



# Susquehanna TOWNSHIP

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## Susquehanna Township Board of Commissioners

### Regular Meeting Agenda

October 13, 2022

Pincus Room

6:30 p.m.

- A. CALL TO ORDER
- B. ROLL CALL
- C. PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE
- D. PETITIONS, COMPLAINTS, SUGGESTIONS FROM CITIZENS
  - 1. Mr. Bob Pramik – 1116 Countryside Drive
- E. APPROVAL OF MINUTES
  - 1. September 22, 2022 – Board of Commissioners Workshop
- F. PUBLIC HEARINGS
  - 1. A PUBLIC HEARING ON A LIQUOR LICENSE TRANSFER APPLICATION FOR 59 NORTH PROGRESS AVENUE; PROPERTY DOING BUSINESS AS SHISHA LOUNGE AND CAFÉ, LLC.

*Mike Miller, Esq., Township Solicitor*

#### **Narrative**

Provided with the agenda is an application for an intermunicipal liquor license transfer submitted by Shisha Lounge and Café, LLC of 59 North Progress Avenue. The license requested for transfer is currently on a premises in the City of Harrisburg. The Township Solicitor will conduct the public hearing. Once closed, the Board is asked to direct staff to draft a resolution for consideration at the October 27<sup>th</sup> Workshop to formally approve the transfer.

*Recommended motion: That the Board of Commissioners direct staff to draft a resolution authorizing the liquor license transfer for 59 North Progress Avenue for Thursday, October 27<sup>th</sup>.*

**2. A PUBLIC HEARING ON A LIQUOR LICENSE TRANSFER APPLICATION FOR 3406 WALNUT STREET; PROPERTY DOING BUSINESS AS 99 WALNUT EXPRESS, LLC**

*Mike Miller, Esq., Township Solicitor*

**Narrative**

Provided with the agenda is a letter from Keith A. Clark of Shumaker Williams PC. requesting a public hearing on an intermunicipal liquor license transfer from Halifax Township, Dauphin County. The applicant establishment is doing business as “99 Walnut Express” (Nepali Indian Restaurant) and is located at 3406 Walnut Street. As provided in the letter, the applicant establishment would operate 11:00 a.m. to 9:00 p.m. on Monday through Saturday, and is proposing to serve beer, wine, and spirits on-site during their hours of operation. The Township Solicitor will conduct the public hearing. Once closed, the Board is asked to direct staff to draft a resolution for consideration at the October 27th Workshop to formally approve the transfer.

*Recommended motion: That the Board of Commissioners direct staff to draft a resolution authorizing the liquor license transfer for 3406 Walnut Street for Thursday, October 27<sup>th</sup>.*

**G. RECOGNITIONS AND PRESENTATIONS**

**1. RESOLUTION 2022-R-28 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA ACKNOWLEDGING THE 35 YEARS OF SERVICE OF MARY HILL TO THE SUSQUEHANNA TOWNSHIP POLICE DEPARTMENT**

*Rob Martin, Director of Public Safety*

**Narrative**

After 35 years of honorable service, Mary Hill of the Susquehanna Township Police Department has retired from the Township in September. Provided with the agenda is a copy of a resolution acknowledging and expressing the appreciation of the Board of Commissioners, staff, and community of the many years of service Ms. Hill has dedicated to the Township throughout her career.

*Recommended motion: That the Board of Commissioners adopt the resolution acknowledging the 35 years of service of Mary Hill to the Susquehanna Township Police Department.*

**G. REPORTS OF COMMITTEES**

**1. Building & Grounds (Rothrock/Pyne)**

2. Budget, Finance, Insurance & Pension (Fleming/Pyne/Rebarchak)
3. Public Works (Napper/Hisiro)
4. Health & Sanitation (Rebarchak/ Hisiro)
5. Administration & Personnel (Napper/Fleming/Engle)
6. Police (Engle/Faylona)
7. Fire, EMS, EMA (Hisiro/Fleming)
8. Recreation (Faylona/Hisiro)
9. Planning & Zoning (Rothrock/Pyne/Rebarchak)

## **H. BIDS AND AGREEMENTS**

1. **RESOLUTION 2022-R-29 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP MANAGER TO SIGN AN AGREEMENT WITH ATLANTIC TRANSPORTATION SYSTEMS, INC. FOR THE MAINTENANCE OF TRAFFIC CONTROL SIGNALS.**

*David Pribulka, Township Manager*

### **Narrative**

Provided with the agenda is a resolution authorizing the Manager to sign a renewal agreement with Atlantic Transportation Systems for the maintenance of traffic signals in the Township. The agreement is for a two-year term and includes routing monitoring and maintenance as well as emergency services for all signalized intersections in the Township.

*Recommended motion: That the Board of Commissioners adopt the resolution authorizing the Township Manager to sign an agreement with Atlantic Transportation Systems for the maintenance of traffic signals.*

2. **RESOLUTION 2022-R-30 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP MANAGER TO SIGN A LANDSCAPE SERVICE MAINTENANCE AGREEMENT WITH DAVIS LANDSCAPE, LTD.**

*David Pribulka, Township Manager*

### **Narrative**

Provided with the agenda is a resolution authorizing the Manager to sign a landscape service maintenance agreement with Davis Landscaping, LTD for mowing and maintaining Township property including traffic islands, parks, and other municipal property. The agreement reflects COSTARS pricing and is a multi-year proposal expiring on December 31, 2025.

*Recommended motion: That the Board of Commissioners adopt the resolution authorizing the Township Manager to sign a landscape service maintenance agreement with Davis Landscaping, LTD.*

## **I. ACTION ON ORDINANCES, RESOLUTIONS, SUBDIVISION AND LAND DEVELOPMENT PLANS**

**1. MINOR SUBDIVISION PLAN - 2703 GEORGE STREET CURRENT DEADLINE – October 23, 2022**

*Betsy Logan, Assistant Township Manager*

**Narrative**

Provided with the agenda is a copy of the Final Minor Lot Consolidation Plan for the purpose of combining two lots at 2703 George Street. The property is located at the corner of George Street and 27th Street. The applicant seeks to combine Lot 1 (0.23-acres) and Lot 2 (0.10-acres) into a new .33-acre lot. A waiver from §22-404 Preliminary Plan Procedures is requested. This project is in the R-2 Medium Density Residential Zoning District. The subject property is located in Ward 3.

*Recommended Motion 1: That the Board of Commissioners grant the waiver request from §22-404, Preliminary Plan Procedures.*

*Recommended Motion 2: That the Board of Commissioners approve the Preliminary/Final Subdivision Plan for 2703 George Street.*

**2. SUBDIVISION PLAN – ESTATES AT MARGARET’S GROVE PHASE II CURRENT DEADLINE – October 25, 2022**

*Betsy Logan, Assistant Township Manager*

**Narrative**

Provided with the agenda is a copy of the Final Subdivision Plan submitted for The Estates at Margaret’s Grove Phase II for the purposes of creating 11 new parcels and 10 single-family homes. The property is located in the R-4, Residential Urban District in Ward 2. The applicant is requesting a waiver from §19-501.4.3B Swale conveyance facilities side slope shall be no steeper than 3:1, and a waiver from §22-1107 Sidewalks on both sides of Mountain Ridge Drive.

The Planning Commission met on Monday, September 19<sup>th</sup> to consider the waivers and the final plan. They recommend approving the waiver from §19-501.4.3B. to allow a steeper side slope on the swale. The Planning Commission is recommending the denial of the sidewalk waiver. They also are recommending that the Board approve the same this evening subject to the following conditions:

- 1) All comments provided by Township Staff, the Township Engineer, and Dauphin County Planning Commission are addressed.
- 2) All recreation fees are to be paid before the release of plans for recording.
- 3) A stormwater Operations and Maintenance (O&M) provided for review and approval before releasing plans for recording plans. The O&M agreement must also be recorded.

- 4) Provide executed easements agreements for the installed storm sewer facilities.
- 5) Provide financial security for the timely, proper, and complete construction of all applicable improvements including but not limited to paving, sidewalks, curbing, stormwater management facilities, erosion and sediment controls, etc. prior to the approval of the Final Plan.
- 6) Provide a signed and executed Developer's Agreement.

*Recommended motion 1: That the Board of Commissioners deny the waiver of §22-1107 sidewalks on both sides of Mountain Ridge Drive.*

*Recommended motion 2: That the Board Commissioners approve the waiver for §19-501.4.3B. swale side slopes*

*Recommended motion 3: That the Board of Commissioners approve the Final Subdivision Plan for The Estates at Margaret's Grove Phase II subject to the conditions recommended by the Planning Commission.*

**3. FINAL LAND DEVELOPMENT PLAN – CHICK-FIL-A CURRENT DEADLINE – November 24, 2022**

*Betsy Logan, Assistant Township Manager*

**Narrative**

Provided with the agenda is a copy of the Final Land Development Plan submitted for approval for a new Chick-Fil-A to be located at 3951 Union Deposit Road. The site is zoned Commercial Highway and is located in Ward 5. The location is a 57,695 square foot lot and the building thumbprint proposes is 4,758 square feet. The project would involve the demolition of an existing bank and building on the site.

The Planning Commission met on Monday, September 19<sup>th</sup> to consider the final plan and is recommending that the Board approve the same this evening subject to the following conditions:

- 1) All comments provided by Township Staff, the Township Engineer, and Dauphin County Planning Commission are addressed.
- 2) A stormwater Operations and Maintenance (O&M) agreement is provided for review and approval before releasing plans for recording plans. The O&M agreement must also be recorded.
- 3) Provide executed agreements and easements for the installed storm sewer facilities and access easements.
- 4) Provide financial security for the timely, proper, and complete construction of all applicable improvements, including but not limited to paving, sidewalks, curbing, stormwater management facilities, erosion and sediment controls, etc. prior to the approval of the Final Plan.

- 5) All outstanding transportation concerns are addressed.
- 6) Provide a signed and executed Developer's Agreement.

*Recommended motion: That the Board of Commissioners approve the Final Land Development Plan submitted by Chick-Fil-A for 3951 Union Deposit Road subject to the conditions recommended by the Planning Commission.*

**4. RESOLUTION 2022-R-31 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE SUBMISSION OF A GRANT APPLICATION TO THE DCNR COMMUNITY CONSERVATION PARTNERSHIPS PROGRAM FALL GRANT ROUND FOR THE PLAYGROUND EQUIPMENT REPLACEMENT AT CROWN POINT PARK.**

*Doug Knauss, Director of Parks & Recreation*

**Narrative**

Provided with the agenda is a copy of a resolution authorizing the submission of a grant application to the Department of Conservation and Natural Resources (DCNR) Community Conservation Partnerships Program for play equipment replacement at Crown Point Park. The grant request will be \$165,000. The Township has applied for the Local Share Grant in the amount of \$150,000 and \$30,000 of that will go towards the playground replacement and the remainder of the estimated project cost of \$135,000 would come from the Developers Recreation Fund. Also provided with the agenda is a draft Financial Commitment Letter authorizing the local match of fifty percent (50%), which would be either \$135,000 or \$165,000, depending on the results of the Local Share Program grant application.

*Recommended motion: That the Board of Commissioners adopt the resolution authorizing the submission of a DCNR grant application for the playground equipment replacement at Crown Point Park; and, further, that the Board of Commissioners authorize the President and Secretary to submit a Financial Commitment Letter to DCNR for the local match requirement associated with the grant.*

**5. RESOLUTION 2022-R-32 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE SUBMISSION OF A GRANT APPLICATION TO THE DCNR "TREEVITALIZE" PROGRAM FALL GRANT ROUND FOR TREE PLANTINGS IN TOWNSHIP PARKS.**

*Doug Knauss, Director of Parks & Recreation*

**Narrative**

Provided with the agenda is a copy of a resolution authorizing the submission of a grant application to the Department of Conservation and Natural Resources (DCNR) for tree

planting in five Township Parks including Veteran’s Park, Crown Point Park, Edgemont Park, Beaufort Hunt Park, and McNaughton Park. The estimated total project cost is \$200,000, and the Township would seek a grant of \$160,000 to supplement a \$40,000 local match. Also provided with the agenda is a draft Financial Commitment Letter authorizing the local match of \$40,000. Staff is working with the Bureau of Forestry to determine optimal species and placement of the trees.

*Recommended motion: That the Board of Commissioners adopt the resolution authorizing the submission of a DCNR grant application for tree plantings in Township parks; and, further, that the Board of Commissioners authorize the President and Secretary to submit a Financial Commitment Letter to DCNR for the local match requirement associated with the grant.*

**J. REPORTS**

- |                                       |   |
|---------------------------------------|---|
| 1. Township Manager                   | 8. Authority – (Napper/Pribulka)            |
| 2. Public Safety/Police               | 9. Shade Tree (Pyne/Rebarchak)              |
| 3. Community and Economic Development | 10. Communications (Pyne/Rebarchak/Faylona) |
| 4. Public Works                       | 11. Human Relations (Hisiro/Faylona)        |
| 5. Engineering                        | 12. Parks & Recreation                      |
| 6. Solicitor                          |   |
| 7. School Board (Pyne/Fleming)        |   |

**K. OLD BUSINESS – None.**

**L. NEW BUSINESS**

**1. CONSENT AGENDA**

- a. Statement of Bills Paid
- b. Financial Security Reduction #3– Stray Winds Farm Phase 7 (\$82,608)
- c. Financial Security Reduction #1 - Maplewood (\$280,577)

**M. COMMISSIONER COMMENTS**

**N. ADJOURNMENT**

**NOTE: TO ACCOMMODATE ALL CITIZENS, INDIVIDUAL SPEAKERS WILL BE PERMITTED THREE MINUTES TO ADDRESS THE BOARD.**

**NOTE: PLEASE PLACE ALL CELL PHONES, PAGERS, AND OTHER ELECTRONIC DEVICES ON SILENT MODE.**

**NOTE: THE TOWNSHIP MEETINGS ARE RECORDED.**

**MINUTES**

**SUSQUEHANNA TOWNSHIP  
BOARD OF COMMISSIONERS**

**WORKSHOP MEETING  
SEPTEMBER 22, 2022**

**WORKSHOP MEETING:**

President Lynch called to order the Workshop Meeting of the Susquehanna Township Board of Commissioners on Thursday, September 22, 2022, at 7:19 PM.

**EXECUTIVE SESSIONS:**

President Lynch informed those in attendance that Executive Sessions occurred prior to this meeting and the Board of Commissioners Regular Meeting on September 8, 2022. In these meetings, the matters of personnel and real estate were discussed.

**ROLL CALL:**

**COMMISSIONERS:**

Jody Rebarchak – Present  
Gary Rothrock – Present  
Carl Hisiro – Present  
Frank Lynch – Present  
Tom Pyne – Present  
Fred Faylona – Present  
Fred Engle – Excused  
Justin Fleming – Present  
Steven Napper – Present

**TOWNSHIP PERSONNEL:**

David Pribulka – Secretary-Manager  
Michael Miller, Esq. – Township Solicitor  
Alex Greenly, P.E. – Township Engineer  
Robert Martin – Director of Public Safety  
George Drees – Fire Marshall  
Jill Lovett – Director of Finance  
Nathan Bragunier – Director of Public Works  
Kathy Fry – Administrative Assistant

**OTHERS IN ATTENDANCE:**

Pam Worley, Maddy & Penelope Scott, Brian Tienter, Kevin Scott, Lee Tarasi, Latasha C. Williams, Dan Fuller, Dr. Tamara Willis, Ralph Vartan, and Tim Mirra (Virtual)

**PLEDGE OF ALLEGIANCE AND MOMENT OF SILENCE:**

President Lynch asked Commissioner Faylona to lead the Pledge of Allegiance followed by a Moment of Silence.

**PETITIONS, COMPLAINTS, SUGGESTIONS FROM CITIZENS:**



Pam Worley of 4635 Hamlin Lane addressed the Board of Commissioners with her concerns with the Estates at Margaret's Grove development. She stated that she has lived in the development for two years and has found that things have not been built to specification and there are a great number of issues with sedimentation. She inquired as to who would be responsible for fixing these items. President Lynch asked Manager Pribulka to investigate this matter and Ms. Worley was supplied with his contact information.

**APPROVAL OF MINUTES.**

Commissioner Hisiro moved to approve the September 8, 2022, Board of Commissioners Regular Meeting Minutes. The motion was seconded by Commissioner Pyne and unanimously approved.

**RECOGNITIONS AND PRESENTATIONS:**

**1. ROTARY CLUB OF SUSQUEHANNA TOWNSHIP – OFFICER OF THE YEAR AWARD PRESENTATION**

Dr. Tamara Willis, President of the Susquehanna Township Rotary Club along with Dan Fuller and Public Safety Director Martin, presented the Rotary Club Officer of the Year Award to Detective Kevin Scott.

Public Safety Director Martin remarked on Detective Scott's many attributes, hard work and dedication in his 28 years of service with the Susquehanna Township Police Department.

Dr. Willis who also serves as the Superintendent of the Susquehanna Township School District, thanked Public Safety Director Martin and the Police Officers for their support of the School District. She stated that their dedication and hard work is a direct reflection of Public Safety Director Martin's leadership.

President Lynch thanked the Police Officers and the Rotary Club for all that they do for the community.

**2. PRESENTATION OF THE 2021 SUSQUEHANNA TOWNSHIP AUDIT**

Tim Mirra, CPA, Zelensky Axelrod, LLC participated in this meeting virtually to give the Board of Commissioners highlights of the 2021 Susquehanna Township Audit. His highlights included year ending balances and the comparison of these balances to 2020.

Commissioner Rothrock expressed his concern regarding the possibility of a pension shortfall compared to the balances that are available. Mr. Mirra stated that the liability had stayed about the same or slightly decreased and are paid at the end of each year. Commissioner Fleming also noted that the unfunded liabilities decrease when the market is up and increase when the market experiences a downturn.

Commissioner Fleming moved that the Board of Commissioners approve the 2021 Susquehanna Township Audit as presented. The motion was seconded by Vice President Napper and unanimously approved.

**TRAFFIC STUDY REQUESTS**

**1. TRAFFIC STUDY REPORTS – 4106 FARGREEN ROAD**

Public Safety Director Martin stated that a “Hidden Driveway sign has been requested for 4106 Fargreen Road. He stated that he concurs with the findings of this report that a “Hidden Driveway” sign should be installed in this area due to site distance issues.

**2. TRAFFIC STUDY REPORT – RUSTIC DRIVE**

Public Safety Director Martin stated that this Traffic Study was completed in response to a resident’s complaint and request for Rustic Drive to be converted to a one-way street. An engineering study was completed to determine if a one-way street is warranted. It was determined that there was a limited amount of slow-moving traffic using this road. Public Safety Director Martin concurred with the findings of this report that a one-way street is not warranted at this time.

**3. TRAFFIC STUDY REPORT – SHIELD STREET**

The installation of additional speed humps in the 500 block of Shield Street between Union Deposit Road and Harwood Road was investigated due to concerns of speeding vehicles. It was the recommendation of the report that no speed humps be installed due to observed conditions in the field. Public Safety Director Martin agreed with the recommendations of this report.

**ACTION ON ORDINANCES, RESOLUTIONS, CONTRACTS, SUBDIVISIONS AND LAND DEVELOPMENT PLANS**

**1. RESOLUTION 2022-R-25 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE PRESIDENT TO EXECUTE A DEED OF DEDICATION OF RIGHT-OF-WAY FROM THE SUSQUEHANNA TOWNSHIP AUTHORITY FOR THE PAXTON CHURCH ROAD SAFETY AND STABILIZATION PROJECT**

Manager Pribulka reported that the Susquehanna Township Authority met on September 13<sup>th</sup> and provided for the authorization of this resolution. He also noted that the Authority is funding the project via proceeds from the Stormwater Fee.

Commissioner Hisiro moved that the Board of Commissioners adopt the resolution authorizing the President to execute a Deed of Dedication of right-of-way from the Susquehanna Township Authority for the Paxton Church Road Safety and Stabilization Project. The motion was seconded by Commissioner Faylona and unanimously approved.

**2. RESOLUTION 2022-R-26 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE PRESIDENT TO EXECUTE A DEED OF DEDICATION OF RIGHT-OF WAY FROM RAY R. AND KRISTINA MARIE HASKINS OF 1440 PAXTON CHURCH ROAD FROM THE PAXTON CHURCH ROAD SAFETY AND STABILIZATION PROJECT**

Manager Pribulka reported that this project requires the conveyance of a permanent right-of-way to the Township of 458 square feet from the Haskins parcel. The Haskins will be compensated \$812.00, which included a pro-rate share of real estate taxes.

Commissioner Pyne moved that the Board of Commissioners adopt the resolution authorizing the President to execute a Deed of Dedication of right-of-way from Ray R. & Kristina Haskins of 1440

Paxton Church Road for the Paxton Church Road Safety and Stabilization Project. The motion was seconded by Commissioner Hisiro and unanimously approved.

**3. RESOLUTION 2022-R-27 A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE SUBMISSION OF A TRAFFIC SIGNAL TECHNOLOGIES GRANT PROGRAM APPLICATION WITH LOWER PAXTON TOWNSHIP AND AUTHORIZING THE TOWNSHIP MANAGER TO SIGN ALL REQUIRED APPLICATION DOCUMENTS**

Manager Pribulka informed the Board of Commissioners that the Pennsylvania Department of Transportation announced the 2022-2023 Green Light Go Grant Program. Lower Paxton Township and Susquehanna Township were approached by Dauphin County about filing a joint application to install adaptive signal technology in thirteen signalized intersections along the PA Route 39 (Linglestown Road) corridor. Lower Paxton Township will be taking the lead on submitting the grant application.

Vice President Napper moved that the Board of Commissioners adopt the resolution authorizing the submission of a Traffic Signal Technologies Grant Program application with Lower Paxton Township and authorizing the Township Manager to sign all required documents. The motion was seconded by Commissioner Rothrock and unanimously approved.

**4. TABLED ACTION – CONSIDERATION OF ACCEPTANCE OF A DEED OF DEDICATION OF CHERRY ORCHARD DRIVE**

Commissioner Fleming moved that the Board of Commissioners take the acceptance of a deed of dedication of Cherry Orchard Drive off the table. The motion was seconded by Commissioner Pyne and unanimously approved.

Vice President Napper moved that the Board of Commissioners deny the road dedication request for Cherry Orchard Drive. The motion was seconded by Commissioner Hisiro who added that this motion should be without prejudice as it could be reconsidered at a future date. The motion was unanimously approved.

**5. TERMINATION OF CONTRACT WITH MATTHEWS CONSTRUCTION SERVICES, LLC FOR THE BOYD PARK PHASE II DEVELOPMENT PROJECT**

Manager Pribulka reported that Matthews Construction has not been able to secure bonding for the contract they were awarded on July 28, 2022. He is requesting this contract be terminated and for the approval of HRG to readvertise for bids.

Commissioner Faylona moved that the Board of Commissioners terminate the contract with Matthews Construction Services, LLC and authorize HRG to readvertise for bids, including the fishing pier and boardwalk material as “Add Alternates”. The motion was seconded by Commissioner Rothrock and unanimously approved.

**6. PRESENTATION OF THE 2023 MINIMUM MUNICIPAL OBLIGATION FOR THE POLICE, NON-UNIFORMED, AND PMRS PENSION PLANS**

Finance Director Lovett gave an overview of the MMO's outlined in Manager Pribulka's memorandum. She noted that at this time, the final MMO's will not be available until the consideration of the 2023 Operating Budget and these estimates had to be presented prior to September 30<sup>th</sup> as required by law.

Commissioner Fleming moved that the Board of Commissioners receive the presentation of the 2022 Minimum Municipal Obligation for the Police, Non-Uniformed, and PMRS Pension Plans. The motion was seconded by Commissioner Faylona and unanimously approved.

### **CONSENT AGENDA**

1. Authorization to advertise the sale of the emergency backup generator on Municibid
2. Authorization to sign Pollution Reduction Plan – Task Order #2022-01
3. Financial Security Reduction – Susquehanna Union Green Phases 3A & 3B (\$144, 991)

Commissioner Pyne moved that the Board of Commissioners approve the Consent Agenda. The motion was seconded by Commissioner Fleming and unanimously approved.

### **COMMISSIONERS COMMENTS**

Commissioner Fleming commented on the \$1.5 million Right-of-Way Streambank Restoration Project that is being shared with Lower Paxton Township and the City of Harrisburg. He noted that more attention needs to be paid to the hiring and awarding of contracts to minority contractors due to the diversity of the population in these areas.

Vice President Napper gave a brief overview of the most recent Authority meeting. These highlights included the presentation of the latest audit, approval of phone payments, drawing of a sewer line diagram, and the attendance of the Public Works Director at a pumping station conference.

### **ADJOURNMENT**

Commissioner Fleming moved that the Board of Commissioners meeting be adjourned at 8:03 PM. The motion was seconded by Commissioner Hisiro and unanimously approved.

APPLICATION FOR INTER-MUNICIPAL LIQUOR LICENSE TRANSFER

Date: 8/18/2022

Name of Applicant: Shisha Lounge and Cafe, LLC Address: 59 North Progress Ave, Harrisburg, PA 17109

Trade Name, if any: Himalayan Hookah Lounge & Cafe

Telephone No.: 412-369-1555

Current Owner of License: Dewberry Restaurant, LLC

Former Address of the Licensee: 320 Chestnut St, Harrisburg, PA 17101

License No. R-16750

Proposed location of the license to be transferred: 59 North Progress Ave, Harrisburg, PA 17109

Name of the establishment sought to be licensed: Shisha Lounge and Cafe, LLC

Type of license proposed to be transferred: Restaurant (Liquor)

Current Zoning Location: Harrisburg


I verify that I am authorized to execute this application on behalf of the applicant and further that the statements made in this application are true and correct. I understand that any false statements made herein are subject to penalty of 18 PA.C.S.A. §4904, relating to unsworn falsification to authorities. I further understand that submission of false information may constitute grounds for revocation of denial of the application for an inter-municipal liquor license transfer.

Signature of Applicant *Ashok Upreti* Date 08 / 20 / 2022

Print name of Applicant Ashok Upreti Date 08 / 20 / 2022

# Signature Certificate

Reference number: UETLL-WUJJP-TDAYH-7YMDF

Signer	Timestamp	Signature
<b>Ashok Upreti</b> Email: ashok@everestlendinggroup.com Sent: 18 Aug 2022 13:57:28 UTC Viewed: 21 Aug 2022 01:21:43 UTC Signed: 21 Aug 2022 01:25:36 UTC		
<b>Recipient Verification:</b> ✓Email verified	21 Aug 2022 01:21:43 UTC	IP address: 71.207.84.78 Location: Harrisburg, United States

Document completed by all parties on:  
21 Aug 2022 01:25:36 UTC

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WRITER'S DIRECT DIAL NUMBER: 717.909.1612  
WRITER'S E-MAIL: [clark@shumakerwilliams.com](mailto:clark@shumakerwilliams.com)  
Admitted to Pennsylvania Bar

August 17, 2022

Attn: David Pribulka  
1900 Linglestown Road  
Harrisburg, PA 17110

**RE: 99 Walnut Express, LLC – Acquisition of PA Liquor License #R18694**

Thank you for the opportunity to promptly address this matter in front of the Susquehanna Township Board of Commissioners. In accordance with your telephone conference earlier with our Law Clerk, Summer Pannizzo, this week, this is our request for a hearing on the inter-municipality transfer of Liquor License #R18694 into Susquehanna Township. Currently, the License is located in Halifax Township, Dauphin County, Pennsylvania.

Our client, 99 Walnut, LLC is requesting this hearing, so that the License can be used at "99 Walnut Express" (Nepali Indian Restaurant) at 3406 Walnut St, Harrisburg, PA 17109 (Susquehanna Township). The Sole Member of the LLC is Bal Basnet. Please consider the undersigned or Ms. Pannizzo your main point of contact. Ms. Pannizzo can be reached on her cell at (480)-392-0797. The restaurant is open Monday through Sunday, with the intent to serve beer, wine, and spirits to guests Monday through Saturday, which follow the requirements of a Pa Retail Restaurant License. Additionally, the hours of operation are 11 am – 9 pm. Currently, the restaurant utilizes dine-in and take-out services.

It is our understanding that, based on receipt of communication today, a hearing will be set August 25, 2022 at 6:00 pm. We would appreciate if you could indicate to us where our appearance will fall relative to the other matters on that evening's agenda.

Sincerely yours,

  
Keith A. Clark

CORRESPONDENCE:  
3425 Simpson Ferry Road  
Camp Hill, PA 17011

Phone: 717.763.1121  
Fax: 717-763-7419

CAMP HILL, PA: 717.763.1121  
TOWSON, MD: 410.825.5223  
YORK, PA: 717.848.5134

[www.shumakerwilliams.com](http://www.shumakerwilliams.com)

**RESOLUTION 2022-R-28**

**A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA ACKNOWLEDGING THE 35 YEARS OF SERVICE OF MARY HILL TO THE SUSQUEHANNA TOWNSHIP POLICE DEPARTMENT**

**WHEREAS**, Mary Hill has served the Board of Commissioners, the Police Department, and the residents of Susquehanna Township with the highest degree of professionalism and integrity since 1986; and

**WHEREAS**, Ms. Hill's 35-year career began as the Police Receptionist, and through her exceptional leadership in the organization and dedication to the highest standards of professional law enforcement, she was ultimately promoted to Executive Assistant to the Chief of Police; and

**WHEREAS**, the Board of Commissioners congratulates Ms. Hill on an exemplary career of civil service, and wishes her all the best in a long and well-deserved retirement.

**NOW, THEREFORE, BE IT RESOLVED** that the Susquehanna Township Board of Commissioners does hereby convey its most sincere appreciation to Mary Hill, Executive Assistant of the Susquehanna Township Police Department, for her 35 years of dedicated service to the citizens of Susquehanna Township and the profession of law enforcement.

**BE IT, AND THE SAME IS HEREBY RESOLVED**, this 13<sup>th</sup> day of October 2022.

**SUSQUEHANNA TOWNSHIP  
BOARD OF COMMISSIONERS**

---

Frank Lynch, President

[SEAL]

**ATTEST:**

---

David Pribulka, Secretary



**RESOLUTION NO. 2022-R-29**

**A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP MANAGER TO SIGN AN AGREEMENT WITH ATLANTIC TRANSPORTATION SYSTEMS, INC. FOR THE MAINTENANCE OF TRAFFIC CONTROL SIGNALS.**

**NOW, THEREFORE, BE IT RESOLVED** that the Township Manager is authorized to execute an agreement with Atlantic Transportation Systems, Inc. for the maintenance of traffic control signals in Susquehanna Township.

**BE IT, AND THE SAME IS HEREBY RESOLVED**, this 13<sup>th</sup> day of October 2022.

**SUSQUEHANNA TOWNSHIP  
BOARD OF COMMISSIONERS**

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Frank Lynch, President

**ATTEST:**

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David Pribulka, Secretary



Atlantic Transportation Systems, Inc.

## **MUNICIPAL SERVICE AGREEMENT FOR MAINTENANCE OF TRAFFIC CONTROL SIGNALS**

Agreement is signed, this 1st day in August 2022, with an immediate effective date of signing by and between **Atlantic Transportation Systems, Inc., (ATS, Inc.)** a traffic installation and maintenance corporation, with its principal place of business in Camp Hill, Pennsylvania, hereinafter known as “**ATS, Inc.**” AND **Susquehanna Township** hereinafter known as “**MUNICIPALITY**”;

### **WITNESSETH:**

**WHEREAS, MUNICIPALITY** and **ATS Inc.** hereto desire to enter into a contract for the maintenance, service and repair of traffic control signals, situated and located in Susquehanna Township, Dauphin County;

**WHEREAS, MUNICIPALITY** has by official and duly authorized action approved this municipal services agreement following statute law or regulation authorizing the services, maintenance and repairs contemplated by this Agreement for the benefit of **MUNICIPALITY**, and **ATS, Inc.** hereby relies upon said representation for the purposes of providing maintenance, service and repair of traffic control signals and devices for the benefit of **MUNICIPALITY**.

**NOW, THEREFORE**, it is mutually agreed and represented as follows:

- 1. EXCLUSIVE CONTRACTOR: ATS, Inc.** shall be the exclusive contractor for the maintenance, service and repair of all traffic control signals within **MUNICIPALITY** for the benefit of **MUNICIPALITY** during the term of this Agreement in accordance with Statute laws.
- 2. SCOPE OF SERVICES: ATS, Inc.** shall, subject to the general control of **MUNICIPALITY**, render and perform the following services:

(a) Afford **MUNICIPALITY** the full benefit of the experience, judgment, advice and assistance of its officers, employees and other members of its organization, in respect to all matters pertaining to the maintenance, service and repair of said traffic control signals; and

(b) Perform any maintenance, service, or repair of said traffic control signals; necessary to keep said traffic control signals in good working condition including, but not limited to the maintenance set forth in "Commonwealth of Pennsylvania, Department of Transportation's *Guidelines for the Maintenance and Operation of Traffic Signal*" (Pub. 191), special provisions and updates associated therewith; and Publication 408.

(c) Twenty-four (24) hours on-call emergency service or repair; and

(d) Keep and maintain at all times records pertaining to the maintenance, service, or Repair performed by **ATS, Inc.** all of which shall be furnished to **MUNICIPALITY** upon reasonable request; and

(e) Make purchases, and maintain an inventory of, necessary parts and supplies for maintenance, service, or repair of said traffic control signals, including, but not limited to, parts and supplies purchased at the request of **MUNICIPALITY**, which are unique to the traffic control signals in **MUNICIPALITY**; and

(f) **ATS, Inc.** shall maintain, and require all contractors and subcontractors working at **ATS Inc.** direction to maintain, public liability and workmen's compensation insurance and shall submit certificates therefore to **MUNICIPALITY** upon reasonable request.

(g) **ATS, Inc.** shall make final repairs as outlined and warrant all repairs for a period of 30 days at which any additional costs will be the responsibility of the contractor.

**3. HOURLY RATES: MUNICIPALITY and ATS, Inc.** agree that **MUNICIPALITY** shall pay **ATS, Inc.** in accordance with the following hourly rate schedule:

Service personnel - regular business hours	\$85.00
Service personnel - non regular business hours	\$122.50
Flagger / safety personnel - regular business hours	\$58.00
Flagger / safety personnel - non regular business hours	\$82.00
Crane trucks	\$130.00
Auger trucks	\$130.00
Backhoe	\$95.00
Digger derrick	\$130.00

(b) Regular Business Hours. For the purpose of this Agreement "regular business hours" shall be from 7 a.m. to 4 p.m. prevailing time, except Saturday, Sundays and legal holidays. Request for service made outside of Regular Business hours as defined herein, including calls made on Saturday, Sundays and legal holidays, shall be classified as emergency requests for service.

(c) Payment for services. **MUNICIPALITY** agrees to pay **ATS, Inc.** within a period of thirty (30) days after submission of an invoice by **ATS, Inc.** to **MUNICIPALITY**. Payments made by **MUNICIPALITY** after a period of thirty (30) days shall include a late fee of *one and one-half* percent (1.5%) of the total invoice submitted to **MUNICIPALITY** by **ATS, Inc.** Failure of **MUNICIPALITY** to pay **ATS, Inc.** in accordance with the subparagraph shall constitute reasonable grounds and basis for **ATS, Inc.** to terminate the municipal services agreement without any further liability, claim or demand for traffic control maintenance, service and repair by **MUNICIPALITY**.

**4. SERVICE AUTHORIZATION REQUESTS: MUNICIPALITY** agree that **ATS, Inc.** shall be authorized to respond to any request for regular or emergency services upon telephone by any municipal agent, municipal police officer, State police officer, local or county emergency service manager or other duly authorized agent of **MUNICIPALITY** for necessary emergency service or repair of said traffic control signals within estimated time of notification by a representative of **ATS, Inc.**

**5. PREVENTIVE MAINTENANCE.** Routine scheduled maintenance will be performed twice a year and will be paid on a per intersection basis. The maintenance will be performed in accordance with PA Publication 191 and will require the bench testing of conflict monitors twice a year. The pricing per intersection will be as follows:

<b>Intersection</b>	<b>Cost per intersection</b>	<b># of times inspection per year</b>	<b>Total cost per intersection per year</b>
All intersections	\$85.00, includes report and testing results of conflict monitor	2, except if contract is signed the second half of the year	\$170..00
<b>TOTAL COST PREVENTIVE MAINTENANCE PER YEAR</b>			

**6. TRAFFIC CONTROL SIGNALS:** For purposes of this Agreement, "Traffic Control Signals" shall be defined as any device, whether manually, electrically, or mechanically operated, by which vehicular and/or pedestrian traffic is alternately directed to stop and permitted to proceed.

**7. TERM OF AGREEMENT/RENEWAL OF AGREEMENT:** This Agreement shall be in force and effect for a term beginning with the dates hereof and shall continue for a period of two (2) years thereafter. Upon expiration of this Agreement, an option to renew all terms of this agreement can be executed in writing once agreed upon by both parties. Either party may terminate this agreement for any reason by providing the other party with ninety (90) days written notice.

**8. MODIFICATIONS/INTERRETATIONS:** This agreement represents the entire agreement between the parties. All modifications to the Agreement shall be in writing and signed by the authorized representative of the parties, and no verbal modification shall be binding or enforceable in any event. For purposes of contract interpretation, this Agreement shall be construed as if prepared for the benefit of both **Municipality** and **ATS, Inc.**

**9. TERMINATION:** If at any time the **MUNICIPALITY** shall be of the opinion and so certify in writing that **ATS, Inc.** is violating any of the conditions or covenants of this Agreement, or the specifications thereof, or is executing the same in bad faith or not in accordance with the terms thereof, the **MUNICIPALITY** may cancel and terminate this Agreement by a written notice to be served upon **ATS, Inc.** at its office address set forth in this Agreement.

**10. BINDING EFFECT:** This Agreement shall be binding upon all parties hereto and their respective heirs, executors, administrators, successors and assigns.

**11. NOTICES:** All notices, demands and requests under this Service Agreement shall be in writing and shall be deemed given when sent by United States registered and/or certified mail, postage prepaid, return receipt requested, and addressed as follows:

**TO CONTRACTOR:**           **ATS, Inc.**  
                                      **1863 Center Street**  
                                      **Camp Hill, PA 17011**

**TO MUNICIPALITY:**       **Susquehanna Township**  
                                      **Attn: David Pribulka, Township Manager**  
                                      **1900 Linglestown Road**  
                                      **Harrisburg, PA 17110**

Notices, demands and requests which shall be served upon ATS, Inc. and/or **MUNICIPALITY** in the manner aforesaid shall be deemed to have been served and/or given for all purposes hereunder at the time such notice, demand or request shall be mailed by United States registered and/or certified mail as aforesaid, in any post office and/or branch post office regularly maintained by the United States Government. Either party may, by notice given to the other party, designate a new address to which notices, demands and requests shall be sent and, thereafter, any of the foregoing shall be sent to the address most recently designated by such party.

**11. PENNSYLVANIA LAW:** This Agreement shall be construed in accordance with the laws of the Commonwealth of Pennsylvania.

**IN WITNESS WHEREOF,** the parties hereto have executed, or caused to be executed by their duly authorized officials, this Agreement in duplicate, each of which shall be deemed an original on the date first above written.

By: \_\_\_\_\_

By: \_\_\_\_\_

Atlantic Transportation System, Inc.  
Name: Samuel E. Garman  
Title: Vice-President  
Address: 1863 Center Street  
Camp Hill, PA 17011

Susquehanna Township  
Name: David Pribulka  
Title: Township Manager  
Address: 1900 Linglestown Road  
Harrisburg, PA 17110

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**RESOLUTION NO. 2022-R-30**

**A RESOLUTION OF SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP MANAGER TO SIGN A LANDSCAPE SERVICE MAINTENANCE AGREEMENT WITH DAVIS LANDSCAPE, LTD.**

**NOW, THEREFORE, BE IT RESOLVED** that the Township Manager is authorized to execute a maintenance agreement with Davis Landscape, LTD. for a term beginning January 1, 2023 and expiring December 31, 2025.

**BE IT, AND THE SAME IS HEREBY RESOLVED**, this 13<sup>th</sup> day of October 2022.

**SUSQUEHANNA TOWNSHIP  
BOARD OF COMMISSIONERS**

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Frank Lynch, President

**ATTEST:**

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David Pribulka, Secretary



**DAVIS LANDSCAPE LTD**

*Since 1934*

**Customer: Susquehanna TWP  
1900 Linglestown Road  
Harrisburg Pa, 17110**

**Job Name: Susquehanna TWP  
Various Locations**

**LANDSCAPE MAINTENANCE SERVICE 2023  
COSTAR #029-040**

**Seasonal Site Visits, (25 Total Visits for Lots & Parks), (15 Total Visits for Roadway Islands), (30 Total Visits for Sports Fields)**

- Mowing of the property, including perimeter areas, around parking lots, drives, buildings, and common areas.
- Line trimming of all islands, around all light standards, along all curbs, walls, fence lines, buildings, drives, and walks.
- Blow off all sidewalks, driveways, parking lot areas, and common areas.
- Weeding and/or spraying of all beds and islands will be performed.
- Refuse removal/disbursement of the entire location as it relates to **landscape** debris.
- Trees, shrubs, and turf will be inspected for various issues. Any stressed or damaged plant material that needs repair or replacement will be reported to the property manager.

**Shrub Maintenance: ( Office & Park Safety Only)**

- Pruning of all shrubs will be done two times per year in the late spring, and early-mid fall.
- Perennials will be cut back at the appropriate time of year.
- Landscape size trees (15 feet in height) will have low hanging branches and sucker growth pruned one time.

**Spring Cleanup / Mulching: ( Office & Park Safety Only)**

- Will occur once in the spring prior to mulching.
- All beds, lawns will be cleaned of leaves, litter, and all appropriate plant material will be cut back.
- Mechanical edging of all bedded areas, tree saucers, and signage areas.
- Application of a weed barrier herbicide in all beds to retard weed growth and development.
- Beds will be mulched after spring clean up has occurred.
- Mulching of all bedded areas, tree saucers, and signage.

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146 Rupert Road, Raleigh, NC • (919) 662-1009 • Fax (919) 662-3877







**DAVIS LANDSCAPE LTD**

Since 1934

**CONTRACT TERMS AND CONDITIONS**

1. **ACKNOWLEDGMENT, ACCEPTANCE:** Owner has read and understands this Contract and agrees that Contracting Party's written acceptance or commencement of any work or service under this Contract shall constitute Contracting Party's acceptance of these terms and conditions.
2. **PERFORMANCE:** Landscape Contractor agrees to provide all materials, labor, and equipment required to complete all landscape Goods and Services outlined in Exhibit A. The Landscape Contractor shall perform all work in a professional manner and provide adequate supervision of employees while on site. All employees will be dressed uniformly with appropriate identification. The Landscape Contractor shall perform all Services in such a way as to cause minimum inconvenience to the residents and the on-site staff. The Landscape Contractor's trained personnel using current, acceptable horticultural practices shall perform all landscape Goods and Services. Upon completion of Services the Landscape Contractor shall clean up and remove all debris and waste materials from site, unless the Contracting Party grants provisions to utilize on-site trash receptacles. Precautions shall be taken to avoid damage to existing structures. Any damage to existing structures, landscape, signage and irrigation system, etc. caused by the Landscape Contractor shall be repaired promptly by the Landscape Contractor without charge to the Contracting Party.
3. **PRICE TERMS:** For the convenience of the Contracting Party, the monthly charge under this Contract is an average of the total charge of all the work to be performed under the contract, divided by the number of calendar months included in the payment period of the Contract. In the event this contract is terminated by either party, the Landscape Contractor shall be entitled to recover his un-recovered cost incurred through the date of the termination, including a reasonable amount of overhead and profit, and any amount in excess of the monthly charges paid by the client through the date of termination. The reason for this is because substantial portions of the work for the year may be performed in the early months of each year of the contract, including potentially significant mobilization cost in start up and the cost of the work will not be fully recovered by the Landscape Contractor until all monthly payments under the contract have been recovered.
4. **REQUIRED INSURANCE AND INDEMNIFICATION:** The Landscape Contractor shall carry required insurance including worker's compensation, general liability, automobile insurance, and shall hereto all applicable permits or licenses to operate said business. Failure to do so will result in immediate termination to this agreement. (Sus. Twp. Is to be included in additionally insured. It is also to be stated in the general liability box that they are additionally insured.)
5. **NOTICE:** Any notice provided for in this Contract will be sufficient if given by regular mail, certified mail return receipt requested, or by overnight courier service, to the party that is to be notified at the address specified in this Contract. Either party may change its address by giving written notice thereof to the other party.
6. **CANCELLATION:** If either party breaches the terms of the Contract, the other party has the right to give thirty (30) days written notice to correct the breach. If at the end of thirty (30) days the unsatisfactory condition still exists, this contract may be terminated. However, monetary gain or lower bid shall not be a provision for cancellation.
7. **Liability:** Davis Landscape LTD cannot be held liable for damage done to private or temporary utilities and private property (i.e., siding, down spouts, furniture, etc..) located within 6" of turf.

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# DAVIS LANDSCAPE LTD

Since 1934

8. Existing Site Conditions: Jobs that have not been maintained close to scope specified within contract specifications may need additional work to bring job up to a maintainable standard. Any additional costs will be identified prior to commencement of work.

9. ENTIRE AGREEMENT: This Contract, together with any attachments, exhibits, or supplements, specifically referenced in this Contract, constitutes the entire agreement between Landscape Contractor and Contracting Party with respect to the matters contained herein and supersedes all prior oral and written representations and agreements. This Contract may only be modified by a written instrument executed by both parties. Each entity that executes this Contract on behalf of the Landscape Contractor shall be deemed to have executed this Contract only to the extent that such entity is the owner or manager of the applicable property.

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The undersigned parties warrant that they are authorized representatives of their respective companies and have the requisite authority to bind their employer and/or principal. This agreement is not a binding contracting until signed by all parties.

Executed as of the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

### Landscape Contractor

DAVIS LANDSCAPE LTD.

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

### Contracting Party

\_\_\_\_\_

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_



# DAVIS LANDSCAPE LTD

Since 1934

## 2023 Season:

<u>Susquehanna Township - Lots</u>	<u>Price based on 25 cuts</u>
2nd Street behind Taco Bell	\$1,512.00
2nd Street Cul - De - Sac	\$4,152.00
(3) Heister Road	\$3,384.00
6th Street & 81 Bridge	\$1,224.00
6th Street & Fire House	\$1,740.00
6th Street Rain Garden	\$2,520.00
25th & Highland	\$1,452.00
27th & Catherine	\$1,704.00
32nd & Elm Street	\$1,740.00
36th & Brookfield	\$1,836.00
Bogar & Koda	\$1,644.00
Crooked Hill & Reichert	\$2,172.00
Durham & Green Street	\$1,512.00
Durham Road	\$2,124.00
Edgemont Firehouse	\$1,740.00
Foster & Parkway	\$1,584.00
Green Street	\$2,040.00
Green Street Extended	\$1,836.00
Greenawalt Street	\$2,460.00
Holly Circle	\$2,520.00
Kahn Road Bridge	\$1,320.00
Office & Park Safety	\$10,188.00
Union Deposit & Redwood	\$1,680.00
Union Deposit & Woods Street	\$5,244.00
Walker Mill Retention Pond	<u>\$3,144.00</u>
<b>TOTAL:</b>	<b><u>\$62,472.00</u></b>



# DAVIS LANDSCAPE LTD

Since 1934

## Susquehanna Township - Islands

### Price based on 15 cuts

Canby Street	\$1,380.00
Crooked Hill N. of Linglestown Rd.	\$1,380.00
Oakhurst Court	\$960.00
Oxford Court	<u>\$1,884.00</u>
<b>TOTAL:</b>	<b><u>\$5,604.00</u></b>

## Susquehanna Township - Parks

### Price based on 25 cuts

Apple Creek Park	\$5,580.00
Margarets & Waverly Woods	\$2,652.00
39th Street	\$2,808.00
Beaufort	\$4,080.00
Crown Point	\$5,364.00
Edgemont	\$9,648.00
McNaughton	\$8,940.00
Olympic Heights	\$3,516.00
Shutt Mill	\$3,636.00
Stabler	\$5,004.00
Veterans	<u>\$16,140.00</u>
<b>TOTAL:</b>	<b><u>\$67,368.00</u></b>

## Susquehanna Township - Sports Fields

### Price based on 30 cuts

Edgemont	\$3,228.00
McNaughton	\$5,040.00
Stabler	\$4,668.00
Veterans	<u>\$17,760.00</u>
<b>TOTAL:</b>	<b><u>\$30,696.00</u></b>

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# DAVIS LANDSCAPE LTD

Since 1934

## Susquehanna Township – Pump Stations

## Price based on 25 cuts

Wayne Avenue	\$1,200.00
Appletree Road	\$1,776.00
Blue Ridge	\$1,428.00
North 2 <sup>nd</sup> . Street	\$1,152.00
Fox Run	<u>\$2,160.00</u>
<b>TOTAL:</b>	<b><u>\$7,716.00</u></b>

## Susquehanna Township – Additional Locations

## Price based on 25 cuts

Wedgewood Hills	\$3,660.00
Boyd Park	\$1,896.00
Logan Farm Berm & Trail	\$1,404.00
Pine Street & Stanley Drive	<u>\$4,140.00</u>
<b>TOTAL:</b>	<b><u>\$11,100.00</u></b>

## Susquehanna Township – Additional Locations

## Price based on 8 Brush Hoggings

Margaret's Grove	<u>\$6,156.00</u>
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**GRAND TOTAL:** **\$191,112.00**



# DAVIS LANDSCAPE LTD

Since 1934

## 2024 Season:

### Susquehanna Township - Lots

### Price based on 25 cuts

2nd Street behind Taco Bell	\$1,560.00
2nd Street Cul - De - Sac	\$4,284.00
(3) Heister Road	\$3,492.00
6th Street & 81 Bridge	\$1,260.00
6th Street & Fire House	\$1,800.00
6th Street Rain Garden	\$2,592.00
25th & Highland	\$1,500.00
27th & Catherine	\$1,752.00
32nd & Elm Street	\$1,800.00
36th & Brookfield	\$1,896.00
Bogar & Koda	\$1,692.00
Crooked Hill & Reichert	\$2,244.00
Durham & Green Street	\$1,560.00
Durham Road	\$2,184.00
Edgemont Firehouse	\$1,800.00
Foster & Parkway	\$1,632.00
Green Street	\$2,100.00
Green Street Extended	\$1,896.00
Greenawalt Street	\$2,532.00
Holly Circle	\$2,592.00
Kahn Road Bridge	\$1,356.00
Office & Park Safety	\$10,500.00
Union Deposit & Redwood	\$1,728.00
Union Deposit & Woods Street	\$5,400.00
Walker Mill Retention Pond	<u>\$3,240.00</u>
<b>TOTAL:</b>	<b><u>\$64,392.00</u></b>



# DAVIS LANDSCAPE LTD

Since 1934

## Susquehanna Township - Islands

### Price based on 15 cuts

Canby Street	\$1,428.00
Crooked Hill N. of Linglestown Rd.	\$1,428.00
Oakhurst Court	\$984.00
Oxford Court	<u>\$1,944.00</u>
<b>TOTAL:</b>	<b><u>\$5,784.00</u></b>

## Susquehanna Township - Parks

### Price based on 25 cuts

Apple Creek Park	\$5,748.00
Margarets & Waverly Woods	\$2,736.00
39th Street	\$2,892.00
Beaufort	\$4,200.00
Crown Point	\$5,532.00
Edgemont	\$9,936.00
McNaughton	\$9,204.00
Olympic Heights	\$3,624.00
Shutt Mill	\$3,744.00
Stabler	\$5,160.00
Veterans	<u>\$16,632.00</u>
<b>TOTAL:</b>	<b><u>\$69,408.00</u></b>

## Susquehanna Township - Sports Fields

### Price based on 30 cuts

Edgemont	\$3,324.00
McNaughton	\$5,196.00
Stabler	\$4,812.00
Veterans	<u>\$18,300.00</u>
<b>TOTAL:</b>	<b><u>\$31,632.00</u></b>

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# DAVIS LANDSCAPE LTD

Since 1934

## Susquehanna Township – Pump Stations

## Price based on 25 cuts

Wayne Avenue	\$1,236.00
Appletree Road	\$1,824.00
Blue Ridge	\$1,476.00
North 2 <sup>nd</sup> . Street	\$1,188.00
Fox Run	<u>\$2,220.00</u>
<b>TOTAL:</b>	<b><u>\$7,944.00</u></b>

## Susquehanna Township – Additional Locations

## Price based on 25 cuts

Wedgewood Hills	\$3,780.00
Boyd Park	\$1,956.00
Logan Farm Berm & Trail	\$1,452.00
Pine Street & Stanley Drive	<u>\$4,260.00</u>
<b>TOTAL:</b>	<b><u>\$11,448.00</u></b>

## Susquehanna Township – Additional Locations

## Price based on 8 Brush Hoggings

Margaret's Grove	<u>\$6,348.00</u>
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**GRAND TOTAL:** **\$196,956.00**





# DAVIS LANDSCAPE LTD

Since 1934

## 2025 Season:

### Susquehanna Township - Lots

### Price based on 25 cuts

2nd Street behind Taco Bell	\$1,596.00
2nd Street Cul - De - Sac	\$4,380.00
(3) Heister Road	\$3,564.00
6th Street & 81 Bridge	\$1,296.00
6th Street & Fire House	\$1,836.00
6th Street Rain Garden	\$2,652.00
25th & Highland	\$1,536.00
27th & Catherine	\$1,788.00
32nd & Elm Street	\$1,836.00
36th & Brookfield	\$1,944.00
Bogar & Koda	\$1,728.00
Crooked Hill & Reichert	\$2,292.00
Durham & Green Street	\$1,596.00
Durham Road	\$2,232.00
Edgemont Firehouse	\$1,836.00
Foster & Parkway	\$1,668.00
Green Street	\$2,148.00
Green Street Extended	\$1,944.00
Greenawalt Street	\$2,592.00
Holly Circle	\$2,652.00
Kahn Road Bridge	\$1,392.00
Office & Park Safety	\$10,716.00
Union Deposit & Redwood	\$1,764.00
Union Deposit & Woods Street	\$5,508.00
Walker Mill Retention Pond	<u>\$3,312.00</u>
<b>TOTAL:</b>	<b><u>\$65,808.00</u></b>



# DAVIS LANDSCAPE LTD

Since 1934

<u>Susquehanna Township - Islands</u>	<u>Price based on 15 cuts</u>
Canby Street	\$1,464.00
Crooked Hill N. of Linglestown Rd.	\$1,464.00
Oakhurst Court	\$1,008.00
Oxford Court	<u>\$1,992.00</u>
<b>TOTAL:</b>	<b><u>\$5,928.00</u></b>

<u>Susquehanna Township - Parks</u>	<u>Price based on 25 cuts</u>
Apple Creek Park	\$5,868.00
Margarets & Waverly Woods	\$2,796.00
39th Street	\$2,952.00
Beaufort	\$4,284.00
Crown Point	\$5,652.00
Edgemont	\$10,140.00
McNaughton	\$9,396.00
Olympic Heights	\$3,708.00
Shutt Mill	\$3,828.00
Stabler	\$5,268.00
Veterans	<u>\$16,968.00</u>
<b>TOTAL:</b>	<b><u>\$70,860.00</u></b>

<u>Susquehanna Township - Sports Fields</u>	<u>Price based on 30 cuts</u>
Edgemont	\$3,396.00
McNaughton	\$5,304.00
Stabler	\$4,920.00
Veterans	<u>\$18,672.00</u>
<b>TOTAL:</b>	<b><u>\$32,292.00</u></b>



# DAVIS LANDSCAPE LTD

Since 1934

## Susquehanna Township – Pump Stations

## Price based on 25 cuts

Wayne Avenue	\$1,260.00
Appletree Road	\$1,860.00
Blue Ridge	\$1,512.00
North 2 <sup>nd</sup> . Street	\$1,212.00
Fox Run	<u>\$2,268.00</u>
<b>TOTAL:</b>	<b><u>\$8,112.00</u></b>

## Susquehanna Township – Additional Locations

## Price based on 25 cuts

Wedgewood Hills	\$3,864.00
Boyd Park	\$2,004.00
Logan Farm Berm & Trail	\$1,488.00
Pine Street & Stanley Drive	<u>\$4,356.00</u>
<b>TOTAL:</b>	<b><u>\$11,712.00</u></b>

## Susquehanna Township – Additional Locations

## Price based on 8 Brush Hoggings

Margaret's Grove	\$6,480.00
------------------	------------

**GRAND TOTAL:** **\$201,192.00**



**DESIGNING ENVIRONMENTS**

2201 North Front Street, Suite 200 :: Harrisburg, PA 17110  
717.635.2835 :: www.kandwengineers.com

August 5, 2022

Susquehanna Township Planning Commission  
Attn: Mack Breech  
1900 Linglestown Road  
Harrisburg, PA 17110

Re: 2703 George Street  
Preliminary/Final Lot Consolidation Plan  
K&W Project No. 2340.001

Dear Mack:

In conjunction with the above-referenced project, the Applicant respectfully requests consideration of waiver from the requirements of the following section of the Susquehanna Township Subdivision and Land Development Ordinance.

**§22-404 – Preliminary Plan Procedures**

This Section states that, "It is at the discretion of the applicant whether he/she submits a preliminary plan or a preliminary/final plan. However, submission of the preliminary/final plan excuses the applicant from submitting a separate preliminary plan and stands as both a preliminary and final plan." Fred Wofford is requesting a waiver to submit a Preliminary/Final Plan.

If you should have any questions or require any additional information regarding this waiver request, please do not hesitate to contact me. Thank you.

Very truly yours,

**K&W**

A handwritten signature in black ink that reads "Dennis P. Burkhard".

Dennis P. Burkhard, P.L.S.  
Sr. Professional Land Surveyor

Enclosure(s)

CC:



**Staff Report – Preliminary/Final Lot Consolidation Plan**  
 2703 George Street

<b>Request:</b>	Consolidate the existing two lots into a single lot		
<b>Deadline:</b>	09.24.2022		
<b>Consultants:</b>	Kurowski & Wilson, LLC		
<b>Property Owners:</b>	Fred Wofford		
<b>Parcel IDs:</b>	62-029-132, 62-029-133		
<b>Zoning District:</b>	R-2- Medium Density Residential District		
<b>Prepared By:</b>	Mack Breech Community Planner & Zoning Administrator		
<b>Items Reviewed:</b>	<i>Submission</i>	<i>Dated</i>	<i>Last Revised</i>
	Preliminary/Final Lot Consolidation Plan	06.30.2022	07.27.2022
	Comment Response Letter	08.05.2022	
	Waiver Request Letter	08.05.2022	

**Project Summary:**

This proposed lot consolidation is located at the corner of George Street and 27<sup>th</sup> Street in the Edgemont Neighborhood. Fred Wofford owns lot 1 (62-029-132) and lot 2 (62-029-133). Currently, lot 1 is .23-acres and lot 2 is .10-acres. The applicant seeks to combine these two lots into a new .33-acre lot. This project is located in the R-2 Medium Density Zoning District. (Ward 3)

**Waivers/Modifications:**

§ 22-404 – Preliminary Plan Procedures

**Staff Review Comments:**

Zoning:

- I. No additional comments

Subdivision and Land Development:

- I. A waiver for sidewalks is not needed due to the lack of sidewalks in the adjacent area [§22-1107.H]

**Consistency with the Official Map:**

This plan is consistent with the adopted Official Map.

**Consistency with the Comprehensive Plan:**

This plan is consistent with the Comprehensive Plan.

**Recommendations:**Waivers:

- I. § 22-404 – Preliminary Plan Procedures: Staff recommends approval of the waiver request, due to the minor nature of the Plan

Plan Approval:

- I. Staff recommends approval of the plan.





369 East Park Drive  
Harrisburg, PA 17111  
717.564.1121  
www.hrg-inc.com



## FINAL MINOR SUBDIVISION REVIEW LETTER #2

**Susquehanna Township**  
Attn: Betsy Logan

**2703 George Street**

AUGUST 13, 2022

We have completed our review of the following information for the above-referenced project:

Submission:	Dated:	Last Revised:
Plan Sheets 1 of 1 (Plan)	July 7, 2022	July 27, 2022

The applicant has submitted the following requests for relief:

#	Requested Waiver(s):	Ordinance Section:
1	Preliminary Plan Requirements	§22-404

We offer the following comments:

### Administrative Items to be Completed Prior to/Upon Plan Approval

1. The applicant shall pay all required fees [22-1402].
2. The applicant shall provide all required signatures and seals [403.B.8.b].

*This review is based solely on the documents referenced above and does not relieve the design professional of any responsibility, nor does it imply any design responsibility by Herbert, Rowland & Grubic, Inc. HRG reserves the right to make additional comments in the future based on newly-supplied or revised information as provided by the applicant or their representative(s).*

HERBERT, ROWLAND & GRUBIC, INC.

Alex Greenly, PE

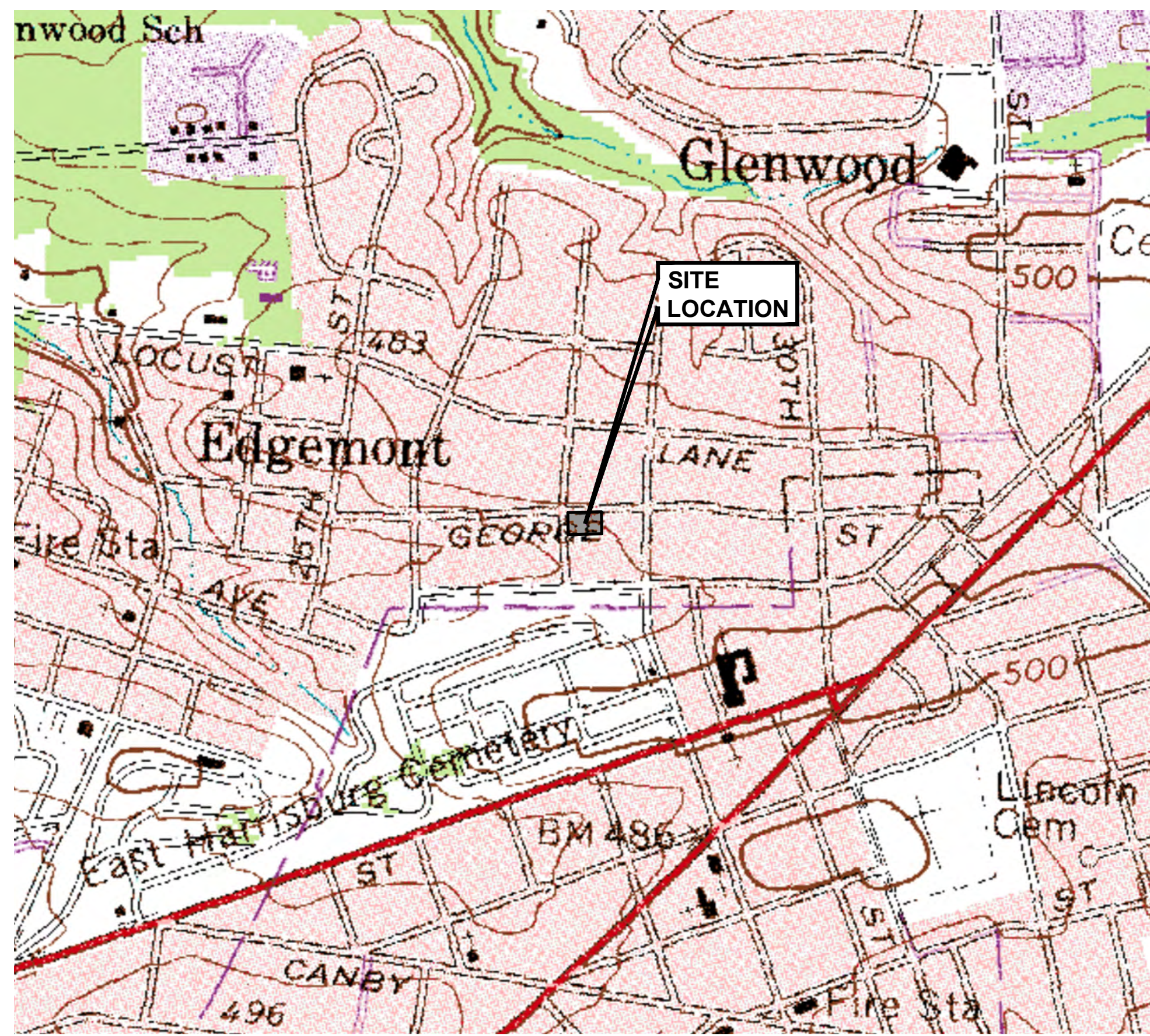
R000242.0002 (Phase 1270)

P:\0002\000242\_0002\1270 2703 George Street\A - PLAN REVIEW\PR#2 - PH 1270 2703 George Street.docx

# PRELIMINARY/FINAL LOT CONSOLIDATION PLAN

## FOR 2703 GEORGE STREET

### SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA



**LOCATION MAP**

SCALE: 1"=500 FEET

#### TOWNSHIP PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP

PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### TOWNSHIP ENGINEER

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

TOWNSHIP ENGINEER \_\_\_\_\_

#### TOWNSHIP BOARD OF COMMISSIONERS

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS,  
AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

PRESIDENT \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### DAUPHIN COUNTY PLANNING COMMISSION

THIS PLAN RECOMMENDED FOR APPROVAL BY THE DAUPHIN COUNTY PLANNING COMMISSION

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### CERTIFICATION OF ACCURACY (SURVEY)

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

\_\_\_\_\_, 20\_\_

SURVEYOR'S SIGNATURE AND SEAL



#### CERTIFICATION OF ACCURACY (PLAN)

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.

\_\_\_\_\_, 20\_\_

(ENGINEER'S SIGNATURE AND SEAL)



#### CERTIFICATE OF OWNERSHIP, ACKNOWLEDGMENT OF PLAN

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DAUPHIN

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ BEFORE THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_ OF THE DEPARTMENT OF GENERAL SERVICES OF THE COMMONWEALTH OF PENNSYLVANIA, WHO, BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND CONFIRMS THAT THE COMMONWEALTH OF PENNSYLVANIA, ACTING BY AND THROUGH THE DEPARTMENT OF GENERAL SERVICES, IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT HE IS AUTHORIZED TO EXECUTE THIS PLAN ON BEHALF OF THE DEPARTMENT OF GENERAL SERVICES, THAT THIS PLAN IS THE ACT AND DEED OF THE DEPARTMENT OF GENERAL SERVICES, AND THAT THE DEPARTMENT OF GENERAL SERVICES DESIRES THIS PLAN TO BE RECORDED.

NAME: \_\_\_\_\_

TITLE: \_\_\_\_\_

SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

NOTARY PUBLIC

MY COMMISSION EXPIRES \_\_\_\_\_

#### OWNER / APPLICANT

FRED WOFFORD  
P O BOX 5418  
HARRISBURG, PA 17110  
TELEPHONE: 717.421.6975  
CONTACT: FRED WOFFORD

#### PLAN PREPARER

KUROWSKI AND WILSON, LLC  
2201 NORTH FRONT STREET, SUITE 200  
HARRISBURG, PA 17110  
TELEPHONE: 717.635.2835  
FAX: 717.635.2836  
PROJECT MANAGER: DENNIS P. BURKHARD, P.L.S.

#### GENERAL NOTES

- THE PURPOSE OF THIS PLAN IS TO COMBINE LOT 1A, LOT 1B, AND LOT 2 INTO ONE COMMON PARCEL.
- AT THE TIME OF THIS SURVEY, NO STRUCTURES OR IMPERVIOUS SURFACE EXIST ON LOT 2.
- NO RECORDED EASEMENTS ARE PRESENT FOR THE SUBJECT PARCEL(S).
- NO DEVELOPMENT IS TO TAKE PLACE AS A RESULT OF THIS PLAN. IN THE EVENT OF ANY POSSIBLE FUTURE DEVELOPMENT ON THESE LOTS, SUFFICIENT PLANS AND DATA MUST FIRST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE PROPER LOCAL, COUNTY AND STATE AGENCIES.
- ALL FUTURE DEVELOPMENT TAKING PLACE ON THE CONSOLIDATED LOT SHOWN SHALL BE COMPLIANT WITH THE STANDARDS OF THE R-2 MEDIUM DENSITY RESIDENTIAL DISTRICT.
- NO DEDICATION OF RIGHTS-OF-WAY ARE PLANNED FOR THIS LOT CONSOLIDATION.

#### SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	LOT CONSOLIDATION PLAN

\* NOTE: ALL SHEETS OF THE PLAN SET SHALL BE RECORDED

#### ZONING DATA

R-2, MEDIUM-DENSITY RESIDENTIAL DISTRICT

PERMITTED USE: SINGLE-FAMILY DETACHED DWELLING UNIT

ACCESSORY USES: PRIVATE GARAGES, PLAYHOUSES, GARDEN HOUSES OR GREEN HOUSES NOT USED FOR COMMERCIAL PURPOSES;  
PRIVATE SWIMMING POOLS, IN ACCORDANCE WITH § 27-2042

	REQUIRED	EXISTING LOT 1	LOT 2	PROPOSED
MIN. LOT AREA (SQ. FT.)	10,000	10,125	4,500*	14,625
MIN. LOT WIDTH	75 FT.	67.5 FT.*	30 FT.*	97.5 FT.
MAX. IMPERV. COV.	40%	8.45%	N/A	5.85%
BLDG. SETBACKS				
FRONT YARD	30 FT.	13.9 FT.*	N/A	13.9 FT.*
SIDE YARD	8 FT.	N/A	N/A	N/A
REAR YARD	30 FT.	17.9 FT.*	N/A	47.9 FT.
MAX. BLDG. HEIGHT	30 FT.	<30 FT.	N/A	<30 FT.

BUFFER YARDS FOR NONRESIDENTIAL STRUCTURES: BUFFER YARDS SHALL BE REQUIRED FOR ANY NONRESIDENTIAL STRUCTURE WHEN ABUTTING A RESIDENTIAL USE OF DISTRICT IN ACCORDANCE WITH § 27-2106, SUBSECTION 5.

\* INDICATES A NON-CONFORMITY (UNDER CURRENT ZONING REGULATIONS)

PROFESSIONAL SEAL

SCALE: \_\_\_\_\_ AS SHOWN

DATE: JUNE 30, 2022

K&W PROJECT: 2340.001

DRAWN BY: JTM

CAD DRAWING: 2340001-02\_vr\_SUR.dwg

NO.	DATE	DESCRIPTION
1	JULY 27, 2022	REVISED PER TOWNSHIP/COUNTY REVIEW COMMENTS
2		
3		
4		
5		
6		
7		

PLAN TYPE:

**COVER SHEET**

SHEET:



NO.	DATE	DESCRIPTION
1	JULY 27, 2022	REVISED PER TOWNSHIP/COUNTY REVIEW COMMENTS
2		
3		
4		
5		
6		
7		

PLAN TYPE:  
**EXISTING CONDITIONS PLAN**

**SITE DATA**

**LOTS 1A & 1B:**  
OWNER: FRED WOFFORD  
SITE ADDRESS: 2703 GEORGE ST.  
HARRISBURG, PA 17109  
PARCEL ID: 62-029-132-000-0000  
DEED REFERENCE: INST. 20150032291

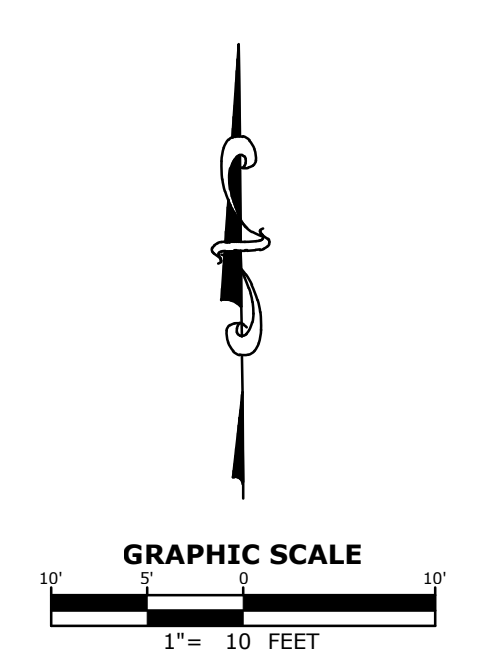
**LOT 2:**  
OWNER: FRED WOFFORD  
SITE ADDRESS: 27TH ST.  
HARRISBURG, PA 17109  
PARCEL ID: 62-029-133-000-0000  
DEED REFERENCE: INST. 20100032812

**SURVEY NOTES**

- THIS SURVEY WAS PERFORMED AND MAPPING PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY K&W ENGINEERS AND CONSULTANTS, COMPLETED IN JUNE, 2022.
- PROPERTY LINES SHOWN ARE BASED ON PROPERTY CORNER MARKERS AND OTHER EVIDENCE FOUND, CURRENT DEEDS OF RECORD, AND THE FOLLOWING PLAN:  
PB D-1, Pg. 15
- LOTS 57 THRU 59, AS SHOWN ON "PLAN OF GLENWOOD, HARRISBURG, PA", SUBDIVISION PLAN, RECORDED IN PLAN BOOK D-1, PAGE 15.
- BEARINGS ARE BASED ON PENNSYLVANIA STATE PLANE COORDINATES, SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- RIGHT-OF-WAY LINES FOR ALL STREETS DEPICTED ON THIS PLAN ARE BASED ON FIELD SURVEY LOCATIONS, AND PLAN BOOK D-1, PAGE 15.
- PRIMARY CONTROL POINT IS A FOUND MAG NAIL AT ORIGINAL PROPERTY CORNER, ELEVATION: 460.29'.
- THE SUBJECT PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN THE 100-YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR SUSQUEHANNA TOWNSHIP, COMMUNITY PANEL NO. 420397 0340, MAP NUMBER 42043C0340D, EFFECTIVE DATE AUGUST 2, 2012.

**LEGEND**

- EXISTING AND DEMOLITION FEATURES
- EDGE OF PAVED BITUMINOUS SURFACE
  - CENTER LINE
  - PROPERTY BOUNDARY LINE
  - IRON PIN OR PIPE
  - ADJOINING PROPERTY BOUNDARY LINE
  - LEGAL RIGHT OF WAY LINE
  - MINIMUM BUILDING SETBACK LINE
  - BUILDING



N/F  
Seth Sochrist  
2700 George St.  
Tax Parcel 62-029-096-000-0000  
Deed Ref. - Inst. 20180026489  
Plan Bk. D-1, Pg. 15

N/F  
Jessie Lynn Drawbaugh  
303 N. 28th St.  
Tax Parcel 62-029-098-000-0000  
Deed Ref. - Inst. 20070028784  
Plan Bk. D-1, Pg. 15

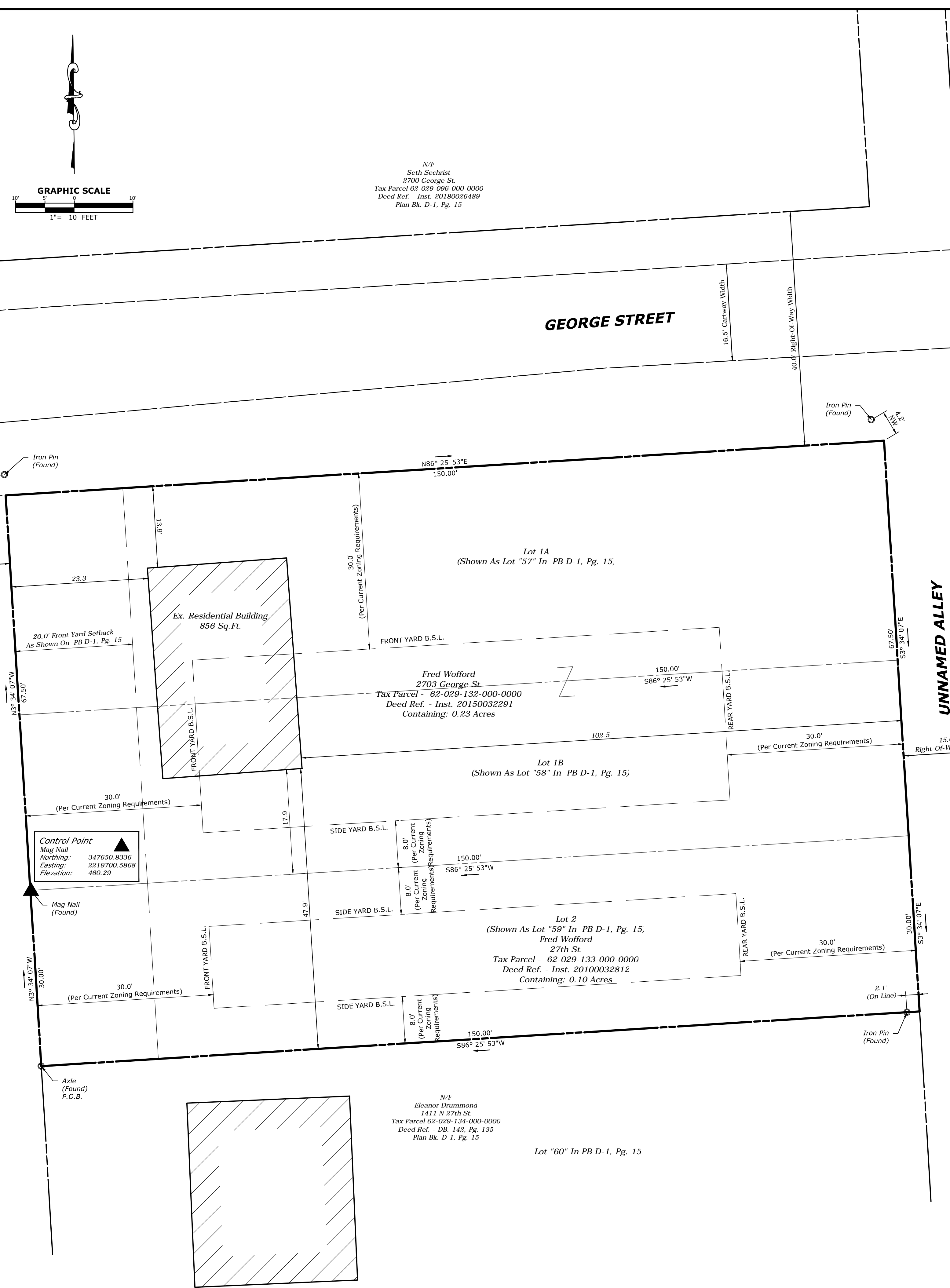
N/F  
Claudette M. Burnett  
2808 George St.  
Tax Parcel 62-029-093-000-0000  
Deed Ref. - Inst. 20110034946  
Plan Bk. D-1, Pg. 15

N/F  
Paula L. Dunbar  
2827 George St.  
Tax Parcel 62-029-127-000-0000  
Deed Ref. - DB. 4279, Pg. 110  
Plan Bk. D-1, Pg. 15

N/F  
Ramon Leonardo Lopez  
217 N. 28th St.  
Tax Parcel 62-029-136-000-0000  
Deed Ref. - Inst. 20220007378  
Plan Bk. D-1, Pg. 15

N/F  
Eleanor Drummond  
1411 N 27th St.  
Tax Parcel 62-029-134-000-0000  
Deed Ref. - DB. 142, Pg. 135  
Plan Bk. D-1, Pg. 15

**Control Point**  
Mag Nail  
Northings: 347630.8336  
Eastings: 2219700.5868  
Elevation: 460.29



\\s01\proj\mch\proj\2022\2340\2340.dwg (11/11/2022 10:00:00 AM) PLOTTED BY: JTM





June 10, 2022

Betsy Logan  
Community & Economic Development Director  
Susquehanna Township  
1900 Linglestown Road,  
Harrisburg, PA 17110

**Re: The Estates at Margaret's Grove, Phase 2 Waiver Request Letter**

Dear Betsy,

On behalf of our client, The McNaughton Company, we are submitting the following waiver requests for review and approval with the above referenced plan:

**Waiver Request: 19-501.4.B Swale Side Slopes Not Being Steeper than 3:1**

***Proposed Alternative:*** Provide a 3:1 side slope for the southern side of Swale 1 and a 2:1 side slope for the northern side of Swale 1.

***Justification Per 19-501.4.B:***

- A. The 2:1 side slope along the northern side of Swale 1 establishes the foot of a larger cut slope to the north. Utilizing a 2:1 side slope helps to minimize the footprint of the slope, reducing the impact on the forested areas and steep slopes to the north of the swale.
- B. Stabilization analyses have been provided for Swale 1, verifying that the 2:1 side slope is adequate for the permanent stabilization of the swale.

**Waiver Request: 22-1107 Sidewalks Along Both Sides of Mountain Ridge Drive**

***Proposed Alternative:*** Provide a sidewalk along one side of Mountain Ridge Drive rather than along both sides.

***Justification Per 22-1107.1:***

- A. The sidewalk along both sides of Mountain Ridge Drive is not needed due to the low density of the proposed residential lots, the rural setting of the proposed development and the lack of connecting communities to this portion of the project.
- B. This project is located in the wooded area to the north of the previously constructed Phase 1 of the Estates at Margaret's Grove, and there is no current pedestrian traffic. The pedestrian traffic generated within the development area would be generally limited to the homes being constructed with this phase and the dwellings constructed as part of future phases of the Estates at Margaret's Grove. Residents from previous phases of the Margaret's Grove and Deer Path Woods projects may also generate recreational pedestrian traffic. There is no opportunity

- for future developments to connect to these phases of the Estates at Margaret's Grove, further limiting the potential for pedestrian traffic. This project will not serve as a means to access commercial or neighboring high density residential areas. Sidewalks along one side of Mountain Ridge Drive would be adequate to meet the pedestrian traffic needs that are projected.
- C. There are no topographical or other features that would prevent installation of sidewalks along both sides of Mountain Ridge Drive, however installing sidewalk on both sides of the street would result in increased disturbance of forested and steep slope areas.
  - D. The developer is proposing sidewalk along the entire length of one side of Mountain Ridge Drive, which would be adequate to serve dwellings on both sides of the street.
  - E. Cost is not the motivating factor for the waiver request as the main purpose of the waiver is to limit disturbance and impervious areas that would have a negative impact on the existing natural areas. At \$40 per SY, a 4 foot wide sidewalk for 526 feet of sidewalk is \$9,351.
  - F. This site is one of the last vacant, developable lots in the area, so no future vehicular traffic as a result development projects is anticipated beyond the final phases of the Estates at Margaret's Grove.

Please distribute these materials accordingly. Please contact our office if you need additional information or if you have any questions.

Sincerely,

*Benjamin S. Heisey*

Benjamin S. Heisey, P.E.



**Staff Report – Final Subdivision and Land Development Plan**

Estates at Margaret’s Grove Phase 2  
Chatham Way and Margaret Lane

<b>Request:</b>	Create 11 new parcels and 10 new single-family homes		
<b>Deadline:</b>	09.25.2022		
<b>Developer:</b>	The McNaughton Company		
<b>Consultants:</b>	RJ Fisher & Associates, Inc.		
<b>Property Owner:</b>	The McNaughton Company		
<b>Parcel ID:</b>	62-004-005		
<b>Zoning District:</b>	Residential Urban (R-4)		
<b>Prepared By:</b>	Mack Breech Community Planner & Zoning Administrator		
<b>Items Reviewed:</b>	<b>Submission</b>	<b>Dated</b>	<b>Last Revised</b>
	Final Subdivision & Land Development Plan	06.10.2022	08.05.2022
	PCSM Report	06.10.2022	
	Drainage Maps	06.10.2022	
	Waivers and Modifications Letter	06.10.2022	
	Comment Response Letter	08.05.2022	

**Project Summary:**

The McNaughton Company proposes to create eleven new parcels and develop ten single-family homes as Phase Two of the Estates at Margaret’s Grove project. The site currently is occupied by a single parcel (62-004-005). The current parcel is located at the northernmost extension of Chatham Way. Currently, the proposed sites are occupied by forest and wooded areas.

Access will be provided by extending Chatham Way and constructing a new cul-de-sac. The proposed new lots range from .485 acres to 1.014 acres in size. Additionally, the project calls for related site improvements such as Stormwater management infrastructure, sidewalks, streetlights, and mobility infrastructure. This project is located in the R-4 Residential Urban Zoning District. (Ward 2)

**Waivers/Modifications:**

- §19-501.4.B: Swale and Side Slopes Not Being Steeper than 3:1
- §22-1107: Sidewalks Along Both Sides of Mountain Ridge Drive

**Staff Review Comments:**

Zoning:

- I. No comments

Subdivision & Land Development:

- I. All of Chatham Way is considered a cul-de-sac. The maximum allowable length for a cul de sac is 800 feet. It appears the cul-de-sac exceeds the maximum length. Revise the plan or request a waiver. [§22.502.4.D]

*New comment: "Cul-de-sac streets serving residential uses, **permanently** designed as such, shall not exceed 800 feet in length and shall not furnish access to more than 24 dwelling units." [§22.502.4.D] This is not the final design for this project. During a later phase, Mountain Ridge Drive will be completed, making the total length of the cul de sac less than 800 feet. Due to this, a waiver or revision is not needed.*

Stormwater:

- I. No Comments

Fire Marshal Comments:

- I. No Comments

Susquehanna Township Authority

- I. Attached as a separate document.

**Consistency with Comprehensive Plan:**

The preliminary plan was approved before the adoption of the Susquehanna Township Comprehensive Plan. This project does not have any connections to the goals of the Comprehensive Plan. Specifically, this project does not address bicycle and pedestrian connectivity and applied for a sidewalk waiver, limiting the potential for growth of pedestrian/bicycle connections in the area. Overall, this plan does not meet any of the major goals of the Susquehanna Township Comprehensive Plan.

**Consistency with the Official Map:**

This project is consistent with the Susquehanna Township Official Map.

**Recommendation:**

Waivers



1. §19-501.4.B: Swale and Side Slopes Not Being Steeper than 3:1 - Staff recommends approval of this waiver request, due to Stormwater flow not being negatively impacted by this request.
2. §22-1107: Sidewalks Along Both Sides of Mountain Ridge Drive: Staff recommends further discussion by the Planning Commission on this waiver request.

#### Plan Approval

Staff recommends approval of the plan with the following conditions:

1. All comments provided by Township Staff, the Township Engineer, and Dauphin County Planning Commission are addressed.
2. All recreation fees are to be paid before the release of plans for recording.
3. A stormwater Operations and Maintenance (O&M) agreement provided for review and approval before releasing plans for recording plans. The O&M agreement must also be recorded.
4. Provide executed easements for the installed storm sewer facilities.
5. Provide financial security for the timely, proper, and complete construction of all applicable improvements including but not limited to paving, sidewalks, curbing, stormwater management facilities, erosion and sediment controls, etc. prior to the approval of the Final Plan.





369 East Park Drive  
 Harrisburg, PA 17111  
 717.564.1121  
 www.hrg-inc.com



## SUBDIVISION & LAND DEVELOPMENT REVIEW LETTER #2

**Susquehanna Township**  
 Attn: Betsy Logan

### Estates at Margaret's Grove, Phase 2

AUGUST 14, 2022

We have completed our review of the following information for the above-referenced project:

Submission:	Dated:	Last Revised:
Final Land Development Plan Sheets 1-20 of 20 (Plan)	June 10, 2022	August 5, 2022
PCSM Plan Sheets 1-14 of 14	June 10, 2022	August 5, 2022
PCSM Report	May 24, 2022	August 5, 2022
Waiver Request	June 10, 2022	---

The following waivers have been requested by the Applicant:

Requested Waiver(s):	Ordinance Section:
Swale Side Slopes Not Being Steeper Than 3:1	Chapter 19-501.4.B
Sidewalk Along Both Sides of Mountain Ride Drive	Chapter 22-1107

We offer the following comments:

### Subdivision and Land Development (Chapter 22)

1. Provide a lighting plan to demonstrate adequate nighttime safety and security while minimizing spillover of light pollution. According to the provided Lighting Plan, it appears much of the proposed sidewalk will not have sufficient lighting [22-506].

### Administrative Items to be Completed Prior to/Upon Plan Approval

1. Provide financial security for the timely, proper, and complete construction of all applicable improvements including but not limited to paving, sidewalks, curbing, stormwater management facilities, erosion, and sediment controls, etc. prior to approval of the Final Plan [22-406.4].
2. Provide certificates of agreement from all applicable utility companies for this phase [22-407.1.A.20.d]
3. Provide evidence that the revised PCSM plan and PCSM report has been reviewed and approved by the Dauphin County Conservation District and/or PADEP [19-602.2.C.4].
4. Provide a copy of the approved NPDES permit [19-602.2.C.4].



5. Provide a copy of the approved Erosion and Sediment Control Plan [19-401.3].
6. Provide a copy of the approved preliminary plan and preliminary PCSM report [General].
7. The applicant shall pay all required fees [22-1400].
8. Provide a signed and executed Operations and Maintenance Agreement [19-602.2.C.1].
9. Provide all signatures on the plans prior to approval [General].

*This review is based solely on the documents referenced above and does not relieve the design professional of any responsibility, nor does it imply any design responsibility by Herbert, Rowland & Grubic, Inc. HRG reserves the right to make additional comments in the future based on newly-supplied or revised information as provided by the applicant or their representative(s).*

HERBERT, ROWLAND & GRUBIC, INC.



Alex Greenly, PE  
Project Manager

AG/JAH  
R000242.0002 (Phase 1267)  
P:\0002\000242\_0002\1267 - Estates at Margaret's Grove Ph. 2\A - PLAN REVIEW\PR# 2 - 1267.docx

c: Susquehanna Township

Our ref: 11197533.004

15 August 2022

**R.J. Fisher & Associates, Inc.**  
1546 Bridge Street  
New Cumberland, PA 17070

**Dear R.J. Fisher & Associates,**

On behalf of the Susquehanna Township Authority, GHD has reviewed the Phase 2 submission of the Estates at Margaret's Grove. These drawings have been reviewed for their conformance with the Susquehanna Township Authority's standards for wastewater collection system extensions. All comments are based on the materials presented in the 20-sheet plan set dated June 10, 2022 with a revision date of August 5, 2022. GHD has NOT reviewed them for conformance to any Zoning, Subdivision, or Land Development Ordinances, including building setbacks, street and sidewalk layouts, storm water runoff, water main or other utility installation, property surveys, erosion and sedimentation control or topography. This project includes the construction of 943 feet of sanitary sewer main to serve 11 single family detached homes.

#### **General Comments**

1. On Sheet 10, adjust the location of the lateral tee connection for Lot #60 upstream approximately 25 feet to ensure a minimum of 18" clearance with the storm sewer crossing.

Since this comment does not greatly alter the sanitary sewer design, and all previous comments were addressed in the revised plans, the design is considered approved. After addressing the remaining general comment, please submit a signed, sealed copy of the final plans for Authority records.

#### **Prior to being issued a notice to proceed with sanitary sewer construction, the following items are required:**

1. Evidence that the final subdivision plan has been filed by the Municipality at the county courthouse, Recorder of Deeds office.
2. Plats and legal descriptions of sewer easements to be dedicated to the Authority.
3. An executed Sewer Extension Agreement and Paxton Creek Basin Hold Harmless Agreement with the Authority. Please contact the Authority office or Josiah Bair, GHD, for the appropriate agreements.
4. A \$15,000 deposit in the escrow account of the Authority in the name of the Developer to cover its engineering, inspection, and legal costs both during and after construction.
5. Construction cost estimate for the sanitary sewer extension.
6. An executed Financial Security Agreement with the Authority. As indicated in the Sewer Extension Agreement, financial security shall be in an amount equal to one hundred ten (110%) percent of the cost of the sanitary sewer construction. The Agreement will be provided upon review and approval of the construction cost estimate.
7. Pre-Construction meeting/coordination. Please provide the name and contact information of the Contractor that will be performing the work to coordinate a pre-construction meeting and construction material submittals review. Note that advanced notice of the start of sanitary sewer construction is required to allow for adequate time to coordinate inspection efforts.

8. Certificates of public liability and property damage insurance, automobile liability insurance, and certificates of worker's compensation insurance from the Contractor naming the Authority, Township and GHD as additional insured. The Authority also must be made the certificate holder.
9. Any required permits (Such as but not limited to: DEP approved planning modules, blasting permit, Dauphin County Conservation District Permit, & Highway Occupancy Permit).

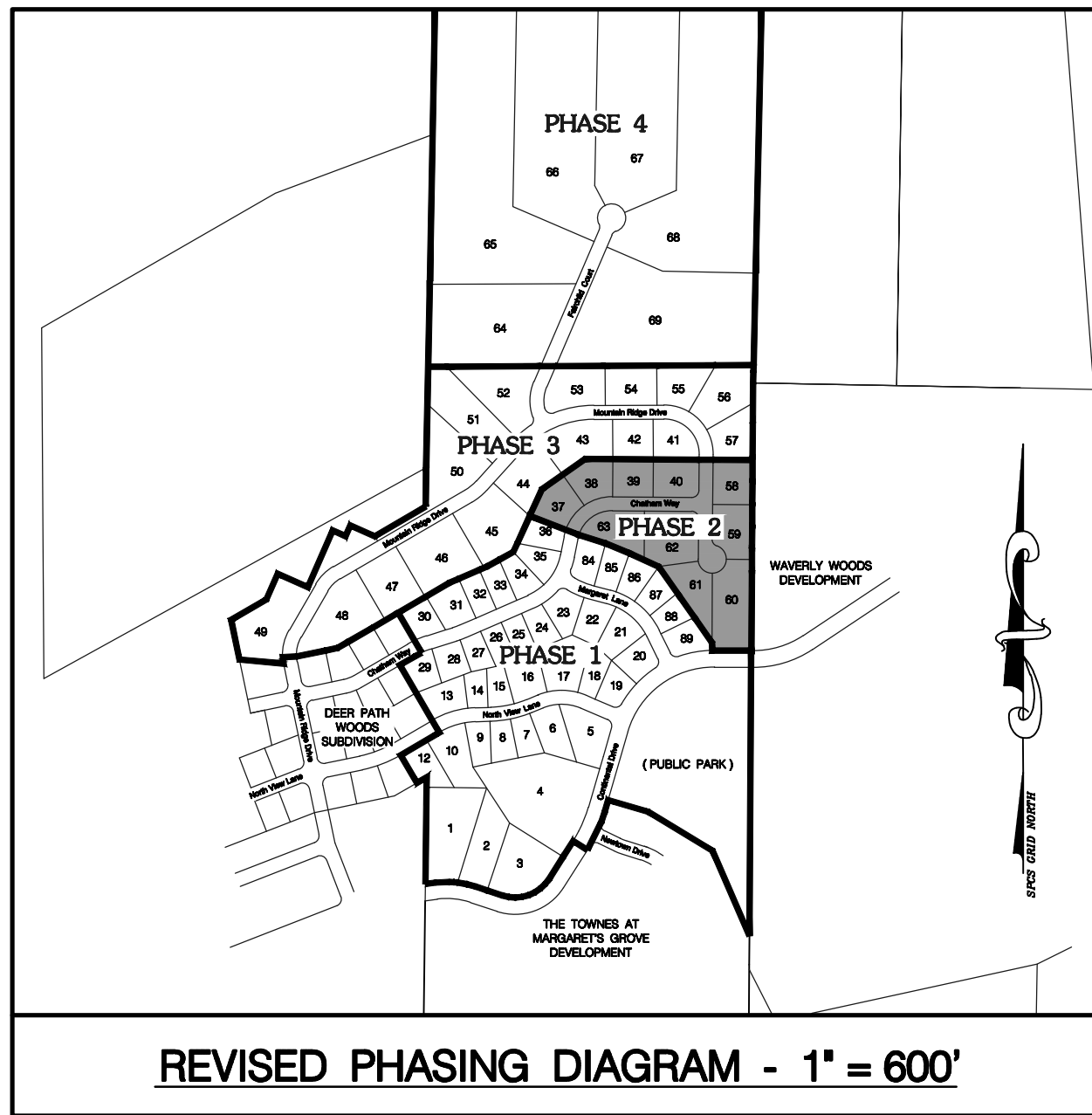
If you have any questions or comments, please feel free to contact us.

Regards,

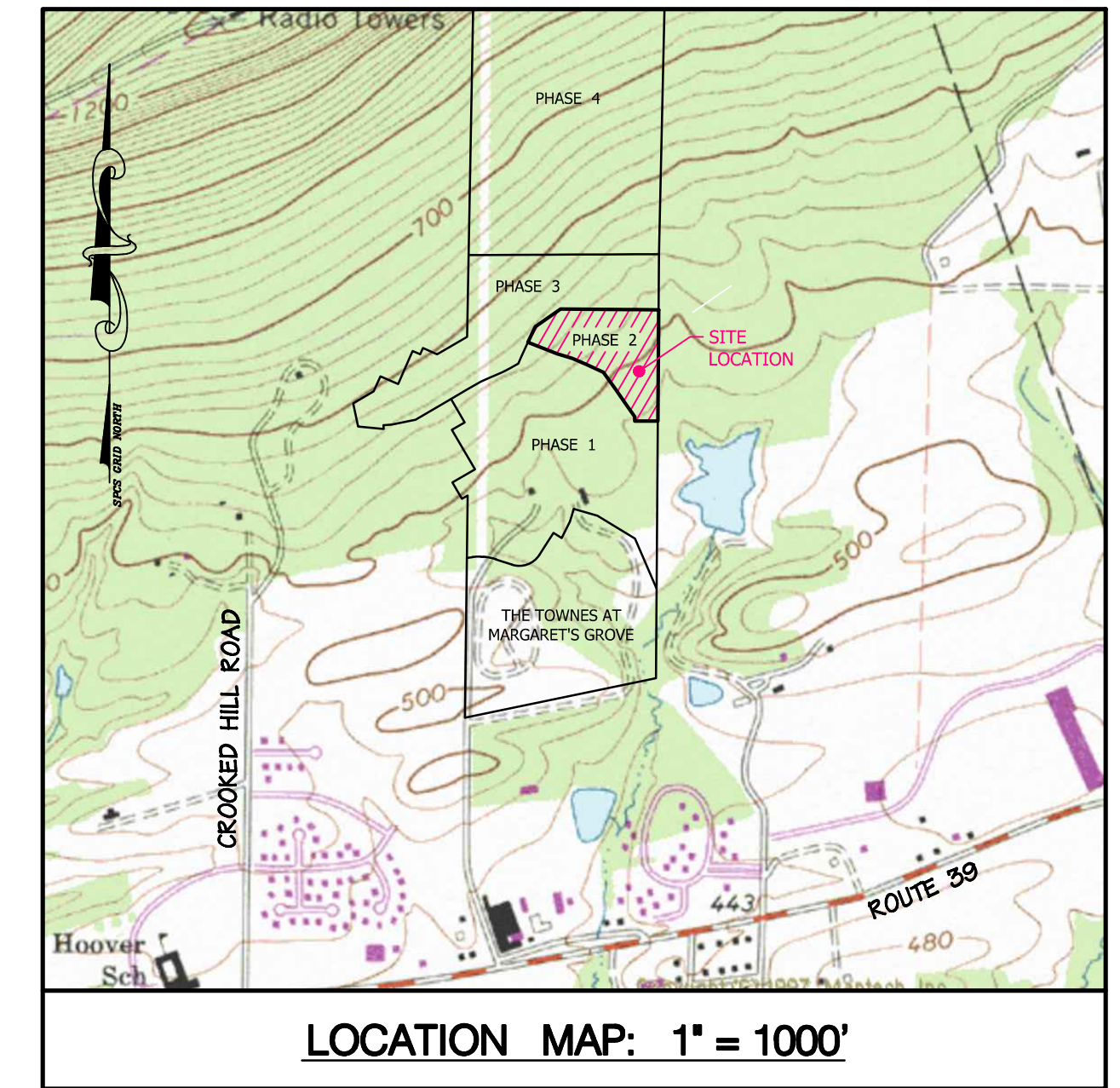


**Josiah D. Bair, PE**  
Project Engineer

717-541-0622  
josiah.bair@ghd.com



# FINAL SUBDIVISION & LAND DEVELOPMENT PLAN FOR THE ESTATES AT MARGARET'S GROVE, PH. 2 LOCATED IN SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA



### PLAN PURPOSE STATEMENT:

THE PURPOSE OF THIS PLAN IS TO CREATE 11 NEW PARCELS AND CONSTRUCT 10 SINGLE FAMILY HOMES AS PART OF THE ESTATES AT MARGARET'S GROVE. THE PHASING LAYOUT HAS BEEN UPDATED IN ORDER TO REFLECT CURRENT HOUSING MARKET DEMANDS.

### GENERAL NOTES:

- THE PRELIMINARY SUBDIVISION PLAN FOR THE ESTATES AT MARGARET'S GROVE WAS CONDITIONALLY APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS ON MARCH 11, 2004.
- WETLAND DELINEATION WAS PERFORMED APRIL, 2003 BY JOE GALLAGHER OF ECOSOLUTIONS. WETLANDS WERE FIELD LOCATED BY R.J. FISHER & ASSOCIATES, INC.
- NO FLOODPLAIN EXISTS ON THIS SITE, PER THE FLOOD BOUNDARY AND FLOODWAY MAP 01F-03F, PREPARED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT -- FEDERAL INSURANCE ADMINISTRATION, PANEL 02F, PAGE 1 OF 1, COMMUNITY NUMBER 420397A, EFFECTIVE DATE 4/15/77.
- SANITARY SEWER MAINS ARE PROPOSED TO BE DEDICATED TO SUSQUEHANNA TOWNSHIP AUTHORITY.
- PROPOSED STREETS ARE PROPOSED TO BE DEDICATED TO PUBLIC USE. POSTED SPEED LIMIT ON ALL STREETS WILL BE 25 MPH.
- ALL STORMWATER DRAINAGE FACILITIES LOCATED OUTSIDE OF PUBLIC STREET RIGHT-OF-WAY SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE LOT ON WHICH THEY ARE LOCATED.
- NO EXISTING COVENANTS RUN WITH THIS LAND, EXCEPT FOR THE EXISTING EASEMENTS OF RECORD. PROPOSED RESTRICTIONS ARE NOTED ON THESE PLANS.
- EROSION AND SEDIMENTATION CONTROL PLANS SHALL BE PREPARED FOR EACH PHASE AT THE TIME OF FINAL PLAN FOR THAT PHASE. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE APPROVED EROSION CONTROL PLAN. THE NPDES PERMIT, PAS-10-1016-1 ALREADY EXISTS FOR THIS SITE FOR DISCHARGE OF STORMWATER.
- TOPOGRAPHIC BENCHMARK IS A MAGNETIC NAIL IN THE CURB ON THE EASTERN SIDE OF CONTENTENTAL DRIVE NEAR THE INTERSECTION OF NORTHVIEW LANE (NORTHING 366977.9307/EASTING 2216261.6075), HORIZONTAL DATUM NAD83 (OPUS), VERTICAL DATUM NAVD88 (OPUS), ELEVATION 479.77'.
- THE COORDINATE SYSTEM FOR THIS PROJECT HAS BEEN MODIFIED. THE BEARING BASE HAS BEEN CORRECTED BY ALIGNING THE PLAN TO THE STATE PLANE COORDINATE SYSTEM. THE ROTATION DIFFERENCE IS 0°16'23" FROM PREVIOUSLY RECORDED PLANS.)
- EACH LOT SHALL HAVE A MINIMUM OF 2 OFF-STREET PARKING SPACES, IN THE GARAGE AND/OR DRIVEWAY.
- THE STORMWATER BMP'S LOCATED ON LOT #60, LOT #61 AND LOT #62 WILL BE MAINTAINED BY THEIR RESPECTIVE HOME OWNER.
- REQUIREMENT FOR DEDICATED RECREATION FOR THE OVERALL DEVELOPMENT WAS SATISFIED WITH THE DEDICATION OF THE LOT 'PUBLIC PARK' AS PART OF THE FINAL PHASE 1 SUBDIVISION PLAN; TAX PARCEL: 62-091-106.
- THE WATER LINE ON THIS PLAN IS SCHEMATIC ONLY AND FINAL DESIGN WILL BE SUPPLIED FOR EACH PHASE BY SUEZ.
- THE LIGHTING PLAN IS SCHEMATIC ONLY AND THE FINAL DESIGN WILL BE SUPPLIED FOR EACH PHASE BY PENNSYLVANIA POWER AND LIGHT.
- LOT #R IS RESERVED FOR FUTURE PHASES, AND IS NOT A PHASE 2 BUILDING LOT.
- CONCRETE MONUMENTS TO BE SET AS SHOWN, ALL OTHER CORNERS SHALL BE MARKED WITH IRON PINS.
- ALL CONSTRUCTION SHALL CONFORM TO PENNDOT PUBLICATIONS 408 AND 72 STANDARDS AND THE SUSQUEHANNA TOWNSHIP ORDINANCES.
- PRIOR TO THE CONSTRUCTION OF ANY FACILITIES SHOWN ON THESE PLANS, THE CONTRACTOR SHALL VERIFY ALL ELEVATIONS AND NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
- TOWNSHIP STAFF SHALL HAVE PERMISSION TO ACCESS DRAINAGE EASEMENTS FROM THE NEAREST RIGHT-OF-WAY.
- INLET BOX CORNERS SHALL NOT BE KNOCKED OUT FOR PIPE CONNECTION.
- THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A MINIMUM OF 48 HOURS NOTICE AND TO COORDINATE WITH THE TOWNSHIP AND THE TOWNSHIP ENGINEER IN REGARDS TO ALL MUNICIPAL INSPECTION WORK REQUIRED ON THE PROJECT SITE.
- NOTHING SHALL BE PLANTED OR PLACED WITHIN AN EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT.
- THE OPERATION AND MAINTENANCE AGREEMENT IS PART OF THE STORMWATER MANAGEMENT PLAN.
- ALL STORMWATER CONVEYANCE PIPING SHALL HAVE WATERTIGHT JOINTS
- SIDEWALKS SHALL BE INSPECTED BY THE MUNICIPAL ENGINEER OR HIS DESIGNATED AGENT AFTER THE FORMS HAVE BEEN PLACED, JUST PRIOR TO THE POURING OF CONCRETE AND AFTER THE COMPLETION OF ALL WORK.
- RECORD DRAWINGS MUST BE PROVIDED FOR ALL STORMWATER MANAGEMENT FACILITIES PRIOR TO OCCUPANCY, OR THE RELEASE OF FINANCIAL SECURITY.
- ACCESS TO THE STATE/TOWNSHIP STREET IS AUTHORIZED BY A STATE/TOWNSHIP OCCUPANCY PERMIT. NO BUILDING CONSTRUCTION OR WORK WITHIN THE STATE/TOWNSHIP STREET RIGHT-OF-WAY MAY COMMENCE WITHOUT SAID PERMIT.

### SITE DATA:

RECORD OWNER: THE MCNAUGHTON COMPANY  
 TAX PARCEL NUMBER: 62-004-005  
 TOTAL TRACT AREA: 72.042 ACRES  
 TOTAL LAND DEVELOPMENT AREA: 7.218 ACRES (PHASE 2)  
 EXISTING USE: VACANT  
 PROPOSED USE: SINGLE FAMILY DETACHED DWELLINGS  
 EXISTING NUMBER OF LOTS: 1  
 PROPOSED NUMBER OF LOTS: 11 (PHASE 2)  
 EXISTING WATER SUPPLY: NONE  
 EXISTING SEWAGE DISPOSAL: NONE  
 PROPOSED WATER SUPPLY: PUBLIC  
 PROPOSED SEWAGE DISPOSAL: PUBLIC

### ZONING DATA:

EXISTING ZONE: R-4 (RESIDENTIAL URBAN)	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	N/A
MAXIMUM DWELLING UNITS PER ACRE	5	1.4
MINIMUM LOT WIDTH (LOT 38)	65 FEET	107.7 FEET
MAXIMUM PRINCIPAL BUILDING HEIGHT	30 FEET	< 30 FEET
MAXIMUM LOT IMPERVIOUS COVERAGE (LOT 39)	40%	23.9%
MINIMUM LOT VEGETATIVE COVERAGE (LOT 39)	60%	76.1%
MINIMUM BUILDING SETBACK, FRONT	30 FEET	30 FEET
MINIMUM BUILDING SETBACK, SIDE	8 FEET	8 FEET
MINIMUM BUILDING SETBACK, REAR	30 FEET	30 FEET

AS ADOPTED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SUSQUEHANNA 9/24/2003 BY ORD. 03-12.

### PARKING DATA:

	REQUIRED	PROPOSED
OFF-STREET PARKING	20	20
SPACES PER UNIT	2	2

AS ADOPTED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF SUSQUEHANNA 9/24/2003 BY ORD. 03-12.

### WAIVERS:

THE FOLLOWING WAIVERS ARE BEING REQUESTED OR HAVE BEEN APPROVED FROM THE SUSQUEHANNA TOWNSHIP SALDO AND STORMWATER CODES:

WAIVER SECTION	REQUIREMENT	DATE REQUESTED	DATE APPROVED
19-501.4.B	PERTAINING TO THE SIDE SLOPES OF SWALES NOT BEING STEEPER THAN 3:1.	07/09/21	/ /
22-1107	PERTAINING TO THE INSTALLATION OF SIDEWALKS	07/09/21	/ /

### PA UTILITY ONE - CALL:



PENNSYLVANIA ACT 387 OF 1974, AS AMENDED BY ACT 50 OF 2017, REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. SERIAL NO. 20211691638 COMPLETED ON JUNE 18, 2021

#### LIST OF UTILITIES

SUEZ WATER PENNSYLVANIA INC  
 8819 ADAMS DRIVE  
 HUMMELSTOWN, PA. 17036  
 CONTACT: LOUISE DOLAN  
 LOUISE.DO@SUEZ.COM

VERIZON PENNSYLVANIA LLC  
 1026 HAY STREET  
 PITTSBURGH, PA. 15221  
 CONTACT: DIBIKAH BARUH  
 DIBIKAH.D@US.VZON.COM

PG&E ELECTRIC UTILITIES CORPORATION  
 503 NEW MARKET STREET  
 WILKES BARRE, PA. 18702  
 CONTACT: MARK SANTAYANA  
 MSAANTAYAN@PGE.COM

SUSQUEHANNA TOWNSHIP AUTHORITY  
 8 SUSQUEHANNA TOWNSHIP  
 1902 LINGLESTOWN ROAD  
 HARRISBURG, PA. 17110  
 CONTACT: NATHAN BRAGUNIER  
 NBRAGUNIER@SUSQUEHANNA.TWP.PA.GOV

UGI UTILITIES INC  
 1301 ASP DRIVE  
 MIDDLETOWN, PA. 17057  
 CONTACT: STEPHEN BATEMAN  
 SBATEMAN@UGI.COM

CONCAST  
 4601 SMITH STREET  
 HARRISBURG, PA. 17109  
 CONTACT: MICHAEL SWEGARD  
 MSWEGARD@CONCAST.COM

### OWNER / APPLICANT:

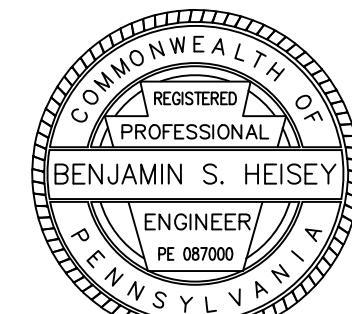
THE MCNAUGHTON COMPANY  
 4400 DEER PATH ROAD, SUITE 201  
 HARRISBURG, PA. 17110  
 PHONE: (717) 234-4000  
 JMCNAUGHTON@MCNAUGHTONCO.COM

### SURVEYOR / ENGINEER CERTIFICATIONS:

I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

I, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP'S STORMWATER MANAGEMENT ORDINANCE.

I, HEREBY CERTIFY THAT THERE ARE WETLANDS ON THE SUBJECT PROPERTY (PHASE 1), THERE ARE NO WETLANDS WITH THE PHASE 2 PROJECT AREA. THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS AND PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.



MATTHEW R. FISHER, P.L.S., P.E. \_\_\_\_\_ DATE \_\_\_\_\_

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.

BENJAMIN S. HEISEY, P.E. \_\_\_\_\_ DATE \_\_\_\_\_

### DESIGN ENGINEER:

R.J. FISHER & ASSOCIATES, INC.  
 1546 BRIDGE STREET  
 NEW CUMBERLAND, PA 17070  
 PHONE: (717) 774-7534  
 RJF@RJFISHERENGINEERING.COM

### DRAWING INDEX:

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	SUBDIVISION PLAN
4	GRADING & PCSM PLAN
5	LANDSCAPE PLAN
6	LIGHTING PLAN
7	EROSION & SEDIMENT CONTROL PLAN
8	STREET PROFILES
9	STORMWATER BMP PROFILES
10	STORM & SANITARY SEWER PROFILES
11	SITE CONSTRUCTION DETAILS
12	PCSM DETAILS
13	PCSM DETAILS
14	PCSM & LANDSCAPE DETAILS
15	SANITARY SEWER DETAILS
16	SANITARY SEWER DETAILS
17	E&S POLLUTION CONTROL DETAILS
18	E&S POLLUTION CONTROL DETAILS
19	E&S POLLUTION CONTROL DETAILS
20	E&S POLLUTION CONTROL DETAILS

### ACKNOWLEDGMENT OF PLAN, STATEMENT OF OWNERSHIP AND OFFER OF DEDICATION:

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF \_\_\_\_\_

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_, BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED.

OWNER \_\_\_\_\_

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

OWNER \_\_\_\_\_

I, THE LANDOWNER, ACKNOWLEDGE THAT THE STORMWATER BMP'S ARE FIXTURES THAT CANNOT BE ALTERED OR REMOVED WITHOUT PRIOR APPROVAL BY SUSQUEHANNA TOWNSHIP.

OWNER \_\_\_\_\_

### PLAN APPROVAL BLOCKS:

#### DAUPHIN COUNTY PLANNING COMMISSION REVIEW

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS \_\_\_\_ DAY

OF \_\_\_\_\_ 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### TOWNSHIP ENGINEER REVIEW

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS \_\_\_\_ DAY

OF \_\_\_\_\_ 20\_\_\_\_.

TOWNSHIP ENGINEER \_\_\_\_\_

#### SUSQUEHANNA TOWNSHIP PLANNING COMMISSION REVIEW

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING

COMMISSION THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### FINAL PLAN APPROVAL

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON

THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

SECRETARY \_\_\_\_\_

#### RECORDING:

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR

DAUPHIN COUNTY THIS \_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_.

INSTRUMENT NUMBER \_\_\_\_\_.

#### TAX PARCEL NUMBER:

62-004-005

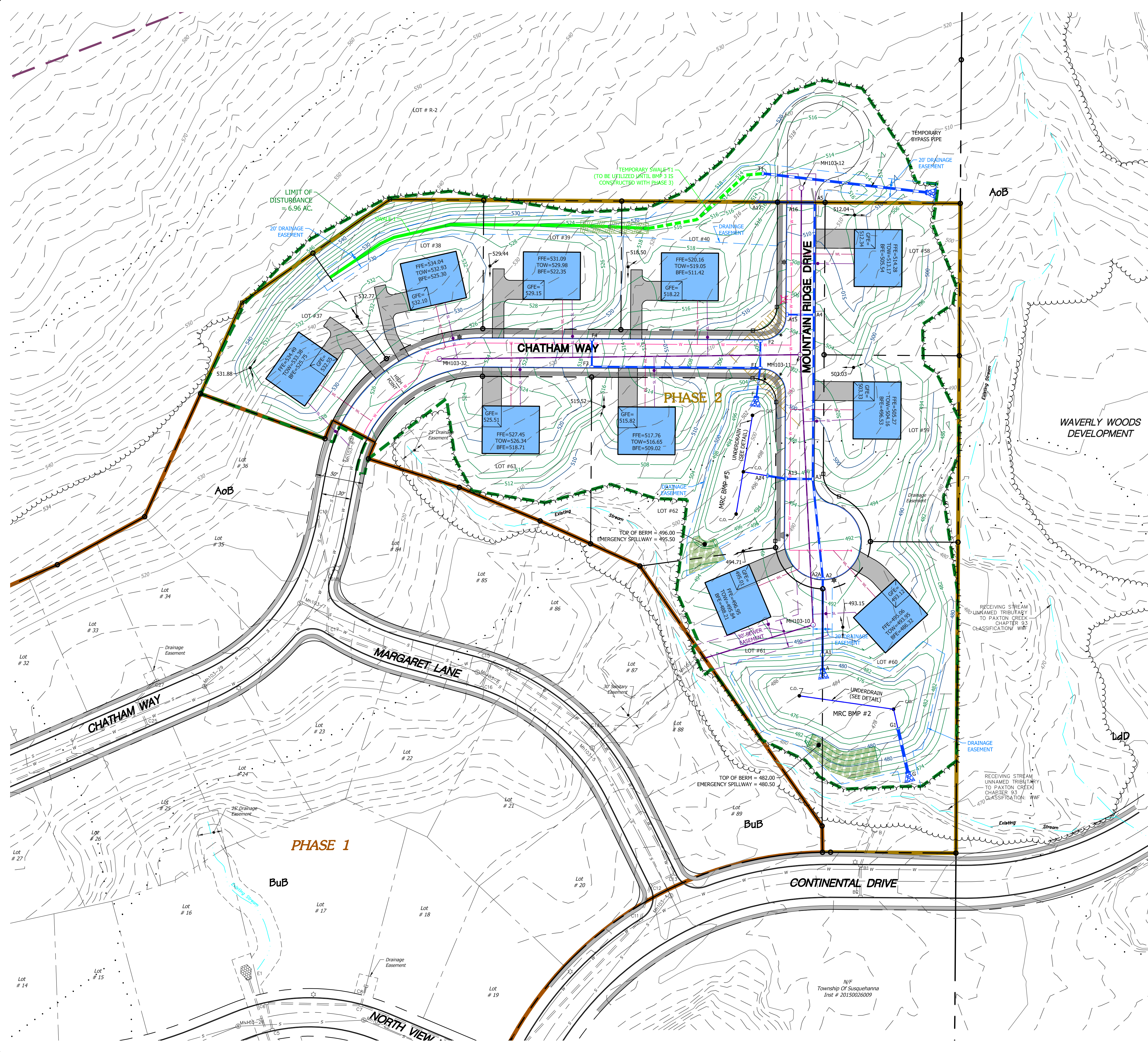
NO.	REVISION	DATE
1	TOWNSHIP COMMENTS	08/05/22
2		
3		
4		
5		

**R. J. FISHER & ASSOCIATES, INC.**  
 SITE PLANNING & CIVIL ENGINEERING & LAND SURVEYS  
 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 & FAX: (717) 774-7190  
 RJFISHERENGINEERING.COM



**COVER SHEET**  
 FOR THE  
**ESTATES AT MARGARET'S GROVE, PH. 2**  
 LOCATED IN  
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220092-COV
PROJECT:	220092
DATE:	06/10/22
SHEET:	1 OF 20

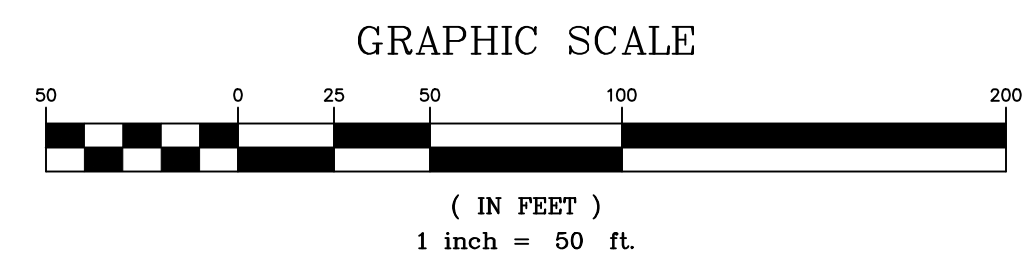


Proposed Conditions Legend

	Proposed Property Line
	Proposed Right-Of-Way
	Proposed Edge Of Pavement
	Proposed Curb
	Proposed Sidewalk
	Proposed Retaining Wall
	Proposed Sanitary Sewer Line, MH
	Proposed Storm Sewer Line, Inlet, MH
	Proposed Roof Drain
	Proposed Water Line, Hydrant
	Proposed Gas Line
	Proposed Overhead Utility
	Proposed Underground Utility
	Proposed Minor Contour
	Proposed Major Contour
	Limit of Disturbance/NPDES Boundary
	NPDES Boundary
	Permanent Matting
	Proposed Sign
	Proposed Light
	Proposed Pedestrian Ramp Location (See Detail)
	Proposed Rip-Rap Apron (See Detail)
	Proposed Spot Elevation

LOT IMPERVIOUS DATA

LOT NUMBER	IMPERVIOUS PROPOSED
37	4759
38	4771
39	4671
40	4671
58	4120
59	4120
60	4188
61	4128
62	4120
63	4120



NO.	REVISION	DATE
1	TOWNSHIP COMMENTS	08/05/22
2		
3		
4		
5		

**R. J. FISHER & ASSOCIATES, INC.**  
 SITE PLANNING & CIVIL ENGINEERING & LAND SURVEYS  
 1546 BRIDGE STREET, NEW CUMBERLAND, PA. 17070  
 PHONE: (717) 774-7534 & FAX: (717) 774-7190  
 RJFISHERENGINEERING.COM



**GRADING & PCSM PLAN**  
 FOR THE  
**ESTATES AT MARGARET'S GROVE, PH. 2**  
 LOCATED IN  
 SUSQUEHANNA TOWNSHIP, DAUPHIN COUNTY, PA

DRAWING ID:	220092-GRD
PROJECT:	220092
DATE:	06/10/22
SHEET:	4 OF 20

DATE PLOTTED: 08/05/22 10:00 AM  
 PLOT FILE: \\SRV1\220092\220092-GRD.dwg  
 4980



**Staff Report – Preliminary/Final Land Development Plan**

Chick-Fil-A

3951 Union Deposit Road

<b>Request:</b>	To construct a new 4,758 square foot fast food restaurant with a drive thru.		
<b>Deadline:</b>	9.25.2022		
<b>Developer:</b>	Chick-Fil-A		
<b>Consultants:</b>	Colliers Engineering and Design		
<b>Property Owner:</b>	First National Bank		
<b>Parcel ID:</b>	62-040-058		
<b>Zoning District:</b>	Commercial Highway (CH)		
<b>Prepared By:</b>	Mack Breech Community Planner & Zoning Administrator		
<b>Items Reviewed:</b>	<i>Submission</i>	<i>Dated</i>	<i>Last Revised</i>
	Land Development Plan	05.04.22	07.29.22
	Transportation Impact Study	05.05.22	
	Stormwater Management Report	05.04.22	
	Comment Response Letter	08.01.22	

**Project Summary:**

The applicant proposes to develop a fast-food restaurant with a drive-thru along Union Deposit Road in the parcel currently occupied by First National Bank. The existing bank will be demolished, and a 4,758 square foot fast food restaurant with a drive-thru will be constructed. A new 25-foot drive-thru area with two lanes is to be constructed along the east and rear side of the proposed building. The site can be accessed from the eastbound lane of Union Deposit Road, through an existing access easement with the parcel on the east and by a thruway with the parcel to the south. Once entering the site, cars can enter the areas dedicated for parking or enter the drive-thru area. Cars exiting the drive-thru lane will come to a stop sign at the northwest face of the building and can either make a right and enter onto Union Deposit Road or make a left and exit through the thruway on the south side of the site. 54 parking spaces are proposed along the north and central portions of the site. The proposed restaurant will include 62 interior seats. This project is located in the Commerical-Highway District. (Ward 5)

**Approved Variances**

The following variances were granted by the Susquehanna Township Zoning Hearing Board on February 4, 2022.

1. [§27-1203.4]- Maximum impervious lot coverage: 80%
2. [§27-1203.5]- Minimum vegetative cover-20%

3. [§27-2305.6.B]-All parking spaces and access drives shall be behind the building setback line; except where buffer yards are required in which case such parking spaces and access drives may not encroach on the buffer yard area.
4. [§27-2040.5]-The drive-through facility, including service windows and intercom, and the driveway shall be located along the side, or rear faces of the building served thereby.

**Staff Review Comments:**

Zoning:

1. Add a note stating “All signage will be compliant with with the Susquehanna Township Zoning Ordinance or the proper variances will be requested.” [General]
2. Provide clarification on the stacking that would be caused by the drive-thru. [§27-2040.2]
3. Provide a site circulation plan. [§27-2040.1]

Subdivision and Land Development:

1. Provide further clarification on the maneuverability of the site. As discussed at previous Planning Commission meetings, there are still outstanding concerns in regards to on site movement. [General]

Stormwater Management:

1. No comments.

Fire Marshall:

1. No comments.

Susquehanna Township Authority:

1. Attached as a separate document.

**Consistency with the Official Map:**

This plan is generally consistent with the adopted Official Map. Union Deposit is a priority corridor, and as such multi-modal access is required. There is a new sidewalk along Union Deposit Road.

**Consistency with Comprehensive Plan:**

Sustainable Susquehanna 2030 (SS 2030) identifies Union Deposit Road as a priority corridor, calling for redevelopment and investment in improving the pedestrian experience with green infrastructure and landscaping. The existing First National Bank will be demolished, and the site will be redeveloped with the new fast-food restaurant. A Master Redevelopment Plan for this area has not yet started. Safe multi-modal travel and pedestrian connectivity is also a priority outlined in SS 2030. The plan does not propose the installation of sidewalks at this time.



**Recommendation:**

Township Staff recommends further discussion by the Planning Commission, if the plan is recommended for approval by the Planning Commission, Township Staff recommends the following Conditions of Approval:

1. All comments provided by Township Staff, the Township Engineer, and Dauphin County Planning Commission are addressed.
2. A stormwater Operations and Maintenance (O&M) agreement is provided for review and approval before releasing plans for recording plans. The O&M agreement must also be recorded.
3. Provide executed easement agreements for the storm sewer facilities and access easements.
4. Provide financial security for the timely, proper, and complete construction of all applicable improvements including but not limited to paving, sidewalks, curbing, stormwater management facilities, erosion and sediment controls, etc. prior to the approval of the Final Plan.
5. All outstanding transportation concerns are addressed.
6. Provide a signed and executed Developer's Agreement.







369 East Park Drive  
 Harrisburg, PA 17111  
 717.564.1121  
 www.hrg-inc.com

## TRANSPORTATION IMPACT STUDY REVIEW LETTER #2

**Susquehanna Township**  
 Attn: Planning Commission

**Chik Fil A - 3951 Union Deposit Road**

SEPTEMBER 2, 2022

We have completed our review of the following information for the above-referenced project:

Submission:	Dated:	Last Revised:
Transportation Impact Study	May 5, 2022	August 4, 2022
Site Plan	May 4, 2022	July 6, 2022
Right Turn Concept Plan	May 2022	August 3, 2022
WB 50 Truck Template	August 3, 2022	--
Supplemental Safety Attachment	August 4, 2022	--

We offer the following comments:

### Traffic Impact Study (Chapter 22 – Part 13 / Article VI - §180)

1. Per the Lower Paxton Township SALDO, all future analyses shall be conducted based upon a full build out in the planned opening year plus a ten-year horizon period (§180-603.D.4).
2. Ensure that the Township and HRG are included in all subsequent TIS and HOP submissions to PennDOT.
3. The following comments are regarding the Executive Summary section:
  - a. Throughout the report, the reference to modifying the signal permit timings to incorporate an advance left-turn phase for Union Square Drive is still noted. However, the comment response letter indicates that the advance left-turn phase is no longer being proposed. Review and update accordingly.
  - b. Clarify in the Executive Summary that westbound U-Turns should be restricted at the Eastern Drive / Union Square intersection only if they create safety concerns after opening. The mere occurrence of U-Turn traffic does not necessarily warrant a restriction.
  - c. Clarify in the Executive Summary that the internal intersection (near Naples Plaza, west of the internal T-intersection) should provide all-way stop control. Incorporate the supporting analysis into the report.
4. Site Characteristics – Trip Generation section – It appears that the paragraph before Table 3 is referencing components of the Jonestown Road Chik Fil A. Review and update accordingly.

4. Provide reasoning and justification for limiting the northeast Wendy's driveway to westbound traffic only.
5. Has Wendy's been advised of the proposed driveway restriction?
6. Does Wendy's approve of the proposed driveway restriction?

### Stormwater Management (Chapter)

1. The rate analysis summary table (Table 1) on page 2 of the Stormwater Management Narrative does not reflect the Hydrocad rate analysis results for the Pre-development, 2, 10, and 25-year storm events. As shown, the plan does not conform to the release rate reduction requirements for Spring Creek Sub-watershed 13 [19-304.2].

### Administrative Items to be Completed Prior to/Upon Plan Approval

1. Due to the number and nature of the comments contain herein, additional plan review comments may be generated based on subsequent plan revisions.
2. Provide a financial security for the timely, proper, and complete construction of all applicable improvements including but not limited to stormwater management facilities, erosion, and sediment controls, etc. prior to approval of the Final Plan [22-406.4].
3. Provide an Erosion and Sedimentation Control Plan that has been reviewed and approved by the County Conservation District [22-407.1.A(18)].
4. The applicant shall pay all required fees [22-14000].
5. Provide a signed and executed Operations and Maintenance Agreement [19-602.2.C.1].
6. Provide all signatures on the plans prior to approval [General].
7. TIS / HOP approval shall be provided for improvements and activities in the State Right-of-Way.
8. The applicant is responsible for obtaining approval from the Susquehanna Township Authority for any sanitary sewer related improvements.
9. The applicant is responsible for providing the necessary financial security to the Susquehanna Township Authority for any sanitary sewer related improvements.

*This review is based solely on the documents referenced above and does not relieve the design professional of any responsibility, nor does it imply any design responsibility by Herbert, Rowland & Grubic, Inc. HRG reserves the right to make additional comments in the future based on newly supplied or revised information as provided by the applicant or their representative(s).*

HERBERT, ROWLAND & GRUBIC, INC.



Alex Greenly, PE  
Project Manager

AG  
R000242.0002 (Phase 1259)



369 East Park Drive  
 Harrisburg, PA 17111  
 717.564.1121  
 www.hrg-inc.com

## TRANSPORTATION IMPACT STUDY REVIEW LETTER #2

Susquehanna Township  
 Attn: Planning Commission

Chik Fil A - 3951 Union Deposit Road

SEPTEMBER 2, 2022

We have completed our review of the following information for the above-referenced project:

Submission:	Dated:	Last Revised:
Transportation Impact Study	May 5, 2022	August 4, 2022
Site Plan	May 4, 2022	July 6, 2022
Right Turn Concept Plan	May 2022	August 3, 2022
WB 50 Truck Template	August 3, 2022	--
Supplemental Safety Attachment	August 4, 2022	--

We offer the following comments:

### Traffic Impact Study (Chapter 22 – Part 13 / Article VI - §180)

1. Per the Lower Paxton Township SALDO, all future analyses shall be conducted based upon a full build out in the planned opening year plus a ten-year horizon period (§180-603.D.4).
2. Ensure that the Township and HRG are included in all subsequent TIS and HOP submissions to PennDOT.
3. The following comments are regarding the Executive Summary section:
  - a. Throughout the report, the reference to modifying the signal permit timings to incorporate an advance left-turn phase for Union Square Drive is still noted. However, the comment response letter indicates that the advance left-turn phase is no longer being proposed. Review and update accordingly.
  - b. Clarify in the Executive Summary that westbound U-Turns should be restricted at the Eastern Drive / Union Square intersection only if they create safety concerns after opening. The mere occurrence of U-Turn traffic does not necessarily warrant a restriction.
  - c. Clarify in the Executive Summary that the internal intersection (near Naples Plaza, west of the internal T-intersection) should provide all-way stop control. Incorporate the supporting analysis into the report.
4. Site Characteristics – Trip Generation section – It appears that the paragraph before Table 3 is referencing components of the Jonestown Road Chik Fil A. Review and update accordingly.

5. Table 6 Level of Service
  - a. Union Deposit Road and Union Square Drive / Eastern Drive - It appears that the level of service table for Intersection 1, Union Deposit Road and Union Square Drive / Eastern Drive, is missing. Please reconcile.
  - b. Confirm that no-build and build signal timings are optimized, per PennDOT policy.
6. Table 7 Queues – At Union Square Drive / Eastern Drive, clarify what improvements cause the westbound queue length to have a drastically shorter queue, when compared to queue lengths for existing and no-build conditions. Note that per PennDOT policy, signal timings should be optimized in no-build and build conditions.
7. Figure 4 F – Due to the restrictions / closures of the two eastern Wendy's driveways, it appears that some of the redirected traffic to the east (towards Sheetz and towards Starbucks / Jimmy John's), would stay on Union Square Drive to the Internal Access Road instead of cutting through Wendy's southern access. Review and update accordingly.
8. Appendix I through Appendix K – Capacity/ Level-of-Service Worksheets – update the link speed along Union Deposit Road for the right-in / right-out access.


## Site Plan

1. Provide documentation that ensure that access restriction to the northern Wendy's driveway and access closure to the southern Wendy's driveway is not a violation of an existing access agreement. Note that a construction easement will be required for any work proposed beyond the applicant's property boundary.
2. Provide documentation that legally binds the applicant to maintain the access to/from the Sheetz property.
3. For the northern Wendy's access restriction, consider having the southern curb extend into Wendy's parking lot in order to provide a more defined one-way access; this may encourage compliance with the restriction. Include Do Not Enter signing facing the Wendy's parking lot and provide a striped traffic flow arrow.
4. For the area between the right-in/right-out driveway and the northernmost parking aisle, extend the curblines to the stop bar (curbing in place of the gore striping). Add a stop sign for westbound traffic in addition to the stop line/legend shown.
5. HRG has concerns about the conflicts between the dual drive-through lanes, the entering traffic from the Right-in/Right-out access, and the "cut-thru" traffic from the Sheetz parcel. We recommend merging the dual drive-thru lanes into one lane prior to the intersection with the right-in/right-out access drive.
  - a. With this lane reduction, there may be additional space between the drive-thru and the Sheetz connector; consider whether the No U-Turn restriction is still appropriate for this movement.
  - b. With this lane reduction, additional space will be provided between the crosswalk at the Sheetz connector and the crosswalk at the drive-thru. Provide sidewalk and ADA access between the crosswalks.
6. Consider raised curb instead of striping along Union Deposit Road property frontage to define the right turn lane taper and discourage traffic from going straight from within the Chik Fil A right turn lane (towards the Sheetz driveway or Briarsdale intersection).

7. Confirm that there are adequate sight lines approaching all 4 legs of the proposed all-way stop controlled internal intersection (near Naples Plaza, west of the internal T-intersection). Provide stop signs and stop bars for all 4 approaches.

*This review is based solely on the documents referenced above and does not relieve the design professional of any responsibility, nor does it imply any design responsibility by Herbert, Rowland & Grubic, Inc. HRG reserves the right to make additional comments in the future based on newly supplied or revised information as provided by the applicant or their representative(s).*

HERBERT, ROWLAND & GRUBIC, INC.

  
Eric J. Stump, P.E., PTOE  
Team Leader | Transportation

JBL/EJS

R000242.0002 (Phase 1259)

P:\0002\000242\_0002\1259 - Chik Fil A - Union Deposit Road\A - PLAN REVIEW\PR#2 - 1259 -TIS.docx

Our ref: 11197533

29 July 2022

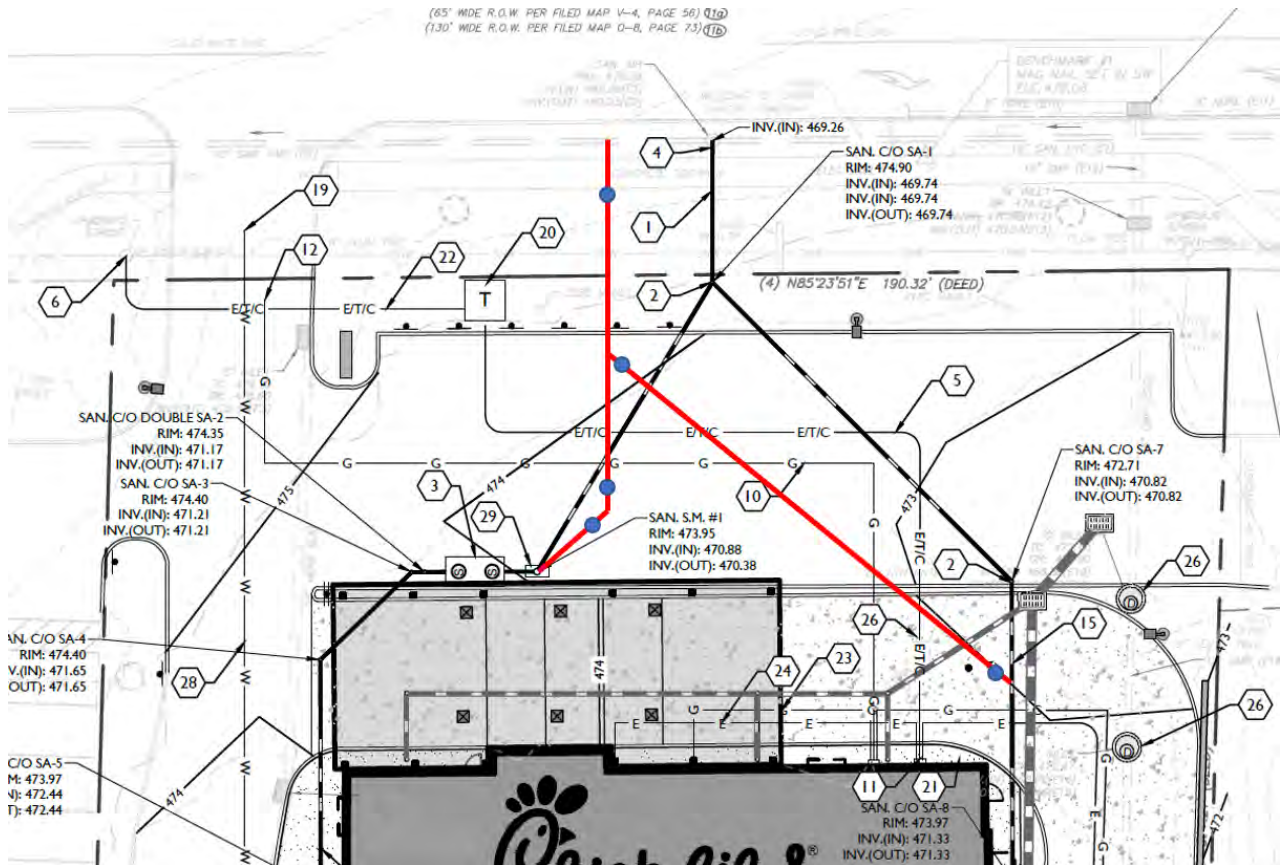
Justin Thornton, PE  
Colliers Engineering & Design  
1501 Reedsdale Street, Suite 302  
Pittsburgh, PA 15233

Dear Justin,

On behalf of the Susquehanna Township Authority, GHD has reviewed the revised submission of the Preliminary & Final Major Site Plan for the proposed Chick-fil-a restaurant to be located at 3951 Union Deposit Road. These drawings have been reviewed for their conformance with the Susquehanna Township Authority's standards for wastewater collection system extensions. All comments are based on the materials presented in the 27-sheet plan set dated May 4, 2022, with a revision date of July 6, 2022. GHD has NOT reviewed them for conformance to any Zoning, Subdivision, or Land Development Ordinances, including building setbacks, street and sidewalk layouts, storm water runoff, water main or other utility installation, property surveys, erosion and sedimentation control or topography.

#### General Comments

1. The response to previous comment 7, "***The existing sanitary tie-in location is not available. The proposed sanitary lateral will tie into the existing sewer manhole along Union Deposit Road by core drill.***" is not an acceptable means of construction. Per Township code § 18-212, Manner of Tapping of Building Sewer, no sanitary sewer taps shall be made in any manhole of the sewer system. Additionally, if you do not plan to utilize the existing lateral/building sewer for this property, it must be located and disconnected from the main in accordance with Authority specifications (see attached detail). Include a note on the utility plan indicating the existing lateral must be located and either disconnected from the main in accordance with Authority detail or utilized for connection of the new sewer facilities.
2. The proposed cleanout SAN C/O SA-1 is not constructable under the current configuration. We offer the following possible configuration to connect directly to the sanitary sewer main along Union Deposit Road, which may be close to the existing lateral connection location.



3.

### Sanitary Sewer Details

4. On Sheets C9 and C9A, the following details are missing:
  - a. Service Lateral – Normal Depth
  - b. Trench Detail in Paved Areas
  - c. Cleanout/Test Tee Cap Protection Casting
  - d. Service Lateral Disconnection from Existing Sewer Main (detail is attached)
5. Remove the “Outside Drop Connection Detail”

Please revise the drawings and resubmit a PDF copy to our office for review and comment. Please include a detailed response letter addressing each comment in order to expedite the review. Revised plans and comment letter can be sent via email to [josiah.bair@ghd.com](mailto:josiah.bair@ghd.com).

If you have any questions or comments, please feel free to contact us.

Regards,

GHD

Josiah Bair, P.E.  
Project Engineer

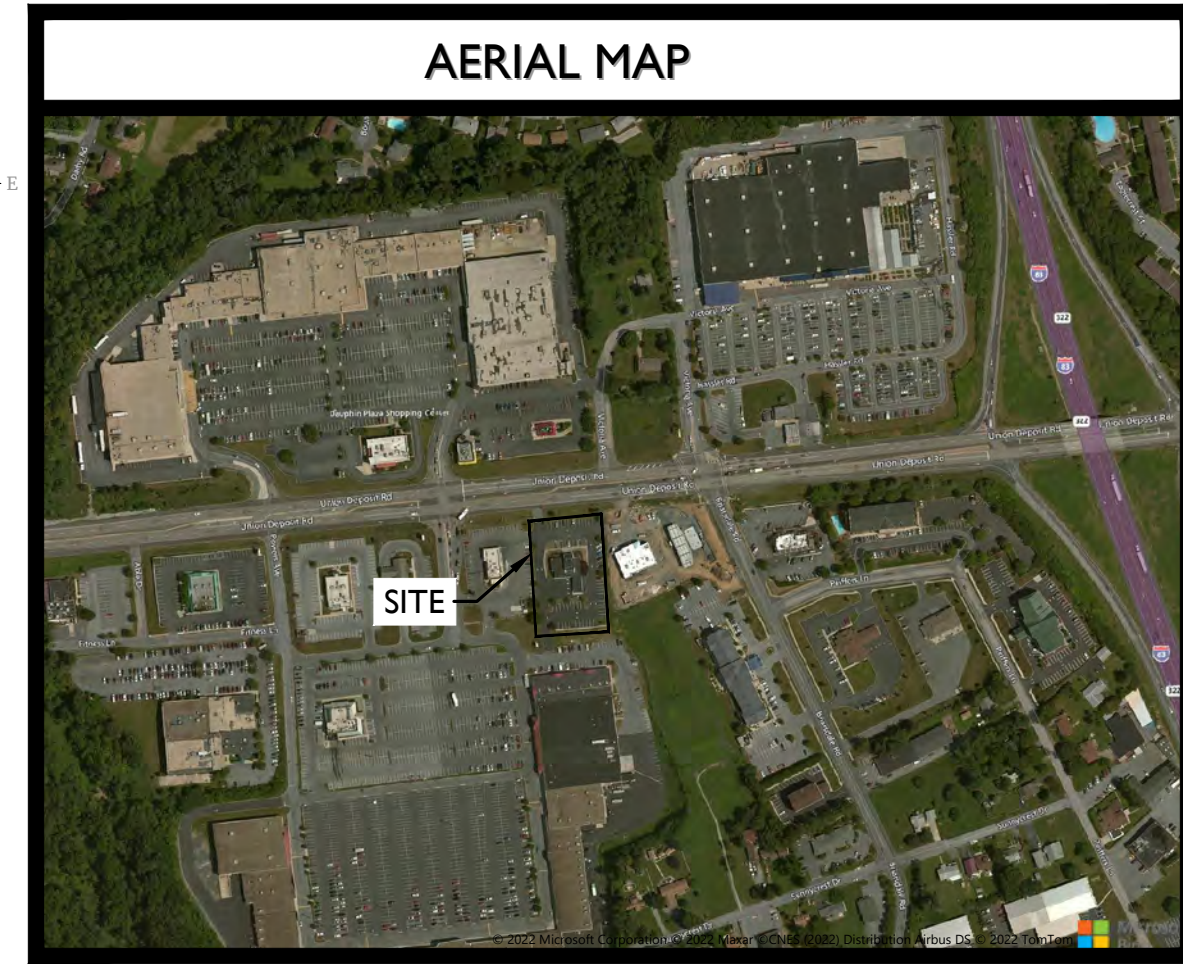
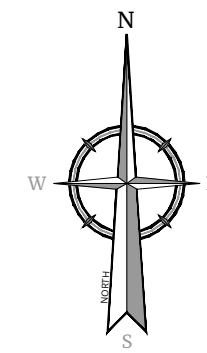
INDEX OF SHEETS

- C 0 TITLE SHEET
- C 1.1 SURVEY PLAN
- C 1.2 SURVEY PLAN
- C 1A DEMOLITION PLAN
- C 2 SITE PLAN
- C 3 GRADING AND DRAINAGE PLAN
- C 4 CONSTRUCTION DETAIL SHEET
- C 5 CONSTRUCTION DETAIL SHEET
- C 6 CONSTRUCTION DETAIL SHEET
- C 7 CONSTRUCTION DETAIL SHEET
- C 8 CONSTRUCTION DETAIL SHEET
- C 9 CONSTRUCTION DETAIL SHEET
- C 9A CONSTRUCTION DETAIL SHEET
- C 10 REFUSE ENCLOSURE DETAIL
- C 11 SOIL EROSION PLAN
- C 12 SOIL EROSION NOTES AND DETAILS
- C 13 SOIL EROSION NOTES AND DETAILS
- C 14 PCSM PLAN AND NOTES
- C 15 PCSM NOTES AND DETAILS
- C 16 STORM UTILITY PROFILE
- C 17 STORM UTILITY PROFILE
- C 18 SANITARY UTILITY PROFILE
- C 19 STORM FACILITY EASEMENT PLAN
- L 1 LANDSCAPE PLAN
- L 2 LANDSCAPE NOTES AND DETAILS
- ES 1 LIGHTING PLAN
- PS 1 UTILITY SITE PLAN

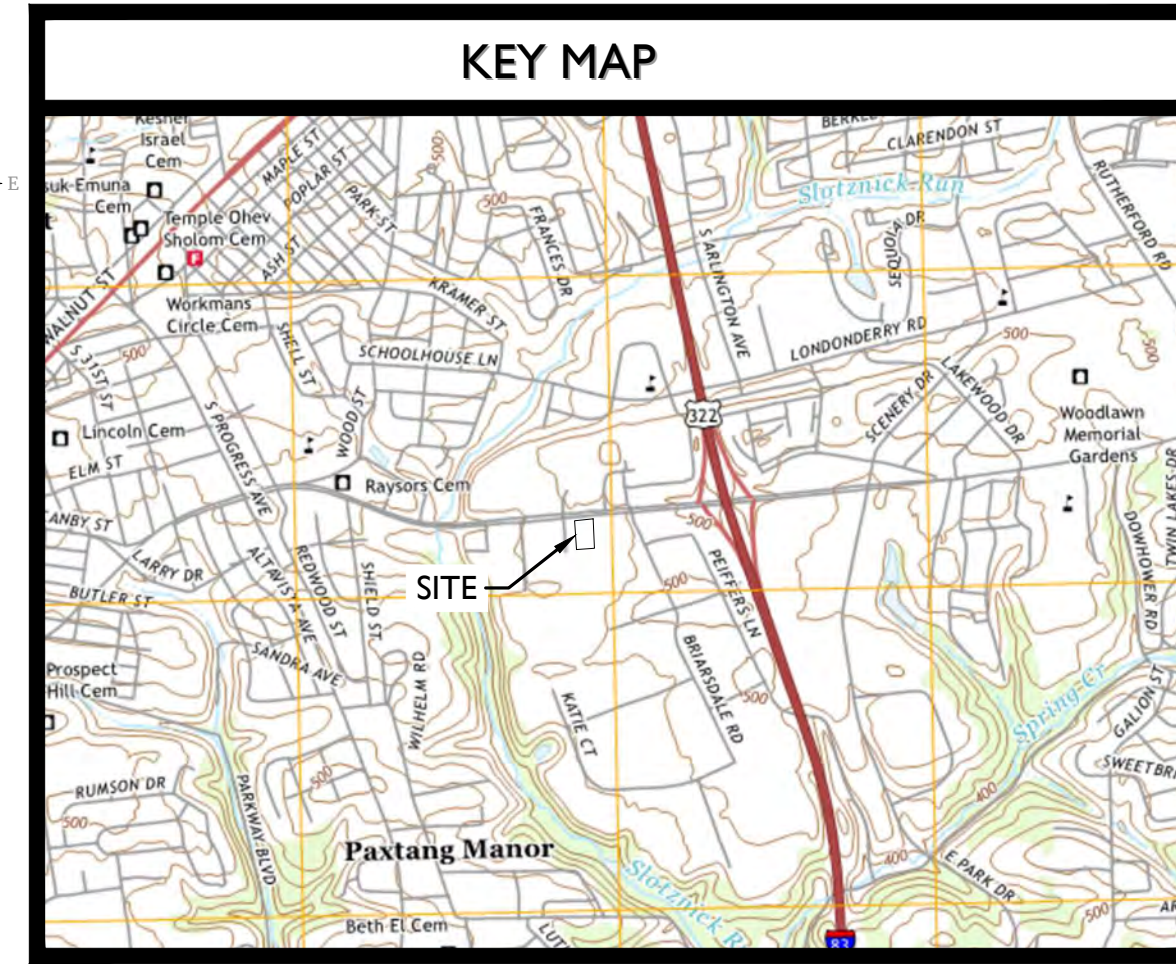
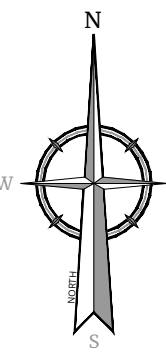
USE AND PRELIMINARY & FINAL MAJOR SITE PLAN FOR



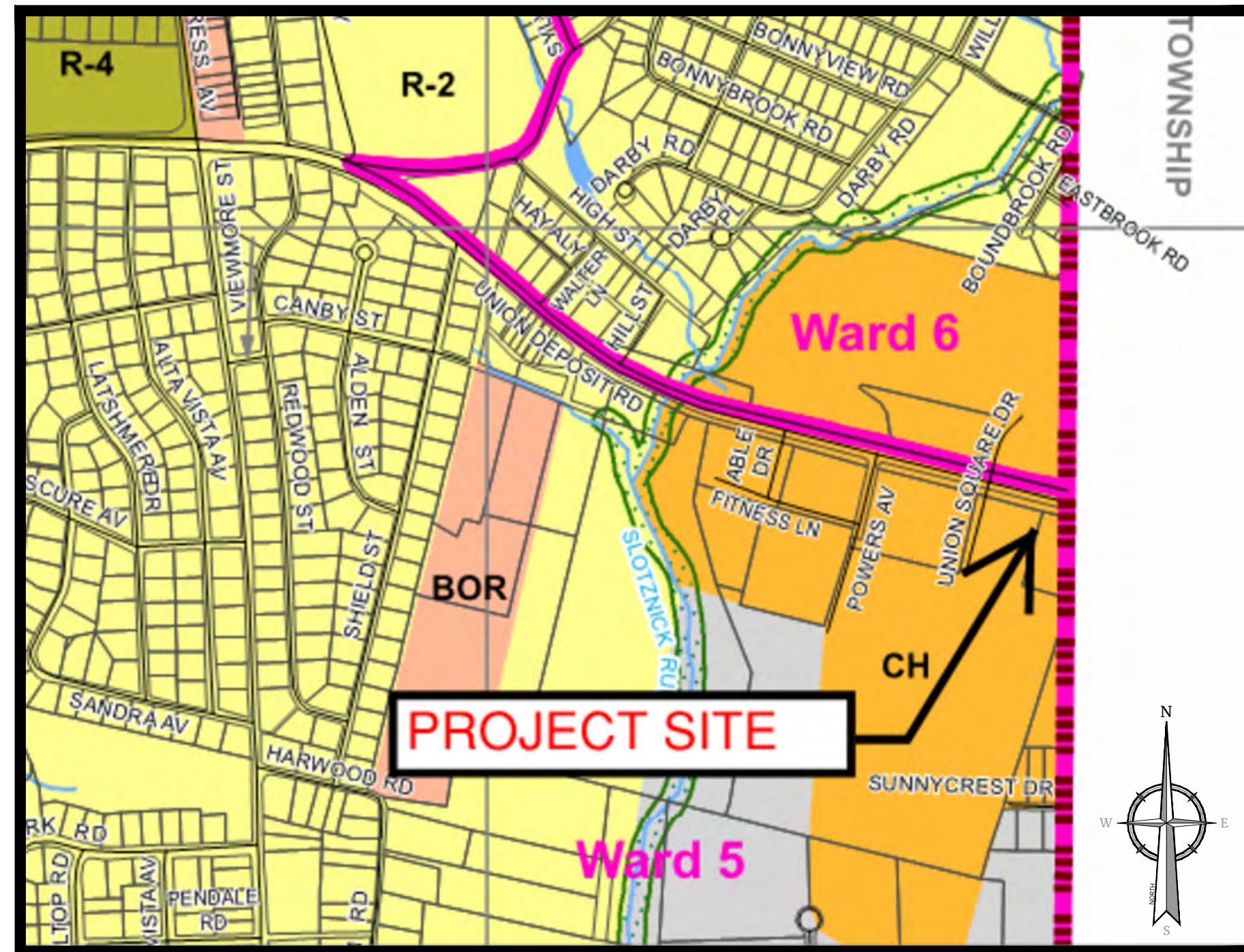
PARCEL # 62-040-048-000-0000  
SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY, PENNSYLVANIA



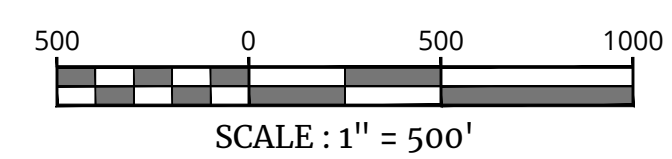
SCALE: 1"=500' (APPROXIMATE)



SCALE: 1"=2,000' (APPROXIMATE)



KEY & ZONING MAP



SCALE: 1" = 500'

GENERAL INFORMATION

- THE SUBJECT PROPERTY IS KNOWN AS 62-040-048-000-0000 AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF SUSQUEHANNA, DAUPHIN COUNTY, PENNSYLVANIA.
- THE PROPERTY IS LOCATED IN THE C-H - COMMERCIAL HIGHWAY ZONE DISTRICT AND CONTAINS A TOTAL TRACT AREA OF 57,695 SF, 1.32 ACRES.
  - OWNER: HRONIS & HRONIS BLVD, PROP 3951 UNION DEPOSIT ROAD, HARRISBURG, PA 17109
  - APPLICANT: CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GA 30349 404-765-8000
  - ENGINEER: JUSTIN T. THORNTON, P.E. COLLIER ENGINEERING & DESIGN 1501 REEDDALE STREET, SUITE 302 PITTSBURGH, PA 15223 412-752-7589 justin.thornton@collierengineering.com
- THE SUBJECT PROPERTY IS PRESENTLY A FORMER FIRST NATIONAL BANK BANK. THE APPLICANT PROPOSES A NEW CHICK-FIL-A FAST SERVE RESTAURANT WITH DUAL DRIVE-THRU LANES, ORDER AND MEAL DELIVERY CANOPIES, AND STORMWATER MANAGEMENT IMPROVEMENT.

ZONE DATA: C-H, COMMERCIAL HIGHWAY DISTRICT

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	57,695 SF	57,695 SF
MINIMUM LOT WIDTH	N/A	190.3 FT	190.3 FT
MINIMUM LOT DEPTH	N/A	300 FT	300 FT
<b>PRINCIPAL BUILDING</b>			
MINIMUM FRONT YARD	35 FT	97.1 FT	80.3 FT
MINIMUM REAR YARD	15 FT	146.4 FT	174.2 FT
MINIMUM SIDE YARD	10 FT	49.9 FT	31.5 FT
MAXIMUM BUILDING HEIGHT	60 FT	<60 FT	30 FT
<b>ACCESSORY BUILDING</b>			
MINIMUM FRONT YARD	35 FT	156.0 FT	52.3 FT
MINIMUM SIDE YARD	15 FT	65.8 FT	4.7 FT (V)
MINIMUM REAR YARD	10 FT	101.6 FT	66.0 FT
MAXIMUM BUILDING HEIGHT	15 FT	<15 FT	9.7 FT
<b>PARKING</b>			
USE 1 SPACE/4 SEATS + 1 SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT	62 SEATS / 4 + 20 EMPLOYEES = 36 SPACES	-	54 (V)
LOADING: 1 SPACE/25,000 SF	1	-	0

(E) = PRE-EXISTING NON-CONFORMING CONDITION  
(V) = VARIANCE REQUIRED

- THE FOLLOWING VARIANCES WERE APPROVED THE ZONING HEARING BOARD ON 02/04/22:
  - 27-1203.4 MAXIMUM IMPERVIOUS LOT COVERAGE OF 80%
  - 27-1203.5 MINIMUM VEGETATIVE COVER OF 20%
  - 27-2305.6.B ALL PARKING SPACES AND ACCESS DRIVES SHALL NOT BE LOCATED WITHIN YARD LINE
  - 27-2040.5 THE DRIVE-THROUGH FACILITY, INCLUDING SERVICE WINDOWS AND INTERCOM, AND THE DRIVEWAY SHALL BE LOCATED ALONG THE SIDE, OR REAR FACES OF THE BUILDING SERVED THEREBY.
- BOUNDARY SURVEY INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTANPS LAND TITLE SURVEY", SHEET 1 OF 1, DATED AUGUST 26, 2021, PREPARED BY ROBERT W. TELSCHOW, JR., P.L.S. LIC. NO. SU075641 OF PA. OF COLLIER ENGINEERING & DESIGN.
- THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS TAKEN FROM A PLAN ENTITLED "ALTANPS LAND TITLE SURVEY", SHEET 1 OF 1, DATED AUGUST 26, 2021, PREPARED BY ROBERT W. TELSCHOW, JR., P.L.S. LIC. NO. SU075641 OF PA. OF COLLIER ENGINEERING & DESIGN.
- THE HORIZONTAL DATUM IS RELATIVE TO THE PENNSYLVANIA SOUTH STATE PLANE COORDINATE SYSTEM AND ADJUSTED TO NAD 1983. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- GEOTECHNICAL INFORMATION AND SOIL TEST PIT LOCATIONS SHOWN HEREON ARE AS PRESENTED IN A REPORT ENTITLED "CHICK-FIL-A RESTAURANT #2603 - PROPOSED SITE IMPROVEMENTS", DATED: APRIL 30, 2021, PREPARED BY COLLIER ENGINEERING & DESIGN.
- THIS SET OF PLANS IS NOT DEPICTING ENVIRONMENTAL CONDITIONS OR A CERTIFICATION/WARRANTY REGARDING THE PRESENCE OR ABSENCE OF ENVIRONMENTALLY IMPACTED SITE CONDITIONS. MASER CONSULTING HAS PERFORMED NO EXPLORATORY OR TESTING SERVICES, INTERPRETATIONS, CONCLUSIONS OR OTHER SITE ENVIRONMENTAL SERVICES RELATED TO THE DETERMINATION OF THE POTENTIAL FOR CHEMICAL, TOXIC, RADIOACTIVE OR OTHER TYPE OF CONTAMINANTS AFFECTING THE PROPERTY AND THE UNDERSIGNED PROFESSIONAL IS NOT QUALIFIED TO DETERMINE THE EXISTENCE OF SAME. SHOULD ENVIRONMENTAL CONTAMINATION OR WASTE BE DISCOVERED, THE OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THIS IS A SITE DEVELOPMENT PLAN AND UNLESS SPECIFICALLY NOTED ELSEWHERE HEREON, IS NOT A SURVEY.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERETO.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL APPROVALS REQUIRED HAVE BEEN OBTAINED. ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED AND THE DRAWINGS HAVE BEEN STAMPED "ISSUED FOR CONSTRUCTION". THIS SHALL INCLUDE APPROVAL OF ALL CATALOG CUTS, SHOP DRAWINGS AND/OR DESIGN CALCULATIONS AS REQUIRED BY THE PROJECT OWNER AND/OR MUNICIPAL ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR PROJECT SAFETY, INCLUDING PROVISION OF ALL APPROPRIATE SAFETY DEVICES AND TRAINING REQUIRED.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL PA ONE CALL TO REQUEST A UTILITY MARKOUT.

SITE NOTES

- BUILDING FOOTPRINT DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED ON THE ARCHITECTURAL PLANS AT THE TIME OF APPLICATION FOR A BUILDING PERMIT. ALL STRUCTURES SHALL CONFORM TO THE APPROVED BULK ZONING REQUIREMENTS.
- CURB RAMPS ARE TO BE CONSTRUCTED FLUSH WITH THE FINISHED PAVEMENT SURFACE. ACCESSIBLE CURB RAMPS INSTALLED WITHIN THE PUBLIC RIGHT OF WAY ARE TO HAVE DETECTABLE WARNING SURFACES COMPLIANT WITH FEDERAL ACCESSIBILITY GUIDELINES FOR PEDESTRIAN FACILITIES IN THE PUBLIC RIGHT OF WAY.
- TRAFFIC SIGNAGE AND STRIPING SHALL CORRESPOND TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- REFUSE AND RECYCLABLES SHALL BE STORED WITHIN WITHIN OUTSIDE SCREENED TRASH ENCLOSURES AS NOTED ON THE PLANS, AND PICKED UP BY PRIVATE WASTE DISPOSAL HAULER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL WASTE MATERIALS IN ACCORDANCE WITH GOVERNING REGULATIONS AND AGENCIES.
- THERE SHALL BE NO ON-SITE BURIAL OF CONSTRUCTION MATERIALS, TREE BRANCHES, STUMPS, OR OTHER DELETERIOUS MATERIALS.

- MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
  - A. PENNSYLVANIA DEPARTMENT OF TRANSPORTATION "SPECIFICATIONS PUBLICATION 408", 2020, AS SUPPLEMENTED.
  - B. CURRENT PREVAILING MUNICIPAL, COUNTY, AND/OR STATE AGENCY SPECIFICATIONS, STANDARDS, CONDITIONS, AND REQUIREMENTS.
  - C. CURRENT PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
  - D. CURRENT MANUFACTURER SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- UTILITY NOTES
  - EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTIONS, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS, AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS. THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON, SUCH CONDITIONS COULD RENDER THE DESIGNS HEREON INAPPROPRIATE OR INEFFECTIVE.
  - UTILITY RELOCATIONS SHOWN HEREON, IF ANY, ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY NOT REPRESENT ALL REQUIRED UTILITY RELOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING AND/OR COORDINATING ALL REQUIRED UTILITY RELOCATIONS IN COOPERATION WITH THE RESPECTIVE UTILITY COMPANY/AUTHORITY.
  - STORM SEWERS SHALL BE CLASS III (OR HIGHER IF NOTED) REINFORCED CONCRETE PIPE (RCP) WITH "O" RING GASKETS OR INTERNALLY PRELUBRICATED GASKET (TYLUX SUPERSEAL OR EQUIVALENT, ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE), AS NOTED ON THE PLAN, OR APPROVED EQUAL. PROPER PIPE COVERAGE SHALL BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION. PIPE LENGTHS SHOWN HEREON ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
  - CONTRACTOR IS RESPONSIBLE TO DETERMINE WHEN SPECIAL OR OVERSIZED DRAINAGE STRUCTURES ARE REQUIRED. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL SPECIAL (OVERSIZED) DRAINAGE STRUCTURES TO THE TOWNSHIP ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
  - THERE IS EXISTING WATER SERVICE ON SITE.
  - THERE IS EXISTING SANITARY SERVICE ON SITE.
  - ALL WATER MAINS SHOULD BE SEPARATED FROM SANITARY SEWER AND INDUSTRIAL DISCHARGE LINES BY A MINIMUM HORIZONTAL DISTANCE OF 10 FEET. IF SUCH HORIZONTAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH SEPARATION EXPRESSLY APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
  - AT THE CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATER TIGHT CONSTRUCTION (THAT IS DUCTILE IRON PIPE WITH MECHANICAL RESTRAINT JOINTS), WITH WATER TIGHT JOINTS THAT IS A MINIMUM OF 10 FEET FROM THE WATER MAIN. CONTRACTOR SHALL USE TRANSITION COUPLING, POWER SEAL MODEL #3501 OR EQUIVALENT AT DIP/VC JOINTS.
  - GAS, ELECTRIC, LIGHTING, CABLE TELEVISION, AND ELECTRICAL SERVICE PLANS, IF REQUIRED, SHALL BE PREPARED BY THE RESPECTIVE UTILITY COMPANIES THAT SERVICE THE AREA PRIOR TO SITE CONSTRUCTION AND SHALL BE INSTALLED PER ORDINANCE OR LOCAL UTILITY COMPANIES REQUIREMENTS.
  - TELEPHONE, ELECTRIC, AND GAS LINES WILL BE INSTALLED UNDERGROUND. CROSSINGS OF PROPOSED PAVEMENTS WILL BE INSTALLED PRIOR TO THE CONSTRUCTION OF PAVEMENT BASE COURSE.

THESE GENERAL NOTES SHALL APPLY TO ALL SHEETS IN THIS SET.

WETLAND NOTES:

- THERE ARE NO WETLANDS WITHIN THE PROPOSED DEVELOPMENT AREA.

FLOOD HAZARD NOTES:

- BY GRAPHICAL PRESENTATION ONLY THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X AS SHOWN ON FLOOD INSURANCE MAPS, COMMUNITY PANEL NO. 42043C039D WHICH HAS AN EFFECTIVE DATE OF AUGUST 2, 2012 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. FIELD SURVEYING WAS NOT PERFORMED TO DETERMINE THIS ZONE.

ADA INSTRUCTIONS TO CONTRACTOR:

- CONTRACTOR SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA (HANDICAPPED) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE LATEST ADA COMPLIANCE WITH THE DESIGN. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:
  - (NOTE: THIS LIST IS NOT INTENDED TO CAPTURE EVERY APPLICABLE FEDERAL, STATE AND LOCAL RULE AND REGULATION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE LAW, WHETHER OR NOT STATED SPECIFICALLY HEREIN.)
  - A. PARKING SPACES AND PARKING ASLES - SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
  - B. CURB RAMPS - SLOPES SHALL NOT EXCEED 1:12 (8.3%).
  - C. LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL PROVIDE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1/48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
  - D. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE.
  - E. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
  - F. DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHER WISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE APPLICABLE CODE SECTIONS).
- IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK.

RECORD PLAN NOTES

- NOTHING SHALL BE PLANTED OR PLACED WITHIN THE EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENT.

THIS PLAN APPROVED BY THE SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS, AND ALL CONDITIONS IMPOSED WITH RESPECT TO SUCH APPROVAL WERE COMPLETED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ OF 20\_\_\_\_.

PRESIDENT \_\_\_\_\_  
SECRETARY \_\_\_\_\_

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SUSQUEHANNA TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ OF 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_  
SECRETARY \_\_\_\_\_

THIS PLAN REVIEWED BY THE SUSQUEHANNA TOWNSHIP ENGINEER THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

TOWNSHIP ENGINEER \_\_\_\_\_

THIS PLAN RECOMMENDED FOR APPROVAL BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ OF 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_  
SECRETARY \_\_\_\_\_

RECORD INFORMATION

RECORDED IN THE DAUPHIN COUNTY COURTHOUSE

RECORDED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

INSTRUMENT NO. \_\_\_\_\_

STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT

THE STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT IS ENTERED INTO BY THE (GRANTOR) IN CONSIDERATION OF THE APPROVAL OF THE SITE PLAN BY THE SUSQUEHANNA TOWNSHIP, PENNSYLVANIA FOR DEVELOPMENT OF CHICK-FIL-A. GRANTOR IS OBLIGATED BY THE MUNICIPAL CODE OF THE SUSQUEHANNA TOWNSHIP TO CONTROL STORMWATER RUNOFF FOR THE PROPOSED DEVELOPMENT AS A PART OF THE SITE PLAN APPROVAL PROCESS. IN CONSIDERATION FOR THE TOWNSHIP'S APPROVAL OF THE GRANTOR'S SITE PLAN, GRANTOR HAS ENTERED INTO THIS STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT (THIS "AGREEMENT") TO CONTROL AND ADDRESS STORMWATER RUNOFF FOR THE SITE.

\_\_\_\_\_(THE "GRANTOR") ACKNOWLEDGES THE STORMWATER MANAGEMENT FACILITIES OPERATION AND MAINTENANCE (O&M) AGREEMENT IS PART OF THE STORMWATER MANAGEMENT PLAN.

\_\_\_\_\_(HEREINAFTER REFERRED TO AS THE BENEFITED PROPERTY) THE FOLLOWING PROVISIONS ARE COVENANTS RUNNING WITH THE LAND TO THE BENEFIT OF THE TOWNSHIP, BINDING ON GRANTOR AND GRANTOR'S SUCCESSORS AND ASSIGNS IN INTEREST TO THE BENEFITED PROPERTY, AND SHALL ONLY BE AMENDED OR RELEASED WITH THE WRITTEN PERMISSION OF THE TOWNSHIP.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

STORMWATER MANAGEMENT CERTIFICATE

I, \_\_\_\_\_, HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF SUSQUEHANNA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

ENVIRONMENTAL CERTIFICATE

I, \_\_\_\_\_, HEREBY CERTIFY THAT THERE ARE NOT WETLANDS ON THE SUBJECT PROPERTY, THE PROPOSED PROJECT WILL NOT IMPACT OFF-SITE WETLANDS, AND PERMITS ARE NOT REQUIRED FROM THE STATE OR FEDERAL GOVERNMENT.

ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF \_\_\_\_\_

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE

ME \_\_\_\_\_

THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_

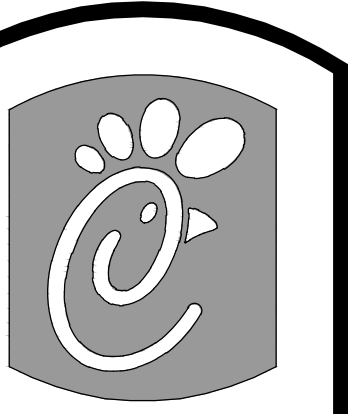
KNOWN TO ME (OR SATISFACTORILY PROVEN) TO BE THE PERSON(S) WHOSE NAME(S)

IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT, AND ACKNOWLEDGE THAT \_\_\_\_\_

EXECUTED THE SAME FOR THE PURPOSES THEREIN CONTAINED.

IN WITNESS WHEREOF, I HEREBY SET MY HAND AND OFFICIAL SEAL.

(NOTARY SEAL)



5200 Buffington Road  
Atlanta, Georgia  
30349-2998

Telephone 404-765-8000

REVISED PER TWP COMMENTS	REVISED PER TWP COMMENTS	DESCRIPTION
07/29/22	07/29/22	DATE
1	1	REV

Seal



Justin Ryan Thornton  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NUMBER: PE005379  
COLLIER ENGINEERING & DESIGN, INC.

Collier Engineering & Design

www.collierengineering.com  
Doing Business as MASER  
PITTSBURGH  
15101 Pennsylvania Avenue  
Suite 302  
Pittsburgh, PA 15233  
Phone: 412.676.1590

STORE 5029

PARCEL #/APN:

62-040-048-000-0000

SUSQUEHANNA TOWNSHIP  
DAUPHIN COUNTY  
PENNSYLVANIA

PRELIMINARY & FINAL  
MAJOR SITE PLAN

TITLE SHEET

DWG EDITION 2.0

- Preliminary
- 80% Submittal
- For Construction

File No.: 21001871A

Store : 5029

Date : 05/04/22

Drawn By: VFP

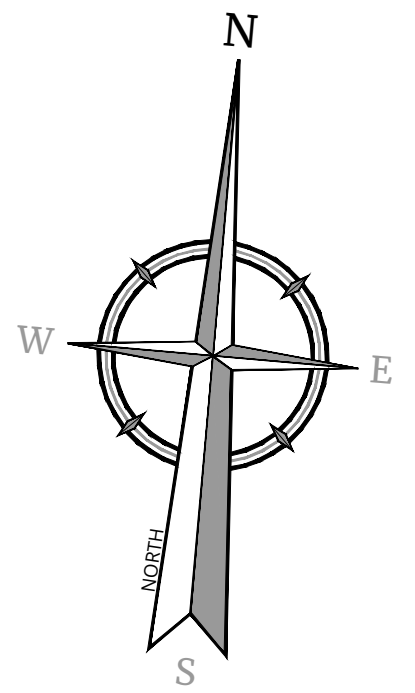
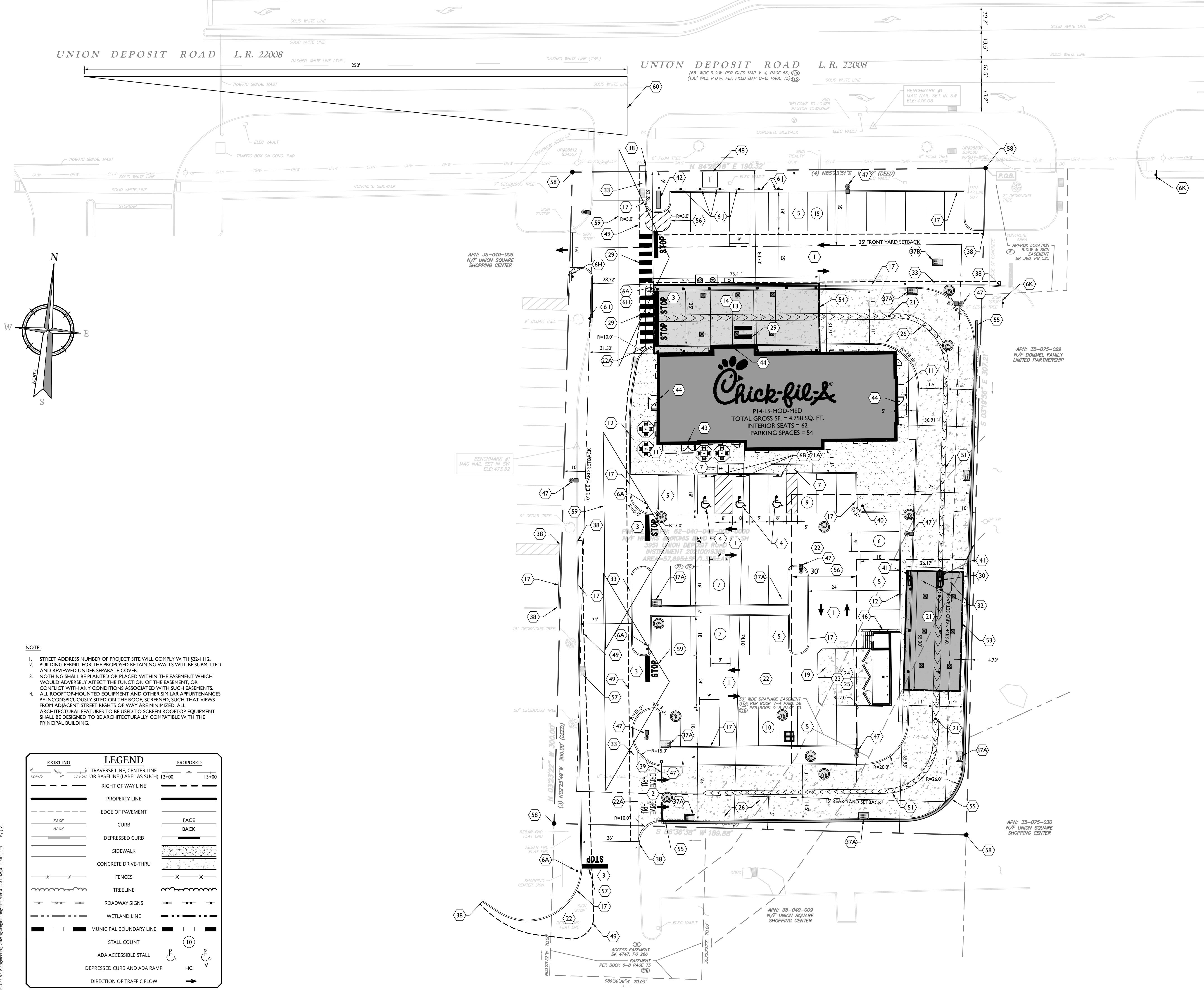
Checked By: JRT

Sheet

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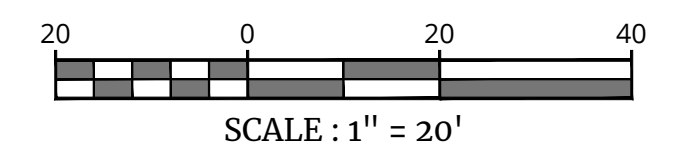


**NOTE**

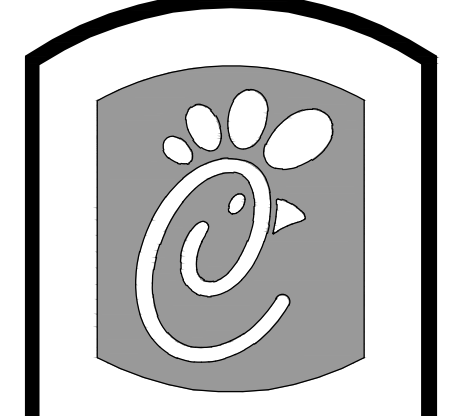
1. STREET ADDRESS NUMBER OF PROJECT SITE WILL COMPLY WITH 922.111.2.
2. BUILDING PERMIT FOR THE PROPOSED RETAINING WALLS WILL BE SUBMITTED AND REVIEWED UNDER SEPARATE COVER.
3. NOTHING SHALL BE PLANTED OR PLACED WITHIN THE EASEMENT WHICH WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR CONFLICT WITH ANY CONDITIONS ASSOCIATED WITH SUCH EASEMENTS.
4. ALL ROOFTOP-MOUNTED EQUIPMENT AND OTHER SIMILAR APPURTENANCES BE INCONSPICUOUSLY SITED ON THE ROOF, SCREENED, SUCH THAT VIEWS FROM ADJACENT STREET RIGHTS-OF-WAY ARE MINIMIZED. ALL ARCHITECTURAL FEATURES TO BE USED TO SCREEN ROOFTOP EQUIPMENT SHALL BE DESIGNED TO BE ARCHITECTURALLY COMPATIBLE WITH THE PRINCIPAL BUILDING.

EXISTING	LEGEND	PROPOSED
	TRAVERSE LINE, CENTER LINE OR BASELINE (LABEL AS SUCH)	
	RIGHT OF WAY LINE	
	PROPERTY LINE	
	EDGE OF PAVEMENT	
	FACE OF CURB	
	BACK OF CURB	
	DEPRESSED CURB	
	SIDEWALK	
	CONCRETE DRIVE-THRU	
	FENCES	
	TREELINE	
	ROADWAY SIGNS	
	WETLAND LINE	
	MUNICIPAL BOUNDARY LINE	
	STALL COUNT	
	ADA ACCESSIBLE STALL	
	DEPRESSED CURB AND ADA RAMP	
	DIRECTION OF TRAFFIC FLOW	

SITE PLAN LEGEND	
	1. DIRECTIONAL ARROW (TYP.)
	2. DRIVE-THRU GRAPHICS
	3. DRIVE-THRU MULTI-LANE MERGE STRIPING (NOT USED)
	4. STOP LINE GRAPHICS
	5. PAINTED HANDICAP PARKING SYMBOL (TYP.)
	6. STANDARD PARKING STALL (TYP.)
	7. DIRECTIONAL SIGNAGE
ALL SIGNS TO CONFORM TO MUTCD LATEST VERSION	
	8. STOP SIGN
	9. HANDICAP VIOLATION (TYP.)
	10. NO TRUCKS EXCEPT FOR DELIVERIES SIGN
	11. RIGHT TURN ONLY SIGN
	12. ONE WAY SIGN
	13. CATERING & CARRY OUT SIGN
	14. PEDESTRIAN CROSSING SIGN
	15. DO NOT ENTER SIGN
	16. NO U-TURN SIGN
	17. LOADING ZONE, NO PARKING AFTER STORE HOUR SIGN
	18. DO NOT BLOCK INTERSECTION SIGN
	19. CHICK-FIL-A MAIN ENTRY HANDICAP RAMP
	20. HANDICAP RAMP w/ FLARED SIDES (NOT USED)
	21. RETURNED CURB HANDICAP RAMP (NOT USED)
	22. TRUNCATED DOMES (NOT USED)
	23. TYPICAL SIDEWALK DETAIL - PICTURE FRAME PATTERN
	24. TYPICAL SIDEWALK WITH CURB
	25. DRIVE THRU PLAN VIEW
	26. DRIVE THRU ISOMETRIC VIEW
	27. PLASTIC WHEEL STOP (TYP.) (NOT USED)
	28. LANDSCAPE/IRRIGATION PROTECTOR (NOT USED)
	29. 18" CONCRETE CURB
	30. ROLL-OVER/MOUNTABLE CURB (NOT USED)
	31. TRASH ENCLOSURE FOUNDATION PLAN
	32. ALT. TRASH ENCLOSURE FOUNDATION PLAN (NOT USED)
	33. ALT. TRASH ENCLOSURE DRAINAGE PLAN (NOT USED)
	34. BOLLARD
	35. BOLLARD w/ SIGN
	36. TYPICAL ASPHALT PAVEMENT SECTION
	37. PAVEMENT EDGE AT CONCRETE
	38. CONTRACTION JOINTS
	39. CONSTRUCTION JOINTS
	40. SECTION THRU CONCRETE PAVEMENT AT DUMPSTER
	41. CONCRETE PAVEMENT SECTION AT DRIVE-THRU
	42. HANDRAIL
	43. HANDRAIL AND RAMP (NOT USED)
	44. CROSS WALK DETAIL (NOT USED)
	45. DRIVE THRU ORDER POINT ISLAND CURB
	46. MULTI ORDER POINT MOUNTABLE CURB (NOT USED)
	47. MENU BOARD LOOP DETECTION SYSTEM
	48. PAVEMENT REPAIR STRIP
	49. CURB CUT (FLUSH CURB)
	50. GREASE INTERCEPTOR (NOT USED)
	51. EXTERIOR CLEANOUT (TYP.)
	52. INLET DETAILS
	53. TYPE "C"
	54. TYPE "M"
	55. MEET EXISTING CURB
	56. CLEARANCE BAR
	57. FLAG POLE
	58. DRIVE-THRU MENU BOARD
	59. MAIN ID SIGN (96.00 SF)
	60. WALL SIGN (46.00 SF)
	61. WALL SIGN (58.75 SF)
	62. CURB TRANSITION FROM FLUSH TO FULL HEIGHT
	63. 4" WIDE WHITE STRIPE
	64. LIGHT POLE (SEE LIGHTING PLAN FOR DETAILS)
	65. EXISTING LIGHT POLE
	66. TRANSFORMER & PAD
	67. SAW CUT LIMIT (TYP.)
	68. DOGHOUSE SANITARY MANHOLE (NOT USED)
	69. DRIVE-THRU STRIPING
	70. EMPLOYEE PARKING
	71. FACE TO FACE ORDER CANOPY
	72. MEAL DELIVERY CANOPY
	73. RETAINING WALL
	74. 30 FT WIDE STORM EASEMENT
	75. CONVERT C INLET TO M INLET
	76. PROPERTY CORNER TO BE SET WITH PROPERTY MARKER WITH DIMENSION OF 3/4" x 3/4" SQUARE OR 3/4" IN DIAMETER. THE MARKER SHALL BE 30 INCHES IN LENGTH AND MADE OF IRON PIPE OR IRON/STEEL BARS.
	77. 50 FT SIGHT TRIANGLE
	78. UNION DEPOSIT ROAD SIGHT TRIANGLE



Know what's below. Call before you dig. **811**  
 1-800-272-1000



**Chick-fil-A**  
 5200 Buffington Road  
 Atlanta, Georgia  
 30349-2998  
 Telephone 404-765-8000

REV	DATE	DESCRIPTION
1	07/19/22	REVISED PER TYP COMMENTS
2	07/19/22	REVISED PER TYP COMMENTS

**Seal**

Justin Ryan Thornton  
 PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NUMBER: PE003279  
 COLLIER ENGINEERING & DESIGN, INC.

**Colliers Engineering & Design**  
 www.colliersengineering.com  
 Doing Business as **MASER**  
 PITTSBURGH, PENNSYLVANIA  
 1501 Riverside Street  
 Suite 302  
 Pittsburgh, PA 15233  
 Phone: 412.618.5390

**STORE 5029**

PARCEL #/APN:  
 62-040-048-000-0000

SUSQUEHANNA  
 TOWNSHIP  
 DAUPHIN COUNTY  
 PENNSYLVANIA

PRELIMINARY & FINAL  
 MAJOR SITE PLAN

**SITE PLAN**

DWG EDITION 2.0

Preliminary  
 80% Submittal  
 For Construction

File No.: 21001871A  
 Store: 5029  
 Date: 05/04/22  
 Drawn By: VFP  
 Checked By: JRT  
 Sheet

**C 2**

DCNR-C2P2

Applicant Information (\* indicates required information)

Applicant/Grantee Legal Name: **SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS** Web Application ID: **2005436**Project Title: **Crown Point Park Playground Replacement**

WHEREAS, **SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS** ("Applicant") desires to undertake the project, "**Crown Point Park Playground Replacement**" ("Project Title"); and

WHEREAS, the applicant desires to receive from the Department of Conservation and Natural Resources ("Department") a grant for the purpose of carrying out this project; and

WHEREAS, the application package includes a document entitled "Terms and Conditions of Grant" and

WHEREAS, the applicant understands that the contents of the document entitled "Terms and Conditions of Grant," including appendices referred to therein, will become the terms and conditions of a Grant Agreement between the applicant and the Department **if the applicant is awarded a grant**; and

**NOW THEREFORE, it is resolved that:**

1. The grant application may be electronically signed on behalf of the applicant by "**David Pribulka**" who, at the time of signing, has a **TITLE** of "**Township Manager**" and the email address of "**dpribulka@susquehannatwp.com**".
2. If this Official signed the Grant Application Electronic Authorization prior to the passage of this Resolution, this grant of authority applies retroactively to the date of signing.
3. If the applicant is awarded a grant, the Grant Application Electronic Authorization, signed by the above Official, will become the applicant/grantee's **executed** signature page for the Grant Agreement, and the applicant/grantee will be bound by the Grant Agreement.
4. Any amendment to the Grant Agreement may be signed on behalf of the grantee by the Official who, at the time of signing of the amendment, has the "**TITLE**" specified in paragraph 1 and the grantee will be bound by the amendment.

I hereby certify that this Resolution was adopted by the

---

(identify the governing body of the applicant, e.g. city council, borough council, board of supervisors, board of directors)

of this applicant, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ .

---

(signature of the governing body)



# Susquehanna TOWNSHIP

1900 Linglestown Road | Harrisburg, PA 17110

Phone 717.545.4751 | Fax 717.540.4298

[susquehannatwp.com](http://susquehannatwp.com)

October 13, 2022,

Susquehanna Township is in the process of updating our park system and has identified Crown Point Park Playground the next playground system to be replaced. The Township is working with various playground suppliers and have determined the cost of the playground would be \$329,538.00.

Susquehanna Township is seeking a grant as part of the Dauphin County Local Share grant in the amount of \$30,000 to put towards the replacement, with that we are also applying for the supplemental round of grants with DCNR. Susquehanna Township Board of Commissioners is committed to financially supporting the match to the DCNR Grant proposal in the amount of \$135,000 to \$165,000 determining the outcome of the Local Share Grant through Dauphin County.

Susquehanna Township Board of Commissioners is committing a financial grant match of between \$135,000 to \$165,000 based on the success of the two grant proposals that have been submitted at this time.

\_\_\_\_\_  
Frank Lynch, President Board of Commissioners

\_\_\_\_\_  
Date

\_\_\_\_\_  
David Pribulka, Secretary

\_\_\_\_\_  
Date



DCNR-C2P2

Applicant Information (\* indicates required information)

Applicant/Grantee Legal Name: **SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS** Web Application ID: **2005613**Project Title: **Susquehanna Parks Tree Planting**

WHEREAS, **SUSQUEHANNA TOWNSHIP BOARD OF COMMISSIONERS** ("Applicant") desires to undertake the project, "**Susquehanna Parks Tree Planting**" ("Project Title"); and

WHEREAS, the applicant desires to receive from the Department of Conservation and Natural Resources ("Department") a grant for the purpose of carrying out this project; and

WHEREAS, the application package includes a document entitled "Terms and Conditions of Grant" and

WHEREAS, the applicant understands that the contents of the document entitled "Terms and Conditions of Grant," including appendices referred to therein, will become the terms and conditions of a Grant Agreement between the applicant and the Department **if the applicant is awarded a grant**; and

**NOW THEREFORE, it is resolved that:**

1. The grant application may be electronically signed on behalf of the applicant by "David Pribulka" who, at the time of signing, has a TITLE of "Township Manager" and the email address of "dpribulka@susquehannatwp.com".
2. If this Official signed the Grant Application Electronic Authorization prior to the passage of this Resolution, this grant of authority applies retroactively to the date of signing.
3. If the applicant is awarded a grant, the Grant Application Electronic Authorization, signed by the above Official, will become the applicant/grantee's **executed** signature page for the Grant Agreement, and the applicant/grantee will be bound by the Grant Agreement.
4. Any amendment to the Grant Agreement may be signed on behalf of the grantee by the Official who, at the time of signing of the amendment, has the "**TITLE**" specified in paragraph 1 and the grantee will be bound by the amendment.

I hereby certify that this Resolution was adopted by the

---

(Identify the governing body of the applicant, e.g. city council, borough council, board of supervisors, board of directors)

of this applicant, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_ .

---

(signature of the governing body)



# Susquehanna

TOWNSHIP

1900 Linglestown Road | Harrisburg, PA 17110

Phone 717.545.4751 | Fax 717.540.4298

[susquehannatwp.com](http://susquehannatwp.com)

October 13, 2022,

Susquehanna Township is in the process of updating our park system and has identified five parks that have a lack of trees within the parks. Susquehanna Township is working with Treevitalize and a service forester to identify tree species and location for planting. Susquehanna Township is seeking a grant from DCNR in the amount of \$160,000 with the Township matching \$40,000 to put the total project cost at \$200,000

Susquehanna Township Board of Commissioners is committed to financially supporting the match to the DCNR Grant proposal in the amount of \$40,000.

\_\_\_\_\_  
Frank Lynch, President Board of Commissioners

\_\_\_\_\_  
Date

\_\_\_\_\_  
David Pribulka, Secretary

\_\_\_\_\_  
Date



## Township Manager's Report October 13, 2022

1. Susquehanna and Lower Paxton Townships' staff have submitted a joint grant application to the Pennsylvania Department of Transportation to install adaptive traffic signal technology at twelve signalized intersections along the Route 39 (Linglestown Rd.) corridor. If successful, the grant will enable signal optimization in real-time based on current traffic conditions. The goal of the project is to optimize signal timing throughout the corridor to improve vehicular, bicycle, and pedestrian mobility and safety.
2. The Manager attended the September 15<sup>th</sup> Shade Tree Commission meeting to discuss the requirement that all tree removal permit applications be reviewed by an ISA-certified Arborist prior to their consideration by the Shade Tree Commission. The Commission also endorsed the Township's grant application to the DCNR Tree Vitalize Program presented for authorization this evening.
3. Staff met with Commissioner Fleming and representatives from the Susquehanna Township School District and the Susquehanna Township Midget Football Association to discuss utilization of the School District's football field.
4. The Township completed its Risk Control Survey with the Susquehanna Municipal Trust, its Worker's Compensation Insurance carrier. The survey included a review of the Accident and Illness Prevention Program compliance measures and general worker safety analyses. The survey was successful, and no major liabilities were identified.
5. Staff met with representatives from Milberg on the migration of enforcement of vacant property registration. The move from Prochamps has been completed and Milberg is currently reviewing all outstanding collections that are due to the Township and have not passed the statute of limitations.
6. The Manager and Commissioner Faylona attended the Pennsylvania Municipal League Annual Summit in Pittsburgh from October 6 – 8<sup>th</sup>. The Summit featured sessions on a range of topics including the future of fire service in Pennsylvania; electrical vehicle charging station installations; cyber security; broadband; and more.



September 23rd, 2022

TO: President Frank Lynch, Police Committee, and Members of the Board of Commissioners

FROM: Director of Public Safety Robert A. Martin

SUBJECT: Monthly Report of Activities within the Police Department for the Month of August 2022

During the month of August 2022, the Police Department investigated 2219 complaints, and traveled 21,470 miles patrolling the township highways and residential areas. There were 226 traffic citations issued, 42 non-traffic citations issued, 519 written warnings issued.

Also, during this month there was 4 Burglaries, 22 thefts, 20 Assaults, 26 Drug arrests, 9 Criminal Mischief, 3 Disorderly Conduct. 61 traffic accidents reported.

Also, there were 39 criminal arrests accomplished by the Patrol Division.



## PLANNING

### DEVELOPMENT PLANS

Project Name	Location	Use	Status
1 Houses at Oakhurst	Oakhurst Blvd & Blue Ridge Cir	Residential - 2 lots	BOC 8/11
2 3465 N. Front St.	3465 N. Front St.	Lot Consolidation	Withdrawn
3 3801 Walnut St.	3801 Walnut St.	Comm. - restaurant add.	PC 10/25
4 Russell Dr. - Lot 2	Russell Dr. cul-de-sac (Commerce Pa	Res. (age rest.) - 78 units	Approved
5 Chick-Fil-A	3951 Union Deposit Rd.	Comm. - restaurant	BOC 10/13
6 Stray Winds Farms Phase 8	Paxton Church Rd & Crums Mill Rd	Residential - 40 lots	Approved
7 Townes at Margarets Grove	Hamlin Ln & Bartlett Rd	Residential - 28 units	Approved
8 SUG Phase IIIC	SEC Garrison & N Progress Ave	Commercial - day care	Approved
9 Estates at Margarets Grove Ph 2	North end of Continental Dr	Residential - 11 lots	BOC 10/13
10 5213-5215 N Front St.	5213-5215 N Front St.	Residential - lot consolida	Approved
11 4216 N Progress	4216 N Progress	Res. Minor Sub - 2 lots	Approved
12 2703 George St	2703 George St	Lot Consolidation	BOC 10/13
13 Melissa H. Kuskin	4716 & 4720 Pine Ridge Rd	Lot Line Adjustment	BOC 10/25
14 SUG Rockville Place (PSL)	NEC Elmwood Dr. & Garrison Ave.	Land Development	PC 10/25
15			

### ZONING HEARING BOARD

Applicant	Location	Request	Date	Status
1 B&P Real Estate	4030 N 2nd St	Multiple variance to allow	1/5/2022	Withdrawn
2 Allegra/Image 360	3535 Walnut St	Variance for signs	2/5/2022	Withdrawn
3 Sughair Inc	3465 N 6th St	SE & Variance for junkyard	2/5/2022	Denied
4 Sughair Inc	3465 N 6th St	Appeal to Stop Work Notice	3/2/2021	Withdrawn
5 Chick-fil-A	3951 Union Deposit Rd.	Multiple variances	4/6/2022	Approved
6 3801 Walnut Enterprises LP	3801 Walnut St.	Appeal /Sign Variance	5/4/2022	Appeal to Common
7 Five Bridges Health	4450 Oakhurst Blvd	Sign Variance	10/6/2022	
8 Steps of Active Recod	2319 Canby St	SE & variance for parking	10/6/2022	
9				

### TEXT AMENDMENTS

Applicant	Request	Date	Status
1 Township	Zoning Ordinance Rewrite	TBD	Rewrites
2 Township	Subdivision Rewrites	TBD	Rewrites
3 Township	Quality of Life Ordinance	TBD	Draft
4 Township	Updates to Building Code per UCC Changes	TBD	Draft
5 Township	Rental Inspection Program	TBD	Draft
6 Township	ZO change to Permitted Uses and adding Salvage	8/11/2022	Approved

## PERMITS & LICENSES

### BUILDING PERMITS

	SEP	YTD
Cell Tower Antennas	0	7
Commercial Improvements	4	44
Commercial New Buildings	0	4
Demolition	1	6
Industrial Housing	0	2
Porch/Patio/Deck	5	16
Residential Addition	0	7
Residential Improvements	3	60
Retaining Wall	0	3
Multi-Family Residential	2	2
Single Family Dwelling	6	64
Signs	4	14
Solar Panels	2	46
Swimming Pools	2	11
Townhouse	0	203
Electrical	21	437
Plumbing	15	403
<b>Total</b>	<b>65</b>	<b>1329</b>

### CERTIFICATES OF OCCUPANCY

	SEP	YTD
Commercial Improvement	0	1
Residential Renovation	0	2
Fire Restoration	0	0
New Commercial	0	4
Residential Additions	0	6
Single Family Attached	0	11
Single Family Detached	1	40
Single Family Semi-Detached	0	3
Tenant Fit-out	0	7
Townhouse	0	3
<b>Total</b>	<b>1</b>	<b>77</b>

### VIOLATIONS

	SEP		YTD	
	Open	Corr	Open	Corr
Building	1	0	7	2
Property	41	27	347	152
Zoning	1	0	7	1
Other	2	0	13	9
<b>Total</b>	<b>45</b>	<b>27</b>	<b>374</b>	<b>164</b>

### ZONING PERMITS

	SEP	YTD
Accessory (Misc)	3	9
Deck/Patio	1	3
Detached Garage	1	1
Driveway	0	5
Fence	1	42
Shed	0	25
Use	0	5
<b>Total</b>	<b>6</b>	<b>90</b>

### MISC

	SEP	YTD
Grading/Fill (no building)	4	20
Shade Tree Permits	1	11
Street Cut Permits	12	114
Solicitation Permits	1	3

### BUILDING INSPECTIONS

	SEP	YTD
Residential Inspections	159	992
Commercial Inspections	48	N/R
Plumbing	74	733
<b>Total</b>	<b>281</b>	<b>1725</b>

### OTHER PERMITS/LICENSES

	SEP	YTD
Plumbers - Master	1	106
Plumbers - Journeyman	0	121
<b>Total</b>	<b>1</b>	<b>227</b>

### CITATIONS FILED

	SEP		YTD	
	Open	Heard	Open	Heard
Building	0	0	0	0
Property	5	0	25	8
Zoning	0	0	1	1
Other/Health	0	0	15	9
<b>Total</b>	<b>5</b>	<b>0</b>	<b>41</b>	<b>18</b>

## OTHER DCED ACTIVITIES

### ON LOT DISPOSAL SYSTEMS (OLDS)

	SEP	YTD
Pumping Reports	5	15
Out of Compliance	193	208
Total # In Compliance/Total	73	268
SEO Inspections	0	1
SEO Permits Issued	0	3

**Note:** Approximately 89 systems have been moved to sewer with Southeast Ext. Project.

### HEALTH INSPECTOR ACTIVITY

	SEP	YTD
Routine Inspections	23	99
New Facility Inspections	2	8
Complaint Inspections	1	6
Licenses Issued	0	140
Massage Facility Inspection	0	2

**Note:** Health Report is attached. Beijing Chinese Restaurant was found to be out of compliance.

## STORMWATER

### STORMWATER AUTHORITY ACTIVITY

	SEP	YTD
Inspections	0	53
Pre-application Meetings	0	2
Credits	4	39
IA Reviews/General Appeals	0	102
IA Corrections*	0	4
Board Appeals	0	0

**Note:** Annual MS4 report was submitted on 9/30/22. Interviews for SWM Field Tech are ongoing.

### MS4 PROGRAM

MCMs	SEP	YTD
1. Public Education	6	17
2. Participation	0	40
3. IDDE	0	29
4. Construction	0	25
5. PCSM	6	27
6. Housekeeping	19	51
<b>Total</b>	<b>31</b>	<b>189</b>

**Note:** See Stormwater Report for more information.

### STORMWATER ORDINANCE

	SEP	YTD
Plans Reviewed	25	345
Complaints	1	11

**Note:**



Issued Date	Permit #	Parcel ID	Location	Permit Type	Sub Type
9/1/2022	9015	62-042-043	3200 LESCURE AV	Electrical Permit	Swimming Pool
9/1/2022	27789	62-023-004	2030 N PROGRESS AV	Building Permit	Com Improvement
9/1/2022	9013	62-013-106	4406-4408 OAKHURST BLVD	Electrical Permit	Signs
9/1/2022		62-013-106	4404 OAKHURST BLVD	Electrical Permit	Signs
9/1/2022	IA2022-030	62-027-210	1916 CLAYTON AV	Stormwater Permit	Reassessment
9/1/2022	2022-093	62-027-210	1916 CLAYTON AV	Zoning Permit	PATIO
9/1/2022	27790	62-040-012	3814 Union Deposit Rd.	Building Permit	Signs
9/1/2022	27792	62-009-177	CROOKED HILL RD	Building Permit	Signs
9/1/2022	27791	62-013-106	4404 OAKHURST BLVD	Building Permit	Signs
9/1/2022	2022-092	62-033-242	251 N PROGRESS AV	Zoning Permit	Signs
9/1/2022	27793	62-042-043	3200 LESCURE AV	Building Permit	Swimming Pool
9/2/2022	2022-106	62-034-182	3811 MAPLE ST	Street Cut Permit	ROAD OPNG
9/2/2022	2022-107	62-036-107	508 WOOD ST	Street Cut Permit	ROAD OPNG
9/2/2022	27794	62-060-230	2200 CONTINENTAL DR	Building Permit	Patio roof
9/7/2022	2022-094	62-009-005	4612 FARGREEN RD	Zoning Permit	GARAGE
9/7/2022	GEP2022-21	62-009-005	4612 FARGREEN RD	Grading / Excavation	Excavation
9/7/2022	IA2022-036	62-009-005	4612 FARGREEN RD	Stormwater Permit	Reassessment
9/8/2022	2022-108	62-016-102	3715 GREEN BLVD	Street Cut Permit	ROAD OPNG
9/12/2022	27795	62-006-054	4423 N FRONT ST	Building Permit	Com Improvement
9/13/2022	27796	62-040-029	905 KATIE CT	Building Permit	Demolition
9/13/2022	2022-096	62-002-058	N FRONT ST	Street Cut Permit	CURB-SIDEWALK
9/13/2022	9738	62-006-043	4427 N 2ND ST	Plumbing Permit	SEWER LAT
9/14/2022	27801	62-024-154	503 N PROGRESS AV	Building Permit	PATIO/DECK/SHED
9/14/2022	27799	62-019-329	1731 BRADLEY DRIVE	Building Permit	PATIO/DECK/SHED
9/14/2022	9014	62-036-120	3603 SALEM RD	Electrical Permit	Res Improvements
9/14/2022	9018	62-013-222	2401 Hawthorne Dr	Electrical Permit	SFDD
9/14/2022	9740	62-013-222	2401 Hawthorne Dr	Plumbing Permit	SFDD
9/14/2022	9020	62-009-005	4612 FARGREEN RD	Electrical Permit	Res Improvements
9/14/2022	27802	62-033-086	3316 SUNNYSIDE AV	Building Permit	Res Improvements
9/14/2022	27798	62-036-120	3603 SALEM RD	Building Permit	Res Improvements
9/14/2022	9017	62-009-200	1900 LINGLESTOWN RD.	Electrical Permit	Signs
9/14/2022	9739	62-015-116	3914 N 6TH ST	Plumbing Permit	SEWER LAT
9/14/2022	9019	62-029-136	217 N 28TH ST	Electrical Permit	Res Improvements
9/14/2022	27800	62-013-222	2401 Hawthorne Dr	Building Permit	SFDD
9/14/2022	27797	62-009-200	1900 LINGLESTOWN RD.	Building Permit	Signs
9/14/2022	27803	62-029-136	217 N 28TH ST	Building Permit	Solar panels
9/15/2022	27804	62-013-201	2501 Union Green Wy 101-308	Building Permit	Apartments
9/15/2022	2022-110	62-038-084	613 SYLVAN PL	Street Cut Permit	ROAD OPNG
9/15/2022	2022-095	62-033-120	3124 WALNUT ST	Street Cut Permit	ROAD OPNG
9/19/2022	27805	62-023-008	CAPITAL DR L1	Building Permit	Com Improvement
9/19/2022	9741	62-023-008	CAPITAL DR L1	Plumbing Permit	Com Improvement

Issued Date	Permit #	Parcel ID	Location	Permit Type	Sub Type
9/19/2022	9021	62-023-008	CAPITAL DR L1	Electrical Permit	Com Improvement
9/20/2022	2022-109	62-034-089	105 PARK ST	Street Cut Permit	ROAD OPNG
9/20/2022	2022-111	62-017-049	3500-3700 Block N 3rd Street	Street Cut Permit	ROAD OPNG
9/21/2022	2022-095	62-010-071	1000 ERIC DR	Zoning Permit	FENCE
9/21/2022	27224	62-019-277	1709 DRIFTSTONE DRIVE	Certificate of Use an	Single Family Detached
9/21/2022	GEP2022-20	62-066-012	4708 ROCK LEDGE DR	Grading / Excavator	GRADING
9/21/2022	IA2022-040	62-060-268	2213 CONTINENTAL DR	Stormwater Permit	Reassessment
9/23/2022	IA2022-042	62-036-077	3504 SCHOOLHOUSE LN	Stormwater Permit	Reassessment
9/27/2022	27806	62-013-011	2300 LINGLESTOWN RD	Building Permit	Com Improvement
9/27/2022	2022-112	62-037-094	3212 EARLE ST	Street Cut Permit	ROAD OPNG
9/27/2022	9022	62-013-011	2300 LINGLESTOWN RD	Electrical Permit	Com Improvement
9/28/2022	278812	62-007-032	1025 MILLER LN	Building Permit	PATIO/DECK/SHED
9/28/2022	27815	62-071-035	120 TUPELO ST	Building Permit	PATIO/DECK/SHED
9/28/2022	27813	62-021-441	3205 CITATION DRIVE	Building Permit	Res Improvements
9/28/2022	27807	62-021-451	3012 BIANCA WY	Building Permit	SFDD
9/28/2022	2022-097	62-017-116	3495 GREEN ST	Zoning Permit	Res Improvements
9/28/2022	27809	62-021-428	3212 Citation Dr.	Building Permit	SFDD
9/28/2022	27811	62-021-442	3207 Citation Drive	Building Permit	SFDD
9/28/2022	9029	62-060-268	2213 CONTINENTAL DR	Electrical Permit	Swimming Pool
9/28/2022	GEP2022-22	62-060-268	2213 CONTINENTAL DR	Grading / Excavator	Excavation
9/28/2022	27808	62-021-470	3013 Bianca Wy	Building Permit	SFDD
9/28/2022	9023	62-021-451	3012 BIANCA WY	Electrical Permit	SFDD
9/28/2022	9742	62-021-451	3012 BIANCA WY	Plumbing Permit	SFDD
9/28/2022	9026	62-021-465	3003 Bianca	Electrical Permit	SFDD
9/28/2022	9746	62-021-465	3003 Bianca	Plumbing Permit	SFDD
9/28/2022	27810	62-021-465	3003 Bianca	Building Permit	SFDD
9/28/2022	9025	62-021-428	3212 Citation Dr.	Electrical Permit	SFDD
9/28/2022	9744	62-021-428	3212 Citation Dr.	Plumbing Permit	SFDD
9/28/2022	2022-113	62-029-134	1411 N 27TH ST	Street Cut Permit	ROAD OPNG
9/28/2022	9027	62-021-442	3207 Citation Drive	Electrical Permit	SFDD
9/28/2022	9745	62-021-442	3207 Citation Drive	Plumbing Permit	SFDD
9/28/2022	9024	62-021-470	3013 Bianca Wy	Electrical Permit	SFDD
9/28/2022	9743	62-021-470	3013 Bianca Wy	Plumbing Permit	SFDD
9/28/2022	9030	62-055-057	1808 FOX HUNT LN	Electrical Permit	Res Improvements
9/28/2022	9748	62-052-093	4171 BEAUFORT HUNT DR	Plumbing Permit	SEWER LAT
9/28/2022	9747	62-015-214	3913 GREEN ST	Plumbing Permit	SEWER LAT
9/28/2022	GEP2022-23	62-017-116	3495 GREEN ST	Grading / Excavator	Excavation
9/28/2022	9028	62-021-441	3205 CITATION DRIVE	Electrical Permit	Res Improvements
9/28/2022	9031	62-046-056	516 ALDEN ST	Electrical Permit	Res Improvements
9/28/2022	9750	62-016-068	3609 N 2ND ST	Plumbing Permit	SEWER LAT
9/28/2022	2022-096	62-023-020	530 North Progress Avenue	Zoning Permit	Signs
9/28/2022	9749	62-049-002	2509 LINGLESTOWN RD	Plumbing Permit	SEWER LAT
9/28/2022	A2022-044	62-017-116	3495 GREEN ST	Stormwater Permi	Reassessment
9/28/2022	220016	62-042-053	616 ALTAVISTA AV	Shade Tree Permit	Tree Removal
9/28/2022	27814	62-060-268	2213 CONTINENTAL DR	Building Permit	Swimming Pool
9/29/2022	27816	62-052-007	4312 BEAUFORT HUNT DR	Building Permit	Solar panels





Type	Location	Description	Opened	Closed
Property	1506 EDMONT RD	Car parked on yard	1/28/2021	9/21/2022
Property	3432 WALNUT ST	EXTERIOR PROPERTY MAINTENANCE	8/11/2022	9/5/2022
Property	2004 VERONA DR	CHICKENS CAGE ISSUE AND LOCATIO	8/24/2022	9/1/2022
Property	2004 VERONA DR	NO HSE NUMBER	8/24/2022	9/1/2022
Property	2200 WALNUT ST	High Grass and missing status of occ re	8/26/2022	9/6/2022
Property	2400 LOCUST LN	grass violation	8/29/2022	9/6/2022
Property	160 LUCKNOW RD	SAFETY ISSUES - BRICK AT BUS STOP	8/29/2022	9/22/2022
Property	4338 N 6TH ST	Trash on front yard	8/30/2022	9/5/2022
Property	629 LUCKNOW RD	Exterior Maintenance - High Grass, Wee	8/30/2022	9/6/2022
Property	3514 UNION DEPOSIT RD	high grass and weeds at corner of prop	8/31/2022	9/9/2022
Property	3618 N 6TH ST	Overgrown veg.	8/31/2022	9/13/2022
Property	3620 N 6TH ST	Overgrown veg.	8/31/2022	9/14/2022
Property	501 PARKWAY RD	HIGH GRASS	9/5/2022	
Property	312 N PROGRESS AV	HIGH GRASS AND SANITATION	9/6/2022	9/12/2022
Property	3214 PENBROOK AV	Trash Violation - letter sent	9/6/2022	9/12/2022
Property	2260 HERR ST	Overgrown veg. and shade tree violatio	9/6/2022	9/26/2022
Property	3411 N 2ND ST	alley sanitation - overgrown veg.	9/7/2022	9/21/2022
Property	3407 N 2ND ST	vegetation in ally	9/7/2022	9/22/2022
Property	3430 GREEN ST	OVERGROWN VEG IN ALLEY	9/7/2022	9/22/2022
Building	504 PARKWAY RD	SANITATION - SHED	9/7/2022	
Property	3214 PENBROOK AV	TRASH AT FRONT OF HOME	9/9/2022	9/22/2022
Property	2416 HIGHLAND AV	EXTERIOR MAINTENANCE	9/9/2022	9/26/2022
Property	3204 N SCENIC RD	EXTERIOR MAINTENANCE SANITA	9/9/2022	9/27/2022
Property	2327 HIGHLAND AV	EXTERIOR PROPERTY MAINTENAI	9/9/2022	
Property	3 HEMLOCK CT	EXTERIOR MAINTENANCE	9/9/2022	
Property	3800 WALNUT ST	EXTERIOR MAINTENANCE	9/9/2022	
Property	3220 MAPLE LN	CHICKENS AND ROOSTER AT PRO	9/12/2022	9/30/2022
Property	249 PINECREST DR	overgrown bushes	9/13/2022	9/21/2022
Property	1506 EDMONT RD	Exterior Maintenance 1st notice	9/13/2022	
Property	204 WOOD ST	Abandoned Vehicle	9/13/2022	
Property	259 PINECREST DR	overgrown bushes in back alley	9/13/2022	
Property	3404 HILLCREST RD	Car in disrepair on property	9/14/2022	9/22/2022
Property	501 PARKWAY RD	Overgrown veg.	9/15/2022	
Property	402 N PROGRESS AV	EXTERIOR MAINTENANCE - GRAS	9/22/2022	9/30/2022
Property	404 N PROGRESS AV	WEED AND GRASS ISSUES AT PRO	9/22/2022	9/30/2022
Property	105 SHELL ST	DEBRIS OUT BACK OF UNIT	9/22/2022	
Property	2000 CHEVY CHASE DR	SANITATION - FRONT YARD	9/22/2022	
Property	2217 BOAS ST	HIGH GRASS	9/22/2022	
Property	3502 UNION DEPOSIT RD	HIGH GRASS AND EXTERIOR MAIN	9/22/2022	
Property	3201 N SCENIC RD	- GRASS WEEDS AND GREEN BAG	9/23/2022	9/27/2022







Date Filed	Location	Owner	Type	Complaint	Hearing Date	Status
1/10/2022	3920 Rauch St	Mixell	PROPERTY	Sanitation- Trash	TBD	OPEN
1/10/2022	3920 Rauch St	Mixell	PROPERTY	Sanitation - Dog Litter	TBD	OPEN
3/2/2022	3538 N.6TH ST	BASKIN	OTHER	STAT. OF OCC MISSING	7/25/2022	DISMISSED
3/2/2022	415 LATSHMERE DR	BASKIN	OTHER	STAT OF OCC. MISSING	7/25/2022	DISMISSED
3/2/2022	3708 TUDOR DRIVE	FARHAN	PROPERTY	SAFETY ISSUE -STEPSQ	6/6/2022	CLOSED
3/2/2022	3334 N. 3RD ST	FEINBERG	PROPERTY	HOUSING - VIOLATION	CORRECTED	CLOSED
3/2/2022	405 ALDEN ST	VU	PROPERTY	SANITATION	6/6/2022	CLOSED
3/6/2022	415 LATSHMERE DR	BASKIN	OTHER	STATUS OCC	7/25/2022	DISMISSED
3/6/2022	415 LATSHMERE DR	BASKIN	OTHER	STATUS OCC	7/25/2022	DISMISSED
3/10/2022	99 SHELL ST	LESTER	PROPERTY	TREE BRANCHES	TBD	OPEN
3/10/2022	2515 CLAYTON AVE	LAMANETTE	PROPERTY	RENTAL ISSUE	TBD	OPEN
3/10/2022	1731 GLENSIDE	LESTER	PROPERTY	MOTOR VEHICLE	7/19/2022	CONTINUE
3/10/2022	2207 COLUMBIA AVE	AHALED	PROPERTY	UNFIT STRUCTURE	6/6/2022	CLOSED
3/17/2022	97 SHELL	DUNLAP	ZONING	ZONING VIOLATION	6/27/2022	CLOSED
3/18/2022	3514 UD ROAD	DOYAL TRUST	PROPERTY	SANITATION	TBD	OPEN
3/21/2022	508 DEWITT AVE	KHADKA	OTHER	STATUS OCC	CORRECTED	CLOSED
3/21/2022	606 CHERRINGTON	GAMMA ONE, LL	OTHER	STATUS OCC	TBD	OPEN
3/21/2022	404 ALDEN	MASROOR KAIF	OTHER	STATUS OCC	TBD	OPEN
3/21/2022	3804 BOLLINGER RD	SALTZER	OTHER	STATUS OCC	TBD	OPEN
3/21/2022	408 BELVEDER RD	TABASSUM	OTHER	STATUS OCC	CORRECTED	CLOSED
3/21/2022	613 ALTAVISTA	ALI	OTHER	STATUS OCC	TBD	OPEN
3/27/2022	3538 N. 6TH	BASKIN	PROPERTY	EXTERIOR MAINTENANCE	7/25/2022	CLOSED
5/6/2022	415 LATSHMERE	BASKIN	OTHER	STATUS OF OCC REPORT	7/25/2022	DISMISSED
5/6/2022	3538 N 6TH	BASKIN	OTHER	STATUS OF OCC REPORT	7/25/2022	DISMISSED
5/16/2022	3538 N. 6TH	BASKIN	OTHER	STATUS OF OCC REPORT	7/25/2022	CLOSED
5/25/2022	46 N. 34TH ST	EPPLER LLC	PROPERTY	SANITATION ISSUE	TBD	OPEN
6/1/2022	405 LARRY DRIVE	TU	OTHER	ANIMAL ISSUE	7/11/2022	CLOSED
6/1/2022	Multiple properties	KHAN	OTHER	STATUS OF OCC REPORT	7/11/2022	CLOSED
6/1/2022	3506 BELAIR ROAD	ENDERS	OTHER	STATUS OF OCC REPORT	7/11/2022	CLOSED
6/1/2022	3523 N. 4TH	WILLIAMS	PROPERTY	GRASS	7/11/2022	CONTINUE
6/3/2022	99 SHELL ST	LESTER	PROPERTY	GRASS	TBD	OPEN
6/3/2022	99 SHELL ST	LESTER	PROPERTY	EXTERIOR MAINTENCE	TBD	OPEN
6/3/2022	2417 HIGHLAND AVE	HICKS	PROPERTY	EXTERIOR MAINTENANCE	TBD	OPEN
6/3/2022	205 WOOD ST	MING	PROPERTY	EXTERIOR MAINTENANCE	TBD	OPEN
6/3/2022	205 WOOD ST	MING	PROPERTY	SANITATION	TBD	OPEN
6/3/2022	99 SHELL ST	LESTER	PROPERTY	EXTERIOR STRUCTURE	7/5/2022	CONTINUE
6/21/2022	3702 3RD ST	GLASSER	PROPERTY	EXTERIOR SANITATION	8/26/2022	CLOSED
6/27/2022	2408 BROWN STREET	ROBINSON	PROPERTY	EXTERIOR SANIITATION	TBD	OPEN
6/27/2022	2408 BROWN STREET	ROBINSON	PROPERTY	INOPERABLE VEHICLE	TBD	OPEN
6/29/2022	2427 CLAYTON AVE	CTP FUNDING	PROPERTY	GRASS/SANITATION	TBD	OPEN
7/28/2022	3704 N 3RD ST	GLASSER	PROPERTY	GRASS/SANITATION	TBD	OPEN



**WEBSITE**

**SEP STATISTICS**

Total Users: 9,379      Sessions: 10,868      New Users: 7,344

Device Usage	
Desktop	4543
Mobile	323
Tablet	107

Default Channel	
Organic Search	7,443
Direct	2,699
Referral	182
Social	48

Behaviors	
Average Session Duration	0:01:29
bounce rate	51.6%
Page Views	21,694
Page / Session	2.09
Number of Sessions / User	1.11

**TOP 10 PAGES**

#	PAGE TITLE	VIEWS
1	sewer payment	923
2	staff email	550
3	Susquehanna Council	550
4	Recreation	344
5	newsletter	210

#	PAGE TITLE	VIEWS
6	ordinances	184
7	civicplus.com	171
8	Permit Maps	166
9	Maps	146
10	JP Harris	137

**E-CODE (Ordinance)**

**TOTALS (Last 12 Months)**

Total Views: **39,151**      Total Unique IPs: **4,008**

**VIEWES BY MONTH 2022**

Jan	1957	Apr	4049	Jul	3728	Oct	0
Feb	2712	May	4099	SEP	3543	Nov	0
Mar	3372	Jun	3828	Sept	3459	Dec	0

**TOP 10 SEARCHES**

30 days		
1	police department	42
2	short term rental	24
3	ordinance 19-09	12
4	ordinances	9
5	per capita	9
6	adult use	7
7	door to door	7
8	gun	7
9	request for propos	7
10	sidewalk escrow	7

Last 12 Months		
1	relevance	738
2	construction hours	422
3	impervious	264
4	shed	185
5	clear sight triangle	158
6	nothing shall be pl	158
7	building permit	132
8	easement	132
9	R-2	132
10	Cambria	105

## SOCIAL MEDIA

### FACEBOOK

<b>Total Page Followers</b>	<b>1,650</b>
New Page Followers	11
Reactions	188
Shares	14

Photo Views	265
Post Reach	3,428
Post Engagement	685
Link Clicks	0

### NEXTHOOR

<b>Members</b>	<b>5,634</b>
New Members	42
Housholds	4249
Agency Posts	4

Note:

## SUSQUEHANNA CONNECTS

	SEP	YTD
New Reports Created	14	229
Reports Closed	1	100
Days to Closed	2.4	3.1

### TOP 10 ISSUES

#	REPORT	SEP
1	Property Maintenance	3
2	Pothole	2
3	Vegetation	2
4	Vehicle Concern	2
5	Earth Moving	1
6	Street Light	1
7	Trash & Recycling	1
8	Trees	1
9	Other	1

#	REPORT	YTD
1	Property Maintenance	51
2	Pothole	44
3	Other	31
4	Vegetation	19
5	Trees	12
6	Stormwater	11
7	Trash & Recycling	10
8	Animal Issue	9
9	Vehicle Concern	9
10	Street Sign	6

## Conversation Summary

Sep 1st - Sep 30th, 2022 | Susquehanna Township, PA

### Conversation snapshot

Size and sentiment

**3,610**

↓ 16%

Selected period

28%



1%

Previous period

26%



5%

### What are residents talking about?

Most popular topics and words

#### Public Safety (64%)

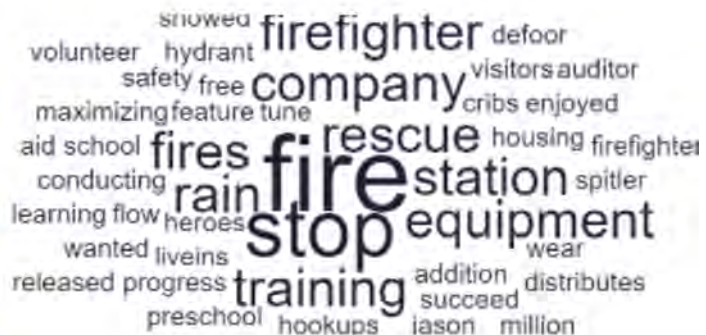
2,325 interactions ↑ 56.1%

#### Human Relations and Service

523 interactions ↑ 31.1%

#### Education (6%)

203 interactions ↑ 11.5%



### Takeaways from the data

This period, **positive sentiment** in the conversation was slightly higher as compared to last period (28% vs. 26%), while **negative sentiment** was significantly lower (1% vs. 5%).

5% of the overall conversation happened on **official channels**, as compared to 6% last period. 3% of the conversation on official channels came from **Susquehanna Township - Dauphin County, PA**.

The most negative interactions were found on **Rescue Fire Company #37**, totaling 14 interactions and making up 1% of the conversation on that source.

Where is the conversation happening?

There is no correlation happening!

Most popular channels and sources

Official channels

5% · ↓ 23.9%



Unofficial channels

95% · ↓ 15.5%



**Progress Fire 32** (36%)

1,316 interactions ↑ 24.2%

**Rescue Fire Company #37** (27%)

974 interactions ↑ 138%

**Susquehanna Township - Multiple quer**

397 interactions ↑ 20.3%

Top stories

Reading on your computer? [Click any story to open in source](#)

**Progress Fire 32**  
Sep 16, 2022, 2:36 PM

\*\*\*\*In-Station Crews = Fast Response Times\*\*\* Earlier this week units from Susquehanna Township were dispatched to a Structure Fire in the township during the overnight hours when most volunteers are at home in their own beds sleeping. On this night, crews from the 2

326 48 4

**Interactions: 430** 7% 0%

**Progress Fire 32**  
Sep 15, 2022, 8:09 AM

\*\*37 House Fire\*\* Overnight units were dispatched to box 37-31(Non-Hydrant Area) for a report of smoke in a house. Engine 37-1 Rescue Fire Company #37 arrived and laid a supply line to Side A and stretched a line with smoke showing. Truck 32 and Tanker 37 committed up

199 8 1

**Interactions: 283** 1% 0%

**Progress Fire 32**  
Sep 4, 2022, 4:26 PM

This afternoon in between running multiple calls, the members had some special visitors stop by. Violet, Anna, and Vivian are 3 young ladies from the neighborhood who recently ran a lemonade stand during a community block party. These 3 young ladies felt in their hearts to

218 3 6


**Interactions: 238** 96% 0%

 **Rescue Fire Company #37**  
 Sep 16, 2022, 6:21 PM




Are you 14 or older and looking to join a team and learn a skill? Rescue Fire Co 37 and Progress Fire 32 both support a strong junior program, allowing you to learn skills that can help save a life or to build a future career. If your interested or want to see what this is all

  73  7  4

**Interactions: 167**   **20%**   **0%**

 **Progress Fire 32**  
 Aug 31, 2022, 7:51 AM

Congrats to the Progress Fire Hockey team for their Championship win last evening in the Adult C League. The team is comprised of members not only from Progress but includes friends from surrounding companies. Congrats to the team on a great season.

  135  4


**Interactions: 141**   **100%**   **0%**

 **Progress Fire 32**  
 Sep 9, 2022, 10:17 AM





Last evening the Susquehanna Township Commissioners along with Public Safety Director Martin and Chief Drees presented 2 life savings awards to members of Progress and Susquehanna Township Police. Firefighter Altland received his award for his actions during an

   98  7  8

**Interactions: 126**   **94%**   **0%**

 **Rescue Fire Company #37**  
 Sep 15, 2022, 8:17 AM

This morning Co 37 along with other mutual aid departments for structure fire. Engine 37-1 went enroute with all the live-ins and arrived with a light haze in the area. Crews had to search for the fire because of no evidence of active fire.

  98  8  4

**Interactions: 119**   **6%**   **2%**



## Environmental Health Inspection Summary for September, 2022

### In-Compliance Routine Food Establishment Inspections – 23

Twenty three retail food facilities passed their inspections in the month of September. The following food establishments were found to be “in-compliance” with Susquehanna Township Ordinances and the PA Food Code: Bagel Lover’s Café, Big Lots, Brookfield Bible Church, Carli’s Kitchen (State Police Headquarters), Christopher’s Pizza & Subs, Den Bubble Tea, Dollar Tree (Oakhurst Plaza), Ecumenical Community III, Front Street Diner, Gabriella’s Italian Restaurant, Golden Chopsticks, Great Wall Restaurant, Greater Zion Missionary Baptist Church, Harrisburg First Assembly of God, Little Learners, Marriott Bonvoy Hotel, Sara Lindemuth Elementary School, Sister’s International Grocery, Susquehanna Twp High School, Susquehanna Twp Middle School, Thomas Holtzman Elementary School, Weis Markets and Word of Grace Ministries

### Out of Compliance Inspections- 1

**Beijing Chinese Restaurant-** overall poor housekeeping and sanitation. Storage cabinets, containers, drying racks, exhaust hood filters, soiled microwaves and missing floor tiles. This food establishment will be re-inspected in 30 days.

### New Opening Inspections- 1

**Momo Hunt Restaurant-** formerly Peacock Indian was approved to open in mid-October. The facility has been renovated with several new food processing equipment added to their kitchen.

**Artisan Pizza** is planning to open a display case inside the Giant Food Store. This franchise operation will use Giant’s facilities such as ovens to make gourmet pizza for sale at several Giant Stores in the area.

### Consumer Complaint Inspection/Investigation- 1

**Giant Food Store-** A consumer (Jane Beecher, 717-319-3223) called the PA AG HOTLINE to report dogs on leashes inside the store. Giant’s policy only permits medical service dogs. However, since the township has received at least two complaints of dogs inside the store this year, the store was issued a written warning to enforce their policy.

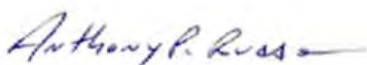
### Other Activities-

**Subway, Blue Mountain Commons-** experienced a several water leak from a broken hose to the soda fountain. The store is temporary closed while waiting for a restoration company.

**Tony Russo** participated in a 2 day training course sponsored by PA AG & FDA for retail food inspections and related job duties such as maintaining the Food Safety Database.

**Total food establishment inspections for the month of September = 26**

Submitted by Anthony “Tony” Russo, Health Officer, October 3, 2022



October 5, 2022

To: Susquehanna Township Authority  
 From: Madison Smith  
 RE: Stormwater Report for September 2022

In the month of September 2022 stormwater staff focused on the preparation of the MS4 Annual Status Report and its' submission to PADEP. Please see below for YTD totals on Stormwater Program Fee and MS4 Program Activities.

Stormwater staff put together the MS4 Annual Status report and submitted to PADEP. This included summarizing the activities completed over the previous year, as well as what the Township intends to do for the upcoming year. All Minimum Control Measures within the permit were outlined and summarized.

The Joint Pollution Reduction Plan group, Paxton Creek Cooperative (CRW, Lower Paxton, and Susquehanna) held our first meeting on the new contract with PennDOT, where RES was awarded the contract. With this contract execution, we are requesting authorization for payment of the contract amount. Susquehanna Township's contribution will be \$405,000 of the total \$1,500,000. We are awaiting final determination on the project locations.

RES has calculated additional sediment load reductions from the Contract 1 projects (Shutt Mill Park, Veterans Park, and Pines Apartment). We have received a request for payment from RES for these additional pounds. They have calculated an additional sediment reduction of 77,446lbs resulting in an additional total expense of \$270,287.00, with a Susquehanna Township amount of \$77,977.49 owed.

Previously, the STA Board executed the contract for Lower Paxton Township's Stonebridge Project, we have received the final invoice for this work where the additional funds are required due to an unexpected increase in construction costs and supply chain issues. Susquehanna Township's additional payment amount will be \$22,826.95. The Stonebridge Project will include 3-years of monitoring and reporting, where expenses will be requested annually from Lower Paxton Township for this service.

Stormwater staff participated in a Complex Ticket meeting on September 14<sup>th</sup> with UGI on their gas line relocation project. We were able to secure a meeting with UGI on their future projects, in hopes to coordinate stormwater replacements and or enhancements while the roadway is open.

	<i>Inspections</i>	<i>Pre-App Mtgs</i>	<i>Credits</i>	<i>Appeals</i>	<i>Plans Reviewed</i>	<i>Complaints</i>	<i>Violations</i>	<i>Minimum Control Measures</i>	<i>PEOP</i>	<i>Pipp</i>	<i>IDDE</i>	<i>Construction</i>	<i>PCSM</i>	<i>Housekeeping</i>	
<i>January</i>	1				13	1			1	1	1	1			4
<i>February</i>	5		2	69	78	6					17	3			1
<i>March</i>	6		1	2	50	3			3	1	3	3	2		
<i>April</i>	9				40	2	2		1		1	3	3		4
<i>May</i>	10			6	36	13			1	2	1	4	4		1
<i>June</i>	5		28	14	5	3	3			36	2	2	2		6
<i>July</i>	5	1	1	5	45	3	1				2	4	1		6
<i>August</i>	12	1	3	5	23	17	4		5		2	5	6		5
<i>September</i>			4		25	1	1		6					6	19
<i>October</i>															
<i>November</i>															
<i>December</i>															
<b>YTD</b>	<b>53</b>	<b>2</b>	<b>39</b>	<b>102</b>	<b>345</b>	<b>49</b>	<b>11</b>	<b>17</b>	<b>40</b>	<b>29</b>	<b>25</b>	<b>27</b>	<b>27</b>	<b>51</b>	

Respectively,

Madison Smith, Stormwater Management Program Coordinator

PUBLIC WORKS  
DIRECTOR  
Nate Bragunier  
OPERATIONS MANAGER  
Travis Mease

## SUSQUEHANNA TOWNSHIP PUBLIC WORKS

NINETEEN HUNDRED FIFTY FIVE ELMERTON AVENUE,  
HARRISBURG, PENNSYLVANIA 17109 PHONE (717) 233-7143



### SEPTEMBER GENERAL WORK REPORT

**09/30/2022**

1. SIGN WORK ---- INSTALLED NEW SIGNS AND REPAIRED DAMAGED SIGNS.  
  
---- TRIMMED TREE LIMBS COVERING SIGNS.  
  
---- PAINTED SPEED HUMPS & SLOW 25MPH.
2. PICKED LEAVES DUE TO RAIN EXPECTED FROM HURRICANE IAN.
3. INVESTIGATED SINK @ MOUNTAIN RIDGE DR.
4. SWEEPING STREETS.
5. REPAIRED INLETS  
39<sup>TH</sup> ST., BRINDLE DR., CLAYTON AVE., 6<sup>TH</sup> ST., LUCKNOW RD.,  
COUNTRYSIDE DR.
6. MILLED, PATCHED, & SEALED.
7. CLEANED INLETS AROUND TOWNSHIP.
8. STARTED TRIMMING ALLEYS UPTOWN.
9. COMPLETED IN-HOUSE DRIVERS TRAINING FOR ALL PUBLIC WORKS EMPLOYEES.
10. ROADSIDE MOWING.
11. STARTED THERMO PLASTIC INSTALLATION.

12. ANNUAL MAINTENANCE OF APPLETREE & BLUERIDGE PUMP STATIONS.
13. DERRICK & NATE ATTENDED GORMAN RUPP PUMP TRAINING.
14. READ COMMERCIAL DEDUCTIVE WATER METERS.
15. ASSISTED THE START OF ROOT CONTROL WITH DUKES.
16. WALKED RIGHT OF WAYS.
17. CHECKED PUMPS & GEN-SETS.
18. RESPONDED TO 222 PA ONE CALLS.
19. TELEVISED 384FT OF STORM LINES 710FT OF SEWER LINES.
20. FLUSHED & ROOT CUT 30,900FT OF SEWER LINES.
21. 3 SEWER COMPLAINTS 1 BLOCKED 2 NOT BLOCKED

#### FALL LEAF COLLECTION

- BEGINNING OCTOBER 3<sup>RD</sup>: LEAVES WILL BE COLLECTED STARTING WITH ODD NUMBER ADDRESSES AND ALTERING WEEKLY.
- LEAF PICK-UP WILL OCCUR THE DAY FOLLOWING TRASH COLLECTION.
- LEAF COLLECTION WILL CONCLUDE ON DECEMBER 16<sup>TH</sup>.
- LEAVES MUST BE CURBSIDE.
- NO LEAF COLLECTION WILL OCCUR ON NOVEMBER 11<sup>TH</sup>, 24<sup>TH</sup>, 25<sup>TH</sup> AS THESE ARE TOWNSHIP HOLIDAYS.
- THERE WILL BE NO LEAF COLLECTION FROM ALLEYS.

**SUSQUEHANNA TOWNSHIP HIGHWAY DEPARTMENT  
MONTHLY REPORT**

<b>SEPTEMBER</b>	
<b>JOB DESCRIPTION</b>	<b>HOURS</b>
Mechanic	136
Crew Leader	128
Operator	48
Tradesman	32
Lt Equipment Operator	216
Sign Maint. Technician	72
Truck Driver	392
Laborer	360
Foreman	160
Mechanic 1	616
Mechanic 2	0
<b>TOTAL PEOPLE HOURS</b>	<b>2160</b>
<b>JOB PERFORMED</b>	<b>HOURS</b>
Mechanic Maintenance	136
Equipment Maintenance	0
Garage Maintenance	0
Inlet Cleaning	96
Inlet Repair	64
New Inlets	0
Pipe Jobs	0
Leaf Picking	32
Roadside Mowing	8
Clean Ditch Lines	0
Trimming Trees	0
Park Maintenance	0
Paving	0
Blacktop Milling	80
Hauling Stones/Waste	0
Snow & Ice Removal	0
Street Sweeping	112
Patching Pot Holes	440
Sign Work	176
General Work	320
Training	80
Check Pumps	312
Flush	48
TV	24
Pa1 Calls	232
Clean Wet Wells	0
<b>TOTAL JOB HOURS</b>	<b>2160</b>
<b>Submitted By: Travis Mease</b>	
<b>DATE SUBMITTED</b>	
<b>October 7, 2022</b>	



369 East Park Drive  
Harrisburg, PA 17111  
717.564.1121  
www.hrg-inc.com

## MONTHLY ENGINEER'S REPORT

### Susquehanna Township

Attn: Dave Pribulka  
Report Period: 09/01/2022 - 09/30/2022  
HRG Project Number: R000242.0001  
OCTOBER 6, 2022

\*Note: Italicized text identifies items unchanged since previous report(s)

#### Meetings Attended (R000242.0001):

1. Board of Commissioners Meeting September 8, 2022
2. Board of Commissioners Workshop Meeting September 22, 2022
3. Planning Commission Meeting September 19, 2022

#### Subdivision and/or Land Development Plan(s) Reviewed (R000242.0002):

1. Chik-Fil-A - Land Development Plan (Resubmission) {HRG #1259}
2. Estates at Margaret's Grove, Phase 2 (Resubmission) {HRG #1267}
3. 2703 George Street - Land Development Plan {HRG #1268}
4. Susquehanna Union Greene Ph. 4 – Land Development Plan {HRG #1270}
5. Kuskin Subdivision Plan {HRG #1271}

#### Stormwater Management Plan(s) Reviewed/Inspected (R000242.0475):

1. 4627 Fargreen Road {HRG #048}
2. PEMA Porous Asphalt Driveway {HRG #049}

#### Improvement Guarantee Estimates/Reductions & Maintenance Guarantee Recommendations (R000242.0002):

1. Russel Drive, Lot #2 – Financial Security Recommendation {HRG #1262}
2. Maplewood – Financial Security Reduction {HRG #1248}
3. Stray Wind Farms Phase 7 – Financial Security Reduction {HRG #1244}
4. Stray Wind Farms Phase 8 – Financial Security Recommendation {HRG #1263}

#### Construction Observation Services Performed (R000242.0002):

1. Margaret's Grove LDP {HRG #1232}
2. Laurel Hills LDP {HRG #1166}
3. Susquehanna Union Green {HRG #1240 & #1241}
4. Stray Wind Farms Phases 7 & 8 {HRG #1244 & #1263}

5. Enclave at Elmerton LDP {HRG #1247}
6. Maplewood {HRG #1248}

### Road Cut Permit Improvement Guarantee Estimates (R000242.0187):

1. 3604 Darby Road – New Driveway
2. 3913 Green Street – Sanitary Sewer Connection
3. 2400 Wayne Street – Sanitary Sewer Extension

### Drainage/Engineering Project(s) Status:

1. General Drainage/Engineering {HRG #R000242.0007}
  - > *Phase 037 – 2608 Catherine Street – Met with Property Owners and Township Staff. Reviewed site history and previous completed Township projects. Provided Township with previously completed Concept Plans for drainage issue. Township televised storm drainage on Catherine Street. Township has determined that they can perform the work.*
  - > *HRG met again with Township staff on June 2nd to discuss issues being brought forth by residents and several possible solutions (storm sewer system/macadam curbing/paved swale). Township to further evaluate and reach out to HRG as needed.*
2. MS4 {HRG #R000242.0451}
  - > *Provided MS4 related assistance to Township staff as requested.*
3. North Galen Road at Fox Hunt Lane Drainage Project {HRG #R000242.0502}
  - > *On August 10, HRG met at 4707 North Galen Road with Madison Smith regarding an existing stormwater pipe flowing underneath the resident's carport that has caused an excessive amount of erosion at the outlet, and potentially underneath the carport. Upon investigation, HRG has determined that the best course of action for this failing stormwater pipe will be to flow fill and abandon the pipe. Subsequently, the Authority conducted CCTV of the pipe and confirmed severe corrosion to the CMP pipe and disintegration of bottom of the pipe underneath the carport. HRG then discussed with the Township alternatives to capture this stormwater runoff and concluded that it would be best incorporated into the proposed drainage improvements south of the property. Additional stormwater facilities will be designed to capture and properly convey the stormwater runoff to the presently proposed system. An easement exhibit has been generated for the pipe abandonment at 4707 N. Galen Road and HRG will be coordinated with the Township Solicitor to finalize all easement agreement documentation.*
  - > *After further CCTV inspection of the underground pipe network near 4707 North Galen Road by the Authority, it has been determined that additional storm networks are present upstream of the property and further investigation and analysis will be required. At this time, the design of additional stormwater facilities has been placed on hold and will resume at a later date.*
  - > *An additional temporary construction easement exhibit has been procured for the stormwater pipe flow fill and abandonment at 4696 North Galen Road.*
  - > *The Township has finalized the easement agreement for 1801 Fox Hunt Lane. The property owner signed the agreement.*

- > HRG is coordinating with the Township Solicitor to finalize all easement agreement documentation. HRG is also currently working with Township staff and the property owners to finalize the plan and terms of the easements.
- > HRG will provide the Township a proposal to undertake services related to project bidding, construction contract administration, and construction observation.

### Transportation Project(s) Status:

#### 1. Traffic Studies {HRG #R000242.0005}

- > *Linglestown & Crooked Hill*
  - o *Township received a complaint regarding side street green time and delays, specifically during off-peak times. ATS confirmed the intersection is properly programmed and equipment is working; signal is operating per permit. Susquehanna Township requested that HRG evaluate AM and PM peak timing to determine if changes are appropriate. HRG observed the intersection during both peak periods and recommends a programming modification. ATS indicated this is now working properly.*
  - o *Township received concern about pedestrian safety crossing this intersection. HRG will finalize memo and recommendations and send to the Township.*
- > *Schoolhouse Lane – HRG evaluating application of additional speed humps. HRG will finalize memo and recommendations and send to the Township.*
- > *Linglestown & Fargreen*
  - o *Township received complaints regarding signal timing. HRG conducted field view. It does not appear that the intersection timing is programmed properly. HRG is coordinating with ATS for verification.*
  - o *Traffic counts received on 2/14 to evaluate the need for a left turn arrow from Route 39 onto Fargreen. Left turn phase is not warranted, HRG finalizing memo for Township.*
- > *Union Deposit and Progress Avenue*
  - o *Township requested that HRG evaluate the need for a flashing left turn arrow along Progress Avenue (turning onto Union Deposit Road) so that the movement may be protected-permitted at certain off-peak times of the day.*
  - o *HRG is evaluating feasibility and required traffic signal pole/controller modifications.*
  - o *Count data has been obtained and analysis will be developed once determination of a flashing yellow arrow is complete.*
  - o *HRG traffic and structural engineers are looking into the structural feasibility of adding or changing what is already physically mounted to the mast arms. The existing controller can accommodate a flashing yellow arrow signal head, but it is questionable as to whether the mast arm is capable of handling the existing load, plus the additional load from the flashing yellow signal head. HRG is coordinating with PennDOT Structures Department for feasibility.*

#### 2. Paxton Church Road Rehabilitation {HRG #R000242.0503}

- > HRG is progressing the final design and permitting.
  - o *ROW acquisitions are nearly complete.*
  - o *Final design and bid documents prepared and sent to Township for review.*



- Utility coordination is progressing. Solidifying relocation schedules in order to schedule bidding.
- Bidding anticipated to occur this winter for spring 2023 construction start.

### Recreation Project(s) Status:

1. Boyd Park Phase 2 (# R000242.0520)
  - > *The NPDES, General Permit GP-02, and General Permit GP-07 have all been approved, and authorization notices have been provided to the Township.*
  - > *DCNR has approved the Final Bid Documents.*
  - > *Three (3) bids were received on June 30, 2022 and are summarized below:*
    - *Matthews Construction: \$473,166.17*
    - *KLA, LLC: \$810,533.66*
    - *Construction Masters Services, LLC: \$1,085,546.60*
  - > *The Board of Commissioners voted to conditionally award the project to Matthews Construction Services, LLC at the July 28, 2022 meeting.*
  - > *Contract administration is undergoing.*
  - > *Matthews Construction is having difficulty securing the required bonding from their bonding agent. HRG continues to seek updates from the Matthews Construction regarding the bonding issue. HRG has made a request to meet with Township staff and Matthews Construction to discuss the current status of the project and the contractor's ability to secure the required bonding.*
  - > *Township rejected all bids and will be rebidding project.*
  - > *HRG is meeting with Township staff and Commissioners to consider plan modifications prior to rebidding of the project.*
2. Conceptual Planning for Union Deposit Tract (# R000242.0515)
  - > *HRG is coordinating with Township staff regarding the development of conceptual-level sketch design drawings for potential passive recreational use of the parcel.*
  - > *HRG is coordinating with a Frisbee Golf course designer on feasibility and potential course configuration.*
  - > *HRG received a request from the Township to field survey the easement area on the adjoining parcel to the west belonging to Ecumenical Retirement Community.*
  - > *HRG performed boundary survey of the subject tracts and potential easement areas on the Ecumenical Retirement Community's property.*

### Municipal Project(s) Status:

1. Susquehanna Union Green HOP Permitting and Construction
  - > *The initial HOP phase of the project to open the driveway on Linglestown Road is complete.*
  - > *The second phase of work for the roadway improvements on Progress Avenue including the signals and pedestrian crossings at Linglestown Road and Garrison Avenue has started construction and anticipated to be complete in fall 2022.*
  - > *The final phase of the project includes improvements at Progress and Paxton Church Road. HRG is working on the permit approval for the project with construction expected to occur in summer 2022.*

2. Roadway Pavement Management Plan (RPMP) Update

- > *Scope of Work for the Roadway Pavement Management Plan update approved by the Township on 4/28/22.*
- > *Road scan is complete, and results have been delivered.*
- > *Updated RPMP was delivered to the Township September 30, 2022.*

3. Edgemont Community Park ADA Accessibility Improvements

- > *HRG submitted a proposal to the Township to design ADA accessibility improvements for the playground facilities at Edgemont Community Park.*
- > *The Township executed the service agreement for the design of ADA improvements as specified.*
- > *Survey is complete and basemapping is underway.*
- > *Design will begin immediately upon completion of basemapping.*
- > *A draft walking path alignment exhibit was provided to the Township for review and consideration. Final design and cost estimate will be completed upon acceptance of the proposed path alignment by the Township.*

4. Maple Shade Drive Stormwater Improvements

- > *HRG provided a scope and budget for the design of storm sewer related improvements near the intersection of Maple Shade Drive and McNaughton Drive.*
- > *Field survey is complete.*
- > *Preliminary design drawings and a preliminary cost estimate have been provided to the Township for review and comment.*
- > *Awaiting utility location confirmation from UGI to ensure there are no utility conflicts.*

HERBERT, ROWLAND & GRUBIC, INC.



Alex Greenly, P.E.

## **Parks and Recreation Departmental Report:**

### **Park/Playground:**

**Boyd Park:** All bids have been rejected and staff will be reworking scope and rebidding the project.

**Logan Park:** Fix has been designed by HRG, Township Public Works will do the repairs and HRG will pay for the materials and supplies.

**Veterans Park:** Fitness Court has been installed and is open to the Public Ribbon Cutting will be October 21<sup>st</sup> and 4pm.

**Veterans Park Trail:** Working through railing repairs on the switch back.

**Christian McNaughton Memorial Park:** Waiting for new sign to be completed and installed.

**Crown Point Park:** Getting quotes for a possible grant for a new playground.

**Edgemont Park:** Working with Susquehanna Township Police Department to help curtail vandalism issues. Review design for ADA accessibility to the playground area.

### **Apple Creek Farms:**

**Donald B Stabler Memorial Park:**

**Plum Alley Park:**

**Beaufort Hunt Playground:**

**Shutt Mill Park:** Stream bank restoration has been completed waiting for 70% stabilization for the site to be opened

**Margaret's Grove Park:**

**Olympus Heights Park:**



**Program Report:**

Our fitness programs that we offer have once again had strong registration:

Strength and Conditioning Extended (5)

Pilates (10)

Other Programs:

Radio City Music Hall Christmas Show (25)

We are working on a program plan for 2023 to identify additional programs for next year and growing existing programs.

**Administration:**

Applying for two Supplemental DCNR Grants for 2022 for Crown Point Park Playground and Tree Planting Project at five parks (Veterans Park, Edgemont Park, Crown Point Park, Beaufort Park, and McNaughton Park.)



**SUSQUEHANNA TOWNSHIP**  
**BOARD OF COMMISSIONERS**  
**REPORT OF BILLS PAID**

Date: October 13, 2022

Prepared By: Jill Lovett

<b>Fund:</b>	<b>Checks Issued:</b>	<b>Amount:</b>
<b>General Fund</b>	Check #335786 through #335853 ACH Withdrawals (9) Payroll Disbursements	<b>\$3,787,921.48</b>
<b>Highway Fund</b>	Check #102356 through #102359	<b>\$28,164.23</b>
<b>Street Light Fund</b>	Check #1275	<b>\$7,139.34</b>
<b>Fire Protection Fund</b>	Check #709661 through #709682	<b>\$22,682.22</b>
Unallocated, Overhead Expenses:	Checks Issued in the Amount of:	\$14,436.37
Edgemont Fire:	Checks Issued in the Amount of:	\$161.01
Progress Fire:	Checks Issued in the Amount of:	\$1,250.17
Rescue Fire:	Checks Issued in the Amount of:	\$6,834.67
<b>Developers' Rec</b>	Check #1170 through #1173	<b>\$39,283.82</b>
<b>Boyd Foundation Funds</b>	Check #123	<b>\$17,780.00</b>
<b>Capital Improvement Fund</b>	None	<b>\$0.00</b>
<b>ARPA Fund</b>	Check #1025	<b>\$5,963.50</b>
<b>Grand Total:</b>		<b>\$3,908,934.59</b>

I Certify That The Expenses Named Herein Are Actually Incurred As Prescribed By Law.

\_\_\_\_\_  
President of the Board

\_\_\_\_\_  
Date

**Attest:**

\_\_\_\_\_  
Secretary of the Board

\_\_\_\_\_  
Date

**Susquehanna Township**  
**Check Detail**  
September 2 through October 7, 2022

Type	Num	Date	Name	Account	Paid Amount
<b>Bill Pmt -Check</b>	<b>335786</b>	<b>09/08/2022</b>	<b>Susquehanna Municipal Trust</b>	<b>1000800 · General Fund Checking</b>	
Bill	202223	08/31/2022		2381400 · Fire Fund Expense 484000 · Workers' Comp Insurance 429241 · General Expenses 436241 · General Expense	-2,182.10 -65,809.71 -4,393.34 -844.60
TOTAL					-73,229.75
<b>Bill Pmt -Check</b>	<b>335787</b>	<b>09/23/2022</b>	<b>A Finishing Touch</b>	<b>1000800 · General Fund Checking</b>	
Bill	82022183	08/31/2022		451374 · Park Restroom Supplies & Repair	-2,350.00
Bill	92022187	09/01/2022		409450 · Janitorial Services (Contract) 430450 · Cleaning Service	-3,513.14 -591.20
TOTAL					-6,454.34
<b>Bill Pmt -Check</b>	<b>335788</b>	<b>09/23/2022</b>	<b>Aaron Osman</b>	<b>1000800 · General Fund Checking</b>	
Bill	09202022	09/20/2022		410186 · Uniform/Equipment Allowance	-500.00
TOTAL					-500.00
<b>Bill Pmt -Check</b>	<b>335789</b>	<b>09/23/2022</b>	<b>AFSCME</b>	<b>1000800 · General Fund Checking</b>	
Bill	09012022	09/01/2022		429190 · Employee Insurances 430190 · Employee Insurances 436190 · Employee Insurances	-1,112.63 -2,719.75 -123.62
TOTAL					-3,956.00
<b>Bill Pmt -Check</b>	<b>335790</b>	<b>09/23/2022</b>	<b>Amazon Capital Services</b>	<b>1000800 · General Fund Checking</b>	
Bill	13944719	08/25/2022		409210 · Material & Supplies 430241 · General Expenses 410210 · Materials and Supplies 436241 · General Expense	-186.18 -9.99 -177.87 -17.99
Bill	1494176	09/03/2022		401210 · Materials and Supplies	-184.70
Bill	1943	09/08/2022		451247 · Materials & Supplies (Program) 401210 · Materials and Supplies	-273.82 -106.83
TOTAL					-957.38
<b>Bill Pmt -Check</b>	<b>335791</b>	<b>09/23/2022</b>	<b>Any Restoration LLC</b>	<b>1000800 · General Fund Checking</b>	
Bill	518	07/05/2022		420317 · Property Maintenance Code Srvs	-300.00
TOTAL					-300.00
<b>Bill Pmt -Check</b>	<b>335792</b>	<b>09/23/2022</b>	<b>Arney Brothers, Inc.</b>	<b>1000800 · General Fund Checking</b>	
Bill	08202022	08/20/2022		451372 · Maintenance/Repair	-1,000.00
TOTAL					-1,000.00
<b>Bill Pmt -Check</b>	<b>335793</b>	<b>09/23/2022</b>	<b>Atlantic Tactical</b>	<b>1000800 · General Fund Checking</b>	
Bill	80779983	08/09/2022		410238 · Uniforms - Police	-2,519.28
TOTAL					-2,519.28
<b>Bill Pmt -Check</b>	<b>335794</b>	<b>09/23/2022</b>	<b>Classic Drycleaners</b>	<b>1000800 · General Fund Checking</b>	
Bill	232176	09/01/2022		410238 · Uniforms - Police	-796.23
TOTAL					-796.23
<b>Bill Pmt -Check</b>	<b>335795</b>	<b>09/23/2022</b>	<b>Comcast</b>	<b>1000800 · General Fund Checking</b>	
Bill	8993110580183647	08/26/2022		401320 · Communications 410320 · Communication	-183.07 -183.06
Bill	8993110580224631	09/08/2022		430320 · Communications	-119.24
Bill	8993110580196615	09/11/2022		401320 · Communications 410320 · Communication	-66.55 -66.55
TOTAL					-618.47
<b>Bill Pmt -Check</b>	<b>335796</b>	<b>09/23/2022</b>	<b>Commonwealth of PA</b>	<b>1000800 · General Fund Checking</b>	
Bill	09022022	09/02/2022		410241 · General Expenses	-88.00
TOTAL					-88.00

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**Susquehanna Township**  
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Type	Num	Date	Name	Account	Paid Amount
<b>Bill Pmt -Check</b>	<b>335797</b>	<b>09/23/2022</b>	<b>Cralls Garage</b>	<b>1000800 · General Fund Checking</b>	
Bill	3811	09/13/2022		410375 · Maintenance & Repair Vehicle	-25.00
<b>TOTAL</b>					<b>-25.00</b>
<b>Bill Pmt -Check</b>	<b>335798</b>	<b>09/23/2022</b>	<b>Daniel B Krieg Inc</b>	<b>1000800 · General Fund Checking</b>	
Bill	306881	07/27/2022		430210 · Material and Supplies	-134.20
Bill	306963	08/02/2022		430210 · Material and Supplies	-274.00
Bill	307113	08/11/2022		430210 · Material and Supplies	-230.00
Bill	307350	08/24/2022		430210 · Material and Supplies	-123.50
<b>TOTAL</b>					<b>-761.70</b>
<b>Bill Pmt -Check</b>	<b>335799</b>	<b>09/23/2022</b>	<b>David Alexander</b>	<b>1000800 · General Fund Checking</b>	
Bill	06102022	06/10/2022		420317 · Property Maintenance Code Srvs	-425.00
Bill	06112022	06/11/2022		420317 · Property Maintenance Code Srvs	-685.00
Bill	06182022	06/18/2022		420317 · Property Maintenance Code Srvs	-485.00
Bill	06202022	06/20/2022		420317 · Property Maintenance Code Srvs	-570.00
Bill	07062022	07/06/2022		420317 · Property Maintenance Code Srvs	-380.00
<b>TOTAL</b>					<b>-2,545.00</b>
<b>Bill Pmt -Check</b>	<b>335800</b>	<b>09/23/2022</b>	<b>Davis Landscape LTD</b>	<b>1000800 · General Fund Checking</b>	
Bill	88305	09/06/2022		451310 · Contracted Srvs - Mowing	-8,413.50
				430310 · Contracted Srvs - Mowing	-6,274.50
<b>TOTAL</b>					<b>-14,688.00</b>
<b>Bill Pmt -Check</b>	<b>335801</b>	<b>09/23/2022</b>	<b>Eckert, Seamans, Cherin &amp; Mellott LLC</b>	<b>1000800 · General Fund Checking</b>	
Bill	1703559	09/12/2022		404310 · General Legal Services	-3,362.00
Bill	1703560	09/12/2022		404310 · General Legal Services	-6,968.00
Bill	1703562	09/12/2022		404310 · General Legal Services	-26.00
Bill	1703561	09/12/2022		404310 · General Legal Services	-23.50
Bill	1703563	09/12/2022		404314 · Labor Counsel	-976.00
Bill	1703558	09/12/2022		404314 · Labor Counsel	-2,071.00
<b>TOTAL</b>					<b>-13,426.50</b>
<b>Bill Pmt -Check</b>	<b>335802</b>	<b>09/23/2022</b>	<b>Five Star International</b>	<b>1000800 · General Fund Checking</b>	
Bill	1381397	08/29/2022		430375 · Vehicle Expenses	-459.03
<b>TOTAL</b>					<b>-459.03</b>
<b>Bill Pmt -Check</b>	<b>335803</b>	<b>09/23/2022</b>	<b>Good's Tree &amp; Lawn Care</b>	<b>1000800 · General Fund Checking</b>	
Bill	94199	08/31/2022		420317 · Property Maintenance Code Srvs	-1,250.00
<b>TOTAL</b>					<b>-1,250.00</b>
<b>Bill Pmt -Check</b>	<b>335804</b>	<b>09/23/2022</b>	<b>Graphtech</b>	<b>1000800 · General Fund Checking</b>	
Bill	150212	08/31/2022		451320 · Communications	-82.50
<b>TOTAL</b>					<b>-82.50</b>
<b>Bill Pmt -Check</b>	<b>335805</b>	<b>09/23/2022</b>	<b>Guernsey Office Products</b>	<b>1000800 · General Fund Checking</b>	
Bill	2396376	09/08/2022		401210 · Materials and Supplies	-459.64
Bill	2397296	09/09/2022		410210 · Materials and Supplies	-36.15
<b>TOTAL</b>					<b>-495.79</b>
<b>Bill Pmt -Check</b>	<b>335806</b>	<b>09/23/2022</b>	<b>HL Bowman Inc</b>	<b>1000800 · General Fund Checking</b>	
Bill	1123451	08/11/2022		430370 · Maintenance/Repairs Bldg	-802.00
<b>TOTAL</b>					<b>-802.00</b>
<b>Bill Pmt -Check</b>	<b>335807</b>	<b>09/23/2022</b>	<b>Hoffman Ford</b>	<b>1000800 · General Fund Checking</b>	
Bill	290601	04/19/2022		410375 · Maintenance & Repair Vehicle	-201.00
<b>TOTAL</b>					<b>-201.00</b>
<b>Bill Pmt -Check</b>	<b>335808</b>	<b>09/23/2022</b>	<b>Homung Tru Value (29th St.)</b>	<b>1000800 · General Fund Checking</b>	



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Type	Num	Date	Name	Account	Paid Amount
Bill	4751	08/31/2022		430210 · Material and Supplies	-64.99
				430210 · Material and Supplies	-87.12
				430210 · Material and Supplies	-11.89
TOTAL					-164.00
<b>Bill Pmt -Check</b>	<b>335809</b>	<b>09/23/2022</b>	<b>HRG Inc Consulting Engineers</b>	<b>1000800 · General Fund Checking</b>	
Bill	163282	09/08/2022		408313 · Engineering Fees	-2,553.75
Bill	163563	09/12/2022		436313 · Engineering Fees	-206.88
				436313 · Engineering Fees	-390.00
Bill	163561	09/12/2022		410313 · Traffic Studies (Engineering)	-381.50
Bill	163565	09/12/2022		436313 · Engineering Fees	-7,683.13
Bill	163562	09/12/2022		436313 · Engineering Fees	-2,116.50
Bill	163557	09/12/2022		408313 · Engineering Fees	-43,755.69
Bill	163559	09/14/2022		408313 · Engineering Fees	-1,000.00
TOTAL					-58,087.45
<b>Bill Pmt -Check</b>	<b>335810</b>	<b>09/23/2022</b>	<b>Intermixit</b>	<b>1000800 · General Fund Checking</b>	
Bill	7867	09/01/2022		407370 · IT Repairs, Main. & Service	-12,798.39
				407280 · General Software/Hardware	-1,467.00
TOTAL					-14,265.39
<b>Bill Pmt -Check</b>	<b>335811</b>	<b>09/23/2022</b>	<b>Interstate Battery Systems of H</b>	<b>1000800 · General Fund Checking</b>	
Bill	40075805	08/19/2022		430375 · Vehicle Expenses	-247.90
Bill	40075821	08/22/2022		430375 · Vehicle Expenses	-185.95
TOTAL					-433.85
<b>Bill Pmt -Check</b>	<b>335812</b>	<b>09/23/2022</b>	<b>Iron Rose K9, Inc.</b>	<b>1000800 · General Fund Checking</b>	
Bill	2021149	07/29/2022		410460 · Education and Training	-500.00
TOTAL					-500.00
<b>Bill Pmt -Check</b>	<b>335813</b>	<b>09/23/2022</b>	<b>Jeffrey N Yoffe Esq</b>	<b>1000800 · General Fund Checking</b>	
Bill	06302022	08/31/2022		414310 · ZHB Solicitor	-1,650.00
TOTAL					-1,650.00
<b>Bill Pmt -Check</b>	<b>335814</b>	<b>09/23/2022</b>	<b>Jewish Community Center</b>	<b>1000800 · General Fund Checking</b>	
Bill	09022022	09/02/2022		2382000 · Police Donations	-300.00
TOTAL					-300.00
<b>Bill Pmt -Check</b>	<b>335815</b>	<b>09/23/2022</b>	<b>Joe Gravino Body and Paint Shop LLC</b>	<b>1000800 · General Fund Checking</b>	
Bill	761	08/23/2022		401330 · Vehicle Expenses	-322.50
TOTAL					-322.50
<b>Bill Pmt -Check</b>	<b>335816</b>	<b>09/23/2022</b>	<b>Lakriesha Whittington</b>	<b>1000800 · General Fund Checking</b>	
Bill	09132022	09/13/2022		367140 · Park, Field, & Pavilion Rentals	-50.00
TOTAL					-50.00
<b>Bill Pmt -Check</b>	<b>335817</b>	<b>09/23/2022</b>	<b>LB Smith Ford</b>	<b>1000800 · General Fund Checking</b>	
Bill	2972	09/01/2022		410375 · Maintenance & Repair Vehicle	-251.85
Bill	29758	09/09/2022		410375 · Maintenance & Repair Vehicle	-61.41
Bill	297652	09/12/2022		410375 · Maintenance & Repair Vehicle	-67.22
TOTAL					-380.48
<b>Bill Pmt -Check</b>	<b>335818</b>	<b>09/23/2022</b>	<b>LEVCO</b>	<b>1000800 · General Fund Checking</b>	
Bill	1192	09/15/2022		430210 · Material and Supplies	-235.90
TOTAL					-235.90
<b>Bill Pmt -Check</b>	<b>335819</b>	<b>09/23/2022</b>	<b>Life Source Water Service LLC</b>	<b>1000800 · General Fund Checking</b>	
Bill	74534	08/30/2022		401241 · General Expenses	-21.24
				410241 · General Expenses	-34.50
				430241 · General Expenses	-34.50
Bill	75049	09/13/2022		401241 · General Expenses	-21.24

**Susquehanna Township**  
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Type	Num	Date	Name	Account	Paid Amount
				410241 · General Expenses	-40.25
				430241 · General Expenses	-28.75
<b>TOTAL</b>					<b>-180.48</b>
<b>Bill Pmt -Check</b>	<b>335820</b>	<b>09/23/2022</b>	<b>Lowe's</b>	<b>1000800 · General Fund Checking</b>	
Bill	98001392103	08/25/2022		451372 · Maintenance/Repair	-34.84
				451372 · Maintenance/Repair	-68.33
				430210 · Material and Supplies	-44.77
				430210 · Material and Supplies	-75.38
				451372 · Maintenance/Repair	-109.43
				430210 · Material and Supplies	-100.76
				451372 · Maintenance/Repair	-396.27
				451372 · Maintenance/Repair	-231.92
<b>TOTAL</b>					<b>-1,061.70</b>
<b>Bill Pmt -Check</b>	<b>335821</b>	<b>09/23/2022</b>	<b>Lynn Peavey Co</b>	<b>1000800 · General Fund Checking</b>	
Bill	393024	08/26/2022		410210 · Materials and Supplies	-14.16
<b>TOTAL</b>					<b>-14.16</b>
<b>Bill Pmt -Check</b>	<b>335822</b>	<b>09/23/2022</b>	<b>M &amp; K Truck Centers</b>	<b>1000800 · General Fund Checking</b>	
Bill	106508	09/21/2022		430375 · Vehicle Expenses	-70.86
<b>TOTAL</b>					<b>-70.86</b>
<b>Bill Pmt -Check</b>	<b>335823</b>	<b>09/23/2022</b>	<b>Messicks Lancaster Tractor</b>	<b>1000800 · General Fund Checking</b>	
Bill	1812067	07/15/2022		430375 · Vehicle Expenses	-225.54
<b>TOTAL</b>					<b>-225.54</b>
<b>Bill Pmt -Check</b>	<b>335824</b>	<b>09/23/2022</b>	<b>Middle Dept Inspection Agency</b>	<b>1000800 · General Fund Checking</b>	
Bill	202249672	09/20/2022		409375 · Building Planning fees	-140.00
<b>TOTAL</b>					<b>-140.00</b>
<b>Bill Pmt -Check</b>	<b>335825</b>	<b>09/23/2022</b>	<b>NAPA Auto Parts</b>	<b>1000800 · General Fund Checking</b>	
Bill	3081784822	08/01/2022		430375 · Vehicle Expenses	-59.98
Bill	3081785026	08/03/2022		430375 · Vehicle Expenses	-44.79
Bill	3081785501	08/10/2022		430375 · Vehicle Expenses	-99.96
Bill	3081785663	08/12/2022		430375 · Vehicle Expenses	-632.76
Bill	3081785694	08/12/2022		430375 · Vehicle Expenses	-12.98
Bill	3081785873	08/16/2022		410375 · Maintenance & Repair Vehicle	-104.00
Bill	3081785960	08/17/2022		410375 · Maintenance & Repair Vehicle	-14.58
Bill	3081786315	08/24/2022		430375 · Vehicle Expenses	-5.52
<b>TOTAL</b>					<b>-974.57</b>
<b>Bill Pmt -Check</b>	<b>335826</b>	<b>09/23/2022</b>	<b>Networkfleet, Inc.</b>	<b>1000800 · General Fund Checking</b>	
Bill	2862711	09/01/2022		430320 · Communications	-339.99
				429320 · Communications	-48.57
				451320 · Communications	-16.19
<b>TOTAL</b>					<b>-404.75</b>
<b>Bill Pmt -Check</b>	<b>335827</b>	<b>09/23/2022</b>	<b>Nicole E. Cassel</b>	<b>1000800 · General Fund Checking</b>	
Bill	6	09/20/2022		451319 · Classes/Activities	-384.00
<b>TOTAL</b>					<b>-384.00</b>
<b>Bill Pmt -Check</b>	<b>335828</b>	<b>09/23/2022</b>	<b>NMS Labs</b>	<b>1000800 · General Fund Checking</b>	
Bill	1182843	07/31/2022		410241 · General Expenses	-283.00
Bill	1182844	07/31/2022		410241 · General Expenses	-283.00
Bill	1182845	07/31/2022		410241 · General Expenses	-283.00
Bill	1182846	07/31/2022		410241 · General Expenses	-111.00
Bill	1182847	07/31/2022		410241 · General Expenses	-111.00
Bill	1182848	07/31/2022		410241 · General Expenses	-283.00
Bill	1182849	07/31/2022		410241 · General Expenses	-283.00
<b>TOTAL</b>					<b>-1,637.00</b>
<b>Bill Pmt -Check</b>	<b>335829</b>	<b>09/23/2022</b>	<b>North American KTrade Alliance LLC</b>	<b>1000800 · General Fund Checking</b>	

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Type	Num	Date	Name	Account	Paid Amount
Bill	2839	09/14/2022		402450 · Payroll Processing	-1,109.33
TOTAL					-1,109.33
<b>Bill Pmt -Check</b>	<b>335830</b>	<b>09/23/2022</b>	<b>PA Media Group</b>	<b>1000800 · General Fund Checking</b>	
Bill	10443087	09/13/2022		401341 · Advertising	-148.60
TOTAL					-148.60
<b>Bill Pmt -Check</b>	<b>335831</b>	<b>09/23/2022</b>	<b>Penn Colonial Swim Club</b>	<b>1000800 · General Fund Checking</b>	
Bill	22001	07/31/2022		451317 · Day Camp	-360.00
TOTAL					-360.00
<b>Bill Pmt -Check</b>	<b>335832</b>	<b>09/23/2022</b>	<b>Penn Power</b>	<b>1000800 · General Fund Checking</b>	
Bill	4384487	08/23/2022		430375 · Vehicle Expenses	-6.11
TOTAL					-6.11
<b>Bill Pmt -Check</b>	<b>335833</b>	<b>09/23/2022</b>	<b>Pennsylvania One Call System</b>	<b>1000800 · General Fund Checking</b>	
Bill	965638	08/31/2022		430241 · General Expenses	-123.16
TOTAL					-123.16
<b>Bill Pmt -Check</b>	<b>335834</b>	<b>09/23/2022</b>	<b>PMHIC</b>	<b>1000800 · General Fund Checking</b>	
Bill	101693	09/07/2022		401190 · Employee Insurances	-3,950.43
				402190 · Employee Insurances	-3,236.27
				410190 · Employee Insurances	-92,548.02
				410199 · Post-Retirement Med Insurance	-43,700.08
				414190 · Employee Insurances	-2,872.92
				413190 · Employee Insurance	-3,675.19
				430190 · Employee Insurances	-27,447.58
				451190 · Employee Insurances	-3,675.19
				2381400 · Fire Fund Expense	-89.77
				429190 · Employee Insurances	-14,588.39
				2380160 · Medical Insurance Former Emplo	-3,656.83
				436190 · Employee Insurances	-8,132.02
TOTAL					-207,572.69
<b>Bill Pmt -Check</b>	<b>335835</b>	<b>09/23/2022</b>	<b>PP&amp;L Electric Utilities</b>	<b>1000800 · General Fund Checking</b>	
Bill	9339908001	08/23/2022		433361 · Traffic Signal-Electric	-901.92
Bill	1973129002	09/06/2022		430360 · Utilities	-110.98
				451360 · Utilities-Parks	-766.22
				409360 · Utilities	-233.74
				2381400 · Fire Fund Expense	-966.90
TOTAL					-2,999.76
<b>Bill Pmt -Check</b>	<b>335836</b>	<b>09/23/2022</b>	<b>Purchase Power</b>	<b>1000800 · General Fund Checking</b>	
Bill	8000900011448085	09/05/2022		401241 · General Expenses	-900.98
TOTAL					-900.98
<b>Bill Pmt -Check</b>	<b>335837</b>	<b>09/23/2022</b>	<b>Rabold's Services</b>	<b>1000800 · General Fund Checking</b>	
Bill	2516	09/02/2022		410262 · Speed Timing Devices	-106.00
TOTAL					-106.00
<b>Bill Pmt -Check</b>	<b>335838</b>	<b>09/23/2022</b>	<b>Rohrer Bus Service</b>	<b>1000800 · General Fund Checking</b>	
Bill	103062	07/01/2022		451317 · Day Camp	-420.00
Bill	103063	07/01/2022		451317 · Day Camp	-253.00
TOTAL					-673.00
<b>Bill Pmt -Check</b>	<b>335839</b>	<b>09/23/2022</b>	<b>Royer's Flowers</b>	<b>1000800 · General Fund Checking</b>	
Bill	266217	08/31/2022		401241 · General Expenses	-69.48
TOTAL					-69.48
<b>Bill Pmt -Check</b>	<b>335840</b>	<b>09/23/2022</b>	<b>SecureRX</b>	<b>1000800 · General Fund Checking</b>	
Bill	222580024306	09/15/2022		2380160 · Medical Insurance Former Emplo	-1,127.00

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Type	Num	Date	Name	Account	Paid Amount
				410196 · Post-Retirement Med Insurance	-322.00
				429196 · Post Retirement Med Insurance	-161.00
				2380160 · Medical Insurance Former Emplo	-161.00
<b>TOTAL</b>					<b>-1,771.00</b>
<b>Bill Pmt -Check</b>	<b>335841</b>	<b>09/23/2022</b>	<b>SiteOne Landscape Supply</b>	<b>1000800 · General Fund Checking</b>	
Bill	122769718001	08/25/2022		451373 · Park Athletic Fields & Playgrd	-150.45
<b>TOTAL</b>					<b>-150.45</b>
<b>Bill Pmt -Check</b>	<b>335842</b>	<b>09/23/2022</b>	<b>Steelton Community Cats</b>	<b>1000800 · General Fund Checking</b>	
Bill	08312022	08/31/2022		420319 · Stray Animal Control	-360.00
<b>TOTAL</b>					<b>-360.00</b>
<b>Bill Pmt -Check</b>	<b>335843</b>	<b>09/23/2022</b>	<b>Suez</b>	<b>1000800 · General Fund Checking</b>	
Bill	208850030000	08/30/2022		409360 · Utilities	-76.80
Bill	200724783622	09/02/2022		451360 · Utilities-Parks	-57.74
Bill	208487588481	09/13/2022		451360 · Utilities-Parks	-44.64
<b>TOTAL</b>					<b>-179.18</b>
<b>Bill Pmt -Check</b>	<b>335844</b>	<b>09/23/2022</b>	<b>Susquehanna Township Authority</b>	<b>1000800 · General Fund Checking</b>	
Bill	219910	08/31/2022		409360 · Utilities	-242.71
Bill	219912	08/31/2022		409360 · Utilities	-57.30
Bill	219956	08/31/2022		409360 · Utilities	-34.80
Bill	220012	08/31/2022		409360 · Utilities	-241.00
Bill	220085	08/31/2022		409360 · Utilities	-34.80
Bill	220093	08/31/2022		409360 · Utilities	-4.80
Bill	219897	08/31/2022		409360 · Utilities	-148.07
Bill	220063	08/31/2022		409360 · Utilities	-17.10
Bill	219905	08/31/2022		409360 · Utilities	-4.80
Bill	219906	08/31/2022		409360 · Utilities	-57.30
Bill	220008	08/31/2022		409360 · Utilities	-182.65
Bill	220087	08/31/2022		409360 · Utilities	-34.80
Bill	220089	08/31/2022		409360 · Utilities	-57.30
Bill	220090	08/31/2022		409360 · Utilities	-34.80
Bill	220091	08/31/2022		409360 · Utilities	-141.24
<b>TOTAL</b>					<b>-1,293.47</b>
<b>Bill Pmt -Check</b>	<b>335845</b>	<b>09/23/2022</b>	<b>The Flying Locksmiths - Central PA</b>	<b>1000800 · General Fund Checking</b>	
Bill	471440766	09/06/2022		409370 · Maintenance and Repair	-255.00
<b>TOTAL</b>					<b>-255.00</b>
<b>Bill Pmt -Check</b>	<b>335846</b>	<b>09/23/2022</b>	<b>Tillett Toilets</b>	<b>1000800 · General Fund Checking</b>	
Bill	224360	08/24/2022		451374 · Park Restroom Supplies & Repair	-96.00
<b>TOTAL</b>					<b>-96.00</b>
<b>Bill Pmt -Check</b>	<b>335847</b>	<b>09/23/2022</b>	<b>Toshiba Financial Services</b>	<b>1000800 · General Fund Checking</b>	
Bill	5021710641	09/03/2022		407280 · General Software/Hardware	-1,751.09
<b>TOTAL</b>					<b>-1,751.09</b>
<b>Bill Pmt -Check</b>	<b>335848</b>	<b>09/23/2022</b>	<b>UGI Utilities</b>	<b>1000800 · General Fund Checking</b>	
Bill	411000812239	09/12/2022		430360 · Utilities	-40.16
Bill	411006901242	09/12/2022		409360 · Utilities	-30.20
<b>TOTAL</b>					<b>-70.36</b>
<b>Bill Pmt -Check</b>	<b>335849</b>	<b>09/23/2022</b>	<b>Verizon 2</b>	<b>1000800 · General Fund Checking</b>	
Bill	9914352159	08/25/2022		410320 · Communication	-918.11
				430320 · Communications	-103.30
				414320 · Communications	-47.20
				413320 · Communications	-129.34
				451320 · Communications	-84.41
				2381400 · Fire Fund Expense	-42.21
				2381400 · Fire Fund Expense	-42.21
				415320 · Communications	-42.21
				436241 · General Expense	-29.62
				429320 · Communications	-103.25

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Susquehanna Township  
Check Detail

September 2 through October 7, 2022

Type	Num	Date	Name	Account	Paid Amount
TOTAL					-1,541.86
Bill Pmt -Check	335850	09/23/2022	Wilmington Trust Corporate Trust	1000800 · General Fund Checking	
Bill	128564000	10/01/2022		472004 · 2018 Sewer Auth Debt Refinance 471004 · 2018 Sewer Auth Debt Refinance	-544,600.00 -1,180,000.00
TOTAL					-1,724,600.00
Bill Pmt -Check	335851	09/23/2022	Wilmington Trust NA	1000800 · General Fund Checking	
Bill	145917000	09/12/2022		472006 · Series 2021 General Oblig Bonds 471006 · Series 2021 General Oblig Bonds	-86,975.00 -840,000.00
TOTAL					-926,975.00
Bill Pmt -Check	335852	09/23/2022	Witmer Public Safety Group Inc	1000800 · General Fund Checking	
Bill	2108057	01/01/2022		4930400 · Other Expenses - Prior Yr Exp	-52.50
Bill	2108057001	01/01/2022		4930400 · Other Expenses - Prior Yr Exp	-214.00
TOTAL					-266.50
Bill Pmt -Check	335853	10/04/2022	Cardmember Service	1000800 · General Fund Checking	
Bill	4798510055137208	09/14/2022		430210 · Material and Supplies 430238 · Uniforms 436245 · Storm Sewers and Drains 413210 · Materials & Supply 410375 · Maintenance & Repair Vehicle 410210 · Materials and Supplies 410260 · Minor Equipment 410260 · Minor Equipment 410260 · Minor Equipment 2381400 · Fire Fund Expense 409210 · Material & Supplies 2381400 · Fire Fund Expense 2381400 · Fire Fund Expense 2381400 · Fire Fund Expense 2381400 · Fire Fund Expense 410261 · Major Equipment 413460 · Education and Training 430370 · Maintenance/Repairs Bldg 451360 · Utilities-Parks 451319 · Classes/Activities 409380 · Administration Building Project 407280 · General Software/Hardware 401241 · General Expenses 409210 · Material & Supplies 401341 · Advertising 401460 · Education and Training	-86.40 -564.50 -59.74 -14.95 -183.88 -9.93 -56.64 -37.56 -761.81 -86.75 -130.21 -164.05 -447.42 -178.97 -198.85 -2,783.92 -397.71 -80.06 -2,058.14 -44.91 -217.75 -89.43 -411.63 -39.76 -548.84 -745.70
TOTAL					-10,409.51

Susquehanna Township  
ACH Monthly Withdrawals  
Month of September 2022

Dig My Earth	\$ 2,195.91
Enterprise	\$ 3,988.20
Francia Done Henry	\$ 845.00
James Huffard	\$ 4,456.45
Jeffrey Vargo	\$ 845.00
Ralph Martin	\$ 845.00
Brooke Anthony	\$ 845.00
Susquehanna Solar Partners	\$ 3,910.42
Wex	<u>\$ 22,355.94</u>
<b>Total ACH Withdrawals</b>	<b>\$ 40,286.92</b>

Payroll Disbursements for September 2022

Payroll 9/15/22	\$ 338,798.29
Payroll 9/30/22	<u>\$ 318,409.14</u>
<b>Total Payroll Disbursements</b>	<b>\$ 657,207.43</b>

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**Susquehanna Township - Highway Fund**  
**Check Detail**  
September 2 through October 7, 2022

Type	Num	Date	Name	Account	Paid Amount
Bill Pmt -Check	102356	09/29/2022	Atlantic Transportation Systems, Inc.	1008000 - Checking Account	
Bill	22249	09/06/2022		433370 - Maint. - Traffic Signals	-1,563.39
Bill	22261	09/22/2022		433370 - Maint. - Traffic Signals	-337.19
TOTAL					-1,900.58
Bill Pmt -Check	102357	09/29/2022	Daniel B Krieg Inc	1008000 - Checking Account	
Bill	307893	09/22/2022		438245 - Public Works- Highway Supplies	-750.75
TOTAL					-750.75
Bill Pmt -Check	102358	09/29/2022	Penny Supply	1008000 - Checking Account	
Bill	3198950	08/31/2022		438245 - Public Works- Highway Supplies	-1,069.99
Bill	3199217	09/01/2022		438245 - Public Works- Highway Supplies	-536.00
Bill	3200383	09/08/2022		438245 - Public Works- Highway Supplies	-168.72
Bill	3200674	09/09/2022		438245 - Public Works- Highway Supplies	-406.02
Bill	3201287	09/13/2022		438245 - Public Works- Highway Supplies	-1,072.00
Bill	3202189	09/16/2022		438245 - Public Works- Highway Supplies	-1,075.35
Bill	3202493	09/19/2022		438245 - Public Works- Highway Supplies	-538.01
Bill	3203165	09/21/2022		438245 - Public Works- Highway Supplies	-1,066.50
TOTAL					-5,932.59
Bill Pmt -Check	102359	09/29/2022	PP&L	1008000 - Checking Account	
Bill	9193311008	08/29/2022		434361 - Street Lighting	-19,580.31
TOTAL					-19,580.31

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### Susquehanna Township Street Light Fund

## Check Detail

September 2 through October 7, 2022

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Type	Num	Date	Name	Account	Paid Amount
Bill Pmt -Check	1275	09/30/2022	PP&L	1008000 - Checking Account	
Bill	9400119001	08/29/2022		434361 - Street Lighting	-7,139.34
TOTAL					-7,139.34



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## Susquehanna Township Fire Protection Fund Check Detail

September 2 through October 7, 2022

Type	Num	Date	Name	Account	Paid Amount
<b>Bill Pmt -Check</b>	<b>709661</b>	<b>09/23/2022</b>	<b>Benchmark Insurance Company</b>	<b>1008000 · Checking Account</b>	
Bill	7712209103697	10/01/2022		411195 · W.C. Insurance	-4,403.00
<b>TOTAL</b>					<b>-4,403.00</b>
<b>Bill Pmt -Check</b>	<b>709662</b>	<b>09/23/2022</b>	<b>Capital Region Water</b>	<b>1008000 · Checking Account</b>	
Bill	620674070	08/25/2022		411541 · Progress Fire Company	-242.71
Bill	140410111	08/25/2022		411542 · Rescue Fire Company	-80.57
<b>TOTAL</b>					<b>-323.28</b>
<b>Bill Pmt -Check</b>	<b>709663</b>	<b>09/23/2022</b>	<b>Comcast</b>	<b>1008000 · Checking Account</b>	
Bill	8993110580046638	09/05/2022		411542 · Rescue Fire Company	-111.85
<b>TOTAL</b>					<b>-111.85</b>
<b>Bill Pmt -Check</b>	<b>709664</b>	<b>09/23/2022</b>	<b>Commonwealth of PA Fed Prop</b>	<b>1008000 · Checking Account</b>	
Bill	618178	08/29/2022		411239 · Misc. Expenses	-50.00
Bill	618206	09/12/2022		411373 · Repair and Maintenance- ...	-6.00
<b>TOTAL</b>					<b>-56.00</b>
<b>Bill Pmt -Check</b>	<b>709665</b>	<b>09/23/2022</b>	<b>Glick Fire Equipment Co</b>	<b>1008000 · Checking Account</b>	
Bill	340838	07/21/2022		411542 · Rescue Fire Company	-139.03
Bill	387090	08/31/2022		411542 · Rescue Fire Company	-865.47
<b>TOTAL</b>					<b>-1,004.50</b>
<b>Bill Pmt -Check</b>	<b>709666</b>	<b>09/23/2022</b>	<b>Homungs Hardware</b>	<b>1008000 · Checking Account</b>	
Bill	4751	08/31/2022		411542 · Rescue Fire Company	-14.82
				411542 · Rescue Fire Company	-18.98
				411542 · Rescue Fire Company	-0.50
<b>TOTAL</b>					<b>-34.30</b>
<b>Bill Pmt -Check</b>	<b>709667</b>	<b>09/23/2022</b>	<b>M &amp; K Truck Center</b>	<b>1008000 · Checking Account</b>	
Bill	106067	08/30/2022		411541 · Progress Fire Company	-28.58
<b>TOTAL</b>					<b>-28.58</b>
<b>Bill Pmt -Check</b>	<b>709668</b>	<b>09/23/2022</b>	<b>McNeil &amp; Co Inc.</b>	<b>1008000 · Checking Account</b>	
Bill	44705130	10/01/2022		411542 · Rescue Fire Company	-2,069.00
Bill	44715130	10/01/2022		411542 · Rescue Fire Company	-187.50
Bill	44710130	10/01/2022		411542 · Rescue Fire Company	-710.50
<b>TOTAL</b>					<b>-2,967.00</b>
<b>Bill Pmt -Check</b>	<b>709669</b>	<b>09/23/2022</b>	<b>Penn Pest, LLC.</b>	<b>1008000 · Checking Account</b>	
Bill	44835	09/08/2022		411541 · Progress Fire Company	-70.00
<b>TOTAL</b>					<b>-70.00</b>
<b>Bill Pmt -Check</b>	<b>709670</b>	<b>09/23/2022</b>	<b>Staples</b>	<b>1008000 · Checking Account</b>	
Bill	8067457297	09/03/2022		411239 · Misc. Expenses	-79.73
<b>TOTAL</b>					<b>-79.73</b>
<b>Bill Pmt -Check</b>	<b>709671</b>	<b>09/23/2022</b>	<b>Sudden Death Termite &amp; Pest Co</b>	<b>1008000 · Checking Account</b>	
Bill	72140	08/22/2022		411542 · Rescue Fire Company	-50.00

## Susquehanna Township Fire Protection Fund Check Detail

September 2 through October 7, 2022

Type	Num	Date	Name	Account	Paid Amount
TOTAL					-50.00
<b>Bill Pmt -Check</b>	<b>709672</b>	<b>09/23/2022</b>	<b>Suez</b>	<b>1008000 · Checking Account</b>	
Bill	208601030000	08/30/2022		411363 · Fire Hydrants	-9,892.89
Bill	206833720000	08/30/2022		411542 · Rescue Fire Company	-98.75
Bill	208568920000	08/30/2022		411542 · Rescue Fire Company	-149.75
Bill	201770221711	09/02/2022		411542 · Rescue Fire Company	-699.19
Bill	209367030000	09/13/2022		411540 · Edgemont Fire Company	-118.94
TOTAL					-10,959.52
<b>Bill Pmt -Check</b>	<b>709673</b>	<b>09/23/2022</b>	<b>Susquehanna Township Authority</b>	<b>1008000 · Checking Account</b>	
Bill	204325	08/31/2022		411542 · Rescue Fire Company	-103.80
TOTAL					-103.80
<b>Bill Pmt -Check</b>	<b>709674</b>	<b>09/23/2022</b>	<b>UGI Utilities</b>	<b>1008000 · Checking Account</b>	
Bill	411000928696	09/01/2022		411542 · Rescue Fire Company	-57.41
Bill	411000375294	09/09/2022		411540 · Edgemont Fire Company	-42.07
Bill	411002074580	09/09/2022		411541 · Progress Fire Company	-117.87
Bill	411001602811	09/12/2022		411542 · Rescue Fire Company	-42.45
TOTAL					-259.80
<b>Bill Pmt -Check</b>	<b>709675</b>	<b>09/23/2022</b>	<b>Verizon - Lehigh Valley</b>	<b>1008000 · Checking Account</b>	
Bill	450771949000104	08/18/2022		411542 · Rescue Fire Company	-151.16
Bill	550772618000176	09/06/2022		411542 · Rescue Fire Company	-132.11
TOTAL					-283.27
<b>Bill Pmt -Check</b>	<b>709676</b>	<b>09/23/2022</b>	<b>Verizon Wireless</b>	<b>1008000 · Checking Account</b>	
Bill	9914352160	08/25/2022		411542 · Rescue Fire Company	-252.67
Bill	9914986598	09/03/2022		411541 · Progress Fire Company	-145.60
TOTAL					-398.27
<b>Bill Pmt -Check</b>	<b>709677</b>	<b>09/30/2022</b>	<b>Comcast</b>	<b>1008000 · Checking Account</b>	
Bill	8993110580012408	09/19/2022		411541 · Progress Fire Company	-64.71
Bill	8993110580184413	09/19/2022		411541 · Progress Fire Company	-360.44
TOTAL					-425.15
<b>Bill Pmt -Check</b>	<b>709678</b>	<b>09/30/2022</b>	<b>Commonwealth of PA Fed Prop</b>	<b>1008000 · Checking Account</b>	
Bill	618233	09/20/2022		411375 · Vehicle Expenses- Shop 84	-4.75
TOTAL					-4.75
<b>Bill Pmt -Check</b>	<b>709679</b>	<b>09/30/2022</b>	<b>Fire &amp; Rescue Products</b>	<b>1008000 · Checking Account</b>	
Bill	101745	09/26/2022		411542 · Rescue Fire Company	-698.00
TOTAL					-698.00
<b>Bill Pmt -Check</b>	<b>709680</b>	<b>09/30/2022</b>	<b>Sudden Death Termite &amp; Pest Co</b>	<b>1008000 · Checking Account</b>	
Bill	72518	09/26/2022		411542 · Rescue Fire Company	-50.00
TOTAL					-50.00
<b>Bill Pmt -Check</b>	<b>709681</b>	<b>09/30/2022</b>	<b>Susquehanna Township Authority</b>	<b>1008000 · Checking Account</b>	
Bill	220061	08/31/2022		411541 · Progress Fire Company	-75.48
Bill	204326	08/31/2022		411541 · Progress Fire Company	-144.78

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### Susquehanna Township Fire Protection Fund Check Detail

September 2 through October 7, 2022

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Type	Num	Date	Name	Account	Paid Amount
TOTAL					-220.26
Bill Prnt -Check	709682	09/30/2022	Verizon - Lehigh Valley	1008000 - Checking Account	
Bill	7172329502	09/18/2022		411542 - Rescue Fire Company	-151.16
TOTAL					-151.16

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Susquehanna Township - Developers Recreation Fund  
**Check Detail**  
September 2 through October 7, 2022

Type	Num	Date	Name	Account	Paid Amount
Bill Pmt -Check	123	09/30/2022	George Ely Associates, Inc.	1008100 - Centric Bank - Boyd Foundation	
Bill	40869	09/15/2022		4200020 - Boyd Park Project	-17,780.00
TOTAL					-17,780.00
Bill Pmt -Check	1170	09/30/2022	BuilderMen Concrete & Foundation	1008000 - Centric Checking	
Bill	10141	08/11/2022		4200010 - Veterans Park Project	-9,050.00
TOTAL					-9,050.00
Bill Pmt -Check	1171	09/30/2022	Engineered Installation Solutions, LLC.	1008000 - Centric Checking	
Bill	08312022	08/31/2022		4200010 - Veterans Park Project	-24,990.00
TOTAL					-24,990.00
Bill Pmt -Check	1172	09/30/2022	HRG Inc Consulting Engineers	1008000 - Centric Checking	
Bill	163564	09/12/2022		451313 - Engineering Fees	-2,493.82
TOTAL					-2,493.82
Bill Pmt -Check	1173	09/30/2022	AC Valuations	1008000 - Centric Checking	
Bill	07212022	07/21/2022		4100000 - Capital Improvement Rec	-2,750.00
TOTAL					-2,750.00

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Susquehanna Township - ARPA Fund  
Check Detail  
September 2 through October 7, 2022

Type	Num	Date	Name	Account	Paid Amount
Bill Pmt -Check	1025	09/30/2022	B. Moyer Radio Communications	1008000 · Centric Bank - Account 1173947	
Bill	113704	07/28/2022		4061000 · Provision of Government Service	-5,963.50
TOTAL					-5,963.50



369 East Park Drive  
Harrisburg, PA 17111  
717.564.1121  
www.hrg-inc.com

### FINANCIAL SECURITY ADJUSTMENT #3

Susquehanna Township  
Attn: Betsy Logan

Stray Winds Farm – Phase 7

SEPTEMBER 22, 2022

As requested, Herbert, Rowland & Grubic, Inc. performed a site inspection on September 21, 2022, for the above-referenced project to determine the extent of completion of items covered by the Financial Security.

Based upon our observations of work completed, we recommend that the Financial Security be adjusted to \$174,798 as shown on the attached tabulation.

	Remaining Balance
Original Financial Security Amount	\$1,069,222
Financial Security Adjustment #1	\$273,560
Financial Security Adjustment #2	\$257,406
Financial Security Adjustment #3	\$174,798

We request that a copy of the updated Financial Security be provided to HRG for our internal records. Please feel free to contact our office if you need additional information regarding this matter.

*This review is based solely on the documents referenced above and does not relieve the design professional of any responsibility, nor does it imply any design responsibility by Herbert, Rowland & Grubic, Inc.*

*Please note that the adjusted Financial Security recommendation will continue to include the initial 10% contingency in full until final release per PAMPC 509(j), and may include a 10% annual increase for each one-year period from the establishment of said security per PAMPC 509(h); this may lead to increases in security totals from previous adjustment recommendations if sufficient project progress has not been achieved.*

HERBERT, ROWLAND & GRUBIC, INC.

Alex Greenly, PE  
Project Manager

AG/LB/JMC  
R000242.0002 (Phase 1244)

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c: Susquehanna Township

**SUSQUEHANNA TOWNSHIP**  
**FINANCIAL SECURITY (FS) ADJUSTMENT #3**  
**Stray Winds, Phase 7**

INITIAL FS RECOMMENDATION DATE: 05/12/20  
 PREVIOUS FS REDUCTION DATE: 05/25/21  
 CURRENT FS REDUCTION DATE: 09/22/22

HRG NO.: R00242.0002  
 PLAN DATE: 04/10/20  
 LAST PLAN REVISION DATE: NA



Description	Units	Standard Quantity	Dedicated Quantity	Unit Cost	Item Total	Financial Security Reduction						Financial Security Remaining After Reduction			Notes		
						Previous Quantity Reduced			Current Quantity Reduced			Remaining Quantity					
						Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)			
<b>SITE WORK</b>																	
Clearing and Grubbing	AC	1.5		\$ 2,500	\$ 3,750			1.5	\$ 3,750					\$ -			\$ -
Topsoil Removal/Stockpiling	CY	12092		\$ 2	\$ 24,184	12092			\$ 24,184					\$ -			\$ -
Bulk Earthwork (all necessary work to bring site to final grade)	CY	37682		\$ 5	\$ 188,410	37682			\$ 188,410					\$ -			\$ -
Replace Topsoil	CY	1330		\$ 4	\$ 5,320				\$ -			1330		\$ -			\$ 5,320
Permanent Seeding	SF	73606		\$ 0	\$ 2,944				\$ -			73606		\$ -			\$ 2,944
<b>Site Work Total:</b>					<b>\$ 224,608</b>				<b>\$ 216,344</b>					<b>\$ -</b>			<b>\$ 8,264</b>
<b>EROSION &amp; SEDIMENTATION CONTROL</b>																	
Stabilized Construction Entrance (INSTALLED)	EA	2		\$ 1,850	\$ 3,700	2			\$ 3,700					\$ -			\$ -
Stabilized Construction Entrance (REMOVED)	EA	2		\$ 1,850	\$ 3,700	2			\$ 3,700					\$ -			\$ -
Concrete Washout Area (INSTALLED)	EA	1		\$ 250	\$ 250	1			\$ 250					\$ -			\$ -
Concrete Washout Area (REMOVED)	EA	1		\$ 250	\$ 250	1			\$ 250					\$ -			\$ -
12" Silt Sock (INSTALLED)	LF	3074		\$ 5	\$ 15,370	3074			\$ 15,370					\$ -			\$ -
12" Silt Sock (REMOVED)	LF	3074		\$ 5	\$ 15,370				\$ -	3074				\$ 15,370			\$ -
Rock Apron (Rip-Rap) (PERMANENT)	SY	176		\$ 72	\$ 12,672	88			\$ 6,336	88				\$ 6,336			\$ -
Baffle Wall (INSTALLED)	LF	798		\$ 14	\$ 11,172	798			\$ 11,172					\$ -			\$ -
Baffle Wall (REMOVED)	LF	798		\$ 14	\$ 11,172				\$ -	798				\$ 11,172			\$ -
Inlet Protection (INSTALLED)	EA	29		\$ 160	\$ 4,640	29			\$ 4,640					\$ -			\$ -
Inlet Protection (REMOVED)	EA	29		\$ 160	\$ 4,640				\$ -			29		\$ -			\$ 4,640
Temporary Outlet Structure (INSTALLED)	EA	1		\$ 2,500	\$ 2,500	1			\$ 2,500					\$ -			\$ -
Temporary Outlet Structure (REMOVED)	EA	1		\$ 2,500	\$ 2,500	1			\$ 2,500					\$ -			\$ -
Temporary Outlet Structure Trash Rack (INSTALLED)	EA	1		\$ 100	\$ 100	1			\$ 100					\$ -			\$ -
Temporary Outlet Structure Trash Rack (REMOVED)	EA	1		\$ 100	\$ 100	1			\$ 100					\$ -			\$ -
North American Green (P-300 TRM)	SY	300		\$ 12	\$ 3,600	300			\$ 3,600					\$ -			\$ -
<b>Erosion &amp; Sedimentation Control Total:</b>					<b>\$ 91,736</b>				<b>\$ 54,218</b>					<b>\$ 32,878</b>			<b>\$ 4,640</b>
<b>STORMWATER MANAGEMENT</b>																	
Subsurface Stormwater Facility (Stone; includes stone and excavation)	CY	45		\$ 30	\$ 1,350				\$ -			45		\$ -			\$ 1,350
Type M Top Unit	EA	7		\$ 500	\$ 3,500	7			\$ 3,500					\$ -			\$ -
Standard Inlet Box	EA	7	22	\$ 1,050	\$ 30,450	7	22		\$ 30,450					\$ -			\$ -
Storm Manhole	EA	1	1	\$ 1,650	\$ 3,300	1	1		\$ 3,300					\$ -			\$ -
18" HDPEP (includes excavation and backfill)	LF	491	1432	\$ 50	\$ 96,150	491	1432		\$ 96,150					\$ -			\$ -
24" HDPEP (includes excavation and backfill)	LF	515	89	\$ 54	\$ 32,616	515	89		\$ 32,616					\$ -			\$ -
DW Head/Endwall	EA	2		\$ 1,750	\$ 3,500	2			\$ 3,500					\$ -			\$ -
Anti-Seep Collar	EA	2		\$ 600	\$ 1,200	2			\$ 1,200					\$ -			\$ -
Outlet Structure	EA	1		\$ 2,500	\$ 2,500				\$ -	1				\$ 2,500			\$ -
R-5 Rip-Rap (Spillways)	Tons	70		\$ 45	\$ 3,150	70			\$ 3,150					\$ -			\$ -
Type S Top Unit	EA		22	\$ 750	\$ 16,500		22		\$ 16,500					\$ -			\$ -
Basin 4B Underdrain (includes pipe, #57 stone, geotextile)	LF	140		\$ 20	\$ 2,800	140			\$ 2,800					\$ -			\$ -
<b>Stormwater Management Total:</b>					<b>\$ 197,016</b>				<b>\$ 193,166</b>					<b>\$ 2,500</b>			<b>\$ 1,350</b>
<b>PAVING AND CONCRETE</b>																	
Mountable Curb	LF		4537	\$ 17	\$ 77,129			4537	\$ 77,129					\$ -			\$ -
Sidewalk	SY		1264	\$ 40	\$ 50,560				\$ -		634			\$ 25,360	630		\$ 25,200
Stone Subbase, 6" Depth	SY		7583	\$ 7	\$ 53,081			7583	\$ 53,081					\$ -			\$ -
Superpave Asphalt, HMA Wearing (9.5mm, 1-1/2" depth)	SY		7583	\$ 11	\$ 83,413				\$ -					\$ -	7583		\$ 83,413
Superpave Asphalt, HMA Base (25mm, 5" depth)	SY		7583	\$ 19	\$ 144,077			7583	\$ 144,077					\$ -			\$ -
Curb Ramp	EA		6	\$ 3,000	\$ 18,000				\$ -					\$ -	6		\$ 18,000
Crosswalk	LF		150	\$ 2	\$ 300				\$ -					\$ -	150		\$ 300
<b>Paving and Concrete Total:</b>					<b>\$ 426,560</b>				<b>\$ 274,287</b>					<b>\$ 25,360</b>			<b>\$ 126,913</b>
<b>MISCELLANEOUS</b>																	

**SUSQUEHANNA TOWSHIP**  
**FINANCIAL SECURITY (FS) ADJUSTMENT #3**  
**Stray Winds, Phase 7**

INITIAL FS RECOMMENDATION DATE: 05/12/20  
 PREVIOUS FS REDUCTION DATE: 05/25/21  
 CURRENT FS REDUCTION DATE: 09/22/22

HRG NO.: R00242.0002  
 PLAN DATE: 04/10/20  
 LAST PLAN REVISION DATE: NA



Description	Units	Standard Quantity	Dedicated Quantity	Unit Cost	Item Total	Financial Security Reduction						Financial Security Remaining After Reduction			Notes	
						Previous Quantity Reduced			Current Quantity Reduced			Remaining Quantity				
						Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)		
Mobilization	LS	1		\$ 5,000	\$ 5,000			\$ -	1		\$ 5,000			\$ -		
Street Lights	EA		3	\$ 1,600	\$ 4,800			\$ -			\$ -		3	\$ 4,800		
Post-mounted Signs	EA		13	\$ 160	\$ 2,080			\$ -			\$ -		13	\$ 2,080		
Deciduous Trees (3-1/2" - 4" Caliper)	EA		78	\$ 240	\$ 18,720			\$ -		39	\$ 9,360		39	\$ 9,360		
As-Built Plan	LS	1		\$ 1,500	\$ 1,500			\$ -			\$ -	1		\$ 1,500		
<b>Miscellaneous Total:</b>					<b>\$ 32,100</b>			<b>\$ -</b>			<b>\$ 14,360</b>			<b>\$ 17,740</b>		
						<b>Past FS Reductions</b>			<b>Current FS Reduction</b>							
Note: All totals (item, sub, final, etc.) rounded to nearest dollar.					<b>Sub-Total:</b>	\$ 972,020		\$ 738,015			\$ 75,098			\$ 158,907		<b>Items Proposed for Dedication Total</b>
10% of Remaining Balance					<b>10% Contingency:</b>	\$ 15,891	>>	>>	>>	>>	>>	>>	>>	\$ 15,891		\$ 569,816
Note: For every year beyond the establishment of the initial financial security, the required amount of financial security will be increased by 10%.					<b>10% Annual Increase:</b>	>>	>>	>>	>>	>>	<b>Number of Years</b>			\$ -		<b>15% for Post-Dedication Security</b>
					<b>Total:</b>	\$ 987,911								<b>\$ 174,798</b>		<b>\$ 85,472</b>

This information is subject to HRG Policy E-002 - Confidential and Proprietary Information





369 East Park Drive  
Harrisburg, PA 17111  
717.564.1121  
www.hrg-inc.com

## FINANCIAL SECURITY ADJUSTMENT #1

Susquehanna Township  
Attn: Betsy Logan

Terraces at Maplewood

SEPTEMBER 21, 2022

As requested, Herbert, Rowland & Grubic, Inc. performed a site inspection on September 21, 2022 for the above-referenced project in order to determine the extent of completion of items covered by the Financial Security.

Based upon our observations of work completed, we recommend the Financial Security be adjusted to \$2,401,176, as shown on the attached tabulation.

Original Financial Security Amount	\$2,681,753
Financial Security Adjustment #1	(\$280,577)
Remaining Financial Security Amount	\$2,401,176

We request that a copy of the updated Financial Security be provided to HRG for our internal records. Please feel free to contact our office if you need additional information regarding this matter.

*This review is based solely on the documents referenced above and does not relieve the design professional of any responsibility, nor does it imply any design responsibility by Herbert, Rowland & Grubic, Inc.*

*Please note that the adjusted Financial Security recommendation may include a 10% annual increase for each one-year period from the establishment of said security per PAMPC 509(h); this may lead to increases in security totals from previous adjustment recommendations if sufficient project progress has not been achieved.*

HERBERT, ROWLAND & GRUBIC, INC.

Alex Greenly, PE  
Project Manager

AG/GR  
R000242.002 (Phase 1248)  
P:\0002\000242\_0002\1248 - Maplewood\C - FINANCIAL SECURITY\FSA#1.Docx

Enclosures: Financial Security Adjustment #1

**SUSQUEHANNA TOWNSHIP**  
**FINANCIAL SECURITY (FS) ESTIMATE**  
**THE TERRACES AT MAPLEWOOD**

INITIAL FS RECOMMENDATION DATE: 05/25/21  
 PREVIOUS FS REDUCTION DATE: \_\_\_\_\_  
 CURRENT FS REDUCTION DATE: 09/21/22

HRG NO.: R000242.0002 PH 1248  
 PLAN DATE: 01/08/21  
 LAST PLAN REVISION DATE: 04/09/21



Description	Units	Standard Quantity	Dedicated Quantity	Unit Cost	Item Total	Financial Security Reduction						Financial Security Remaining After Reduction			Notes
						Previous Quantity Reduced			Current Quantity Reduced			Remaining Quantity			
						Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)	
<b>SITE WORK</b>															
Clearing and Grubbing	AC	20.0		\$ 2,400	\$ 48,000			\$ -	20.0		\$ 48,000			\$ -	
Bulk Earthwork (all necessary work to bring site to final grade)	LS	1		\$ 50,000	\$ 50,000			\$ -			\$ -	1		\$ 50,000	
Permanent Seed/Mulch (no topsoil)	LS	1		\$ 10,000	\$ 10,000			\$ -	0.02		\$ 200	0.98		\$ 9,800	
<b>Site Work Total:</b>					<b>\$ 108,000</b>			<b>\$ -</b>			<b>\$ 48,200</b>			<b>\$ 59,800</b>	
<b>EROSION &amp; SEDIMENTATION CONTROL</b>															
Stabilized Construction Entrance (INSTALLED)	EA	1		\$ 805	\$ 805			\$ -	1		\$ 805			\$ -	
Stabilized Construction Entrance (REMOVED)	EA	1		\$ 805	\$ 805			\$ -			\$ -	1		\$ 805	
Concrete Washout Area (INSTALLED)	EA	2		\$ 284	\$ 568			\$ -			\$ -	2		\$ 568	
Concrete Washout Area (REMOVED)	EA	2		\$ 284	\$ 568			\$ -			\$ -	2		\$ 568	
18" Silt Sock (INSTALLED)	LF	850		\$ 4	\$ 3,400			\$ -	850		\$ 3,400			\$ -	
18" Silt Sock (REMOVED)	LF	850		\$ 4	\$ 3,400			\$ -			\$ -	850		\$ 3,400	
24" Silt Sock (INSTALLED)	LF	5000		\$ 5	\$ 25,000			\$ -	5000		\$ 25,000			\$ -	
24" Silt Sock (REMOVED)	LF	5000		\$ 5	\$ 25,000			\$ -			\$ -	5000		\$ 25,000	
Rock Filter (INSTALLED)	EA	2		\$ 490	\$ 980			\$ -	1		\$ 490	1		\$ 490	
Rock Filter (REMOVED)	EA	2		\$ 490	\$ 980			\$ -			\$ -	2		\$ 980	
Inlet Protection (INSTALLED)	EA	32		\$ 80	\$ 2,560			\$ -			\$ -	32		\$ 2,560	
Inlet Protection (REMOVED)	EA	32		\$ 80	\$ 2,560			\$ -			\$ -	32		\$ 2,560	
North American Green (P-300 TRM)	SY	100		\$ 14	\$ 1,400			\$ -	100		\$ 1,400			\$ -	
32" Silt Sock (INSTALLED)	LF	125		\$ 9	\$ 1,125			\$ -	100		\$ 900	25		\$ 225	
32" Silt Sock (REMOVED)	LF	125		\$ 9	\$ 1,125			\$ -			\$ -	125		\$ 1,125	
Wooden Baffle	LF	275		\$ 5	\$ 1,375			\$ -	275		\$ 1,375			\$ -	
Cleanout Marker	EA	4		\$ 5	\$ 20			\$ -			\$ -	4		\$ 20	
Embankment Sediment Trap (Basin 1)	LS	1		\$ 5,000	\$ 5,000			\$ -	1		\$ 5,000			\$ -	
Type M Inlet Sediment Trap (Basin 2)	LS	1		\$ 5,000	\$ 5,000			\$ -	1		\$ 5,000			\$ -	
<b>Erosion &amp; Sedimentation Control Total:</b>					<b>\$ 81,671</b>			<b>\$ -</b>			<b>\$ 43,370</b>			<b>\$ 38,301</b>	
<b>STORMWATER MANAGEMENT</b>															
Type C Top Unit	EA	41	25	\$ 400	\$ 26,400			\$ -			\$ -	41	25	\$ 26,400	
Type M Top Unit	EA	14		\$ 400	\$ 5,600			\$ -			\$ -	14		\$ 5,600	
Standard Inlet Box	EA	50	23	\$ 1,050	\$ 76,650			\$ -			\$ -	50	23	\$ 76,650	
Type-4 Box	EA	3	2	\$ 2,750	\$ 13,750			\$ -			\$ -	3	2	\$ 13,750	
Type-5 Box	EA	2		\$ 3,250	\$ 6,500			\$ -			\$ -	2		\$ 6,500	
Tie-in to Existing System	EA		1	\$ 750	\$ 750			\$ -		1	\$ 750			\$ -	
Storm Manhole	EA	7		\$ 1,650	\$ 11,550			\$ -			\$ -	7		\$ 11,550	
15" HDPEP (includes excavation and backfill)	LF	4220	450	\$ 66	\$ 308,220			\$ -			\$ -	4220	450	\$ 308,220	
18" HDPEP (includes excavation and backfill)	LF	355	193	\$ 68	\$ 37,264			\$ -			\$ -	355	193	\$ 37,264	
24" HDPEP (includes excavation and backfill)	LF	451	104	\$ 68	\$ 37,740			\$ -			\$ -	451	104	\$ 37,740	
30" HDPEP (includes excavation and backfill)	LF	96		\$ 80	\$ 7,680			\$ -			\$ -	96		\$ 7,680	
36" HDPEP (includes excavation and backfill)	LF	130		\$ 95	\$ 12,350			\$ -			\$ -	130		\$ 12,350	
15" RCP (includes excavation and backfill)	LF	80		\$ 100	\$ 8,000			\$ -	80		\$ 8,000			\$ -	
DW Head/Endwall	EA	5		\$ 1,750	\$ 8,750			\$ -	5		\$ 8,750			\$ -	
Anti-Seep Collar	EA	2		\$ 600	\$ 1,200			\$ -	2		\$ 1,200			\$ -	
Outlet Structure	EA	3		\$ 2,500	\$ 7,500			\$ -	3		\$ 7,500			\$ -	
Trash Rack	EA	5		\$ 100	\$ 500			\$ -	5		\$ 500			\$ -	
Concrete Cradle	LF	80		\$ 10	\$ 800			\$ -	80		\$ 800			\$ -	
Drainage Swale	LF	1000		\$ 5	\$ 5,000			\$ -	1000		\$ 5,000			\$ -	
Stormwater Basin (includes Soil Media, Underdrain, Core Trench, and Grading)	EA	2		\$ 20,000	\$ 40,000			\$ -	1		\$ 20,000	1		\$ 20,000	
Underground Storm Water Basin (includes geotextile fabric and coarse aggregate)	EA	2		\$ 30,000	\$ 60,000			\$ -	1		\$ 30,000	1		\$ 30,000	
Metal Arch Culvert	EA	2		\$ 20,000	\$ 40,000			\$ -			\$ -	2		\$ 40,000	

**SUSQUEHANNA TOWNSHIP**  
**FINANCIAL SECURITY (FS) ESTIMATE**  
**THE TERRACES AT MAPLEWOOD**

INITIAL FS RECOMMENDATION DATE: 05/25/21  
 PREVIOUS FS REDUCTION DATE: \_\_\_\_\_  
 CURRENT FS REDUCTION DATE: 09/21/22

HRG NO.: R000242.0002 PH 1248  
 PLAN DATE: 01/08/21  
 LAST PLAN REVISION DATE: 04/09/21



Description	Units	Standard Quantity	Dedicated Quantity	Unit Cost	Item Total	Financial Security Reduction						Financial Security Remaining After Reduction			Notes
						Previous Quantity Reduced			Current Quantity Reduced			Remaining Quantity			
						Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)	Standard	Dedicated	Total (\$)	
Yard Invert	EA	8		\$ 1,000	\$ 8,000			\$ -			\$ -	8		\$ 8,000	
Plunge Pool (R-4 Riprap)	EA	5		\$ 1,000	\$ 5,000			\$ -	5		\$ 5,000			\$ -	
Dissipator (R-3 Riprap)	SY	100		\$ 40	\$ 4,000			\$ -	100		\$ 4,000			\$ -	
8" HDPEP (includes excavation and backfill)	LF	12		\$ 20	\$ 240			\$ -			\$ -	12		\$ 240	
10" Perforated HDPEP (includes excavation and backfill)	LF	115		\$ 25	\$ 2,875			\$ -			\$ -	115		\$ 2,875	
<b>Stormwater Management Total:</b>					<b>\$ 736,319</b>			<b>\$ -</b>			<b>\$ 91,500</b>			<b>\$ 644,819</b>	
<b>PAVING AND CONCRETE</b>															
Concrete Curb, 18"	LF	6519	2360	\$ 21	\$ 186,459			\$ -			\$ -	6519	2360	\$ 186,459	
Bituminous Walking Path	SY	467		\$ 22	\$ 10,274			\$ -			\$ -	467		\$ 10,274	
Sidewalk	SY	2885	1005	\$ 45	\$ 175,050			\$ -			\$ -	2885	1005	\$ 175,050	
Stone Subbase, 6" Depth	SY	19735	4480	\$ 7	\$ 169,505			\$ -			\$ -	19735	4480	\$ 169,505	
Superpave Asphalt, HMA Wearing (9.5mm, 1-1/2" depth)	SY	19735	4480	\$ 10	\$ 242,150			\$ -			\$ -	19735	4480	\$ 242,150	
Superpave Asphalt, HMA Base (25mm, 3" depth)	SY	19735		\$ 13	\$ 256,555			\$ -			\$ -	19735		\$ 256,555	
Superpave Asphalt, HMA Base (25mm, 5" depth)	SY		4480	\$ 18	\$ 80,640			\$ -			\$ -		4480	\$ 80,640	
Curb Ramp	EA	25	13	\$ 3,150	\$ 119,700			\$ -			\$ -	25	13	\$ 119,700	
Crosswalk	LF	210	300	\$ 2	\$ 1,020			\$ -			\$ -	210	300	\$ 1,020	
Handicap Symbol	EA	18		\$ 43	\$ 774			\$ -			\$ -	18		\$ 774	
Pavement Arrow	EA	1	2	\$ 280	\$ 840			\$ -			\$ -	1	2	\$ 840	
Concrete Curb Stop	EA	18		\$ 100	\$ 1,800			\$ -			\$ -	18		\$ 1,800	
Steps with Handrails	EA	3		\$ 3,000	\$ 9,000			\$ -			\$ -	3		\$ 9,000	
<b>Paving and Concrete Total:</b>					<b>\$ 1,253,767</b>			<b>\$ -</b>			<b>\$ -</b>			<b>\$ 1,253,767</b>	
<b>MISCELLANEOUS</b>															
Fencing (Vinyl/PVC)	LF	625		\$ 21	\$ 13,125			\$ -			\$ -	625		\$ 13,125	
Concrete Monuments	EA	8	14	\$ 200	\$ 4,400			\$ -			\$ -	8	14	\$ 4,400	
Parking Lighting	EA	26		\$ 2,500	\$ 65,000			\$ -			\$ -	26		\$ 65,000	
Post-mounted Signs	EA	27	17	\$ 200	\$ 8,800			\$ -			\$ -	27	17	\$ 8,800	
Fire Hydrants	EA	11	2	\$ 2,600	\$ 33,800			\$ -			\$ -	11	2	\$ 33,800	
Deciduous Trees (2-1/2" - 3" Caliper)	EA	105	43	\$ 250	\$ 37,000			\$ -			\$ -	105	43	\$ 37,000	
Evergreen Trees	EA	61		\$ 175	\$ 10,675			\$ -			\$ -	61		\$ 10,675	
As-Built Plan	LS	1		\$ 10,000	\$ 10,000			\$ -			\$ -	1		\$ 10,000	
Retaining Wall	LF	2400		\$ 30	\$ 72,000			\$ -	2400		\$ 72,000			\$ -	
Ornamental Trees	EA	2		\$ 200	\$ 400			\$ -			\$ -	2		\$ 400	
Dumpster Enclosure	EA	1		\$ 3,000	\$ 3,000			\$ -			\$ -	1		\$ 3,000	
<b>Miscellaneous Total:</b>					<b>\$ 258,200</b>			<b>\$ -</b>			<b>\$ 72,000</b>			<b>\$ 186,200</b>	
<b>Sub-Total:</b>					<b>\$ 2,437,957</b>			<b>\$ -</b>			<b>\$ 255,070</b>			<b>\$ 2,182,887</b>	<b>Items Proposed for Dedication Total</b>
10% of Remaining Balance					\$ 243,796	>>	>>	>>	>>	>>	>>	>>	>>	\$ 218,289	\$ 406,141
10% Annual Increase:					>>	>>	>>	>>	>>	>>	>>	>>	>>	\$ -	15% for Post-Dedication Security
<b>Total:</b>					<b>\$ 2,681,753</b>									<b>\$ 2,401,176</b>	<b>\$ 60,921</b>

Note: All totals (Item, sub, final, etc.) rounded to nearest dollar.  
 Note: For every year beyond the establishment of the initial financial security, the required amount of financial security will be increased by 10%.