENISHED AS NEEDED TO MAINTAIN A DEPTH OF 3 INCHES WILL REDUCE THE NEED TO WEED BY HAND. PRE-EMERGENCE HERBICIDES CAN BE USED ON MANY TYPES OF GROUNDCOVER TO AID WEED CONTROL. READ THE LABEL CAREFULLY BEFORE APPLYING. AS THE GROUNDCOVER FILLS IN WEEDS WILL BECOME LESS OF A PROBLEM BECAUSE OF THE SHADED SOIL. SOME HAND WEEDING WILL MOST LIKELY BE NEEDED.
- FERTILIZER - MOST GROUNDCOVERS WILL BENEFIT FROM AN APPLICATION OF FERTILIZER IN LATE WINTER TO EARLY SPRING. USE 2 TO 4 POUNDS OF A COMPLETE FERTILIZER PER 1,000 SQUARE FEET. WATER OR BRUSH FERTILIZER OFF THE FOLIAGE AFTER BROADCASTING.

**NOTES:**

- USE DIGGING FORK NOT SPADE TO PREVENT GLAZING OF PIT EDGES
- PRUNE DEAD AND DAMAGED BRANCHES IN ACCORDANCE WITH RECOGNIZED HORTICULTURAL PRACTICES.
- DO NOT PRUNE LEADER.
- SET PLANTS PLUMB AND FACE TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT AREAS.
- COMPLETELY REMOVE ALL TREE WRAP AFTER INSTALLATION
- ONLY STAKE TREES OVER 8 FT. HEIGHT OR ON SLOPES GREATER THAN 4:1
- ALL NON-BIODEGRADABLE MATERIALS INCLUDING WIRE BASKETS SHALL BE REMOVED COMPLETELY FROM THE ROOTBALL.

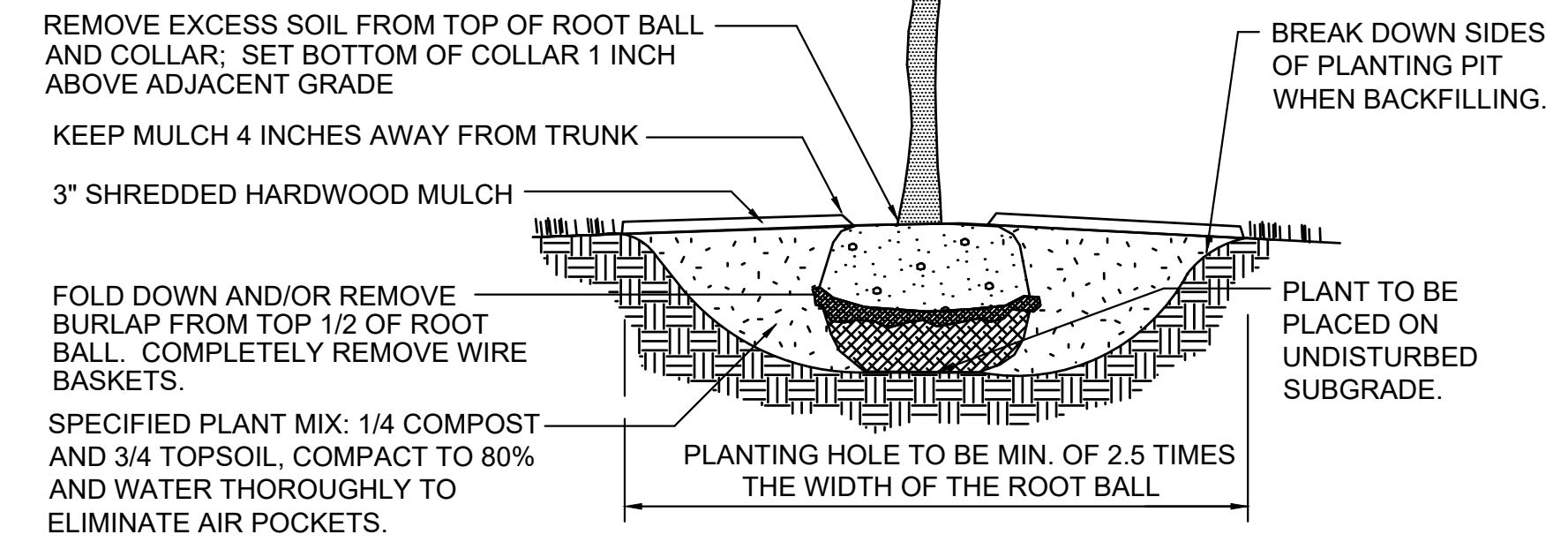


**EVERGREEN TREE PLANTING**

NOT TO SCALE

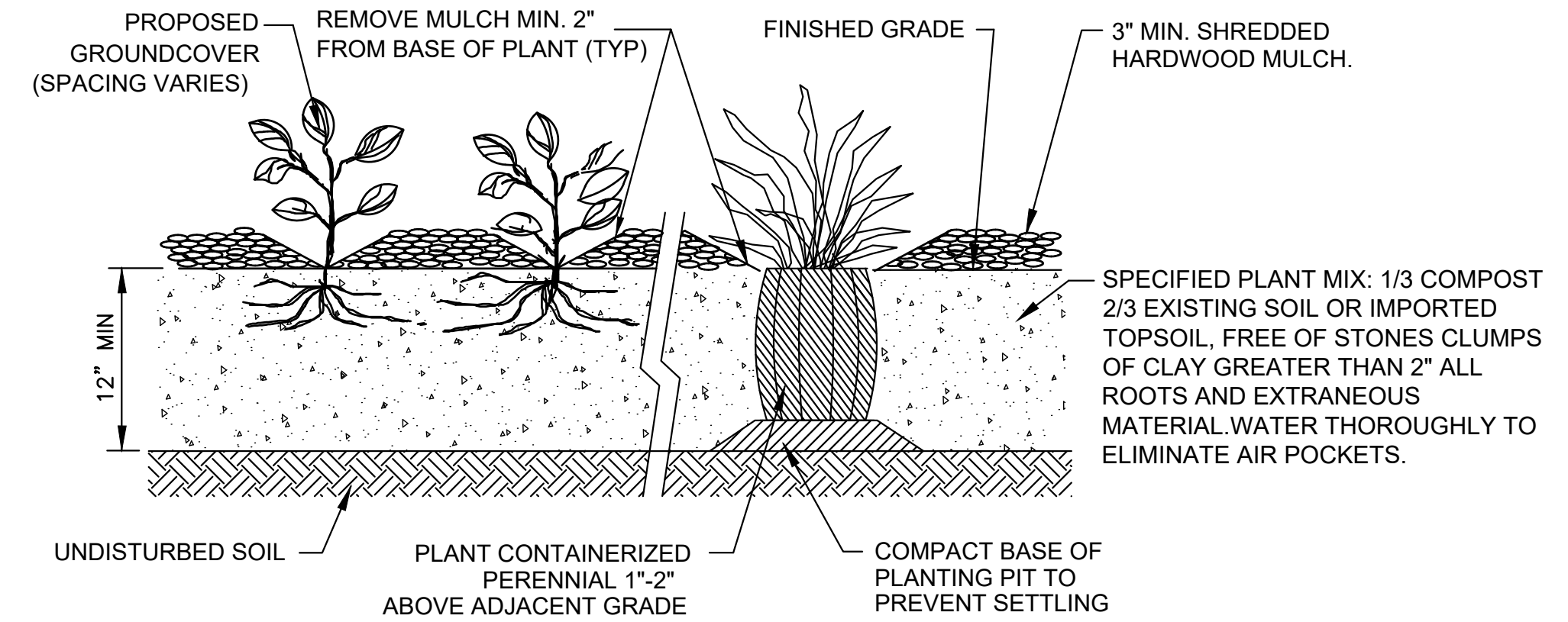
**NOTES:**

- USE DIGGING FORK NOT SPADE TO PREVENT GLAZING OF PIT EDGES
- PRUNE DEAD AND DAMAGED BRANCHES IN ACCORDANCE WITH RECOGNIZED HORTICULTURAL PRACTICES.
- DO NOT PRUNE LEADER.
- SET PLANTS PLUMB AND FACE TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT AREAS. COMPLETELY REMOVE ALL TREE WRAP AFTER INSTALLATION
- ONLY STAKE TREES OVER 3" CALIPER OR ON SLOPES GREATER THAN 4:1
- ALL NON-BIODEGRADABLE MATERIALS INCLUDING WIRE BASKETS SHALL BE REMOVED COMPLETELY FROM THE ROOTBALL.



**DECIDUOUS TREE PLANTING**

NOT TO SCALE

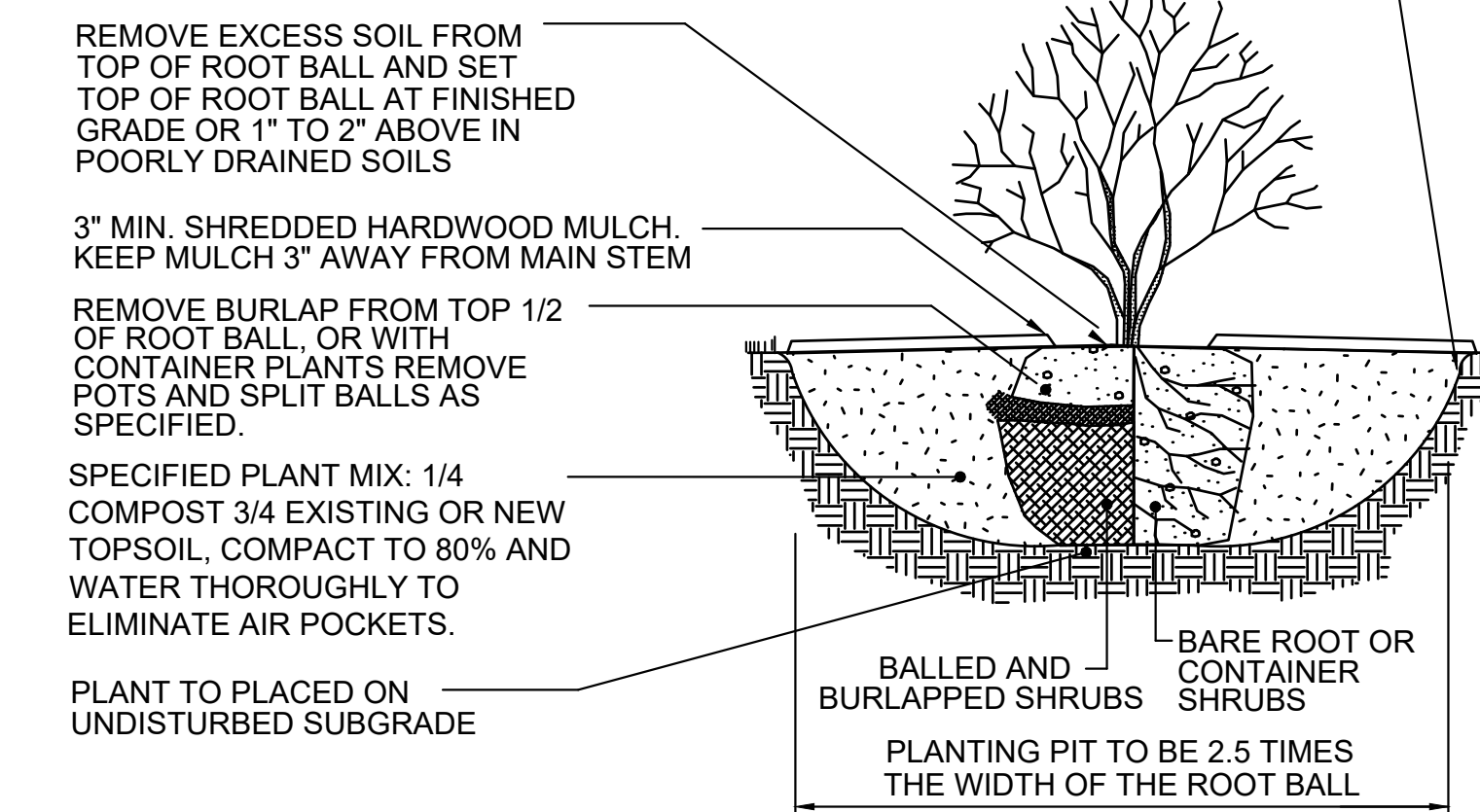


**PERENNIAL/GROUNDCOVER/ORN. GRASS PLANTING**

NOT TO SCALE

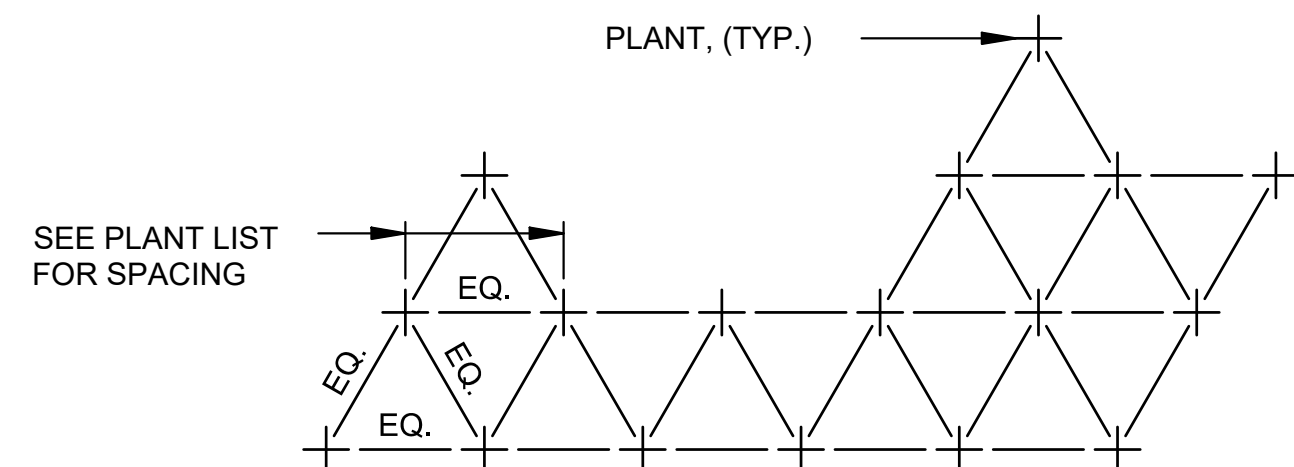
**NOTES:**

- SET PLANTS PLUMB AND FACE TO GIVE BEST APPEARANCE TO ADJACENT AREAS.
- PRUNE ONLY TO REMOVE DEAD OR DAMAGED BRANCHES.
- USE A DIGGING FORK NOT A SPADE TO PREVENT GLAZING OF PIT EDGES



**SHRUB PLANTING**

NOT TO SCALE



**PLANT SPACING DIAGRAM**

NOT TO SCALE

**Pennoni**  
**PENNONI ASSOCIATES INC.**  
 5072 Ritter Road, Suite 102  
 Mechanicsburg, PA 17055  
 T 717.975.6481 F 717.975.6480

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3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
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**LANDSCAPE DETAILS AND NOTES**  
 LINLO MONTROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

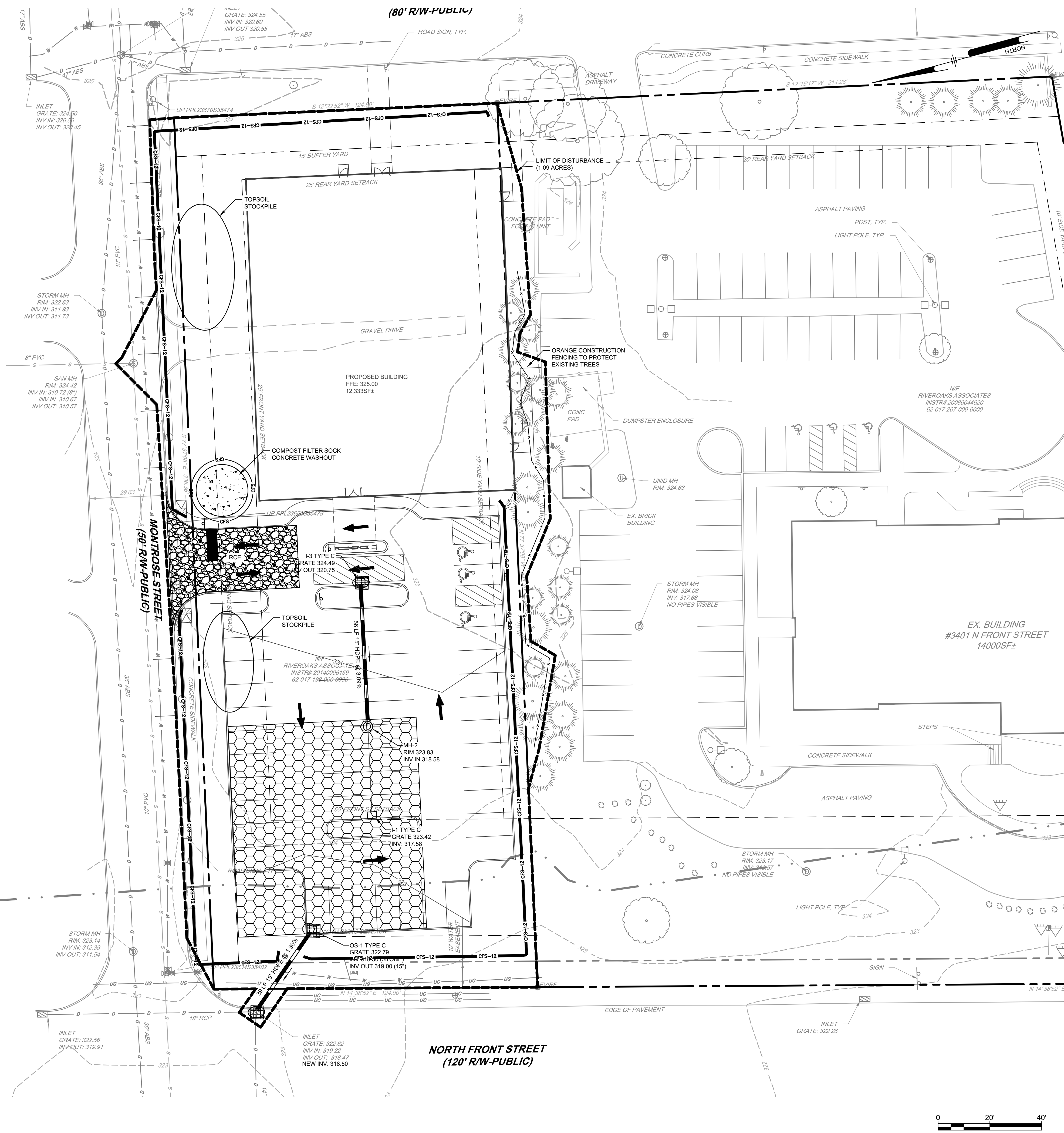
NO.	DATE	REVISIONS	BY

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PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

PROJECT STATUS:   
 PLOTTED: 3/20/21 1:59 AM BY: J. Penner - PLOTTED: Penner\JCS6061.dwg   
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 PROJECT STATUS:



**E&S LEGEND**

- LIMIT OF DISTURBANCE / NPDES BOUNDARY
- COMPOST FILTER SOCK (CFS)
- ROCK CONSTRUCTION ENTRANCE
- INLET PROTECTION
- EROSION CONTROL MATTING

**NOTE:**  
 THESE PLANS INDICATE CRITICAL AREAS FOR EROSION AND SEDIMENTATION CONTROL PLACEMENT BUT DO NOT RELIEVE THE CONTRACTOR FROM PROVIDING ADDITIONAL CONTROLS AS SITE CONDITIONS WARRANT. THE ENVIRONMENTAL COMPLIANCE MANAGER FOR THE PROJECT AND/OR CONSERVATION DISTRICT MAY DIRECT THE CONTRACTOR TO INSTALL E&S BMPs NOT DEPICTED ON THESE DRAWINGS IN ORDER TO PROTECT DOWN GRADIENT AREAS FROM EROSION AND SEDIMENTATION DURING CONSTRUCTION.

**Pennoni**

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 Mechanicsburg, PA 17055  
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA

**EROSION AND SEDIMENTATION CONTROL PLAN**

LINLO MONROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

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PROJECT: LINLO20003  
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 DRAWING SCALE: AS SHOWN  
 DRAWN BY: CRH/TLR  
 APPROVED BY: PGD

**CS8001**

SHEET 14 OF 21

**STANDARD EROSION AND SEDIMENT CONTROL PLAN  
NOTES**

- 1. NOTIFY THE DAUPHIN COUNTY CONSERVATION DISTRICT TEN (10) WORK DAYS IN ADVANCE OF ANY EARTH DISTURBANCE ACTIVITIES AT THE FOLLOWING ADDRESS: DAUPHIN COUNTY CONSERVATION DISTRICT 1451 PETERS MOUNTAIN ROAD DAUPHIN, PA 17018 TELEPHONE: 717-921-8100
2. CONTRACTORS INVOLVED IN ANY EARTH DISTURBANCE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM, INCORPORATED, AT 1-800-242-1776, TO LOCATE BURIED UTILITIES.
3. EARTH MOVING STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET; EARTH MOVING STOCKPILE SLOPES MUST BE 2H:1V OR FLATTER.
4. CONTRACTOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT (E&S) CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
5. UNTIL THE SITE ACHIEVES FINAL STABILIZATION, CONTRACTOR SHALL ASSURE THAT THE BEST MANAGEMENT PRACTICES (BMPs) ARE IMPLEMENTED, OPERATED, AND MAINTAINED PROPERLY AND COMPLETELY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL BEST MANAGEMENT PRACTICE FACILITIES AND MAINTAIN AND MAKE AVAILABLE TO THE DAUPHIN COUNTY CONSERVATION DISTRICT COMPLETE, WRITTEN INSPECTION LOGS OF ALL THOSE INSPECTIONS. ALL MAINTENANCE WORK, INCLUDING CLEANING, REPAIR, REPLACEMENT, REGRADING, AND RESTABILIZATION SHALL BE PERFORMED IMMEDIATELY.
6. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. (EXAMPLE, THE IMPLEMENTATION OF SILT FENCE SHOULD A SECTION OF COMPOST FILTER SOCK BE DAMAGED.)
7. BEFORE INITIATING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, CONTRACTOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE DAUPHIN COUNTY CONSERVATION DISTRICT.
8. CONTRACTOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE DAUPHIN COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.
9. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BEST MANAGEMENT PRACTICE (BMP), SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
10. CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
11. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
12. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE BMPs.
13. EROSION AND SEDIMENT CONTROL BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
14. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
15. AT LEAST SEVEN (7) WORK DAYS BEFORE EARTH DISTURBANCE ACTIVITIES, THE CONTRACTOR SHALL UNITE THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN PREPARER, AND DAUPHIN COUNTY CONSERVATION DISTRICT TO AN ON-SITE MEETING. ALSO, AT LEAST THREE (3) WORK DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.
16. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE PROVIDED SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
17. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, CONTRACTOR SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITIES. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE (1) YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINISHED GRADE OR WHICH WILL NOT BE REDISTURBED WITHIN ONE (1) YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
18. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
19. HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
20. MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3H:1V AND STEEPER, IF APPLICABLE.
21. CLEAN STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
22. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY, IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED SHALL BE REQUIRED.
23. SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOOD PLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
24. CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ. CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
25. ANY SEDIMENT THAT IS TRACKED ONTO THE ROADWAY MUST BE CLEANED OFF BEFORE THE END OF THE DAY. CONTRACTOR MUST INSTRUCT DRIVERS OF ALL VEHICLES TO REMOVE SOIL AND LOOSE MATERIAL FROM THEIR WHEELS AND UNDERCARRIAGES WHEN LEAVING THE WORK AREA. CONTRACTOR MUST REMOVE ALL SOIL, MISCELLANEOUS DEBRIS OR OTHER MATERIAL SPILLED, DUMPED, OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS, OR OTHER PUBLIC THOROUGHFARES BY VEHICLES IN TRANSIT TO AND FROM THE WORK AREA.
26. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW, THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
27. THERE IS POTENTIAL POLLUTION DUE TO ACCELERATED EROSION AND THE PROPOSED E&S BMPs ARE DESIGNED IN COMPLIANCE WITH DEP GUIDELINES TO PROTECT AGAINST THIS POTENTIAL. THESE BMPs INCLUDE COMPOST FILTER SOCK, INLET PROTECTION, CONCRETE WASHOUT, AND A ROCK CONSTRUCTION ENTRANCE.

**SEQUENCE OF EARTHMOVING OPERATIONS**

- 1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE WILL BE COMPLETED IN COMPLIANCE WITH PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED.
2. AT LEAST SEVEN (7) WORK DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, CONTRACTOR SHALL INVITE ALL SUB-CONTRACTORS, THE PROJECT OWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT (E&S) CONTROL PLAN PREPARER, THE POLLUTION CONTROL AND SEDIMENT MANAGEMENT (PCSM) PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM DAUPHIN COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
3. AT LEAST THREE (3) WORK DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, CONTRACTOR SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
4. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY THE DAUPHIN COUNTY CONSERVATION DISTRICT OR BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO IMPLEMENTATION.

**DEMOBILIZATION**

- 1. WHEN A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION IS ESTABLISHED, CONTACT THE DAUPHIN COUNTY CONSERVATION DISTRICT FOR THEIR APPROVAL TO REMOVE THE CONTROL MEASURES.
2. REMOVE INLET FILTER BAGS IN INLETS AND DISPOSE OF SEDIMENTS BY SPREADING ON STABILIZED SLOPE AREAS THAT DO NOT RECEIVE CONCENTRATED RUNOFF.
3. ALL TOPSOIL STOCKPILE MATERIAL REMAINING SHALL BE SMOOTH GRADED TO PREVENT PONDING, THEN HAVE PERMANENT SEEDING AND MULCH APPLIED.
4. ALL COMPOST FILTER SOCKS SHALL BE SLIT AND MATERIAL SPREAD SMOOTH. APPLY PERMANENT SEEDING AND MULCH TO SPREAD MATERIAL.

**THERMAL IMPACTS**

1. THERMAL IMPACTS RELATED TO THIS PROJECT ARE NOT EXPECTED TO BE SIGNIFICANT. RUNOFF FROM THE PROJECT SITE WILL BE INTERCEPTED AND DETAINED BY THE PROPOSED STORMWATER TREATMENT AREAS, WHICH WILL ACT AS A HEAT SINK TO COOL THE WATERS. PARKING LOT LANDSCAPING, WITH TREES, WILL PROVIDE SOME SHADING OF THE PAVED SURFACES.

**UTILITY LINE INSTALLATION REQUIREMENTS**

- 1. EXPOSED TRENCH EXCAVATIONS HAVE HIGH POTENTIAL FOR ACCELERATED EROSION AND SEDIMENT POLLUTION. SINCE THESE EXCAVATIONS ARE USUALLY LOCATED AT LOWER ELEVATIONS ALONG OR ACROSS EARTH DISTURBANCE SITED, OPEN TRENCHES SERVE TO CONCENTRATE SEDIMENT-LADEN RUNOFF AND CONVEY IT TO SITE BOUNDARIES OR WATERWAYS. THE MOST IMPORTANT EROSION AND SEDIMENT POLLUTION CONTROL CONSIDERATION FOR TRENCH CONSTRUCTION IS THE LIMITING AND SPECIFIC SCHEDULING OF WORK ACTIVITIES.
2. ADVANCED CLEARING AND GRUBBING OPERATIONS FOR STRIP UTILITY LINE INSTALLATIONS SHALL BE LIMITED TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
3. DAILY TRENCH EXCAVATION SHALL BE LIMITED TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
4. TRENCH PLUGS WILL BE SPACED AND CONSTRUCTED IN ACCORDANCE TO THE DETAILS SHOWN ON PLANS. THE PLUGS MAY BE TEMPORARILY REMOVED WHEN PLACING THE PIPE, BUT THEN REPLACED.
5. WATER WHICH ACCUMULATES IN THE OPEN TRENCH MUST BE COMPLETELY REMOVED BY PUMPING INTO A FILTER BAG, PRIOR TO PIPE PLACEMENT OR BACKFILLING OPERATIONS.
6. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA SHALL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES/FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK.
A. EXCEPTIONS - IN CERTAIN CASES, TRENCHES CANNOT BE BACKFILLED UNTIL THE PIPE IS HYDROSTATICALLY TESTED, OR ANCHORS AND OTHER PERMANENT FEATURES ARE INSTALLED. IN THESE CASES, ALL OF THE REQUIREMENTS LISTED UNDER ITEM B. WILL REMAIN IN EFFECT WITH THE FOLLOWING BEING AMENDED:
B. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR SIX DAYS. ALL PRESSURE TESTING AND THE COMPLETE BACKFILLING OF THE OPEN TRENCH MUST BE COMPLETED BY THE SEVENTH WORKING DAY.
C. IF DAILY BACKFILLING IS DELAYED, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS, APPROPRIATE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES/FACILITIES WILL BE INSTALLED, AND THE AREAS SEEDED AND MULCHED WITHIN THE NEXT TWO CALENDAR DAYS.
7. STREAM OR WETLAND CROSSINGS: THERE ARE NO PROPOSED STREAM OR WETLAND CROSSINGS ASSOCIATED WITH THIS PROJECT.

**GENERAL CONSTRUCTION SEQUENCE**

THE GENERAL SEQUENCE OF EARTHMOVING ACTIVITIES FOR THE CONSTRUCTION OF THE BMP IS AS FOLLOWS:
DO NOT CLEAR AND GRUB THE PROJECT SITE UNTIL THE PERIMETER SEDIMENT CONTROLS ARE INSTALLED OR CONSTRUCTED AND FUNCTIONAL.

- 1. SCHEDULE AND ATTEND REQUIRED PRE-CONSTRUCTION MEETING AS STATED PREVIOUSLY.
2. FIELD MARK THE LIMITS OF DISTURBANCE.
3. INSTALL FILTER BAG INLET PROTECTION AT ALL EXISTING STORM SEWER INLETS AS SHOWN ON THE PLANS.
4. INSTALL THE ROCK CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE PLANS.
5. INSTALL THE COMPOST FILTER SOCK AT THE LOCATIONS SHOWN ON THE PLANS.
6. DEMOLISH OR SALVAGE ALL ITEMS DEPICTED ON THE DEMOLITION PLANS.
7. UNDER THE SUPERVISION OF THE DESIGN PROFESSIONAL, CONSTRUCT THE PROPOSED UNDERGROUND DETENTION SYSTEM, OUTLET STRUCTURE, AND OUTLET PIPE AS SHOWN ON THE PLANS. COORDINATE AND ACCOUNT FOR UTILITY LINES THAT ARE TO REMAIN ACTIVE DURING CONSTRUCTION.
8. STRIP ANY EXISTING TOPSOIL AND SPOIL ONSITE OR AT A STOCKPILE AT A PERMITTED LOCATION OFF-SITE AT THE CONVENIENCE OF THE CONTRACTOR. ANY OFF SITE BORROW/FILL AREAS MUST BE APPROVED BY THE DAUPHIN COUNTY CONSERVATION DISTRICT PRIOR TO USE.
9. INSTALL NEW UTILITY SYSTEMS AS SHOWN ON THE DRAWINGS.
10. PERFORM THE GRADING FOR THE PROPOSED BUILDING AND DRIVEWAYS.
11. CONSTRUCT THE PROPOSED BUILDING.
12. REMOVED AND PROPERLY DISPOSE OF THE ACCUMULATED SEDIMENT ON-SITE AS NEEDED OR OFF-SITE TO A PERMITTED SITE.
13. COMPLETE THE FINAL GRADING AND FINAL LANDSCAPING.
14. WHEN THE PERMANENT VEGETATION HAS REACHED A MINIMUM 70% PERENNIAL VEGETATIVE COVER, REMOVE THE SEDIMENT CONTROL DEVICES.
15. PERMANENTLY STABILIZE ANY AREAS DISTURBED BY THE SEDIMENT CONTROL DEVICES.

**WASTE MANAGEMENT & DISPOSAL**

- 1. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
2. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. PROPER HOUSEKEEPING, MATERIAL MANAGEMENT AND LITTER CONTROL MEASURES MUST BE PLANNED AND IMPLEMENTED.
3. WASTE MATERIALS FROM THIS SITE ARE ANTICIPATED TO INCLUDE, BUT ARE NOT LIMITED TO ROCKS, ROOTS, AND STUMPS. BULK CONSTRUCTION WASTE MUST BE DISPOSED OF OFF-SITE AT A PERMITTED LOCATION.
4. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN EROSION AND SEDIMENT (E&S) CONTROL PLAN APPROVED BY DAUPHIN COUNTY CONSERVATION DISTRICT OR THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
6. ALL WATER PUMPING FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
7. CONSTRUCTION ACTIVITY WASH WATER AND SANITARY WASTE SHALL NOT BE DISCHARGED TO THE STORMWATER SYSTEM NOR SHALL IT BE PERMITTED TO FLOW OVERLAND TO RECEIVING WATERS.
8. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEP INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
9. ALL SEDIMENT REMOVED FROM BEST MANAGEMENT PRACTICES (BMPs) SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
10. CONCRETE WASH WATER SHALL BE HANDLED IN A SAFE MANNER. CONCRETE WASH WATER SHALL NOT BE ALLOWED TO ENTER THE SURFACE OR GROUNDWATER SYSTEMS. CONTRACTOR SHALL MAINTAIN A WASH-WATER STATION ON-SITE AND A SPILL PREVENTION AND CONTINGENCY PLAN FOR THE WASH-WATER STATION.

**CLEAN FILL & ENVIRONMENTAL DUE DILIGENCE**

- 1. THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR THIS PROJECT, OF WHICH THIS EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN IS A PART, COVERS THE "MOVING, DEPOSITING, STOCKPILING, OR STORING OF SOIL ROCK OR EARTH MATERIALS". IF THIS PROJECT WILL NEED FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL SHALL RESIDE WITH THE CONTRACTOR.
2. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS, OR AUDITS.
3. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE.
4. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHALL BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION POLICY "MANAGEMENT OF FILL".
5. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, USED BRICK, BLOCK, OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH, THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH OF PENNSYLVANIA UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
6. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL WILL BE CONSIDERED REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL MANAGEMENT, IF APPLICABLE.
7. FILL DETERMINATION IS NOT REQUIRED OF THE CONTRACTOR UNLESS THERE IS EVIDENCE THAT A SPILL OR RELEASE OF A REGULATED SUBSTANCE HAS OCCURRED.

**DESIGN APPROACH**

- 1. MINIMIZES EXTENT AND DURATION OF EARTH DISTURBANCE:
A. A MAJORITY OF THE SUBJECT PARCEL IS TO BE DISTURBED DURING THE LENGTH OF THIS PROJECT, BUT THE CONSTRUCTION SCHEDULE FOR THIS PROJECT IS EXPECTED TO BE EXPEDITED, DUE TO THE TIME RESTRAINT OF THE EXPECTED SCHEDULE.
2. MAXIMIZING THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION:
A. INSTALLATION OF COMPOST FILTER SOCKS AND INLET PROTECTION BAGS WILL MINIMIZE THE IMPACTS ON THE DOWNSTREAM DRAINAGE AREAS AND VEGETATION, AND PROTECT EXISTING DRAINAGE FEATURES.
3. UTILIZES OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF:
A. THE PROPOSED STORMWATER MANAGEMENT DESIGN PROTECTS AND UTILIZES THE EXISTING DRAINAGE PATTERN. NO OTHER NON-DISCHARGE ALTERNATIVES ARE PROPOSED.

**TOPSOIL APPLICATION**

- 1. GRADED AREAS SHOULD BE SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES TO PERMIT BONDING OF THE TOPSOIL TO THE SURFACE AREAS AND TO PROVIDE A ROUGHENED SURFACE TO PREVENT TOPSOIL FROM SLIDING DOWN SLOPE.
2. TOPSOIL SHOULD BE UNIFORMLY DISTRIBUTED ACROSS THE DISTURBED AREA TO A DEPTH OF 4 TO 8 INCHES MINIMUM - 2 INCHES ON FILL OUTCROPS. SPREADING SHOULD BE DONE IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION OR TILLAGE. IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOIL PLACEMENT SHOULD BE CORRECTED IN ORDER TO PREVENT FORMATION OF DEPRESSIONS UNLESS SUCH DEPRESSIONS ARE PART OF THE PCSM PLAN.
3. TOPSOIL SHOULD NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION. COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHEREVER POSSIBLE PRIOR TO SEEDING.

TABLE 11.1
CUBIC YARDS OF TOPSOIL REQUIRED FOR APPLICATION TO VARIOUS DEPTHS
DEPTH (in) PER 1,000 SQUARE FEET PER ACRE
1 3,1000 134
2 6,2000 268
3 9,3000 403
4 12,4000 537
5 15,5000 672
6 18,6000 806
7 21,7000 940
8 24,8000 1074

**TEMPORARY & PERMANENT STABILIZATION SPECIFICATIONS**

FOR TEMPORARY MEASURES
SEED FORMULA: PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FORMULA E
1. APPLY FORMULA E: 100% ANNUAL RYEGRASS SEED AT 10.0 LB./1000 SQ. YD
2. APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE
3. PERFORM SEEDING BETWEEN MARCH 15 AND OCTOBER 15.

FOR PERMANENT MEASURES
FOR SLOPES 3H:1V or FLATTER-
SEED FORMULA: PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FORMULA B

- 1. 20% PERENNIAL RYEGRASS MIXTURE AT 4.0 LB./SQ. YD
30% CREEPING RED FESCUE OR CHEWINGS FESCUE AT 6.0 LB/SQ. YD
50% KENTUCKY BLUEGRASS MIXTURE AT 11.0 LB/SQ. YD
2. APPLY GROUND LIMESTONE AT 800 LBS PER ACRE.
3. APPLY FERTILIZER (10-10-20) AT 140 POUNDS PER 1000 SQUARE YARDS.
4. APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE.
5. PERFORM SEEDING BETWEEN MARCH 15 AND JUNE 1, AND AUGUST 1 AND OCTOBER 15.

SEED FORMULA: PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) FORMULA D
1. 70% TALL FESCUE AT 4.0 LB./SQ. YD
30% CREEPING RED FESCUE OR CHEWINGS FESCUE AT 6.0 LB/SQ. YD
2. APPLY GROUND LIMESTONE AT 800 LBS PER ACRE.
3. APPLY FERTILIZER (10-10-20) AT 140 POUNDS PER 1000 SQUARE YARDS.
4. APPLY HAY OR STRAW MULCH AT 3 TONS PER ACRE.
PERFORM SEEDING BETWEEN MARCH 15 AND JUNE 1, AND AUGUST 1 AND OCTOBER 15



3405 AND 3401 NORTH FRONT STREET
SUSQUEHANNA TOWNSHIP
DAUPHIN COUNTY, PENNSYLVANIA
EROSION AND SEDIMENTATION CONTROL NOTES
LINLO MONTROSE PARK, LLC
150 CORPORATE CIRCLE, SUITE 100
LEMOYNE, PENNSYLVANIA 17043

Table with 10 columns and 1 row, used for project tracking.

Table with 10 columns and 1 row, used for revision tracking.

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PROJECT: LINLO20003
DATE: 2021-03-05
DRAWING SCALE: AS SHOWN
DRAWN BY: CRH/TLR
APPROVED BY: PGD
CS8501 SHEET 15 OF 21

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# MAINTENANCE & INSPECTION REQUIREMENTS

SITE MAINTENANCE IS THE RESPONSIBILITY OF THE CONTRACTOR. TABLE 1, EROSION AND FACILITIES MAINTENANCE REQUIREMENTS LISTS MINIMUM MAINTENANCE AND INSPECTION REQUIREMENTS DURING THE CONSTRUCTION PHASE. IF A BEST MANAGEMENT PRACTICE (BMP) DEVICE IS OBSERVED TO BE FAILING OR PERFORMING POORLY, IMMEDIATELY REPAIR AND/OR REPLACE.

Facility	Maintenance Requirements
ROCK CONSTRUCTION ENTRANCE (RCE)	CONTRACTOR SHALL MAINTAIN ROCK CONSTRUCTION ENTRANCE (RCE) DAILY AND AS REQUIRED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED BY END OF DAY.
COMPOST FILTER SOCKS	COMPOST FILTER SOCKS ARE TO BE CHECKED WEEKLY AND AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT BUILDING UP ONCE IT REACHES 1/2 THE HEIGHT OF THE COMPOST FILTER SOCKS. IF THE COMPOST FILTER SOCK IS OVERTOPPED OR FAILS TO EFFECTIVELY FILTER SEDIMENT, REPLACE FAILED FENCE SECTION WITH A ROCK FILTER OUTLET. REPAIR SOCK OR REPLACE WITH ROCK FILTER OUTLET WITHIN 24 HOURS.
INLET FILTER BAGS AND PUMPED WATER BAGS	CHECK DAILY AND REMOVE SEDIMENT WHEN HALF FULL, OR AS NEEDED TO PREVENT CLOGGING BY SEDIMENT AND PONDING. MAINTAIN WITHIN 24 HOURS OF OBSERVED FAILURE OR SEDIMENT BUILD-UP.
TEMPORARY STOCKPILES	STOCKPILES SHALL BE MAINTAINED SO AS NOT TO EXCEED 35 FEET IN HEIGHT OR 2H:1V IN SLOPE. THESE AREAS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH SPECIFICATIONS. 18-INCH COMPOST FILTER SOCK SHALL BE INSTALLED AROUND THE PERIMETER.
TEMPORARY SEEDING AREAS	THESE AREAS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH THE SPECIFICATIONS. ANY BARE OR DEAD PATCHES SHALL BE REPLACED IMMEDIATELY.
COMPOST SOCK CONCRETE WASHOUT	WASHOUT SHALL BE REPLACED WHEN ACCUMULATIONS REACH HALF OF THE HEIGHT OF THE COMPOST FILTER SOCK.
TEMPORARY PROTECTION FENCE	CONTRACTOR SHALL INSPECT WEEKLY. REPAIR ANY DAMAGED FENCE WITHIN 24 HOURS.

NOTE: UNLESS MORE FREQUENT MAINTENANCE REQUIREMENTS ARE SPECIFIED ABOVE, ALL EROSION AND SEDIMENT (E&S) CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL EVENT. INSPECTION, MAINTENANCE, AND REMOVAL OF E&S FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR. A WRITTEN LOG, USING DEP FORM 3150-FM-BWEW003, OF E & S RELATED INSPECTIONS, REPAIR, AND MAINTENANCE ACTIVITIES SHALL BE MAINTAINED AT ALL TIMES ON SITE.

## MAINTENANCE PROGRAM

THE CONTRACTOR IS REQUIRED TO INCORPORATE ALL TEMPORARY AND PERMANENT CONTROL MEASURES AND FACILITIES INDICATED IN THE APPROVED PLAN INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME. THE CONTRACTOR IS RESPONSIBLE FOR APPLYING, CLEANING, AND MAINTAINING ALL CONTROL FEATURES DURING CONSTRUCTION. APPROPRIATE EROSION AND SEDIMENT POLLUTION CONTROL FEATURES SHALL BE APPLIED TO SECTIONS SUCH AS BORROW PITS AND MATERIAL STORAGE AREAS UNFORESEEN PRIOR TO CONSTRUCTION. PERMANENT EROSION CONTROL FACILITIES WILL BE MAINTAINED BY THE OWNER.

THE TEMPORARY FACILITIES FOR EROSION AND SEDIMENT POLLUTION CONTROL SHALL BE INSPECTED A MINIMUM OF ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF COMPOST SILT SOCK AND 1/3 THE ABOVE GROUND HEIGHT OF THE ROCK FILTER. ANY SILT SOCK SECTION THAT HAS BEEN UNDERMINED OR OVERTOPPED MUST BE IMMEDIATELY REPLACED WITH A AN OVERLAPPING ADJACENT UPSLOPE-SIDE OF NEW COMPOST SILT COCK OF 2 TIME THE LENGTH OF THE BREACHED/FAILED SECTION. AS CONSTRUCTION PROGRESSES AND DISTURBED AREAS HAVE BEEN STABILIZED, TEMPORARY EROSION CONTROL STRUCTURES ARE TO BE CLEANED AND REMOVED.

SEE EROSION AND SEDIMENTATION CONTROL PLAN DETAIL DRAWINGS FOR A TABULATED MAINTENANCE SCHEDULE.

A PROJECT INSPECTION LOG USING DEP FORM 3150-FM-BWEW003 IS TO BE COMPLETED BY THE PERMITTEE AND KEPT ON SITE FOR REVIEW AT ALL TIMES.

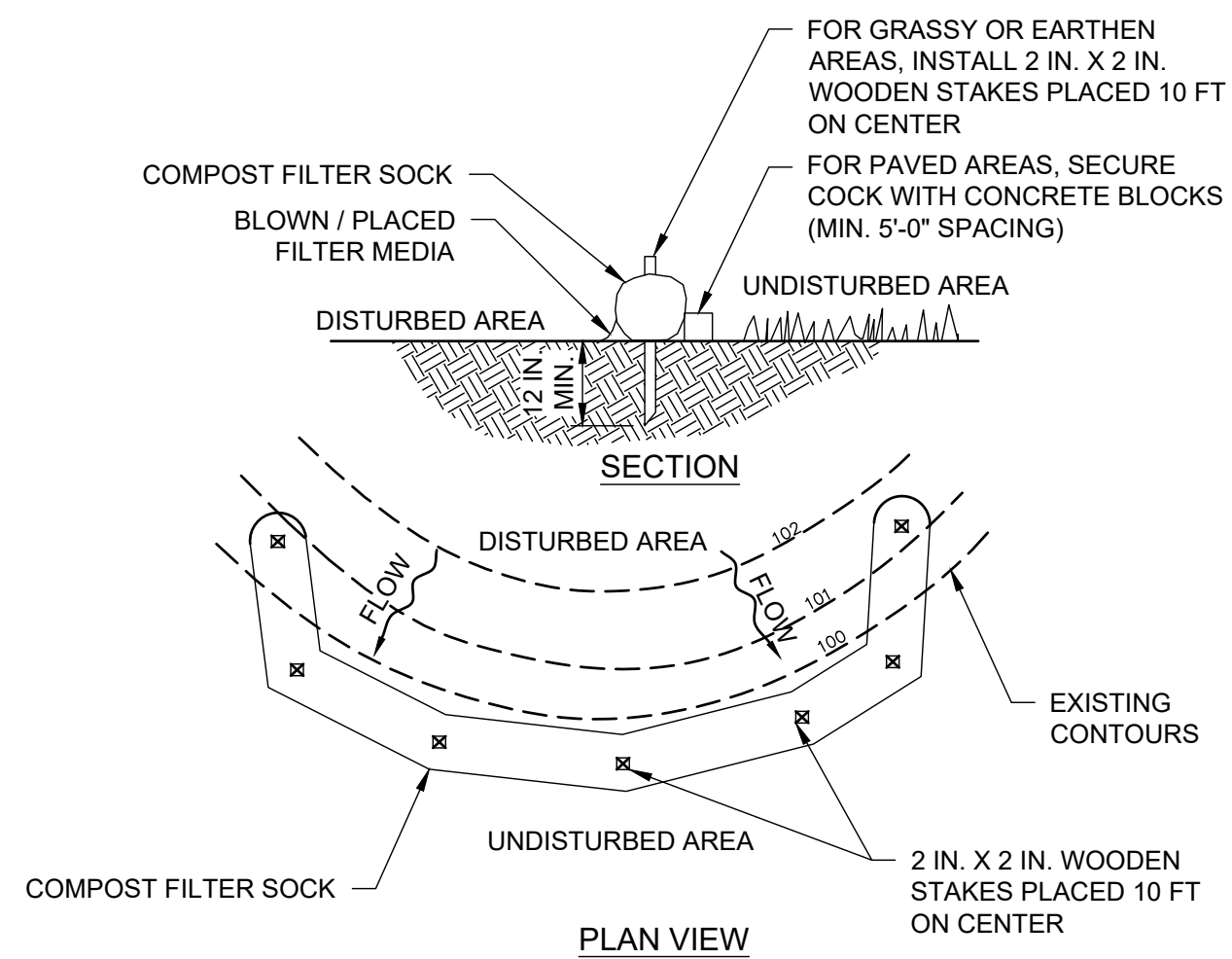
WEEKLY AND AFTER EVERY RUNOFF EVENT, THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL FACILITIES FOR DAMAGE, CLOGGING, SEDIMENT ACCUMULATION, OR STRUCTURAL DETERIORATION.

IF A BMP FAILS DURING A RUNOFF EVENT, THE CONTRACTOR SHALL REPLACE/FIX THE DAMAGED BMP WITHIN 24 HOURS OF THE FAILURE OCCURRENCE.

WHEN CLEANING EXCESS SEDIMENT FROM THE E&S CONTROL FACILITIES, PLACE SEDIMENTS IN GRASS AREAS WHICH DO NOT RECEIVE CONCENTRATED STORM FLOWS AND ARE CONTROLLED BY BMP'S (WITHIN LIMITS OF DISTURBANCE). THEN SEED OVER AREA USING SEEDING SPECIFICATIONS.

MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HMFPP)
	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	3/8"
TENSILE STRENGTH		26 psi	26 psi	44 psi	202 psi
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM D-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS
<b>TWO-PLY SYSTEMS</b>					
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET CONTINUOUSLY WOUND FUSION-WELDED JUNCTURES 3/4" X 3/4" MAX. APERTURE SIZE				
	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH) 3/16" MAX. APERTURE SIZE				
OUTER FILTRATION MESH	3/16" MAX. APERTURE SIZE				
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS					

ORGANIC MATTER CONTENT	25% - 100% (DRY WEIGHT LOSS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.5
MOISTURE CONTENT	30% - 50%
PARTICLE SIZE	30% - 50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM



### NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

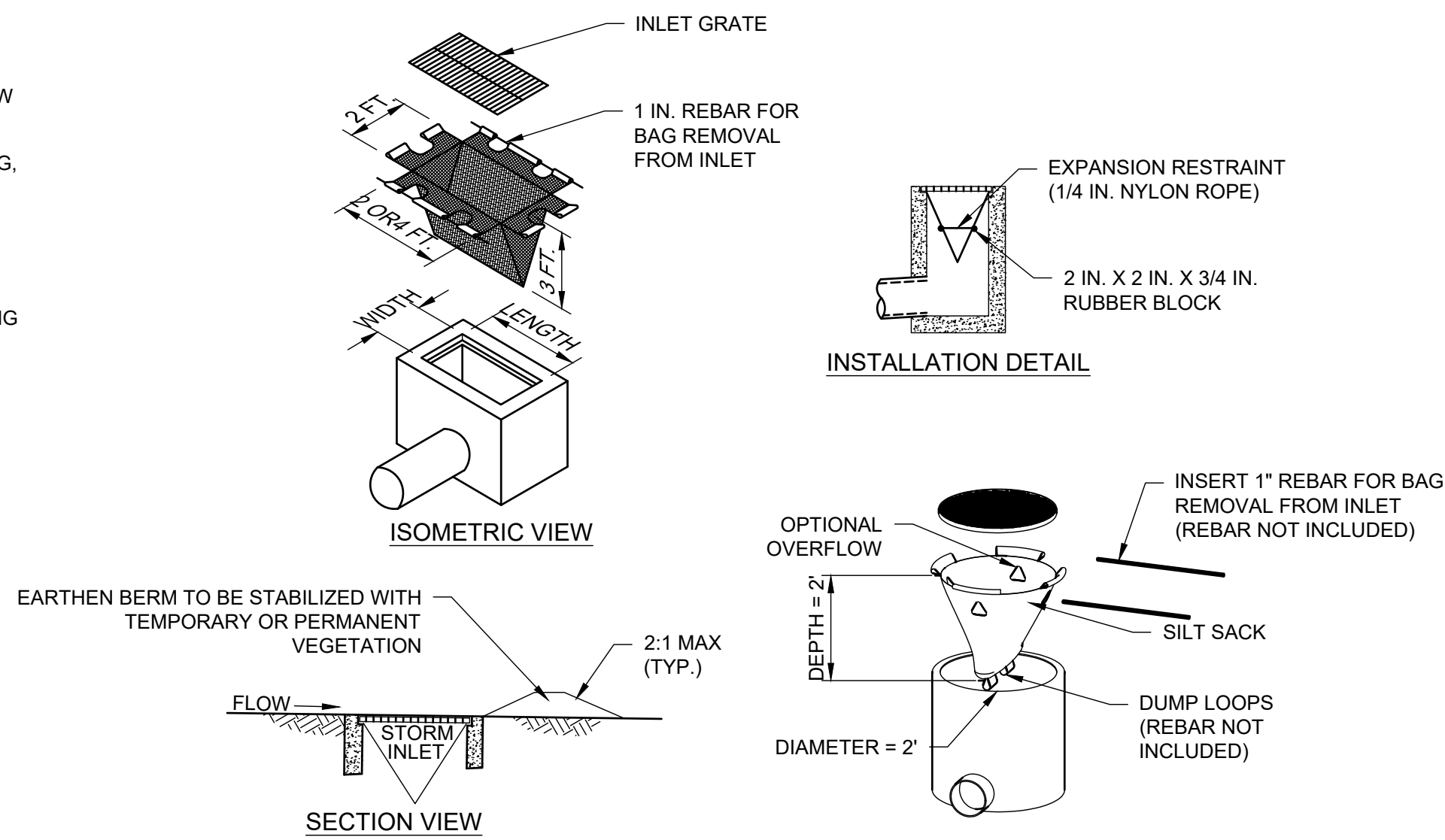
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

### COMPOST FILTER SOCK NOT TO SCALE



### NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

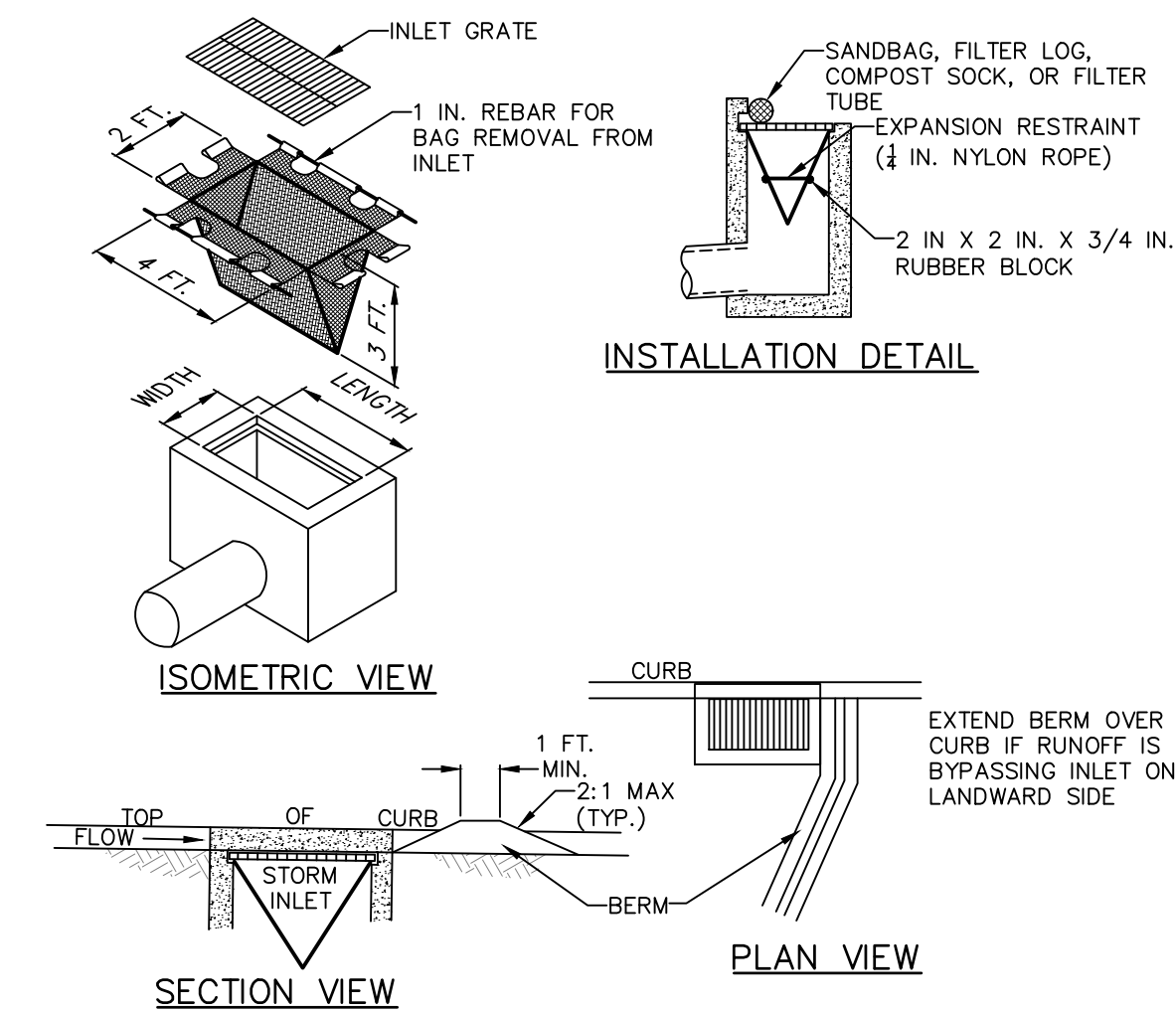
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

### STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET NOT TO SCALE



### NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

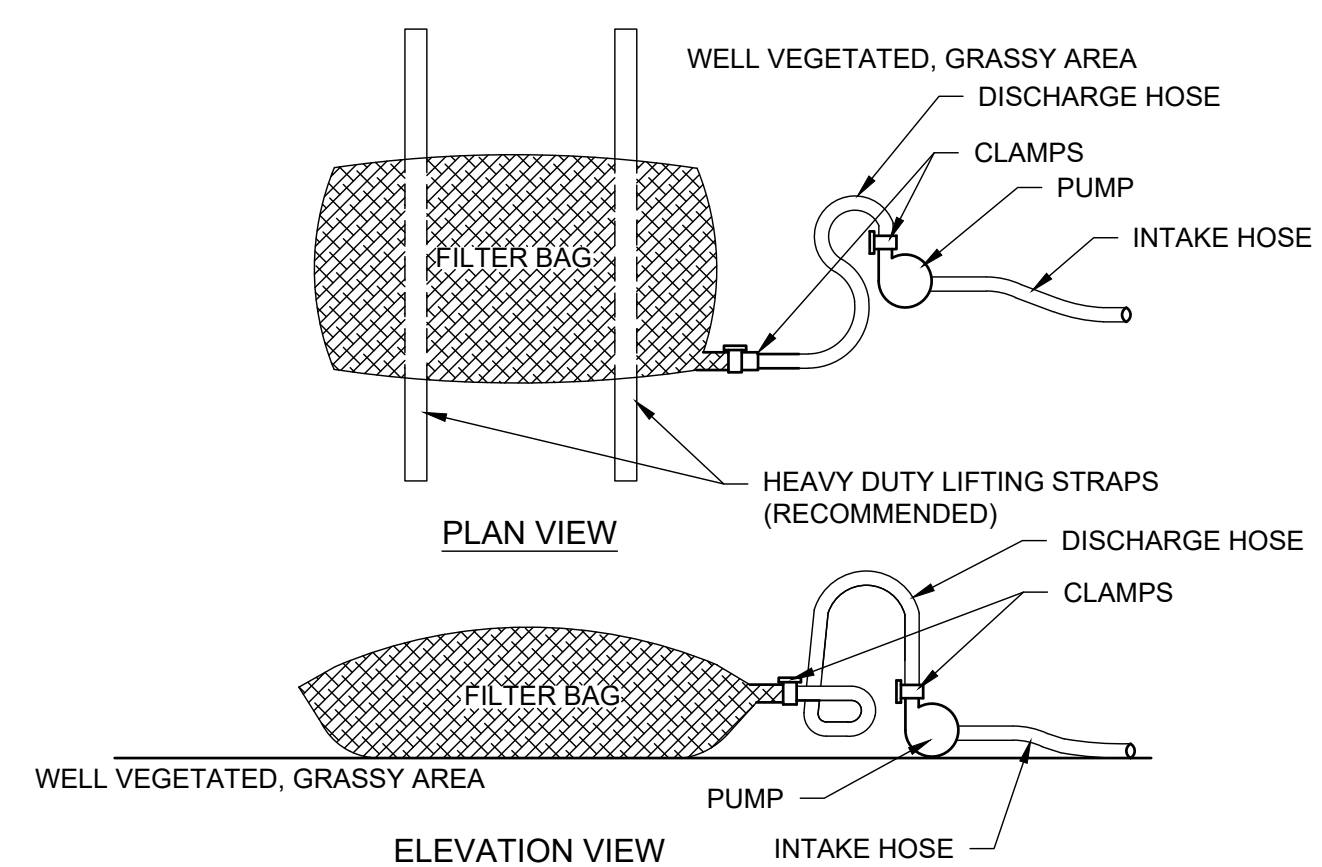
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

### STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET NOT TO SCALE



### NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4832	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

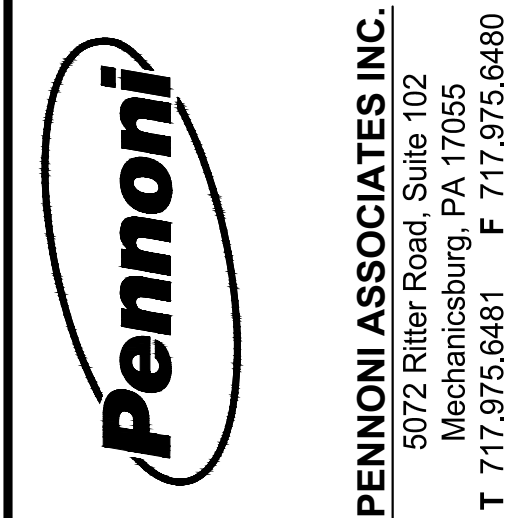
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

### STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG NOT TO SCALE



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



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EROSION AND SEDIMENTATION CONTROL DETAILS

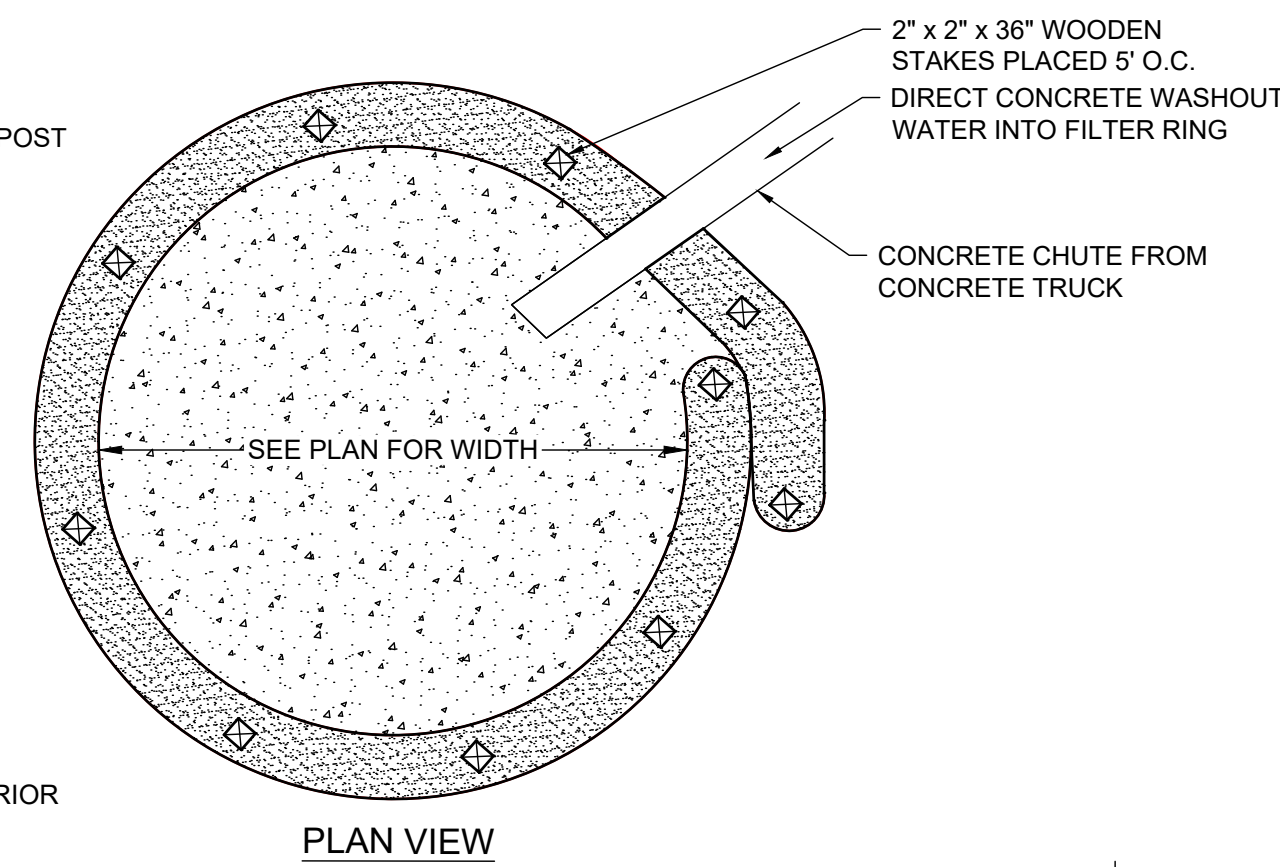
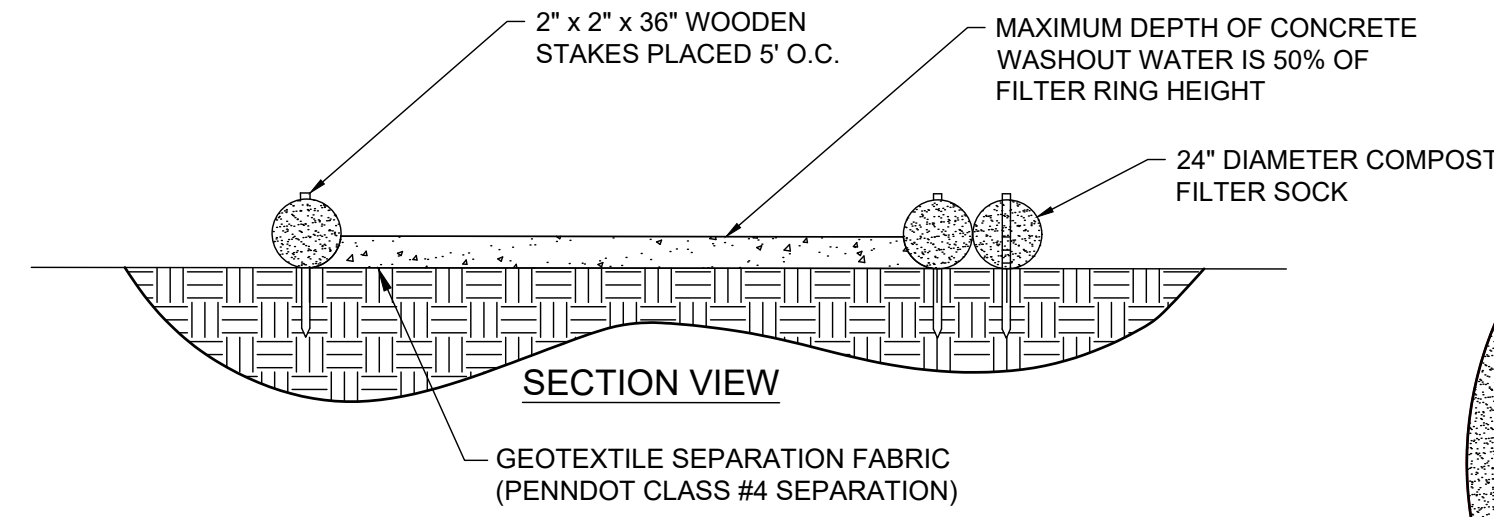
LINLO MONTROSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

**CS8502**  
SHEET 16 OF 21

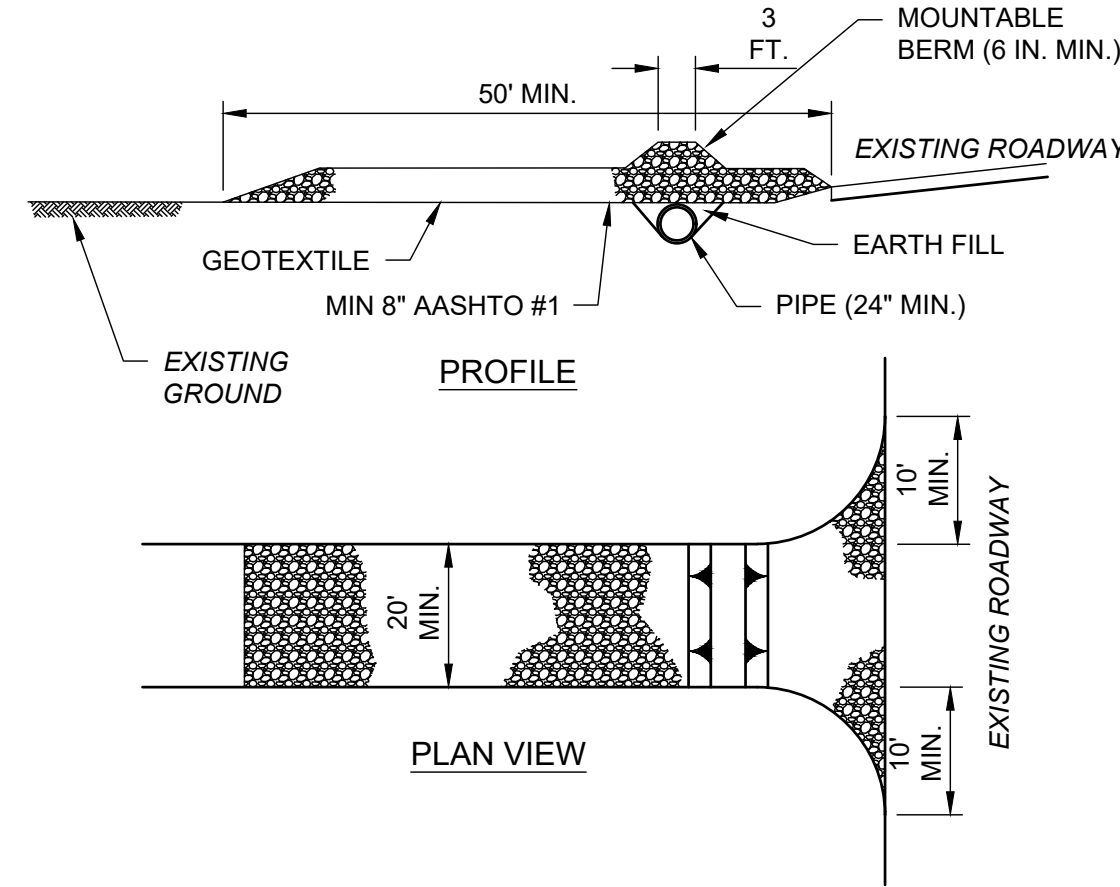




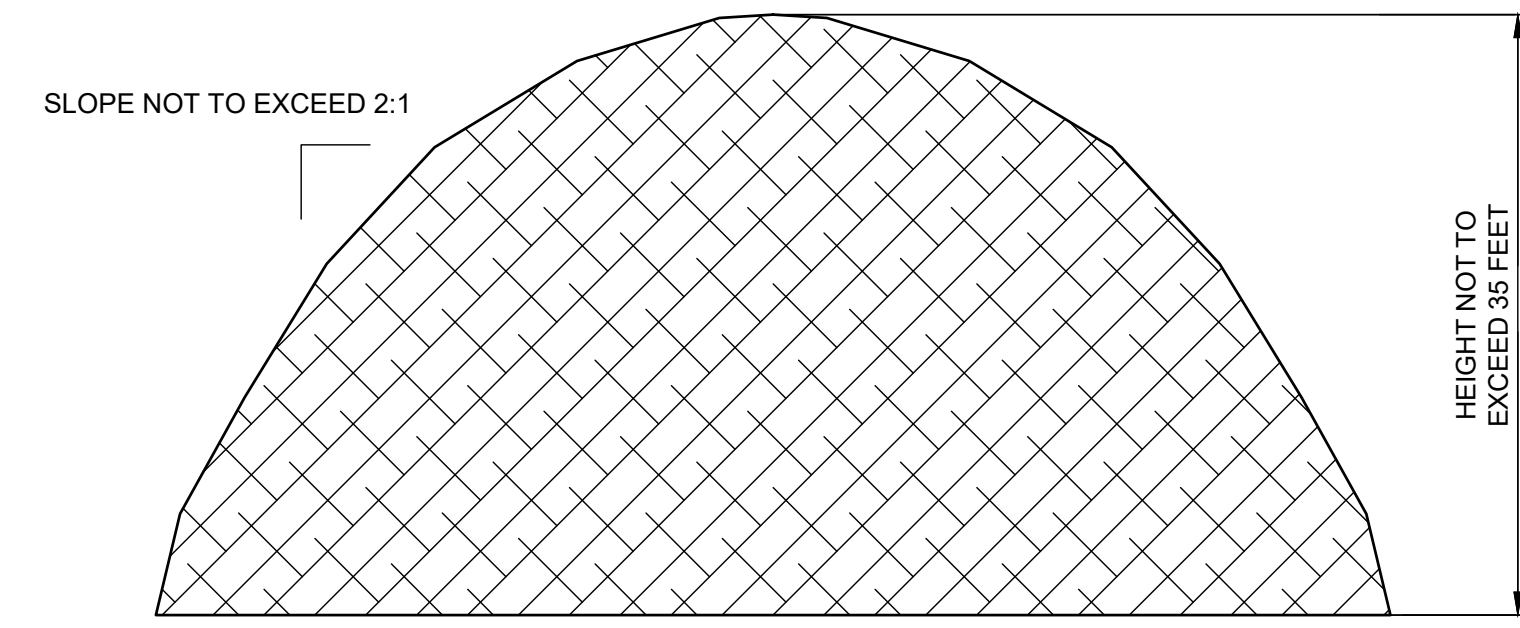
- NOTES:
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
  2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT
  3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.

**STANDARD CONSTRUCTION DETAIL #3-18**  
**CONCRETE WASHOUT**  
NOT TO SCALE

- NOTES:
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

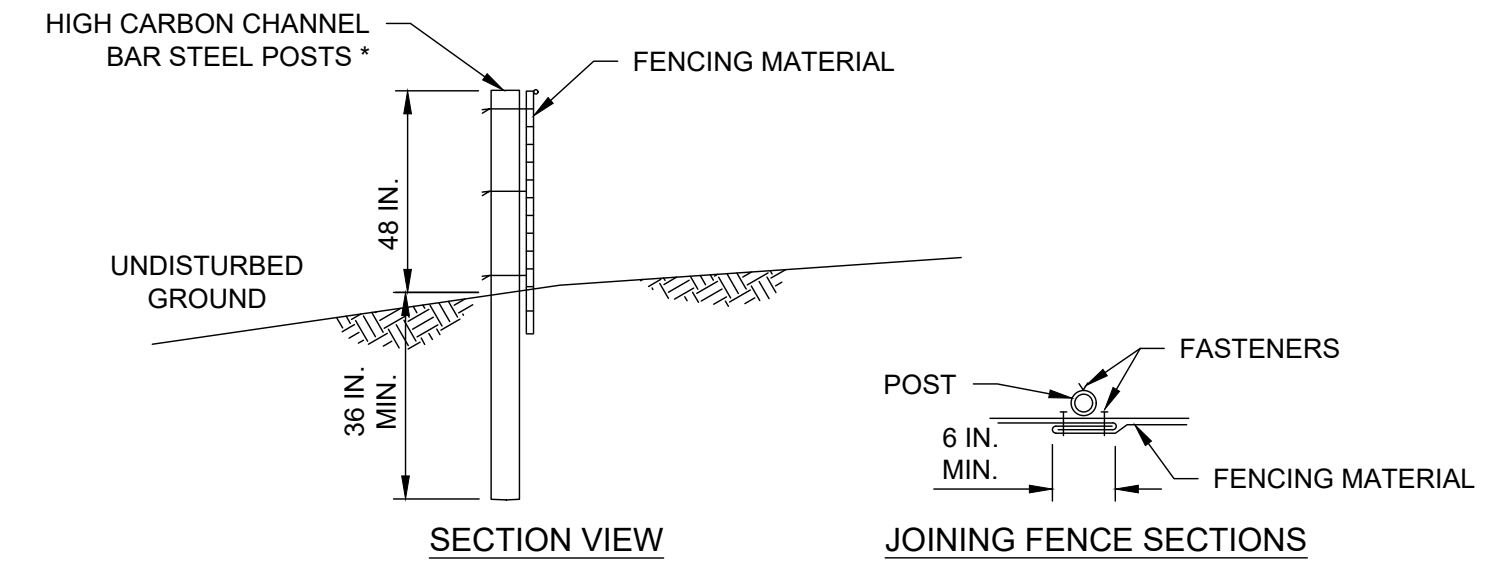


**STANDARD CONSTRUCTION DETAIL #3-1**  
**ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE



NOTE: TEMPORARY TOP SOIL STOCKPILE IS TO BE SURROUNDED BY 12" COMPOST FILTER SOCK ON DOWNGRADE SIDE.

**TOPSOIL STOCKPILE**  
NOT TO SCALE



- \* POSTS SPACED AT 10 FT. MAX.
- NOTES:
- FENCING MATERIAL IS REQUIRED TO BE HIGHLY VISIBLE.
  - CONTRACTOR TO INSPECT WEEKLY.
  - REPAIR/REPLACE ANY DAMAGED FENCE WITHIN 24 HOURS.
- TEMPORARY PROTECTIVE CONSTRUCTION FENCE**  
NOT TO SCALE



**PENNONI ASSOCIATES INC.**  
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T 717.975.6481 F 717.975.6480

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



3405 AND 3401 NORTH FRONT STREET  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA

**EROSION AND SEDIMENTATION CONTROL DETAILS**

LINLO MONTRÖSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

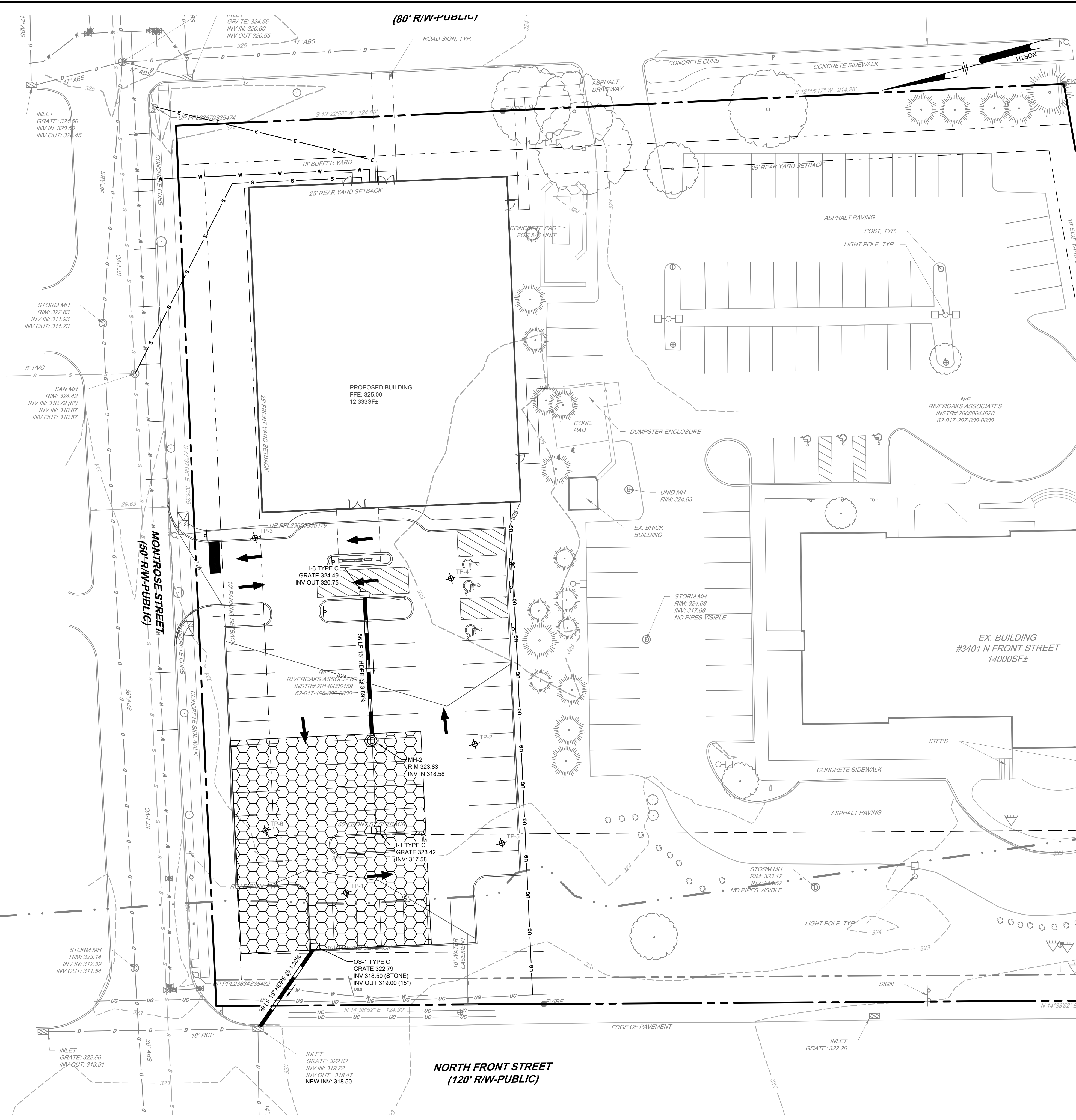
NO.	DATE	REVISIONS	BY

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PROJECT: LINLO20003  
DATE: 2021-03-05  
DRAWING SCALE: AS SHOWN  
DRAWN BY: CRH/TLR  
APPROVED BY: PGD

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 PROJECT STATUS: —  
 PLOTTED: 3/2/2021 10:02 AM BY: Jhm-Helmer

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 PROJECT STATUS: —  
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 PLOT DATE: 3/20/21 10:02 AM BY: J. Penman

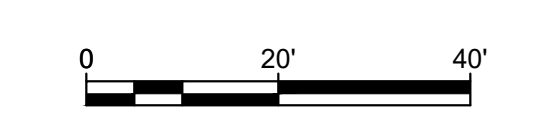


### LEGEND

- 2' X 4' PRECAST INLET
- PRECAST INLET WITH LAWN AND PAVEMENT AREAS NOT ADJACENT TO CURB
- PRECAST INLET WITH ADJACENT CURB
- STORM SEWER
- SUBSURFACE INFILTRATION BASIN AREA (BMP)
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SANITARY SEWER / CLEANOUT
- PROPOSED WATER
- PROPOSED ELECTRIC
- PROPOSED GAS

### STORMWATER MANAGEMENT PLAN GENERAL NOTES:

1. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS AND SPECIFICATIONS IDENTIFIED ON THIS PLAN. OWNERSHIP AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE LANDOWNER HIS SUCCESSORS AND ASSIGNS UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN.
2. STORMWATER MANAGEMENT FACILITIES SHALL BE MAINTAINED IN GOOD WORKING CONDITION SO THAT THEY ARE PERFORMING THEIR DESIGN FUNCTION, IN A MANNER ACCEPTABLE TO SUSQUEHANNA TOWNSHIP, AS REQUIRED BY THE SUSQUEHANNA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE. MAINTENANCE SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE AND REPAIR OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN AND IN ACCORDANCE WITH THE SUSQUEHANNA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.
3. ANY DRAINAGE AND UTILITY EASEMENTS SHOWN ON THE PLAN SHALL BE CONSTRUCTED, OWNED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND SHALL BE REFERENCED WITHIN THE PROPERTY DEED.
4. RUNOFF FROM THE LOT IMPROVEMENTS SHALL BE DIRECTED TO THE STORMWATER MANAGEMENT FACILITIES. STORMWATER RUNOFF FROM EXISTING NATURAL SWALES AND/OR OTHER EXISTING DRAINAGE CONVEYORS SHALL NOT BE DIRECTED TOWARDS OR INTERCEPTED BY THE STORMWATER MANAGEMENT FACILITIES.
5. SUSQUEHANNA TOWNSHIP OFFICIALS AND THEIR AGENTS OR EMPLOYEES HAVE THE RIGHT OF ACCESS FOR INSPECTION AND, IN CASES OF CONSTRUCTION DEFAULT, CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES.
6. CONTACT SUSQUEHANNA TOWNSHIP AT (717) 545-4751 PRIOR TO CONSTRUCTION TO COORDINATE INSPECTIONS OF STORMWATER MANAGEMENT FACILITIES BY THE TOWNSHIP ENGINEER. NO OCCUPANCY PERMITTED UNTIL STORMWATER MANAGEMENT FACILITIES HAVE BEEN INSTALLED AND APPROVED THROUGH INSPECTION BY THE TOWNSHIP ENGINEER.
7. ANY WORK REQUIRED OUTSIDE OF THE NPDES PERMITTED LIMIT OF DISTURBANCE BOUNDARY MAY REQUIRE THE CONTRACTOR TO COMPLETE AND SUBMIT A MAJOR MODIFICATION TO THE NPDES PERMIT.
  - 8.1. STORMWATER DETENTION BASIN
9. THE CONTRACTOR MUST NOTIFY THE ENGINEER OF RECORD PRIOR TO THE INSTALLATION OF ALL CRITICAL BMPS AS THE ENGINEER OF RECORD OR DESIGNER MUST OBSERVE THE INSTALLATION PER NPDES REQUIREMENTS. IF THE ENGINEER IS NOT NOTIFIED, THE CONTRACTOR MAY BE REQUIRED TO EXPOSE AND RECONSTRUCT THE CRITICAL BMPS AT THE EXPENSE OF THE CONTRACTOR. REFER TO THE E&S PLANS, REPORT AND NPDES PERMIT TO DETERMINE THE CRITICAL BMPS.
10. ALL STORM PIPE CONNECTING TO STRUCTURES AND FACILITIES MUST BE GROUTED TO ASSURE WATERTIGHT CONNECTIONS.
11. THE CONTRACTOR IS REQUIRED TO SUBMIT AN AS-BUILT PLAN OF ALL STORMWATER IMPROVEMENTS TO THE OWNER AND ENGINEER OF RECORD.
12. IF IT IS DETERMINED THAT THE OWNER OR THEIR HEIR(S) ARE NOT ADEQUATELY MAINTAINING OR MONITORING THE POST-CONSTRUCTION STORMWATER PLAN AS DEFINED BY THE STORMWATER OPERATIONS AND MAINTENANCE AGREEMENT TO BE RECORDED, SUSQUEHANNA TOWNSHIP HAS THE RIGHT OF ACCESS TO MONITOR, AND/OR MAINTAIN THE STORMWATER MANAGEMENT PLAN, WITH ASSOCIATED COSTS BEING THE RESPONSIBILITY OF THE OWNER/HEIR(S). NO LIABILITY WILL BE ASSUMED BY THE TOWNSHIP.
13. ROOF DRAIN MATERIAL SHALL BE SDR-35 POLYVINYL CHLORIDE (PVC) OR APPROVED EQUAL. MINIMUM PIPE SIZE SHALL BE 4". PIPING SERVING TWO OR MORE DOWNSPOUTS SHALL BE 6" MAX, UNLESS OTHERWISE NOTED. SEE ARCHITECTURAL/MEP PLANS FOR DOWNSPOUT AND RWC DETAILS AND SPECIFICATIONS.
14. I, \_\_\_\_\_, UNDERSTAND AND ACKNOWLEDGE THAT THE STORMWATER BMPS ARE FIXTURES THAT CANNOT BE REMOVED WITHOUT PRIOR APPROVAL BY SUSQUEHANNA TOWNSHIP.
15. THE OPERATIONS AND MANAGEMENT AGREEMENT IS PART OF THIS POST CONSTRUCTION STORMWATER MANAGEMENT SITE PLAN.
16. RECORD DRAWINGS WILL BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF FINANCIAL SECURITY.
17. I, \_\_\_\_\_, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.
18. I, \_\_\_\_\_, HEREBY CERTIFY THAT THERE ARE NOT WETLANDS ON THE SUBJECT PROPERTY, THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS, AND PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.



**PENNONI ASSOCIATES, INC.**  
 5072 Ritter Road, Suite 102  
 Mechanicsburg, PA 17055  
 T 717.975.6481 F 717.975.6480

3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA

**POST CONSTRUCTION STORMWATER MANAGEMENT PLAN**

LINLO MONTROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

PROJECT	LINLO20003
DATE	2021-03-05
DRAWING SCALE	AS SHOWN
DRAWN BY	CRH/TLR
APPROVED BY	PGD

**OPERATION AND MAINTENANCE NOTES**

PCSM RESPONSIBLE PARTY:  
LINLO MONTROSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 102  
LEMOYNE, PA 17043

- THE FOLLOWING PERMANENT BEST MANAGEMENT PRACTICES (BMPs) ARE PROPOSED FOR THIS SITE: SUBSURFACE DETENTION BASIN.
- LINLO MONTROSE PARK, LLC (HEREAFTER "OWNER") IS RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF ANY AND ALL BMPs LOCATED WITHIN THE OWNER'S PROPERTY AS OUTLINED IN THE DRAINAGE COVENANT.
- ON A BIENNIAL BASIS, TYPICALLY IN THE SPRING AND FALL, ALL THE INLETS AND PIPES ARE TO BE INSPECTED AND ALL SEDIMENT AND TRASH IS TO BE REMOVED. ALL INLET GRATES AND PIPE INVERTS ARE TO BE CLEARED OF ALL SEDIMENT AND DEBRIS.
- TO KEEP THE SUBSURFACE DETENTION BASIN FUNCTIONAL, THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL REQUIRES THAT THE SUBSURFACE DETENTION BASIN SHOULD BE INSPECTED AT A MINIMUM OF ONE TIME A YEAR OR AFTER MAJOR RAIN EVENTS IF NECESSARY. CLEANING SHOULD BE DONE AT THE DISCRETION OF THE INDIVIDUALS RESPONSIBLE TO MAINTAIN PROPER STORAGE AND FLOW. WHILE MAINTENANCE CAN GENERALLY BE PERFORMED YEAR-ROUND, IT SHOULD BE SCHEDULED DURING A RELATIVELY DRY SEASON.
- TREES SHALL BE INSPECTED TWICE PER YEAR TO EVALUATE THE HEALTH OF THE VEGETATION. DURING PERIODS OF EXTENDED DROUGHT, VEGETATION MAY REQUIRE WATERING. WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING WILL BE REQUIRED.
- ADDITIONAL MAINTENANCE REQUIREMENTS: OWNER SHALL MAINTAIN DRAINAGE OF THE SITE. THIS INCLUDES LAWN MAINTENANCE, INCLUDING PROPER WATERING AND MOWING AND THE REPLACEMENT OF ANY VEGETATION THAT HAS ERODED; REGULAR INSPECTION AND MAINTENANCE OF ROOF DRAINS; AND REGULARLY CLEANING DEBRIS FROM GUTTERS AND DOWNSPOUTS. OWNER SHALL MAINTAIN THE STORM SEWER SYSTEM INCLUDING THE HEADWALLS AND PIPES. INLETS AND HEADWALLS SHALL BE INSPECTED ONCE PER MONTH FOR DEBRIS OR TRASH AND THE PIPES SHALL BE CLEANED IF NECESSARY. ANY EROSION AT OUTLETS SHALL BE REPAIRED IMMEDIATELY WITH THE APPROPRIATELY SIZED RIPRAP APRON OR CABLE CONCRETE AS NECESSARY.
- OWNER SHALL ENSURE THAT ALL MATERIALS TRANSPORTED ON AND OFF OF THE SITE AND STORED ON THE SITE ARE HANDLED AND STORED PROPERLY TO PREVENT SPILLAGE AND CONTAMINATION OF DOWNSTREAM WATERS. IN THE EVENT OF A SPILL, OWNER SHALL IMMEDIATELY CLEAN ALL AFFECTED AREAS AND MITIGATE ALL DOWNSTREAM IMPACTS. OWNER SHALL ENSURE THAT ALL TENANTS WITHIN THE SITE HAVE AN EMERGENCY PLAN PREPARED FOR IMMEDIATE IMPLEMENTATION UPON A SPILL OF ANY MATERIALS UNDER THEIR CONTROL. ALL TENANTS SHALL ENSURE THAT THE EMERGENCY PLAN IS POSTED AND THAT ALL STAFF ARE TRAINED IN ITS IMPLEMENTATION.
- ALL WASTES AND MATERIALS DEPOSITED IN AND REMOVED FROM POST-CONSTRUCTION STORMWATER MANAGEMENT (PCSM) BMP FACILITIES AND FROM IMPERVIOUS AREA DURING OPERATION AND MAINTENANCE SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- SEE OPERATION AND MAINTENANCE NOTES AND SCHEDULE ON SHEET CS6022 FOR MORE DETAILS.

**RECYCLING AND DISPOSAL NOTE:**  
CONTRACTOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 et seq. AND 287.1 et seq.

**CONSTRUCTION SEQUENCE**

**SUBSURFACE DETENTION BASIN:**

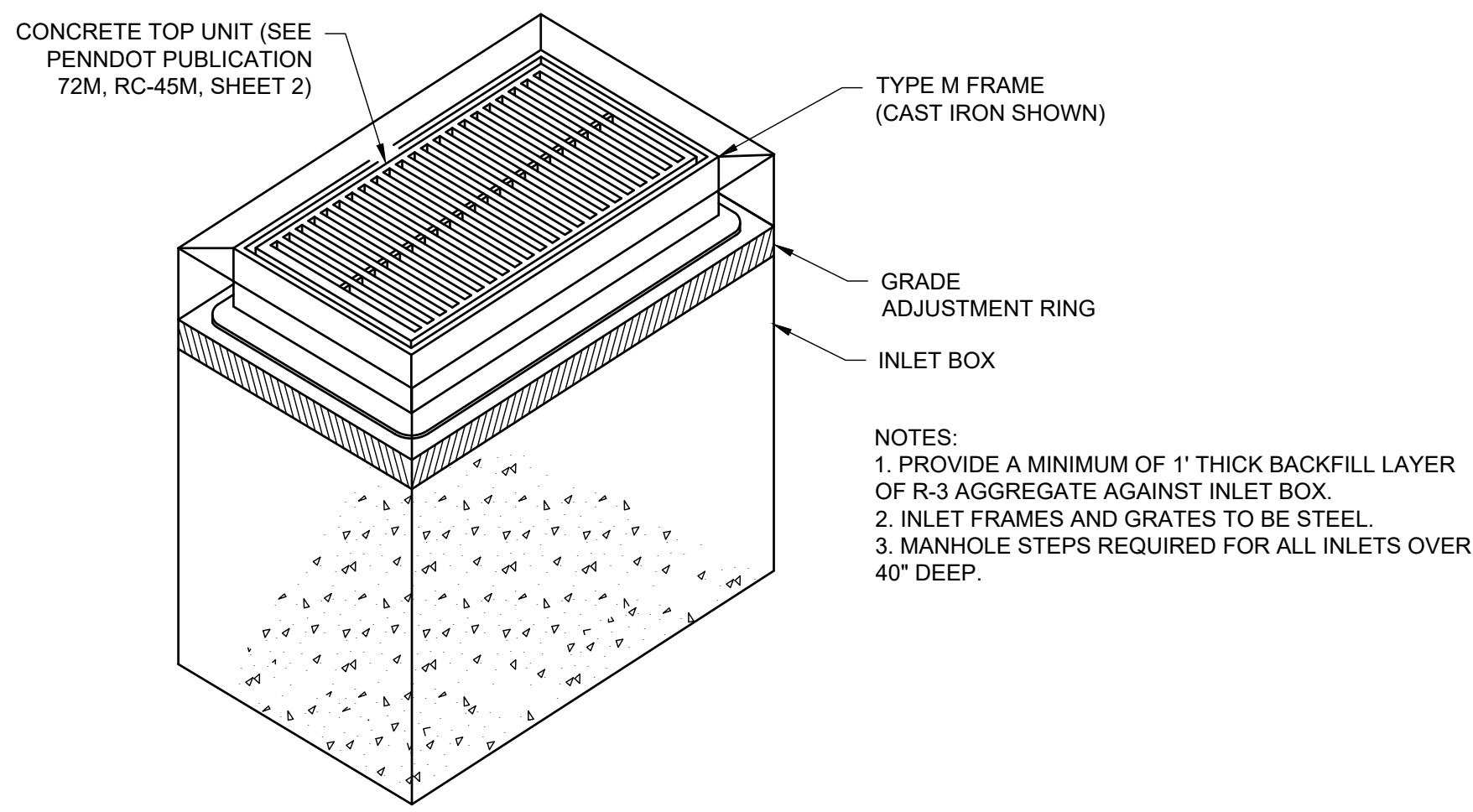
**COORDINATE TIMING WITH GENERAL CONSTRUCTION SEQUENCE:**

THE GENERAL SEQUENCE OF EARTHMOVING ACTIVITIES FOR THE CONSTRUCTION OF THE BMP IS AS FOLLOWS:

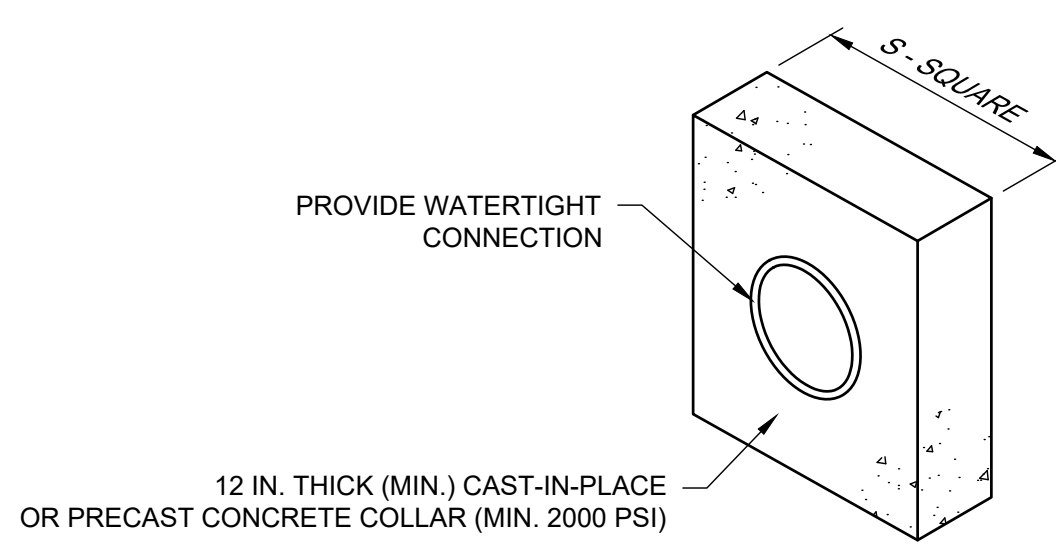
- SCHEDULE AND ATTEND REQUIRED PRE-CONSTRUCTION MEETING AS STATED IN THE "SEQUENCE OF EARTHMOVING OPERATIONS."
- FIELD MARK THE LIMITS OF DISTURBANCE.
- INSTALL THE COMPOST FILTER SOCK AT THE LOCATIONS SHOWN ON THE E&S PLANS.
- INSTALL THE ROCK CONSTRUCTION ENTRANCE(S) AS SHOWN ON THE PLANS.
- DEMOLISH OR SALVAGE ALL ITEMS DEPICTED ON THE DEMOLITION PLANS.
- STRIP TOPSOIL IN AREA OF PARKING LOTS.
- PERFORM THE GRADING FOR THE PROPOSED PARKING LOTS.
  - CONSTRUCT SLOPES.
  - APPLY GEOTEXTILE AND GRAVEL AS SOON AS FINAL GRADING IS ACHIEVED.
  - UPON COMPLETION OF FINAL GRADING, SEED EXPOSED AREAS AND MULCH TO DETER EROSION.
  - UTILIZE EROSION CONTROL BLANKETS/MULCHES ON SLOPES STEEPER THAN 3H:1V OR IN AREAS WITHIN 100 FEET OF SURFACE WATER.
- INSTALL ALL DIVERSION BERMS.
- INSTALL ALL INLETS STORM PIPING AND SUBSURFACE INFILTRATION AS SHOWN ON THE PLANS BEGINNING DOWNSTREAM.
- COMPLETE THE FINAL GRADING AND INSTALL LANDSCAPING.
- WHEN THE PERMANENT VEGETATION HAS REACHED A MINIMUM 70% PERENNIAL VEGETATIVE COVER, REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES.
- PERMANENTLY STABILIZE ANY AREAS DISTURBED BY THE SEDIMENT CONTROL DEVICES.
- REMOVE ALL ACCUMULATED SEDIMENT FROM REMAINING E&S BMPs.
- FILTER SOCK COMPOST MATERIAL SHALL BE DISPOSED OF PROPERLY. STABILIZE THE AREAS WHERE THE BMPs WERE LOCATED. DISPOSE OF ANY EXCESS SEDIMENT AS OUTLINES IN MAINTENANCE NOTES.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- THE SITE PREPARATION CONTRACTOR SHALL CONTACT DAUPHIN COUNTY CONSERVATION DISTRICT (TELEPHONE: 717-921-8100) FOR APPROVAL THAT THE SITE HAS BEEN ADEQUATELY STABILIZED.
- SUBMIT AN NPDES NOTICE OF TERMINATION TO THE DAUPHIN COUNTY CONSERVATION DISTRICT, FOR EACH CO-PERMITTEE.

**THERMAL IMPACTS**

THERMAL IMPACTS RELATED TO THIS PROJECT ARE NOT EXPECTED TO BE SIGNIFICANT. RUNOFF FROM THE PROJECT SITE WILL BE INTERCEPTED AND DETAINED BY THE PROPOSED STORMWATER TREATMENT AREAS, WHICH WILL ACT AS A HEAT SINK TO COOL THE WATERS. PARKING LOT LANDSCAPING, WITH TREES, WILL PROVIDE SOME SHADING OF THE PAVED SURFACES.



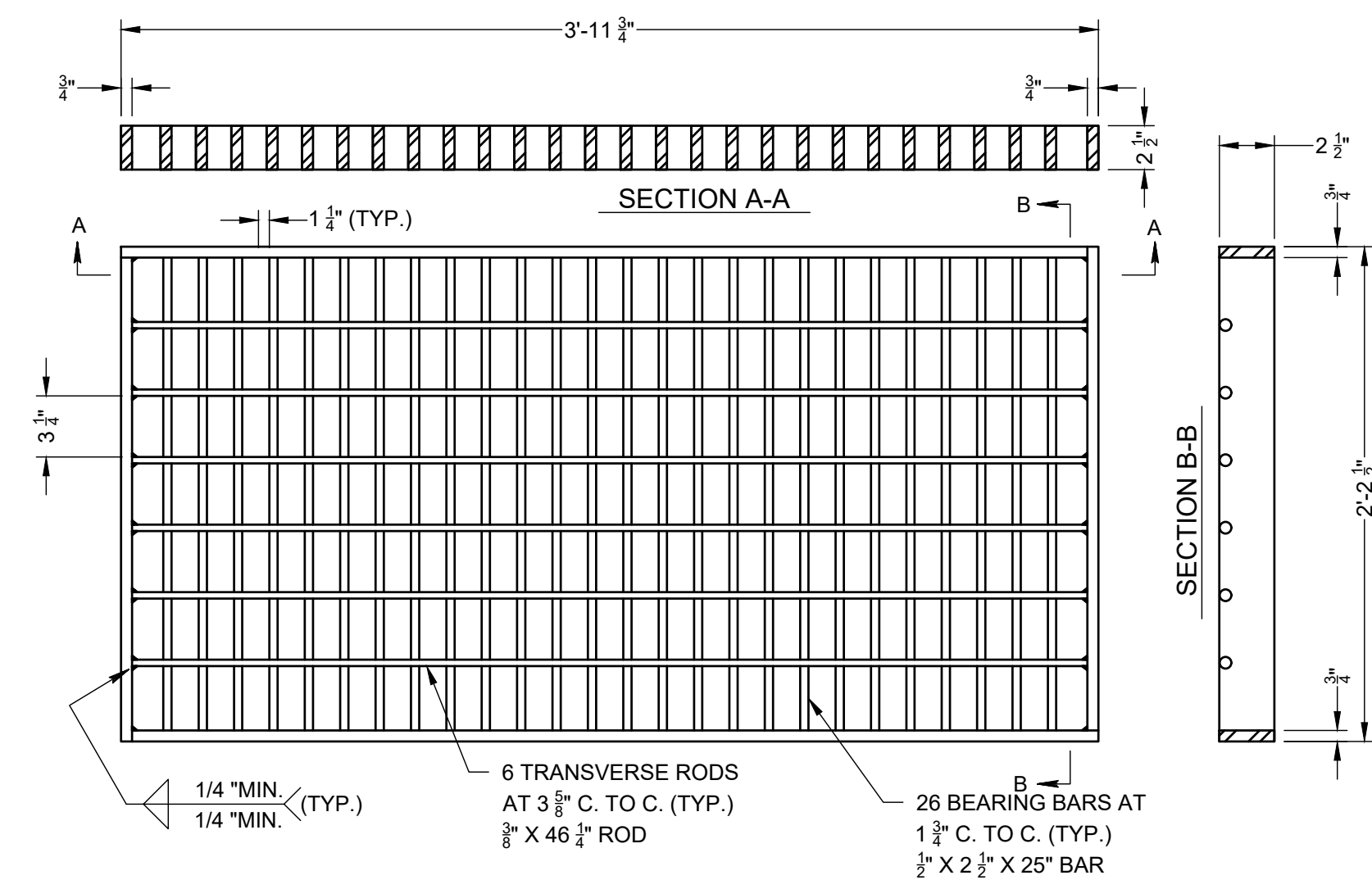
**PENNDOT TYPE M INLET**  
NOT TO SCALE



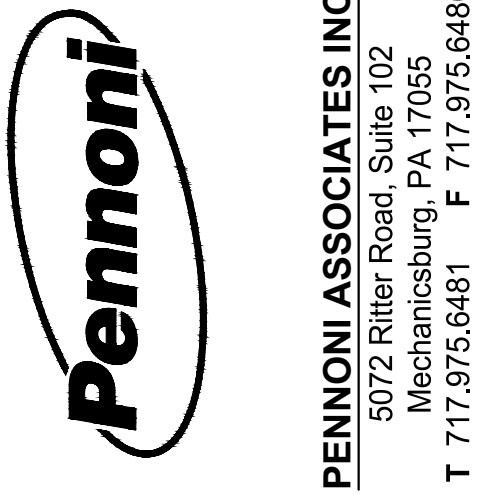
BASIN OR TRAP NO.	PIPE SIZE (IN)	S (IN)	NO. OF COLLARS	RISER TO FIRST COLLAR (FT)
1	15	36	1	4

**NOTES:**  
ALL COLLARS SHALL BE INSTALLED SO AS TO BE WATERTIGHT.  
COLLAR SIZE AND SPACING SHALL BE AS INDICATED WITHIN TABLE.

**ANTI-SEEP COLLAR**  
NOT TO SCALE



**BICYCLE SAFE STRUCTURAL STEEL GRATE**  
NOT TO SCALE



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



3405 AND 3401 NORTH FRONT STREET  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA  
**POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS**  
LINLO MONTROSE PARK, LLC  
150 CORPORATE CIRCLE, SUITE 100  
LEMOYNE, PENNSYLVANIA 17043

NO.	DATE	REVISIONS	BY

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PROJECT: LINLO20003  
DATE: 2021-03-05  
DRAWING SCALE: AS SHOWN  
DRAWN BY: CRH/TLR  
APPROVED BY: PGD

**POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) STANDARD NOTES**

**PCSM REQUIREMENTS:**  
 A LICENSED PROFESSIONAL OR A DESIGNER SHALL BE PRESENT ON SITE AND BE RESPONSIBLE DURING CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED PCSM PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPs, STRUCTURALLY ENGINEERED BMPs, OR OTHER BMPs AS DEEMED APPROPRIATE BY THE DEPARTMENT OR THE CONSERVATION DISTRICT. THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

**PCSM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS:**  
 THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs UNLESS A DIFFERENT PERSON IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs. A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN JOINTLY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs LOCATED ON THE PROPERTY.

**PERMIT TERMINATION:**  
 UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN, THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE:

1. THE FACILITY NAME, ADDRESS AND LOCATION
2. THE OPERATOR NAME AND ADDRESS
3. THE NPDES PERMIT NUMBER
4. THE REASON FOR PERMIT TERMINATION
5. IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM
6. COPY OF LEGAL INSTRUMENT, FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION.
7. FINAL CERTIFICATION: THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION "RECORD DRAWINGS" WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"I (NAME) DO HEREBY CERTIFY PURSUANT TO THE PENALTIES OF 18 PA. C.S.A. 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES."

- (1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN.
- (2) THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.

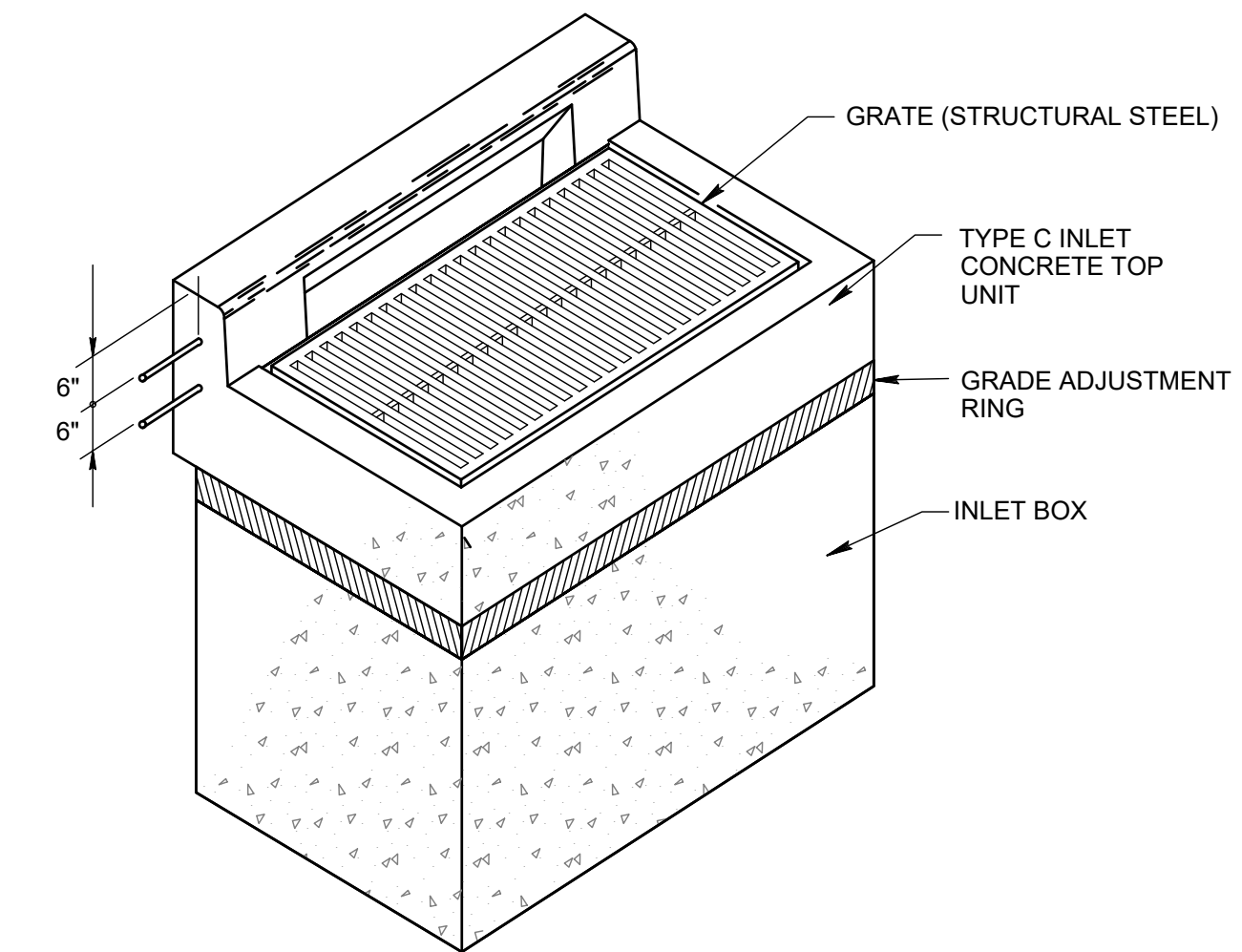
**SCHEDULE OF INSPECTIONS**

A DETAILED SCHEDULE OF INSPECTIONS, AS GENERALLY OUTLINED AS FOLLOWS, WHICH IS TAILORED FOR THE SITE UNDER CONSIDERATION. ALL INSPECTIONS SHALL BE CONDUCTED BY A QUALIFIED PROFESSIONAL.

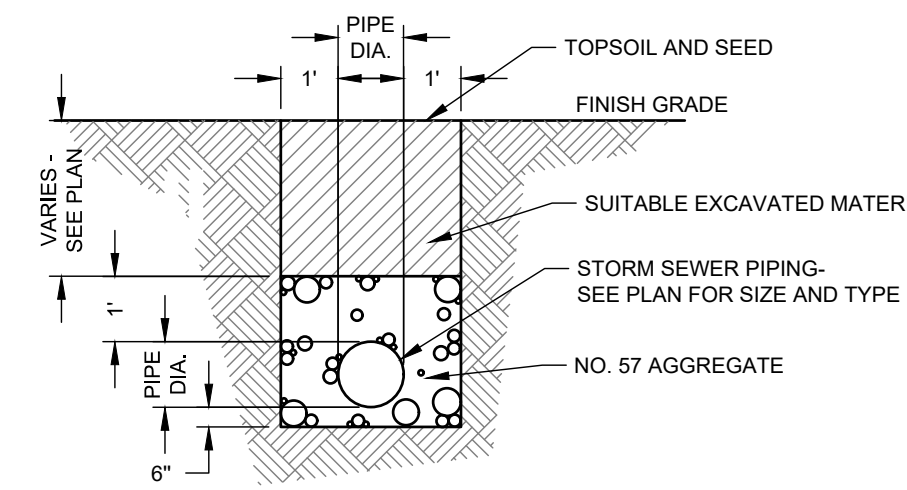
1. THE TOWNSHIP SHALL INSPECT THE IMPROVEMENTS DURING CONSTRUCTION. THE DEVELOPER SHALL PAY THE COST OF ANY SUCH INSPECTION. THE DEVELOPER SHALL PROVIDE AT LEAST TWENTY-FOUR (24) HOURS NOTICE PRIOR TO THE START OF CONSTRUCTION OF ANY IMPROVEMENTS THAT ARE SUBJECT TO INSPECTION. ALL INSPECTIONS OF COMPLETED ITEMS SHALL BE REQUESTED, IN WRITING, AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF THE INSPECTION TIME AND DATE.
2. IT IS GENERALLY REQUIRED THAT THE FOLLOWING PHASES OF SITE CONSTRUCTION HAVE MANDATORY INSPECTIONS. THIS GENERAL LIST OF PHASES MAY BE AMENDED BY MUTUAL AGREEMENT OF THE TOWNSHIP AND DEVELOPER WHEN THE SITE REQUIRES SPECIAL CONSTRUCTION PROCEDURES. THE INSPECTION SCHEDULE MUST BE SHOWN ON THE APPROVED STORM WATER MANAGEMENT SITE PLAN.
3. GENERAL SITE CONSTRUCTION INSPECTIONS
  - a. UPON COMPLETION OF PRELIMINARY SITE PREPARATION INCLUDING STRIPPING OF VEGETATION, STOCKPILING OF TOPSOIL AND CONSTRUCTION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES.
  - b. UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
  - c. DURING THE CONSTRUCTION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES.
  - d. UPON THE FINAL COMPLETION OF PERMANENT STORM WATER MANAGEMENT AND BMP FACILITIES, INCLUDING THE ESTABLISHMENT OF GROUND COVERS AND PLANTINGS.
  - e. AFTER REVIEW OF THE AS-BUILT DRAWINGS, REQUIRED BY SECTION 604, BUT PRIOR TO FINAL RELEASE OF THE FINANCIAL GUARANTEE FOR COMPLETION OF FINAL GRADING, VEGETATIVE CONTROLS REQUIRED BY THE BMP STANDARDS, OR OTHER SITE RESTORATION WORK.
4. IN ADDITION TO THE ABOVE OUTLINED OBSERVATIONS, ADDITIONAL OBSERVATIONS WILL BE MADE AT THE REQUEST OF THE DEVELOPER FOR REDUCTION OF FINANCIAL SECURITIES. RANDOM OBSERVATIONS SHOULD BE MADE AT THE FREQUENCY DESIRED BY THE MUNICIPALITY, AT THE TIME OF ANY OF THE ABOVE LISTED OBSERVATIONS. ALL ONGOING CONSTRUCTION (I.E. STORM DRAINAGE, SANITARY SEWER, WATER, EROSION CONTROL, ETC.) SHOULD ALSO BE CHECKED FOR COMPLIANCE WITH THE APPROVED PLANS AND THE FINDINGS REPORTED. SINCE THE ABOVE INSPECTIONS ARE MANDATORY, IT IS RECOMMENDED THAT REQUESTS FOR REDUCTION OF FINANCIAL GUARANTEE TO BE SUBMITTED TO COINCIDE WITH THE ABOVE INSPECTIONS.
5. MS4 DURING CONSTRUCTION BMP INSPECTION SCHEDULE. FOR THOSE SITES LOCATED WITHIN THE DESIGNATED MS4 AREA, THE REQUIRED MS4 INSPECTION SCHEDULE AND REQUIRED RECORD KEEPING SHALL BE NOTED ON THE APPROVED PLANS. THESE INSPECTIONS MAY INCLUDE BUT ARE NOT LIMITED TO:
  - a. THE SUBGRADE OF DETENTION FACILITIES
  - b. STONE AND/OR CONCRETE PLACEMENT
  - c. PLACEMENT OF LINERS
  - d. R-TANK INSTALLATION
  - e. INSTALLATION OF PRETREATMENT/WATER QUALITY DEVICES
  - f. PERMANENT EROSION CONTROL MATTING INSTALLATION
  - g. GENERAL SITE GRADING
  - h. DOWNSPOUT LOCATIONS.
6. POST-CONSTRUCTION STORM WATER MANAGEMENT BMP INSPECTION SCHEDULE.
  - a. THE BMP INSPECTION SCHEDULE SHALL BE DEVELOPED BY THE APPLICANT AND COMPLY WITH THE CURRENT MS4 REQUIREMENTS
  - b. THE INSPECTION SCHEDULE AND RECORD KEEPING REQUIREMENTS FOR THE INSTALLED BMPs SHALL BE NOTED ON THE APPROVED PLANS. THE INSPECTIONS WILL INCLUDE ALL BMPs SUCH AS RAIN GARDENS, RECAPTURE AND REUSE DEVICES, PLANTINGS, STORAGE DEVICES, UNDER AND ABOVE GROUND INFILTRATION FACILITIES, DOWNSPOUTS, PERVIOUS PAVING, INLET WATER QUALITY DEVICES, SWALES AND ANY OTHER BMP SPECIFIED ON THE PLANS.
  - c. THE MINIMUM BMP INSPECTION INTERVAL SHALL BE NOTED ON THE APPROVED PLANS:
    - i. DURING OR IMMEDIATELY AFTER EACH 10-YEAR FREQUENCY STORM EVENT IN ADDITION TO THOSE LISTED BELOW.
    - ii. ANNUALLY FOR THE FIRST 5 YEARS AFTER CONSTRUCTION.
    - iii. AFTER THE FIRST 5 YEARS, ONCE EVERY 3 YEARS.
    - iv. AT A GREATER FREQUENCY DETERMINED APPROPRIATE BY UNUSUAL SITE CONDITIONS, AS A RESULT OF CONFLICTS WITH OTHER PERMITTING REQUIREMENTS (SUCH AS NPDES) OR BASED ON THE JUDGMENT OF THE DESIGNER AND/OR TOWNSHIP ENGINEER.
  - d. A NOTE SHALL BE PLACED ON THE PLANS INDICATING THAT THE INSPECTION REPORTS GENERATED BY THIS SECTION SHALL BE SUBMITTED TO THE TOWNSHIP WITHIN 60 DAYS OF THE INSPECTION.
  - e. OPERATION AND MAINTENANCE REQUIREMENTS CAN BE FOUND IN ARTICLE VI.

**OPERATIONS AND MAINTENANCE SCHEDULE**

ONGOING MAINTENANCE ACTIVITY	FREQUENCY
REGULARLY CLEAN OUT GUTTERS AND CATCH BASINS TO REDUCE SEDIMENT LOAD TO SYSTEM	BI-ANNUALLY OR AS NEEDED
CLEAN INTERMEDIATE SUMP BOXES IN DIRECT CONNECTION OF THE SYSTEM	BI-ANNUALLY OR AS NEEDED
KEEP INFLOW AREA AND OUTLET CONTROL STRUCTURE FREE AND CLEAR OF DEBRIS AND OBSTRUCTIONS	BI-ANNUALLY OR AS NEEDED
INSPECT AND CLEAN AS NEEDED ALL COMPONENTS AND CONNECTIONS TO SUBSURFACE DETENTION SYSTEM	EVERY 3 MONTHS
EVALUATE THE DRAIN-DOWN TIME OF THE SUBSURFACE DETENTION SYSTEM TO ENSURE THE DRAIN-DOWN TIME OF 24-72 HOURS	EVERY 3 MONTHS
VACUUM OR FLUSH PIPES AND UNDERGROUND CHAMBERS	BI-ANNUALLY OR AS NEEDED
MAINTAIN RECORDS OF ALL INSPECTIONS AND MAINTENANCE ACTIVITY	IN PERPETUITY

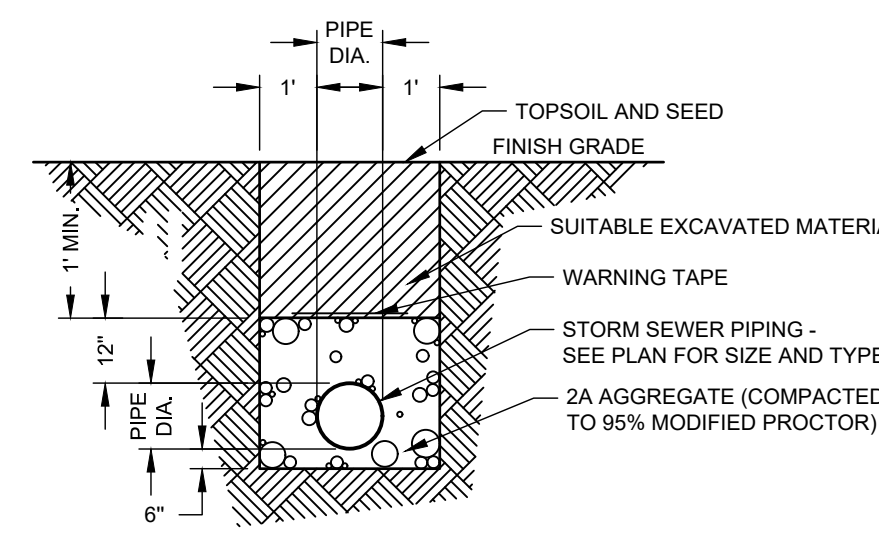


**PENNDOT TYPE C INLET**  
NOT TO SCALE



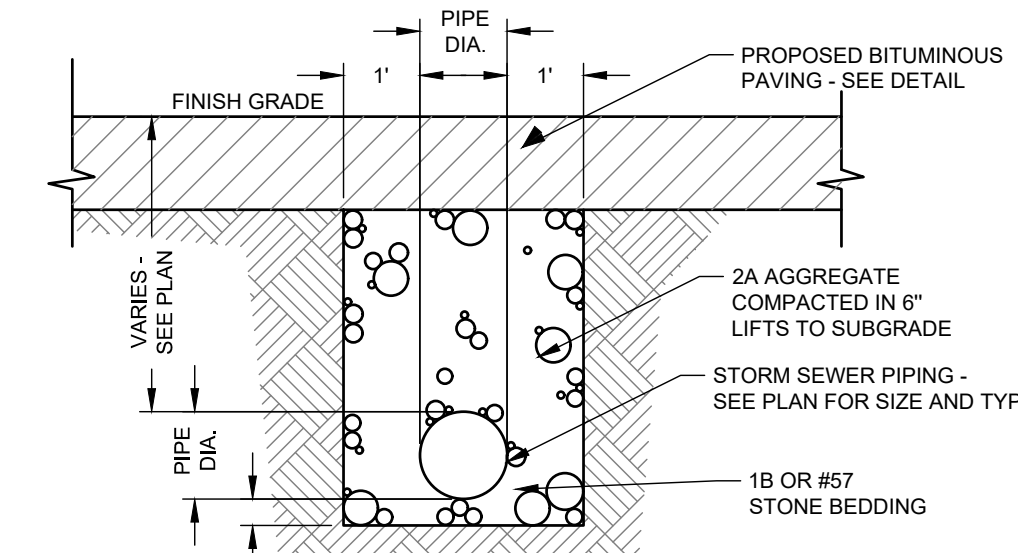
- NOTES:  
 1. SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS AND SAFETY CODES.  
 2. BEDDING AND BACKFILL IN ACCORDANCE WITH PENNDOT STANDARD DRAWING RC-30M.

**STORM SEWER TRENCH DETAIL - LAWN AREAS**  
NOT TO SCALE



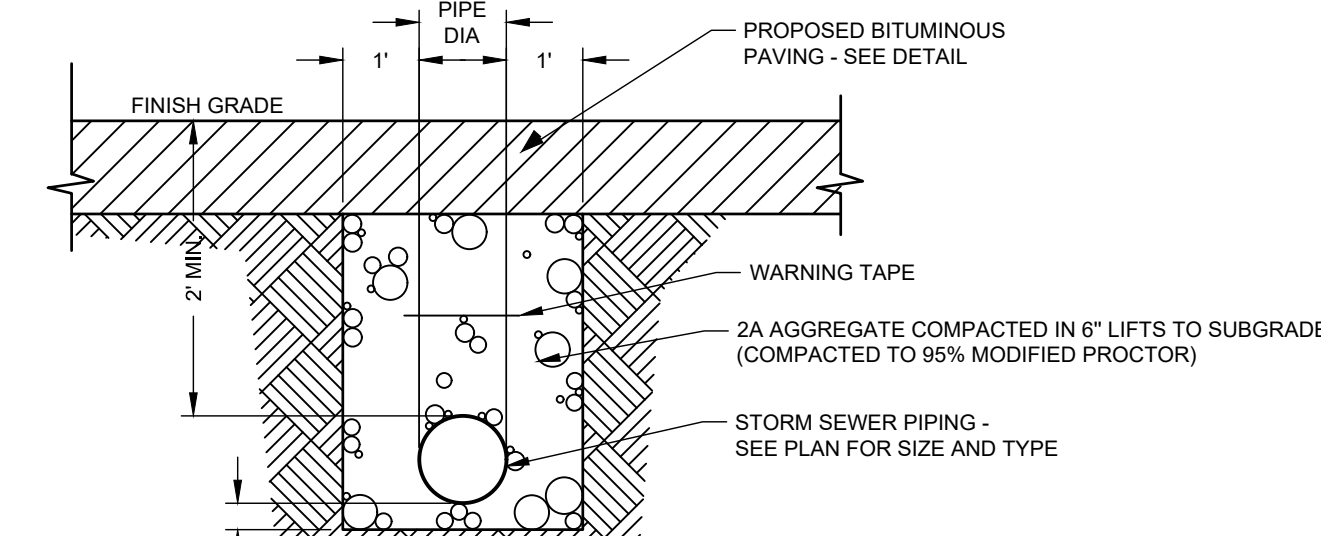
- NOTES:  
 1. SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS & SAFETY CODES.  
 2. BEDDING AND BACKFILL IN ACCORDANCE WITH PENNDOT STANDARD DRAWING RC-30M.

**ROOF LATERAL TRENCH DETAIL - LAWN AREAS**  
NOT TO SCALE



- NOTE:  
 SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS AND SAFETY CODES.

**STORM SEWER TRENCH DETAIL - PAVED AREAS**  
NOT TO SCALE



- NOTES:  
 1. SHORING REQUIRED FOR ALL TRENCHES IN ACCORDANCE WITH APPLICABLE REGULATIONS LAWS & SAFETY CODES.  
 2. BEDDING AND BACKFILL IN ACCORDANCE WITH PENNDOT STANDARD DRAWING RC-30M.

**STORM SEWER TRENCH DETAIL - PAVED AREAS**  
NOT TO SCALE

**OPERATIONS AND MAINTENANCE SCHEDULE**

EARLY MAINTENANCE ACTIVITY	FREQUENCY
INSPECT CONTROLS, OUTLET STRUCTURES, AND STORAGE AREAS FOR TRASH AND SEDIMENT ACCUMULATION	MONTHLY FOR THE FIRST YEAR AFTER INSTALLATION TO DETERMINE ONGOING MAINTENANCE FREQUENCY.
INSPECT EROSION CONTROL AND FLOW SPREADING DEVICES UNTIL SOIL SETTLEMENT AND STABILIZATION OF CONTRIBUTING AREAS HAVE OCCURRED	BIWEEKLY

**Pennoni**  
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3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA  
**POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS**  
 LINLO MONTROSE PARK, LLC  
 150 CORPORATE CIRCLE, SUITE 100  
 LEMOYNE, PENNSYLVANIA 17043

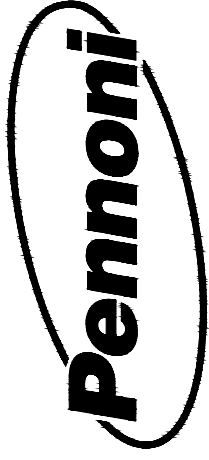
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PROJECT: LINLO20003  
 DATE: 2021-03-05  
 DRAWING SCALE: AS SHOWN  
 DRAWN BY: CRH/TLR  
 APPROVED BY: PGD

**CS9502**  
 SHEET 20 OF 21

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3405 AND 3401 NORTH FRONT STREET  
 SUSQUEHANNA TOWNSHIP  
 DAUPHIN COUNTY, PENNSYLVANIA

**POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS**

LINLO MONROSE PARK, LLC  
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PROJECT: LINLO20003  
 DATE: 2021-03-05  
 DRAWING SCALE: AS SHOWN  
 DRAWN BY: CRH/TLR  
 APPROVED BY: PGD

**CS9503**  
 SHEET 21 OF 21

Nominal Diameter in (mm)	AASHTO Specification	Perforation Type	Diameter, max. in (mm)	Perforation Configuration
12 (300)	M294	Circular	0.375 (10)	E
15 (375)	M294	Circular	0.375 (10)	E
18 (450)	M294	Circular	0.375 (10)	E
24 (600)	M294	Circular	0.375 (10)	F
30 (750)	M294	Circular	0.375 (10)	H
36 (900)	M294	Circular	0.375 (10)	H
42 (1050)	M294	Circular	0.375 (10)	H
48 (1200)	M294	Circular	0.375 (10)	H
60 (1500)	M294	Circular	0.375 (10)	H

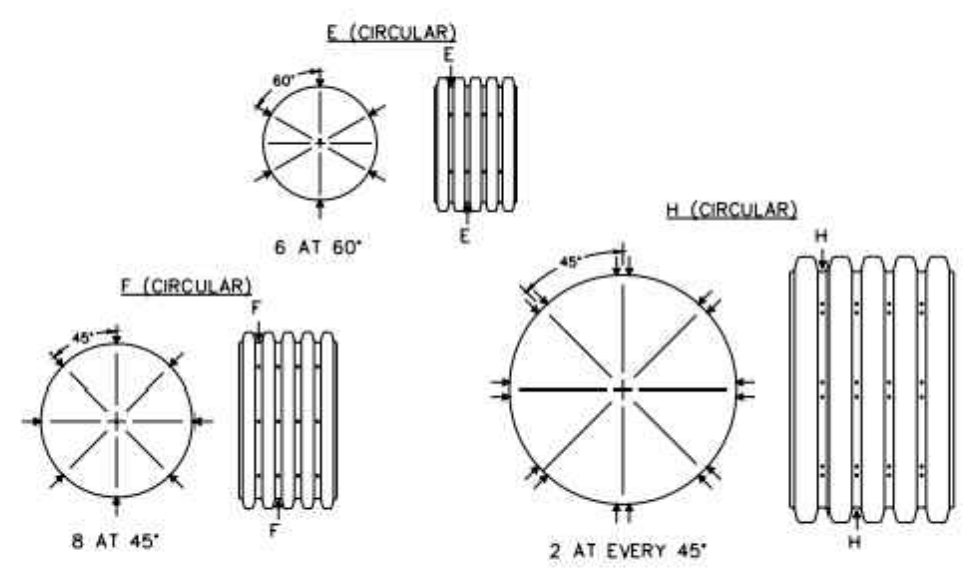
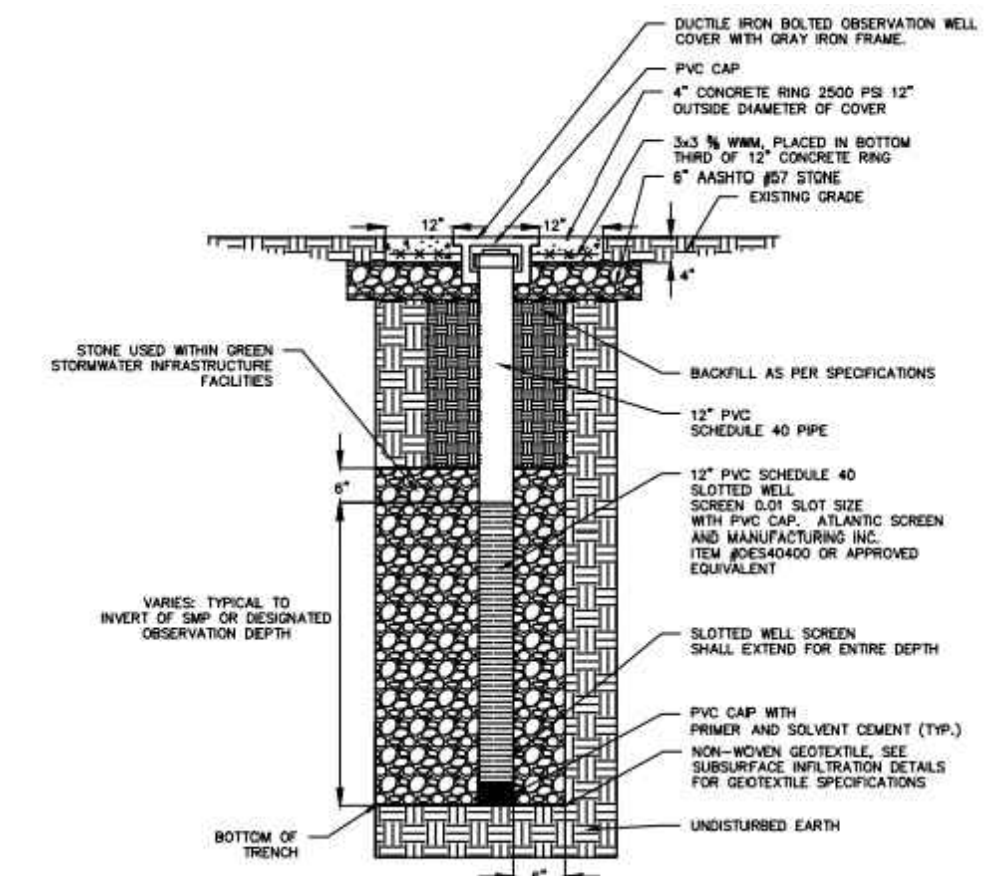
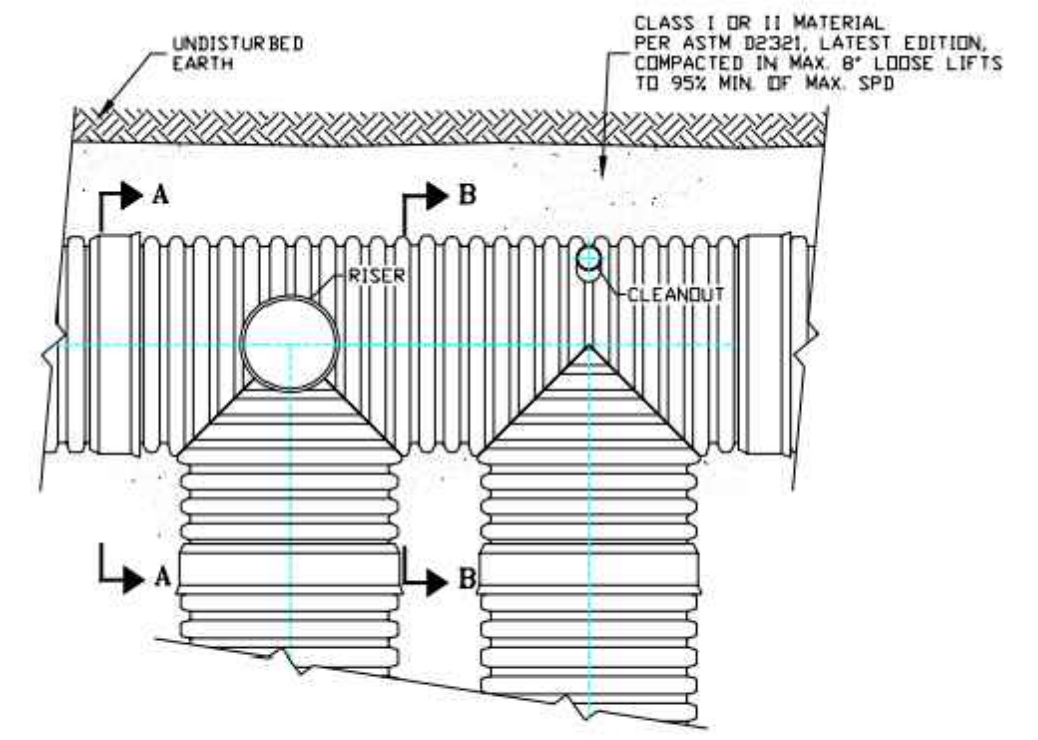


Figure 7: Perforation configurations

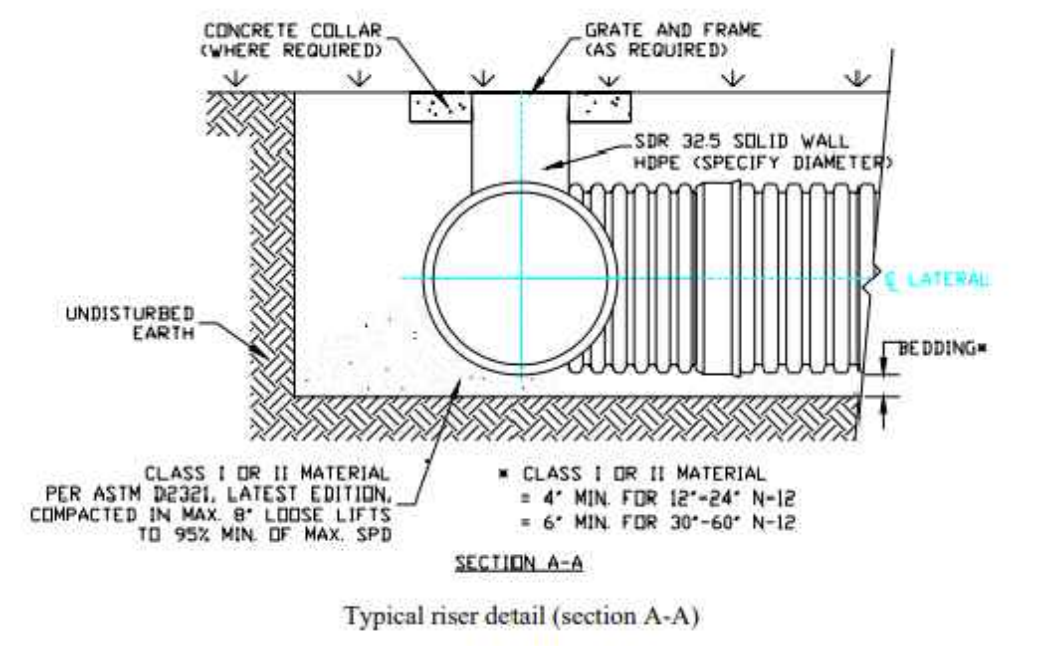


NOTES:  
 1. WELL COVER SHALL BE SECURED IN CONCRETE SURROUND (1'-6" TOTAL DIAMETER) IF WELL IS NOT OTHERWISE SECURED BY SURFACE RESTORATION.



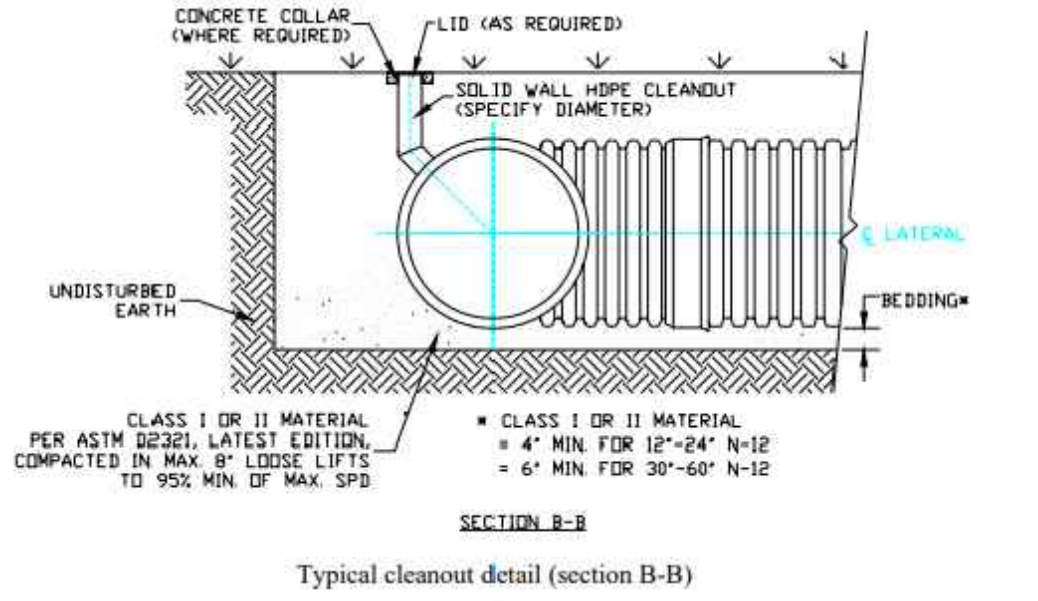
(a) Typical riser and cleanout detail (plan view)

**1 PIPE MANIFOLD**  
 NTS



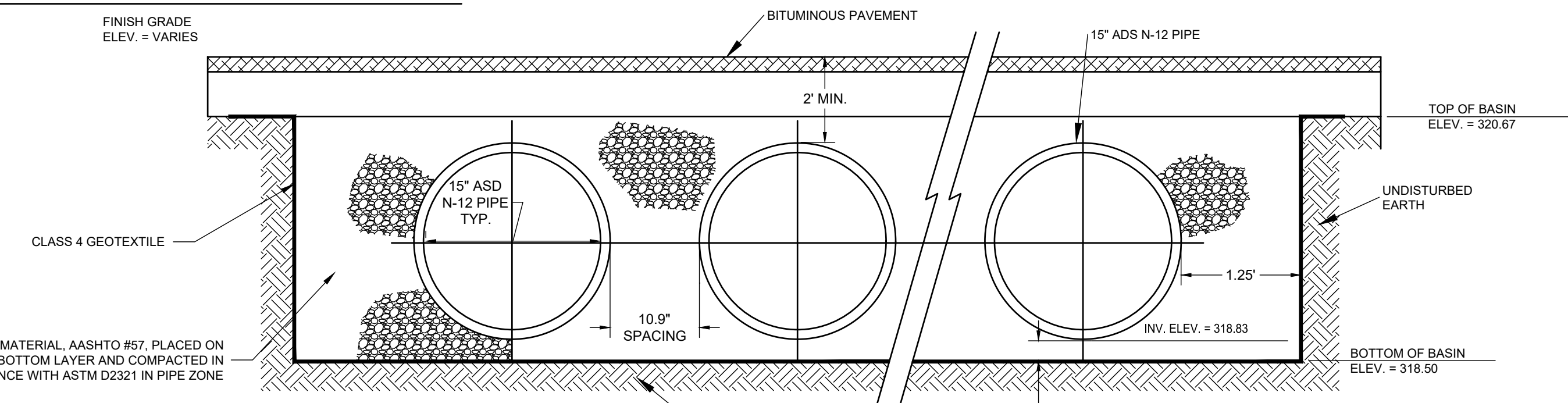
Typical riser detail (section A-A)

**2 ACCESS RISER**  
 NTS



Typical cleanout detail (section B-B)

**3 CLEANOUT**  
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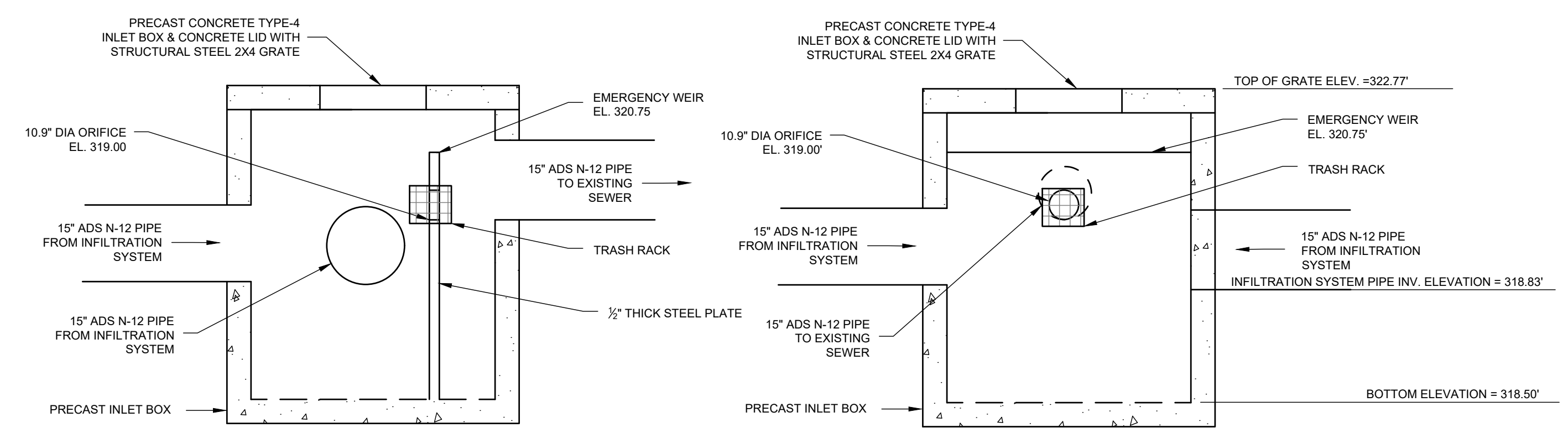


NOTES:  
 1. ALL AGGREGATES WITHIN THE STONE STORAGE BED SHALL BE CLEAN-WASHED, DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST.  
 2. GEOTEXTILE SHALL CONSIST OF POLYPROPYLENE FIBERS AND MEET THE FOLLOWING SPECIFICATIONS:  
 GRAB TENSILE STRENGTH (ASTM-D4632) > OR = 120 LBS.  
 MULLEN BURST STRENGTH (ASTM-D3786) > OR = 225 LBS.  
 FLOW RATE (ASTM-D4491) > OR = 95 GAL./MIN./FT.  
 UV RESISTANCE AFTER 500 HRS. (ASTM-D4355) > OR = 70%  
 HEAT-SET OR HEAT CALENDARED FABRICS ARE NOT PERMITTED  
 3. FOR HS-25 LOADING, A MINIMUM STONE COVER OF 2'-0" MUST BE MAINTAINED OVER THE SUBSURFACE INFILTRATION BASIN.  
 4. CLASS II PERFORATIONS SHALL BE LOCATED IN THE OUTSIDE VALLEYS OF THE CORRUGATIONS, BE CIRCULAR AND/OR SLOTTED AND EVENLY SPACED AROUND THE CIRCUMFERENCE AND LENGTH OF THE PIPE.

**6 SUBSURFACE INFILTRATION BASIN (IB-1) - CROSS SECTION**  
 NTS

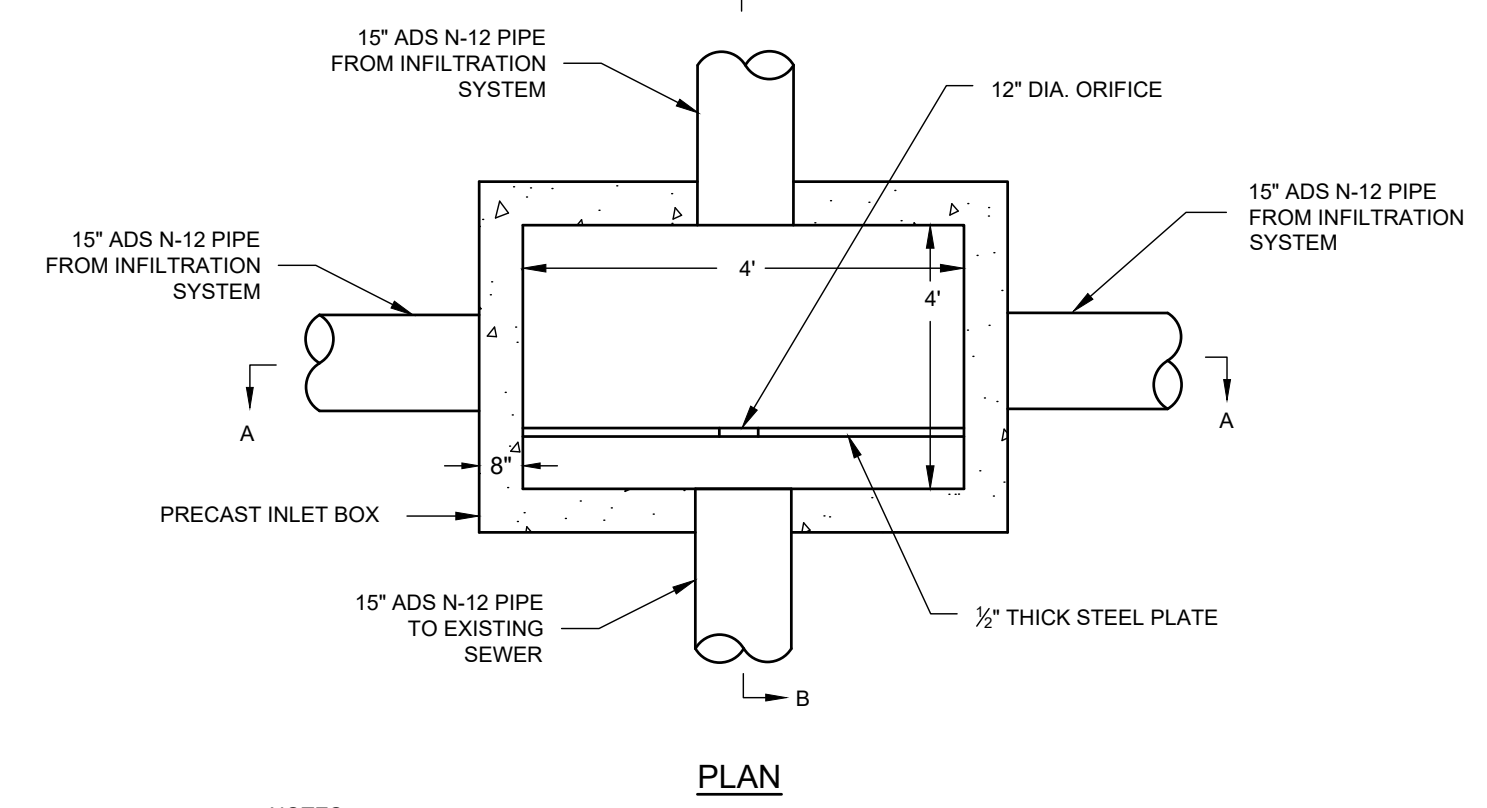
**4 DUAL WALL HDPE PERFORATION PATTERNS**  
 NTS

**5 OBSERVATION WELL IN SUBSURFACE INFILTRATION BASIN**  
 NTS



SECTION B-B

SECTION A-A



PLAN

NOTES:  
 1. PRECAST REINFORCED CONCRETE CATCH BASIN, GRATE, AND FRAME SHALL MEET ALL REQUIREMENTS OF SUSQUEHANNA TOWNSHIP SPECIFICATIONS FOR SEWERS.  
 2. PROVIDE #6 DOWELS AT A MAXIMUM OF 12" ON CENTER TO PROVIDE POSITIVE CONNECTION BETWEEN WEIR AND PRECAST OUTLET STRUCTURE.  
 3. THE MINIMUM EMBEDMENT OF THE REBAR INTO THE WEIR SHALL BE 12".

**7 OUTLET STRUCTURE (OS-1)**  
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