

# DESIGN GUIDELINES

## for Susquehanna Union Green

Amended August 15, 2019

This Manual of Written and Graphic Design Guidelines are approved by the Susquehanna Township Board of Commissioners as consistent with the Design Guidelines in Section 22-507 of the Susquehanna Township Subdivision and Land Development Ordinance on this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

President \_\_\_\_\_

Secretary \_\_\_\_\_







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## **Applicability & Overall Goals**

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## 101 – Project Story

Union Green is a new pedestrian-oriented community located at the vital intersection of North Progress Avenue and Linglestown Road. Developed as a mixed-use residential, commercial, and retail community, Union Green is at its heart a shared space, naturally accessible to its inhabitants and to the whole of Susquehanna Township and beyond.



Fig. 101 - Union Green Concept Images



## 102 – Site History

The history of the property, located at the corner of North Progress Avenue and Linglestown Road, provided the inspiration for developing the context and planning of its future. Earliest known records indicate the property was first purchased from the proprietors of the Commonwealth in 1786 by John Elder and thereafter named "Union Green." To honor the legacy of the property and the Susquehanna Township's rich history, the new community will revive the original name and the property will hereby be known again as Union Green.

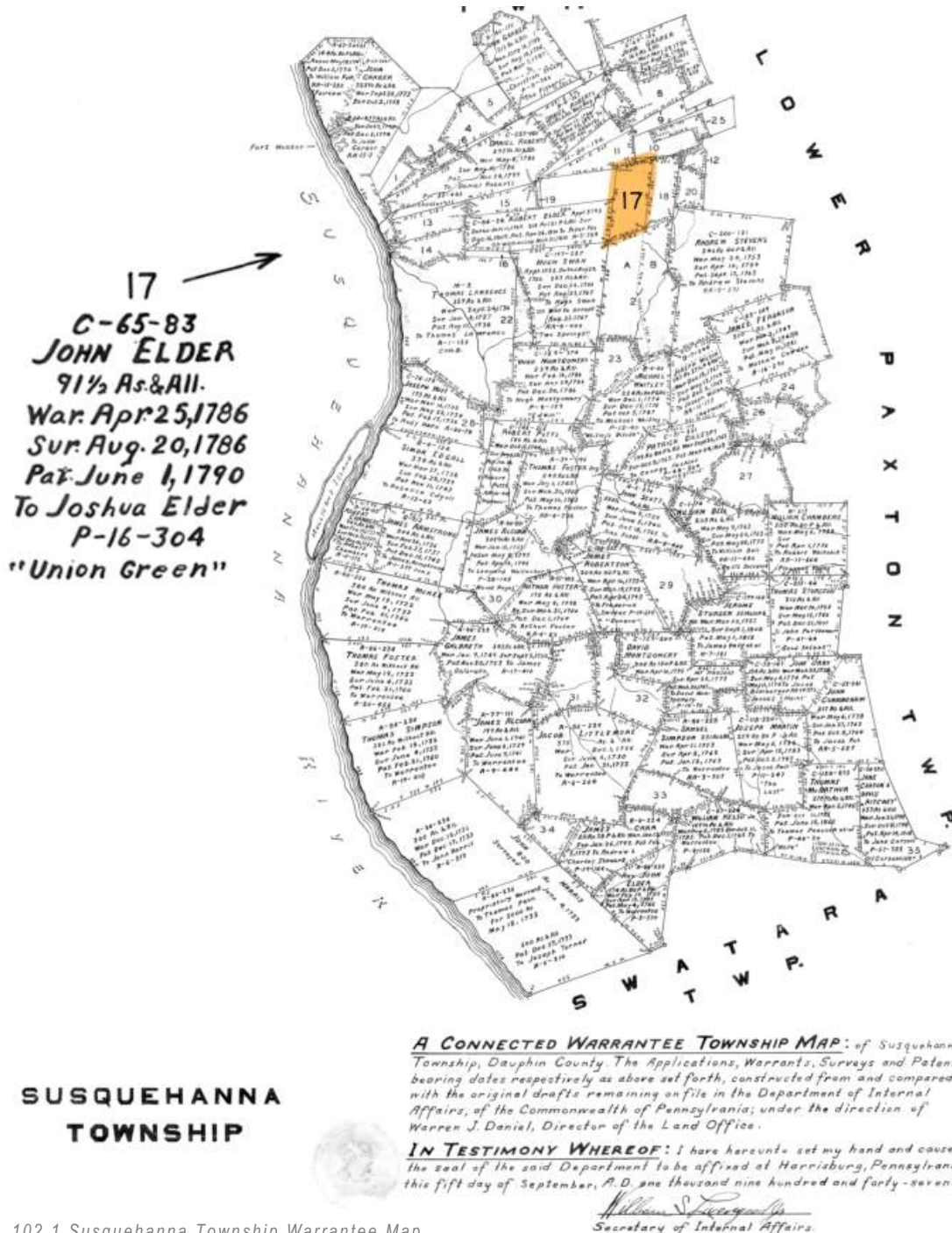


Fig. 102.1 Susquehanna Township Warrantee Map



## 103 – Purpose

### Legislative Intent

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**103.1** – The purpose of the Design Guidelines is to promote a context-sensitive development that honors the Susquehanna Township heritage and establishes the desired scale, character, and architectural language of the buildings within Union Green. The guide shall be utilized to plan, design, construct and maintain all buildings and structures.

**103.2** – These Design Guidelines are intended to comply with Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines; and Part 19 of the Susquehanna Township Zoning Ordinance titled: TND-1: Traditional Neighborhood Development – 1.

**103.3** – Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in Union Green.

**103.4** – Building design and materials shall emulate the character of buildings shown in the images and photographs depicted throughout this guide.

**103.5** – The Streetscape Plan shall be used as a reference for all streetscape improvements.

## 104 – Definitions

**104.1** – The terms used in these Design Guidelines shall have the meanings assigned in this Section 104 or, where not so defined, the meaning assigned by the Zoning Ordinance. Where not otherwise defined, terms shall have their usual, commonly accepted definitions. Where conflicts arise, the Zoning Ordinance shall govern.

**Alley** – Land serving as a secondary means of access to two (2) or more lots to the rear and/or side of a building, over which there is a right-of-way, municipally or privately owned.

**Awning** – A protective covering over a window, door, or opening.

**Balcony** – An unenclosed platform that protrudes from the face of a building.

**Building Envelope** – The horizontal and vertical boundaries that a building is permitted to either partially or wholly occupy.

**Building Façade** – A side of a building; often the front.

**Building Type** – Classification of a building based on form and lot placement.

**Building Front** – The front of a building or structure shall be defined as the building façade that faces an interior street and contains the primary functional entrance. By exception, when a building does not parallel an interior street, but rather a plaza, green, or public space, the front of the building shall be defined by the façade which faces the plaza, green, or public space. By rule, all primary functional entries must be directly connected to the site pedestrian circulation network.

**Building Rear** – The rear of a building shall be defined as the façade that primarily faces the parking lot or the façade which is opposite that of the “Building Front.” See also Multi-Frontage Buildings.

**Build-To Line** – The line which defines the placement of the building from the street on which the building fronts. The Build-To Line of the building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote a variation of building placement on a block, and or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant.

**Cartway** – The total dimension between the edges of the surfaces intended to carry moving vehicles.

**Chimney** – An articulated element that extends through or above the roof to carry smoke or exhaust away from a fireplace or mechanical equipment.

**Corner Lot** – A lot or parcel of land abutting upon two or more streets at their intersection or upon two parts of the same street forming an interior angle of less than 135°.

**Cornice** – A protrusion from the top of a ceiling or pediment, or at the bottom of a roof.

**Flat Roof** – A roof without a pitch, including mono-pitch or parapet roofs.

**Front Yard** – Minimum length (feet) from the front lot line that the above-grade foundation line of conditioned space may locate.

**Frontage** – Part of a building that is adjacent to a street, path, or body of water.

**Green** – A plaza, courtyard, green court, pedestrian gathering area, pocket park, tot lot, playground, walkway, promenade, lawn area, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained, and in which activities such as public seating and outdoor dining take place.

**Interior Streets** – The vehicular streets within Union Green, excluding Alleys or Mews Streets.

**Live-Work Unit** – A commercial use on the ground floor of a building, such as a shop, studio, office, café, deli, personal service establishment, or other place of business, in combination with a dwelling unit or units located above such places of business. A person or persons other than the proprietor of the business may occupy a Live-Work Unit.

**Lobby Entrance** – The primary entrance of a building that leads into a common space.

**Lot Area** – The Lot Depth multiplied by the Lot Width.

**Lot Depth** – The average horizontal distance between the front and rear lot lines.

**Lot Width** – The horizontal distance between the side lines of a lot measured at right angles to its depth along a straight line parallel to the front lot line at the minimum required building setback line.

**Mixed-Use** – A combination of two or more uses in a building or on a lot.

**Mixed-Use Commercial Development** – A combination of two or more uses in a development including the following: Banks, Commercial Office, Grocery (Mercantile), Healthcare & Medical Office, Hotel, Live-Work Units, Restaurant, and Retail.

**Mono-Pitch Roof** – Roof that pitches in a single direction.

**Multi-Frontage Buildings** – Buildings that abut both an interior street and a plaza, green, or public space shall be considered multi-frontage buildings and shall consider opposing front and rear facades as primary facades. Entrances shall be provided on both sides of the structure and treated as primary points of entry for patrons.

**Pedestrian Mews** – Linear, pedestrian-oriented internal streets connecting buildings, parking areas, and green spaces.

**Plaza** – A pedestrian gathering area that is typically paved and includes benches, shade trees, and other pedestrian amenities.

**Pocket Park** – A small Green, typically in the range of 50 to 500 square feet, often enclosed by buildings on two (2) sides, and always used as a pedestrian gathering area.

**Porches** – A covered platform at the entrance of a building.

**Porte Cochère** – A covered pick-up and drop-off portal accessible to vehicles.

**Precedents** – The places that have been built and serve as good models and examples of placemaking for a TND, such as those shown in these Design Guidelines.

**Primary Frontage** – Façade in which a building's main entrance is located.

**Primary Streets** – The main vehicular circulation network within the boundaries of the Traditional Neighborhood Development as indicated on the Streetscape Plan.

**Principal Use** – The primary permitted use or uses that may occupy a building.

**Public** – Open to or owned by the public.

**Public Space** - Plazas, parks, mew streets, courtyards, greens, pocket parks, major pedestrian thoroughfares and/or those spaces designated for public gathering or recreation.

**Rear Yard** – Minimum length (feet) from rear lot line to foundation line of the structure.

**Regulating Plan** – A Concept Plan that is utilized to promulgate the form of a TND to illustrate such features as the interconnected network of streets, alleys, sidewalks, and crosswalks, as well as the proposed mixed uses, mixed housing types, streetscapes, public realm, building locations, and on-street and off-street parking locations.

**Residential: Multi-Family** – Apartment buildings, townhomes, and/or condominiums for use as public or private housing.

**Residential: Single-Family** – Attached or detached single-family dwellings with detached or attached garages.

**Roof Pitch** – The ratio of the rise of the roof to its length.

**Shopfront** – A traditional means of advertising goods, services, and enterprises along streets and public spaces.

**Side Yard** – Minimum length (feet) from the side lot line that the above-grade foundation line of conditioned space may locate.

**Streetscape** – The space formed between buildings and the adjoining street, which is embellished with sidewalks, street trees, street lights, curbs, on-street parking, and cartways. The Streetscape is framed by buildings, which create the "outdoor room" character of the street as shown in the Streetscape Plan.

**Street Wall** – The wall of a building adjoining a sidewalk at the edge of the street right-of-way, as in the case of a non-residential use, or adjoining a porch, stoop, or front yard landscaped area as in the case of a residential use; or approved architectural or landscaping elements at least 30 inches but not more than 48 inches in height such as piers, fences, and hedges, in lieu of a building wall. A Street Wall shall extend the entire length of the edge of the street right-of-way, except where curb cuts, driveways, and pedestrian access is provided.

**Terrace** – An open platform that extends from a building.



**Tower** – Part of a building that is articulated and taller than the rest of the building; may also stand alone.

**Traditional Neighborhood Development (TND)** – An area of land developed for a compatible mixture of residential and non-residential uses, including buildings that provide for a mix of uses. Residences, shops, offices, workplaces, public buildings, and parks are interwoven within the neighborhood so that all are within relatively close proximity to each other. Traditional Neighborhood Development is relatively compact, limited in size, and oriented toward pedestrian activity. It has an identifiable center and discernible edge. The center of the neighborhood is in the form of a public park, commons, plaza square, or prominent intersection of two or more major streets. There is a hierarchy of streets laid out in a rectilinear pattern of interconnecting streets and blocks that provides multiple routes from origins to destinations, designed to serve the needs of pedestrians and vehicles.

**Transparency** – The glazing of a window or door independent of the sill, sash, surround, decals, or any other non-transparent feature of the window or door.

**Tree Bosque** – A cluster or group of trees.

**Verge (Planting or lawn)** – A landscape zone of grass or plants, and sometimes also trees, located along the curb lines between a roadway and a sidewalk.

**Zoning Ordinance** – The Zoning Ordinance referenced within these Design Guidelines shall refer to all parts of the Susquehanna Township Zoning Ordinance and all of its amendments.

<End of Definitions>

## 105 – Regulating Plan

**105.1** – The architectural guideline refers to the area(s) defined as presented in the coordinating Regulating Plan contained in the preliminary land development submission depicted below and provided as Attachment No. 01.

**105.2** – The Regulating Plan depicted represents the Final Phase IIA, IIC, IIE, IIB, and V Land Development plan and is for graphic representation only. Final Regulating plans will be developed for each project phase and coordinating Final Land Development submission. Construction Documents shall be reference for all specific plan information.

### Regulating Plan



## 106 – Local Ordinance

**106.1** – These Design Guidelines are developed solely for Union Green and are in addition to other Susquehanna Township ordinances. Pursuant to §27-1913.3.B of the Zoning Ordinance, these Design Guidelines are subject to all non-conflicting provisions of the Subdivision and Land Development Ordinance.

Pursuant to §22-508 of the Subdivision and Land Development Ordinance, these Design Guidelines may be different than otherwise required of subdivisions or land developments, based upon the Design Guidelines of §22-507. Where there is a conflict with the Design Guidelines of §22-507, these Design Guidelines shall govern.

## 107 – Modifications to the Design Guidelines

**107.1** – The design standards for Union Green are considered the minimum standards that the applicant shall adhere to. All of the design standards of the community are vital if the Traditional Neighborhood Development atmosphere of Union Green is to be achieved. It is the intent of these guidelines to encourage flexibility, economy, ingenuity, and sustainability in the development of tracts within Union Green. To this end, the applicant may request a modification of the minimum design criteria of these standards if such modification will enable the design of a development that still achieves the purpose and objectives expressed in these Design Guidelines and the Regulating Plan. Modifications shall be presented with a submission to the township and shall be reviewed as part of the land development approval process. This modification process shall not permit modification to the requirements as outlined in the Zoning Ordinance and is adherent to the sections §22-508 and §22-1501 of the SALDO.

## 108 – Design Review Committee

**108.1** – Pursuant to §27-1911 of the Zoning Ordinance, a Design Review Committee (DRC) shall review and comment on all Regulating Plan, Public Realm Plan, Streetscape Plan, and Design Manual submissions in order to provide informal comments to the Applicant.

**108.2** – Optionally, the DRC may review and comment on additional plans prepared in connection with a pending or prospective permit application, in order to provide informal comments to the Applicant.

**108.3** – Susquehanna Township retains the authority to review applications for building permits and the like for conformance with these Design Guidelines. No review or comments by the DRC shall be construed to bind the Township with respect to its ordinary processing of a permit application.





## **Commercial & Mixed-Use**

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## 201 – Overall Design & Goals

### Legislative Intent

**201.1** – All commercial, retail, and mixed-use buildings throughout Union Green shall be designed in accordance with these guidelines.

**201.2** – Union Green is intended to promote and foster pedestrian connectivity and to encourage walking to the maximum extent. All commercial developers shall pay specific attention to how their building(s) interacts with the streetscape and integrate design approaches that foster pedestrian activity.

**201.3** – A diversity of building design, scale, and proportion is intended to be achieved utilizing a modern design approach comprised of traditional building materials. Structures shall integrate modern interpretations of the site's agricultural history through form and materiality.

**201.4** – Examples shown throughout this guide should be emulated and used for design inspiration.



Image - 201.1



Image - 201.2



Image - 201.3



## 202 – Building Area

### Legislative Intent

**202.1** – The maximum building areas shall be defined in accordance with the Regulating Plan defining the extent of buildable area for each lot. A Build-To Line depicts the maximum building area.

### Design Standard

**202.2** – Building footprints shall not exceed 90% lot coverage limitations as set forth by the Regulating Plan.

**202.3** – Building areas shall not exceed the limitations for use and occupancy as set forth in the Zoning Ordinance and the International Building Codes.

## 203 – Building Height

### Legislative Intent

**203.1** – A diversity of building heights are to be achieved. Vary roof lines and stagger façade wall heights for flat roofed buildings to create visual interest.

**203.2** – The maximum number of storeys permitted for each lot shall be defined in accordance with the Zoning Ordinance.

### Design Standard

**203.3** – The height of a building shall be measured as noted per the Zoning Ordinance definitions.

**203.4** – The Minimum Principal Building Height shall be 20 feet (per Zoning Ordinance 27-1904).

**203.5** – At least 15% of the block length shall have a minimum building height to street centerline ratio of 1:1.5 (a minimum of 1 foot of building height for every 1.5 feet of width from the street center line to building façade, Per LEED for Neighborhood Development design Standards). Alleys may be omitted.

**203.6** – The Maximum Principal Building Height shall be fifty-five (55) feet or four (4) storeys for no more than 35% of the total square footage of all propose buildings; and forty-two (42) feet or three (3) storeys otherwise (per Zoning Ordinance 27-1904).

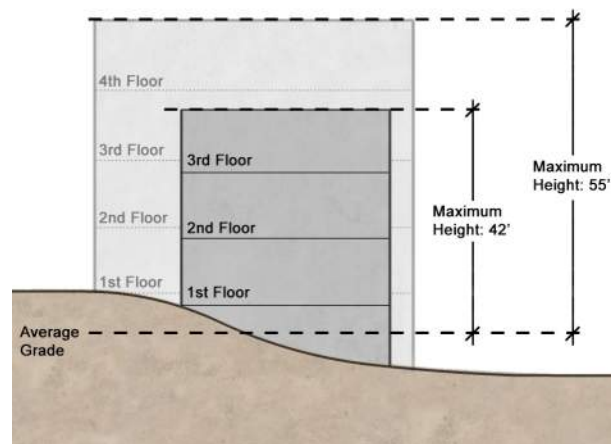


Fig. 203.3 Building Height Diagram

**203.7** – Parapets shall be provided on all sides of flat roofed structures to conceal rooftop equipment.

## 204 – Building Setbacks

### Legislative Intent

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**204.1** – Building setbacks are established to generate cohesive streetscapes and to define the street edge.

### Design Standard

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**204.2** – Building setbacks shall comply with the regulations set forth in the Zoning Ordinance.

**204.3** – Buildings shall be placed at a Build-To Line, as defined in the Regulating Plan and Zoning Ordinance 22-507.3.2. Whenever a green, plaza, or square is provided the maximum Building Setback and the Build-To Line shall be at the edge of the green, square, plaza, or pocket park.

**204.4** – At Least 60% of the building façade shall be along the Build-To Line. Therefore, up to 40% of the building façade may have a recess or projection to add variety and diversity to the building.

## 205 – Building Type, Location, & Orientation

### Legislative Intent

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**205.1** – The majority of building lots as oriented in the Regulating Plan are multi-frontage lots that abut primary streets, interior streets, parking lots, pedestrian plaza spaces, or a combination of each. As such, building fronts and main entries shall be oriented with their primary functional entry onto the circulation network or other public space, such as a park or plaza, rather than a parking lot. Whether opening to the circulation network or other public space, the functional entry must be connected to a sidewalk or equivalent provision for walking.

**Exception #1:** Where Porte Cochères vehicular drive-up and drop-off functions are provided as a primary service to guests or patrons, such as in hotel or grocery store occupancies, the main entrance shall be oriented toward the parking area associated with that use. However, a clear and safe pedestrian walkway shall be provided to the main entrance. In addition, an alternate secondary entrance shall be provided facing interior streets to encourage walkability within the community.

**Exception #2:** Where grade elevation does not allow for street front entry, primary entrances may be permitted to occur from the side or rear of the structure. Entrances shall maintain a connection to the development's pedestrian circulation network to the greatest extent possible. Signage shall be provided on each side in accordance with the regulations provided in Section 210 of these Design Guidelines and the Zoning Ordinance.

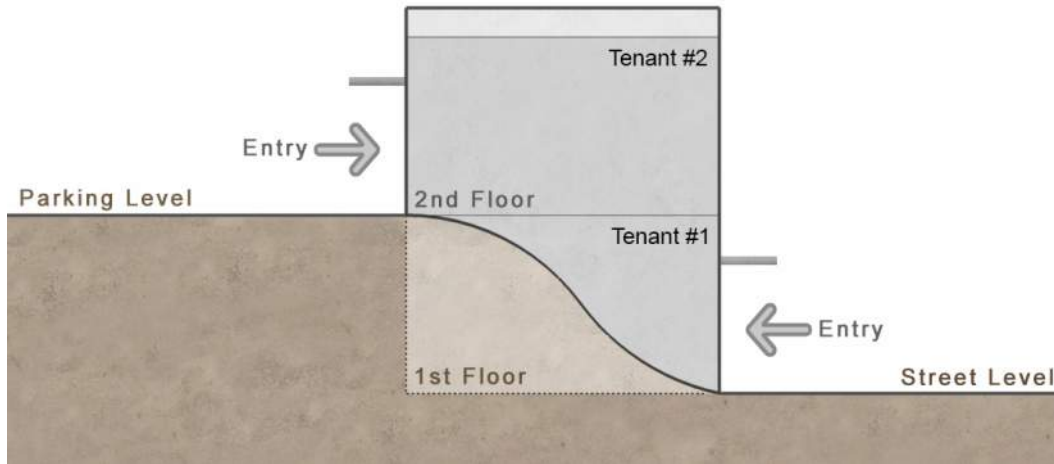


Fig. 205.1 Dual Front Building Diagram

**205.2** – Buildings are intended to be located in general alignment with other buildings on the block. Buildings that contain greater setbacks from the street than those adjacent buildings shall provide for elements that occupy the voids between the building setbacks and the public realm. These elements may include porches, patios, and seating elements, or a combination of landscaping or masonry walls that maintain the visual sight lines of the neighborhood block.

**205.3** – The location, frequency, and appearance of building types shall be regulated to provide for an appropriate amount of building diversity along the street front.

**205.4** – To encourage walkability, functional entries into buildings shall occur no greater than 75 feet or less along non-residential or mixed-use buildings or blocks.

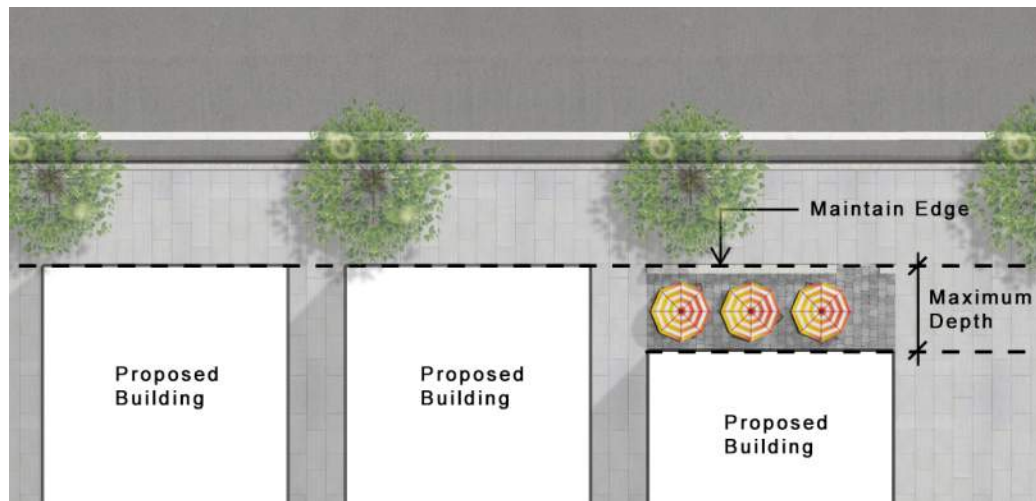


Fig. 205.2 Typical Building Alignment Diagram



## Design Standard

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**205.5** – All floors of a building shall not contain blank façade walls along any side of the structure. No more than 30% of its length or 25 feet, whichever is less, shall be blank (i.e. without doors or windows, or architectural expression).

**205.6** – A variety of design elements that create visual interest and distinguish the ground floors from the floors above shall be provided. This shall include a combination of features such as articulated building entrances, covered porches, building cornices, window treatments and awnings, building accent lighting, or other similar embellished façade features.

**205.7** – Articulation in building façades shall be achieved by vertically off-setting façade walls of buildings greater than 20 feet in width, occurring at a maximum every 30 feet, or by constructing horizontal protrusions or insets from the building that may include such features as balconies, cornices, or awnings. This shall apply to all sides of a building.

**205.8** – Buildings shall adjoin sidewalks at street corners unless a green, plaza or square is provided at a street corner.

**205.9** – Buildings that adjoin or meet at street corners and intersections should address the corner with enhanced architectural elements. Such elements shall consist of towers, special roof conditions, changes in height and/or unique architectural expression. Two or more buildings that adjoin the same corner shall vary in design and approach to addressing the street corner.

**205.10** – Primary entrances shall be identified with defining architectural features such as roofs and/or canopies. Vestibules are encouraged and shall be incorporated into the architecture of the building.

**205.11** – For buildings with multiple commercial tenant spaces on the ground floor, entrances shall be located within the façade (ie. no projecting vestibules will be permitted).

**205.12** – Landscaping, including but not limited to landscaping beds, raised planting beds, etc. shall be placed around all sides of a building or structure to the greatest extent possible, as long as it doesn't impede pedestrian circulation or safety. Where possible, landscaping may be utilized as stormwater management facilities to decrease run-off from rooftops or adjacent impervious surfaces.

## 206 – Typical Architectural Details

### Legislative Intent

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**206.1** – Typical architectural details are developed to define the minimum expectations and level of quality for all construction within Union Green.

**206.2** – Buildings shall create a primarily vertical expression through the use of windows, doors, pilasters, piers, columns, arches, terraces, porches, porticos, stoops, balconies, colonnades, arcades, materiality, and the like.

## Design Standard

### 206.3 – Shopfronts

**206.3.1** – Shopfronts are the traditional means of advertising goods, services, and enterprises along streets and public spaces. They can be applied to most building types to improve the performance of the commercial ventures within.

**206.3.2** – Shopfronts are typically tall with a high percentage of glazing to allow for visibility and opportunities for signage. The facades of all ground level retail, service, and trade occupancies that face a public space shall have 40% of those facades transparent to promote visual openness between the exterior and interior spaces. Windows must be kept visible (unshuttered) at night.

**206.3.3** – Shopfronts along the ground floor of a building shall be designed to permit maximum flexibility for subdividing commercial spaces.

**206.3.4** – Shopfront entrances shall be clearly distinguished from those serving floors above.

**206.3.5** – Shopfronts may be individualized as part of tenant fit-out including, but not limited to, signage, lighting, paint color, landscaping, window and door style, and detailing. All finish items and colors must be provided as part of a materials board and submitted as part of the Approval process.

**206.3.6** – Within the structural framework of the shopfront, shopfronts shall be composed of various types of fixed or operating doors and windows, including but not limited to French doors, glazed overhead doors, sliding doors, folding doors or windows, and others that will support the opening up of interior space to the outside.



*French door*



*Bi-fold door/window*



*Sliding Door*



*Glazed Overhead door*

*Image 206.3 – Shopfront Examples*

**206.4.1** – Lobby entrances shall be articulated such that how and where to enter the building is clear and unobstructed from the street or sidewalk.

**206.4.2** – Commercial lobbies shall provide a minimum of 60% transparency into the internal lobby space to ensure visibility. Transom and clearstory windows count toward the minimum transparency.

**206.4.3** – Lobbies shall be appropriately accessible for persons with disabilities from a location in the rear, nearest to the reserved accessible parking.

**206.4.4** – Other building elements shall combine with lobby entrances, such as awnings, porches, stoops, and terraces to reinforce the entry function.

**206.4.5** – Lobby entrances shall be well illuminated while not exceeding intent as set forth in section 209 of this guide.



Image 206.4.1 – Lobby Entrance Examples

## 206.5 – Porches & Patios

**206.5.1** – Porches and Patios are the primary public-facing outdoor spaces and as such are encouraged to be incorporated into building frontages such as for outdoor dining or lounging to encourage pedestrian activity and use.

**206.5.2** – Porch or Patio spaces shall be oriented to face the street or plaza and must fall within building setbacks requirements.

**206.5.3** – Sidewalk dining is permitted provided there is a minimum of 5 feet of clear sidewalk for pedestrian circulation. Outdoor seating or furniture shall complement the character of nearby public streetscape and the existing or proposed building materials and color schemes.



Image 206.5. – Outdoor Dining Examples

## 206.6 – Balconies & Terraces

**206.6.1** – Balconies and Terraces shall be usable outdoor space for buildings' upper floors. They can include space for uses such as lounging or outdoor dining and are encouraged to be provided to extend the pedestrian activity above street level.

**206.6.2** – Balconies shall either be recessed, projection, or a combination of the two. However, projections shall be limited to no more than 4 feet from the building façade.

**206.6.3** – Balconies and Terraces shall be designed to at least 50% railing transparency.



Image 206.6 – Balcony/Terrace Examples

## 206.7 – Roofs

**206.7.1** – Flat roofs are the predominant roof for this building type, However other roof forms may be used to identify primary entrances and/or other defining features. Flat roofs shall have parapets designed to conceal rooftop equipment from street level view around all sides of a building.



Flat roof w/ Varying Heights



Gable Roof



Mono-Slope Roof

Image 206.7.1 - Roof Examples

**206.7.2** – Roof eave overhangs shall be clean, simple, and free of ornamentation. The overhang depth of sloped roofs shall be a minimum of 12 inches around all sides and is encouraged to exceed the minimum to provide additional shade and weather protection as well as aesthetic appeal. Special consideration should be taken to express the structural detail and materiality of roof overhangs.





Image 206.7.2 – Large Overhang Example

**206.7.3** – Roof lines shall vary in height, scale, and proportion to provide visual interest. No roof shall be constructed of a single height across an entire façade.

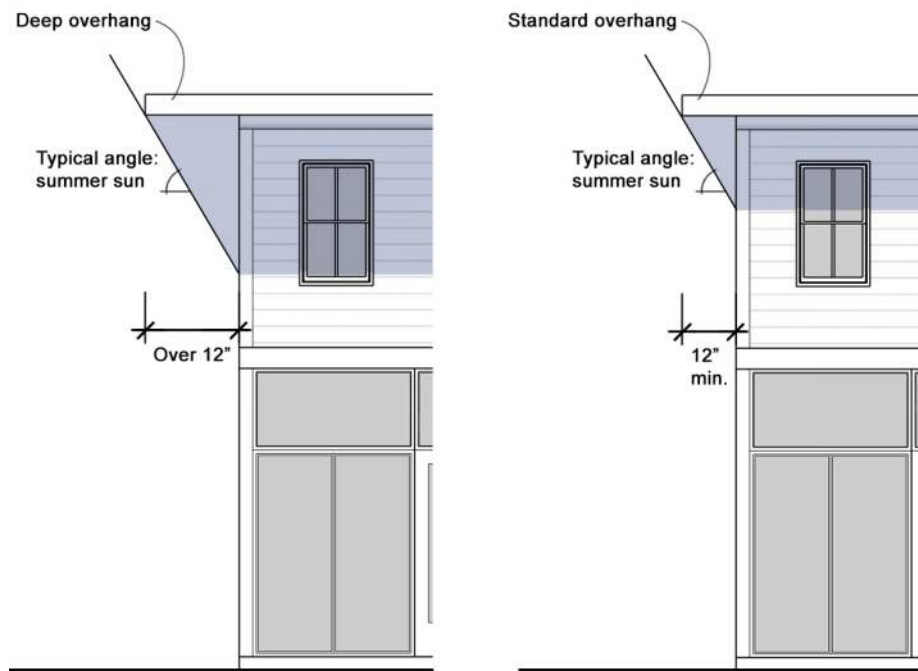


Fig. 206.7.1 - Roof Overhang Diagram

## 206.8 – Windows & Doors

**206.8.1** – The proportion, size, and location of windows and doors shall be thoughtful to the overall design of the building.

**206.8.2** – Windows shall be wood-framed, aluminum or vinyl (composite) clad units, or aluminum storefront systems.

**206.8.3** – Doors shall be aluminum (metal), wood, or aluminum or vinyl (composite) clad units.

## 206.9 – Awnings & Canopies

**206.9.1** – The use of awnings and/or canopies shall be encouraged, as they often serve multiple purposes, including improving the aesthetics of buildings, providing defined building entrances, providing continuity of sight lines along a block front, offering weather protection to pedestrians and building structures, and encouraging energy efficiency by shading window and door openings. However, awnings and canopies shall provide a real function by virtue of their placement over doors and windows. No awning or canopy shall be permitted to be installed over any opaque wall surface for the sole purpose of providing visual interest where none would exist otherwise



*Fig. 206.9 Typical Awning Examples*

**206.9.2** – Awnings and/ or canopies shall be constructed of sturdy fabric, metal, wood, or glass material.

**206.9.3** – Awnings and/or canopies shall be monochromatic or contain striping with no more than two colors, exclusive of black and white.

**206.9.4** – Illumination of awnings and/or canopies shall be permitted provided that lighting shall be arranged and shielded to prevent direct rays or objectionable illumination or glare from falling upon adjoining properties or within the right-of-way of any street or highway or pedestrian corridor.

**206.9.5** – When awnings and/or canopies are installed, they shall be integrated into the design of the building and enhance the overall aesthetics of the structure.

## 206.10 – Drive-Through Facilities

**206.10.1** – Drive-Through Facilities, such as those at banks, pharmacies, coffee shops, and fast food restaurants, are intended to have the “Drive-Through” components in the back or side of the facility, not along a primary street frontage.

**206.10.2** – Drive-Through Facilities shall have building materials, colors, and form complementary to the principal building.

**206.10.3** – All Drive-Through Facilities shall comply with the Zoning Ordinance and the SALDO.

## 207 – Building Materials & Color

### Legislative Intent

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**207.1** – Buildings shall contain a harmonious variety of materials and textures in order to provide visual interest and a unique, harmonious setting. Building materials shall be consistent with the examples shown in this guide and are intended to provide a modern, agricultural building fabric.

**207.2** – The approving agency may allow the use of materials not mentioned in section 207.4 as accent materials for exterior walls, roofs, or structures if it finds that for the particular site and building in question, it will fit as well or better with the surrounding development. The criteria for evaluation shall be the durability of the material, its visibility, and its impact on adjacent development. A modification request must be submitted as outlined in section 107 of this guide for review of any material proposed that is not listed as permitted.

**207.3** – All exterior finishes, including but not limited to siding and roofing material samples, paint colors, window & door finishes, and other exterior finishes shall be submitted on a materials board for approval in conformance with these Design Guidelines.

### Design Standard

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**207.4** – Acceptable, quality building materials shall be divided into two (2) classes where Class A shall be considered high-quality and Class B shall be considered standard-quality. Materials are described as follows:

**207.4.1 – Class A Materials** (high-quality)

- Fired clay brick, full-veneer masonry wall systems
- Natural stone, full-veneer masonry wall systems
- Glass, curtain wall and/or glass cladding systems
- Copper or Zinc metal panels, or similar natural metals
- Thin-veneer brick (adhered)
- Manufactured or cast stone veneers (adhered)
- Textured architectural concrete panels
- Metal wall/roof panel systems, insulated or rain screen assemblies
- EPDM Rubber roofing (flat roof only)
- Other comparable or superior materials
- Fiber-cement panel or siding
- Wood Look Products, metal or fiber cement (approved per basis)

**207.4.2 – Class B Materials** (Standard quality)

- Integrally colored, concrete block such as textured, burnished, ground, or split-face concrete masonry units
- Stucco, traditionally applied
- Water-managed Exterior Insulation and Finish System (EIFS)
- Smooth or scored concrete block
- Natural Wood Products
- Other comparable materials

**207.5** – Prohibited Materials are as follows:

- Exterior Insulated Finish Systems (without moisture drainage)
- Vinyl Siding
- Vinyl (PVC) Fencing and/or railings
- Mirrored or reflective glass
- Glass Block

**207.6** – All neighborhood retail and commercial buildings must incorporate at least three Class A materials together composing at least 60 % of the façade area on all sides of the building. The remaining 40% of the façade shall be comprised of Class A or Class B materials.

**207.7** – Building additions and expansions totaling less than 50% of the floor area of an existing building shall be exempted from the specific percentage requirements of this section provided identical or superior materials are used in a manner consistent with the existing architectural design.

**207.8** – When thin-veneer brick or stone materials are used, either for full-height walls or wainscoting, the material shall return to an inside corner with an adjacent wall. In the case of outside building corners, a minimum twenty-four inch (24") return shall be provided.

**207.9** – Fired clay brick can be used as two Class A materials provided two distinctly different colors of brick are used in the appropriate percentages. Minor blended color variations shall not be considered as a separate Class A material.

**207.10** – Building material colors shall be coordinated in order to comport with Benjamin Moore's *Williamsburg Collection*. A variety of color palettes between structures is encouraged.

**207.11** – The exterior cladding or finish of a building or structure shall be of a varying color palate consisted with Section 207.10. White colors shall be limited to trim, accents, and secondary building colors. Buildings or structures shall be clad with no more than 50% white finish materials."

## 208 – Building Infrastructure

### Legislative Intent

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**208.1** – Utility infrastructure such as HVAC equipment, Electrical, Gas, or Water meters and any other equipment outdoors should be concealed and hidden to the greatest extent possible.

### Design Standard

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**208.2** – No utility service or equipment shall be located on the front façade or the façade containing the main entrance of any structure. Multi-frontage buildings shall provide equipment alcoves on secondary façades where equipment can be screened by vegetation or fencing from public space or street frontage. Equipment must be installed a minimum of 10 feet from any secondary entrance or exit.

**208.3** – Ground mounted utility services and equipment shall, to the greatest extent possible, be located at the rear of the building. When visible from streets, parking lots, or plazas, mechanical equipment shall be screened by evergreen vegetation or fencing.

**208.4** – No equipment shall be installed on patios, balconies, or terraces unless it is fully concealed and integrated into the architecture of the structure.



**208.5** – Rooftop utility services and equipment shall be concealed to the greatest extent possible. Where feasible the form of the roof shall hide mechanical equipment and roof penetrations, such as plumbing stacks and vents, from view from primary streets, interior streets, and public plaza or green spaces.

**208.6** – Vents, grilles, and/or louvers required on building façades for mechanical systems shall be architecturally integrated into the building façade and should not occur on the front or main façades.

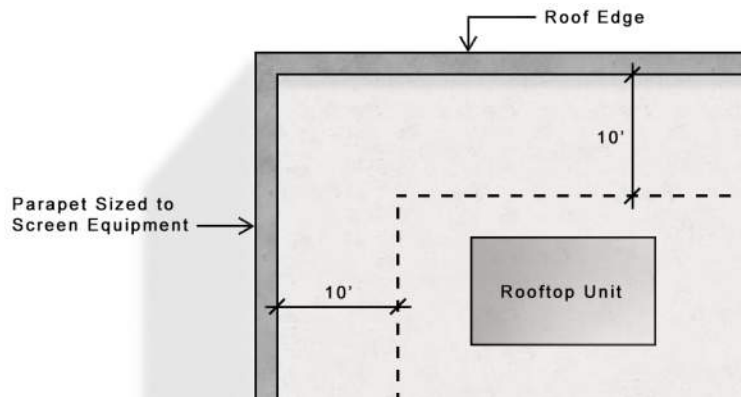


Fig. 208.1 - Typical Roof Top Equipment Location

**Table 208.5. Rooftop Equipment Requirements**

Minimum Setback from Edge of Roof or Parapet	
1-2 story buildings	15 feet from front façade; 10 feet all other sides
3-4 story buildings	10 feet

## 209 – Lighting

### Legislative Intent

**209.1** – Directed lighting shall be provided to illuminate the building façade, signs, architectural elements, storefront displays, public sidewalks, and entrances to enhance interest, security, and the comfort of pedestrians at nighttime.

**209.2** – All lighting shall be in compliance with the Zoning Ordinance and the Subdivision and Land Development Ordinance.

### Design Standard

**209.3** – All exterior building lighting shall be arranged and shielded to prevent direct rays or objectionable illumination or glare from falling upon properties adjoining the TND-1 District or within the right-of-way of any street, highway, or pedestrian corridor outside the boundaries of the TND-1 District (See Section 506 Street Lighting).

**209.4** – Specifications on lighting fixtures and illumination levels shall be provided as part of the land development submission. Lights shall consist of traditionally styled fixtures and/or appropriately scaled contemporary fixtures. LED light sources are preferred.

**209.5** – Visible fluorescent bulbs, exposed exterior neon lighting, colored bulbs (except for seasonal decoration), and internally lit awnings are prohibited.

**209.6** – Fixtures shall not have any blinking, flashing, or fluttering lights or other illuminating devices which have changing light intensity, brightness, or color.

**209.7** – After-hours lighting that illuminates the storefront while contributing to comfortable nighttime pedestrian experience is encouraged.



Image 209.1 - Light fixture examples

## 210 – Signage

### Legislative Intent

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**210.1** – Commercial signs within Union Green shall strike a balance between the need to identify and call attention to individual businesses and the broader need for a positive identity and image of the entire development. Signs should not be a detractor in the community; they shall enhance it. Excessive competition for visibility and an overemphasis on being seen from passing vehicles have all too often resulted in a shopping environment characterized by visual clutter with oversized, poorly placed, and badly designed signs. This shall be avoided to the greatest extent possible.

### Design Standard

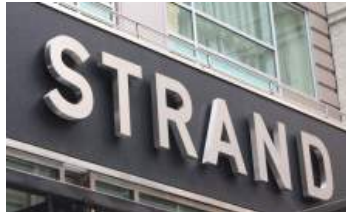
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**210.2** – All signage shall comply with Zoning Ordinance Table 2401 for permitted permanent signage and Table 2402 for permitted temporary signage.

**210.3** – Sign design and graphics shall be coordinated with the character of the building, as well as the nature of the business, and should be of a professional design quality and constructed of durable materials. Large internally lit box signs are prohibited.



Projecting



Lettered



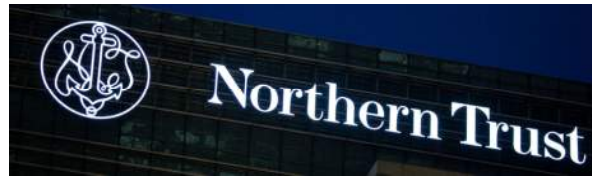
Mounted



Painted

Image 210.1 - Signage examples

**210.4** – Signs shall be internally illuminated or indirectly illuminated with light sources attached to the building or sign support structure, or mounted on the ground, depending on the type and location of sign to be illuminated. The light shall be cast downward or upward onto the sign and be arranged in such a manner that the direct rays of the light source shall not enter any residential building or fall within the right-of-way of any street. Halo illuminated signs are also appropriate.



Internally lite sign



Halo lite sign



Fixture lite sign

Image 210.2 – Sign Lighting Examples

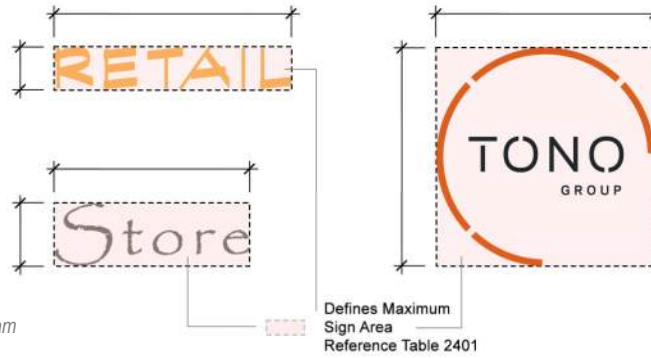
**210.5** – All exterior sign lighting shall be arranged and shielded to prevent direct rays or objectionable illumination or glare from falling upon properties adjoining the TND-1 District or within the right-of-way of any street, highway, or pedestrian corridor outside the boundaries of the TND-1 District.

**210.6** – Tenant signage shall not obscure street signage, traffic signals, or pedestrian and vehicular street signs.

**210.7** – Maximum signage area

**210.7.1** – The maximum signage area permitted varies by type of sign and shall comply with the Zoning Ordinance Permitted Signage Table 2401.

**210.7.2** – Signage area is measured by the smallest rectangle or rectangles that can surround the sign.



## 211 – Building Services

### Legislative Intent

**211.1** – Dumpster pads shall be located to the rear of buildings and shall be shared by multiple users to the greatest extent possible. Concrete pad locations shall be screened by evergreen hedgerows or by masonry walls made of materials as outlined in Section 207 of this guide. Finished metal, wood, or composite wood materials shall also be permitted to screen dumpster pads. Chain link or vinyl fencing is prohibited.



Image 211.1 – Dumpster enclosure - Standalone

**211.2** – Where rear parking lots and dumpster enclosures are not possible, trash and recycling facilities shall be located within the structure and integrated into the architecture of the building. Doors or enclosures shall be provided to screen services from the street or public view.



Image 211.1 – Dumpster enclosure – Building Integrated

**211.3** – No more than 20% of any block length facing primary streets, interior streets, or plaza and park spaces may contain garages and or service bay openings.



**211.4** – Protection such as curb stops, rails, or bollards shall be provided to prevent dumpsters from damaging the enclosure.

**211.5** – Buildings designed with loading docks and overhead doors for use of shipping and receiving shall be oriented to screen their view from any other building, street front, green space, or any adjoining property. When orientation does not allow, vegetative or physical screening shall be provided.

## 212 – Building Performance

### Legislative Intent

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**212.1** – Building design and construction within Union Green shall encourage the use of sustainable practices implementing energy efficiency, the reduction of air and land pollutants, and efficient water usage.

### Design Standard

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**212.2** – In order to comply with LEED for Neighborhood Development requirements, a minimum of one (1) building within the Union Green Development shall be designed, constructed, and certified through a LEED rating system, or through a Green building rating system requiring review by independent, impartial, third-party certifying bodies that have been accredited by an IAF-Accredited body to ISO/IEC Guide 65 or, when available, ISO/IEC 17065. All projects constructed are encouraged to achieve some level of LEED Certification.

**212.3** – All non-residential, mixed-use, and multi-tenant residential buildings four (4) storeys or more constructed as part of Union Green at minimum shall comply with one of the following options. Refer to LEED v4 Neighborhood Development Addenda for specific requirements. All projects constructed are encouraged to optimize Building Energy Performance to the greatest extent feasible.

- a. Whole-Building Energy Simulation
- b. Prescriptive Compliance: ASHRAE 50% Advanced Energy Design Guide
- c. Prescriptive Compliance: Advanced Buildings Core Performance Guide

**212.4** – All non-residential, mixed-use, and multi-tenant residential buildings four (4) stories or more constructed as part of Union Green shall reduce indoor water usage by an average of 20% from a baseline. Refer to LEED v4 Neighborhood Development Addenda for specific requirements. Projects are encouraged to reduce water use to the greatest extent possible.

## 213 – Parking Structures

### Legislative Intent

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**213.1** – Parking Structures shall include parking garages, parking decks, and raised or covered parking lots.

**213.2** – Parking structures shall be kept to the minimum height possible to achieve the required parking for the TND District.

**213.3** – Parking structures shall be designed in the same architectural manor as adjacent architecture as defined elsewhere in this guide.

### Design Standard

**213.4** – Parking Structures shall be designed to all applicable building codes and Township Ordinances.

**213.5** – Where possible, every effort shall be made to provide screening along the length of exposed parking levels to obscure vehicles from key sightlines and adjacent residential neighborhoods. Screening shall be vegetative or integral to the architecture of the structure, such as metal mesh screening or other open trellis construction. Natural ventilation must be maintained.

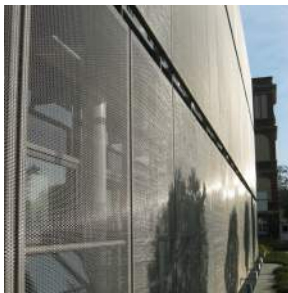


Image 213.1- Screening Examples

**213.6** – The exterior finish materials of all exposed above grade elements of parking structures shall be consistent with those outlined in Sections 207 of this guide. With Exception, parking structures may be constructed of site cast or precast concrete. When not clad with an exterior finish, exposed concrete shall incorporate the same color and finish palate as adjacent architecture.

**213.7** – Natural ventilation of enclosed or subsurface parking structures shall be maintained to the greatest extent possible. Where grade allows ventilation shall be located along all exposed elevations. When fully below grade, ventilation should be provided by area wells or other means.

**213.8** – Vehicle entrances should be visible and easily identifiable. Entrances and exits should have clear lines of sight.

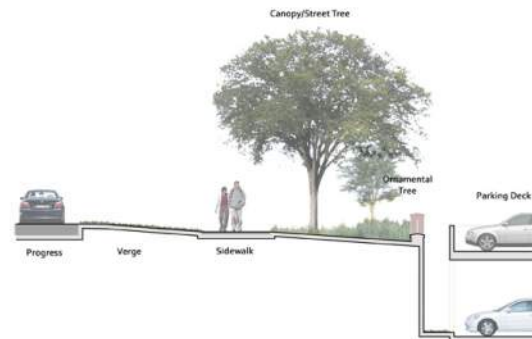


Image 213.2- Ventilation Example

**213.9** – Gates (where installed) should be located far enough away from the street to allow at least one vehicle behind the vehicle in the service position (at a ticket dispenser, card reader or cashier booth) without blocking the sidewalk.

**213.10** – Pedestrian traffic is equally as important in a parking structure as vehicle traffic. A safe, secure and well-signed pedestrian path must be provided. Pedestrian access at the grade level should be separated from vehicular ingress and egress. Pedestrian access is usually adjacent to stair/elevator towers. It is also desirable to place a dedicated pedestrian aisle adjacent to a vehicle entry/exit because pedestrians are naturally attracted to these openings. Maximum lines of sight for both pedestrians and vehicles should be provided.

**213.11** – In general, assure that as much openness as possible is provided in the design to improve sight lines, eliminate hiding places, and enhance perceived security.

**213.12** – Lighting that enables users to see and be seen is one of the most important security features of a parking structure. Adequate lighting shall be provided but kept within the limits of the parking garage to not impede on neighboring properties. (See Section 506.6 for Site Lighting for Public Parking requirements.)

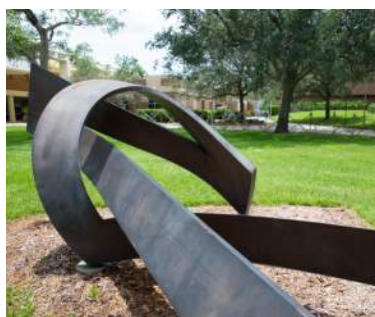
**213.13** – A well-designed graphics and signage system shall effectively communicate necessary information to patrons, reduce confusion, improve safety, and enhance the overall user experience.

**213.14** – Architectural or other landscape elements that contribute visual and aesthetic interest are encouraged to break up the monotony of open parking areas. Examples of these elements include; small freestanding moveable or hanging planters, decorative banners, pergolas, shade structures, sculpture or public art, and/or other means of enhanced visual appeal. Elements shall be constructed of durable materials and be consistent with the surrounding architecture.



Architectural Elements

Decorative Banners



Landscape Planters

Public Art

Image 213.3- Parking Lot Aesthetic Improvement Examples

## **Residential: Multi-Family**

- 301 – Overall Design & Goals
- 302 – Building Area
- 303 – Building Height
- 304 – Building Setbacks
- 305 – Building Type, Location, & Orientation
- 306 – Typical Architectural Details
- 307 – Building Materials & Colors
- 308 – Building Infrastructure
- 309 – Lighting
- 310 – Building Services
- 311 – Building Performance



## 301 – Overall Design & Goals

### Legislative Intent

**301.1** – Multi-family housing structures shall maintain continuity of the architectural language established for the site and the examples shown in this guide are intended to be emulated and referenced for design inspiration. Derived from the agricultural history of the site, the architecture is a modern approach to traditional farmhouse vernacular by use of form and material.

**301.2** – Multi-family housing shall consist of apartments, lofts, condominiums, and/or other multi-tenant dwelling units, for either public or private use and can be constructed as standalone buildings or as part of mixed-use commercial development. Buildings may vary in size and scale but all should strive to maintain a residential character through appropriate massing, materials, and detailing. The regulations for Multi-family residential housing in this Architectural Guidelines shall apply to all instances of Multi-family housing.

**301.3** – Examples shown throughout this guide should be emulated and used for design inspiration.



Image 301.1



Image 301.2



Image 301.3



Image 301.4



Image 301.5



Image 301.6

## 302 – Building Areas

### Legislative Intent

**302.1** – The maximum building areas shall be defined in accordance with the Regulating Plan defining the extent of buildable area for each lot. A Build-To Line depicts the maximum building area.

### Design Standard

**302.2** – Building footprints shall not exceed 85% lot coverage limitations as set forth by the Regulating Plan.

**302.3** – Building areas shall not exceed the limitations for use and occupancy as set forth in the Zoning Ordinance and the International Building Codes.

## 303 – Building Height

### Legislative Intent

**303.1** – A diversity of building heights shall be achieved.

**303.2** – Vary the roof lines of buildings through the use of dormers, gables, turrets, and the like.

### Design Standard

**303.3** – The height of a building shall be measured as noted per the Zoning Ordinance definitions.

**303.4** – The Minimum Principal Building Height shall be 20 feet (per Zoning Ordinance 27-1904).

**303.5** – The Maximum Principal Building Height shall be 55 feet or four (4) storeys for no more than 35% of the total square footage of all proposed buildings; and 4 feet or three (3) storeys otherwise (per Zoning Ordinance 27-1904).

**303.6** – Parapets shall be provided on all sides of flat roofed structures to conceal rooftop equipment.

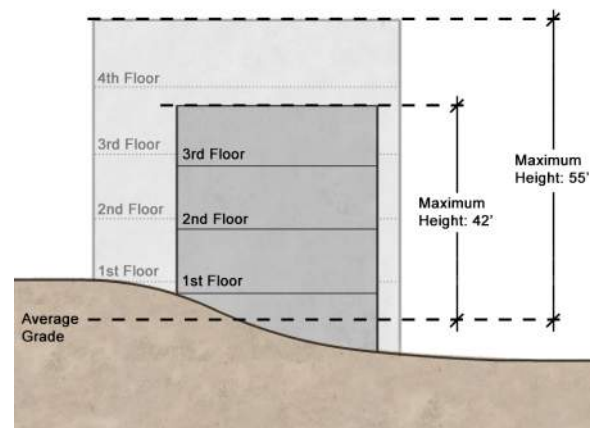


Fig. 203.3 Building Height Diagram



## 304 – Building Setbacks

### Legislative Intent

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**304.1** – Building setbacks are establish to generate a cohesive streetscapes and to define the street edge.

### Design Standard

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**304.2** – Building setbacks shall comply with the regulations set forth in the Zoning Ordinance

## 305 – Building Type, Location, & Orientation

### Legislative Intent

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**305.1** – The majority of building lots as oriented in the Regulating Plan are multi-frontage lots that abut primary streets, interior streets, parking lots, pedestrian plaza spaces, or a combination of each. As such, building fronts and main entries shall be oriented with their primary functional entry onto the circulation network or other public space, such as a park or plaza, but not a parking lot. (Refer to the definition of Building Front & Building Rear in section 104 of this guide.) Whether opening to the circulation network or other public space, the functional entry shall be connected to a sidewalk or equivalent provision for walking.

**Exception #1:** Where Porte Cochères vehicular drive-up and drop-off functions are provided as a primary service to guests or patrons, such as but not limited to hotels, apartments, or grocery store occupancies, the main entrance may be oriented toward the parking area associated with that use. However, a clear and safe pedestrian walkway shall be provided to the main entrance. In addition, an alternate secondary entrance shall be provided facing interior streets to encourage walkability within the community and maintain a connection to the pedestrian circulation network.

**Exception #2:** Where grade elevation does not allow for street front entry, primary entrances may be permitted to occur from the side or rear of the structure. Entrances shall maintain a connection to the developments pedestrian circulation network to the greatest extent possible.

**Exception #3:** In the instances where multi-family housing exists above ground floor retail, a central lobby shall be provided. Entrances shall be provided so that tenants can directly connect to the development's pedestrian circulation network and/or to the apartment parking lots.

**Exception #4:** For Multi-family residential buildings that are oriented around a central courtyard or Green, primary entrances are permitted to be accessed from the courtyard or Green provided that it connects directly to the Union Green pedestrian circulation network.



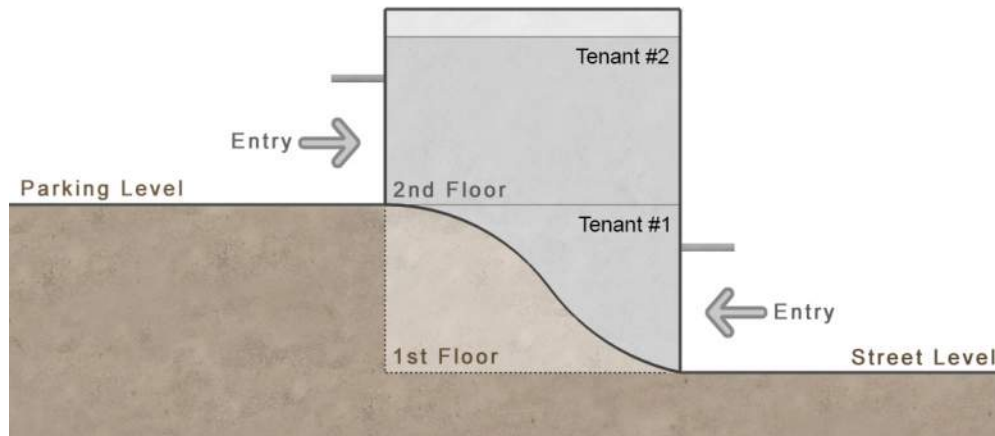


Fig. 305.1 Dual Front Building Diagram

**305.2** – Buildings are intended to be located in general alignment with other buildings on the block. Buildings that contain greater setbacks from the street than those adjacent buildings shall provide for elements that occupy the voids between the building setbacks and the public realm. These elements shall include porches, patios, and seating elements, or a combination of landscaping or masonry walls that maintain the visual sight lines of the neighborhood block.

**305.3** – The location, frequency, and appearance of building types shall be regulated to provide for an appropriate amount of building diversity along the street front.

**305.4** – To encourage walkability, functional entries into buildings shall occur no greater than 75 feet or less along mixed-use buildings or blocks.

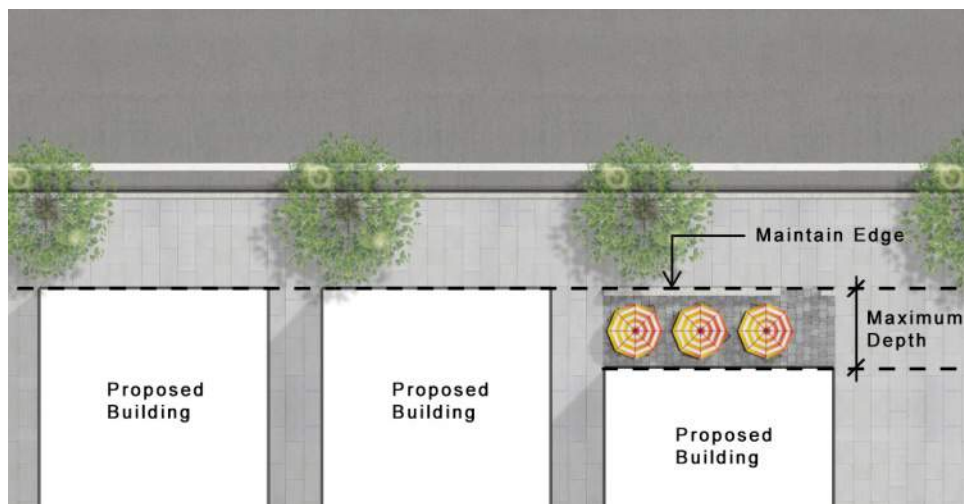


Fig. 305.2 Typical Building Alignment Diagram

## Design Standard

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**305.5** – All floors of a building shall not contain blank façade walls along any side of the structure. No more than 40% of its length or 25 feet, whichever is less, shall be blank (i.e. without doors or windows, or architectural expression).

**305.6** – A variety of design elements that create visual interest and distinguish the ground floors from the floors above shall be provided. This may include a combination of features such as articulated building entrances, covered porches, building cornices, window treatments and awnings, building accent lighting, or other similar embellished façade features.

**305.7** – Articulation shall be achieved by vertically off-setting façade walls a minimum of 16 inches every 30 feet, or by constructing horizontal protrusions or insets from the building that may include such features as balconies, cornices, or awnings.

**305.8** – Buildings shall adjoin sidewalks at street corners unless a green, plaza or square is provided at a street corner.

**305.9** – Ground floor living units may have ground level patio spaces that allow for direct access to the pedestrian circulation network or to a Green.

**305.10** – Buildings that adjoin or meet at street corners and intersections should address the corner with enhanced architectural elements. Such elements shall consist of towers, special roof conditions, changes in height and/or unique architectural expression. Two or more buildings that adjoin the same corner shall vary in design and approach to addressing the street corner.

**305.11** – Landscaping, including but not limited to landscaping beds, raised planting beds, etc. shall be placed around all sides of a building or structure to the greatest extent possible, as long as it doesn't impede pedestrian circulation or safety. Where possible, landscaping may be utilized as stormwater management facilities to decrease run-off from rooftops or adjacent impervious surfaces.

## 306 – Typical Architectural Details

### Legislative Intent

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**306.1** – Typical architectural details are developed to define the minimum expectations and level of quality for all construction with the Union Green Development.

### Design Standard

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#### 306.2 – Porte Cochères

**306.2.1** – Porte Cochères provide a covered pick-up and drop-off area and offer a prominent location for signage and designation of main entries. Except where conditions require otherwise, Porte Cochères shall be structurally supported on all four corners or cantilevered off the building façade.

**306.2.2** – The minimum clearance from finished grade shall be 13 feet.

### 306.3 – Lobby Entrances

**306.3.1** – The primary common building entrance shall be covered by an appropriately scaled architectural projection from the façade or shall be recessed in order to identify the point of entry. The entryway shall be connected to a vestibule and an interior lobby. Common Entrances shall be articulated such that how and where to enter the building is clear and unobstructed from the street or sidewalk.

**306.3.2** – Residential lobbies shall provide a minimum of 40% transparency into the internal lobby space to ensure visibility. Transom and clearstory windows count toward the minimum transparency.

**306.3.3** – Lobbies shall be accessible for persons with disabilities.

**306.3.4** – Other building elements may combine with lobby entrances, such as canopy, porches, stoops, and terraces to reinforce the entry function.

**306.3.5** – Lobby entrances shall be well illuminated while not exceeding intent as set forth in section 309 of this guide.

### 306.4 - Porches & Patios

**306.4.1** – Porches and Patios are the primary public-facing outdoor spaces and as such are encouraged to be incorporated into building frontages such as for outdoor dining or lounging to encourage pedestrian activity and use.

**306.4.2** – Porch or Patio spaces shall be oriented to face the street or plaza and must fall within building setbacks requirements.

### 306.5 – Balconies & Terraces

**306.5.1** – Each dwelling unit shall be permitted to have its own, functional balcony (or defined patio area for ground floor units). Juliet balconies shall be permitted when architecturally appropriate to the style of the building. Exterior, elevated open walkways, landings, and common stairs required to access individual units are strictly prohibited.

**306.5.2** – Balconies shall either be recessed, projection, or a combination of the two. However, projections shall be limited to no more than 4 feet from the building façade.

**306.5.3** – Terraces shall be usable outdoor space for buildings' upper floors. They can include space for uses such as lounging or outdoor dining and are encouraged to be provided to extend the pedestrian activity above street level.

**306.5.4** – Balconies and Terraces shall be designed to at least 60% railing transparency.

### 306.6 – Roofs

**306.6.1** – Roofs shall be constructed as sloped, gabled, or flat. Flat roofs shall have a parapet designed to conceal rooftop equipment from street level view around all sides of a building.

**306.6.2** – Roof eave overhangs shall be clean, simple, and free of ornamentation. The overhang depth of sloped roofs shall be a minimum of 12 inches around all sides and is encouraged to exceed the minimum to provide additional shade and weather protection as well as aesthetic appeal. Special consideration should be taken to express the structural detail and materiality of roof overhangs.

**306.6.3** – Roof lines are encouraged to provide visual interest, including by way of example and not limitation, variety in height, scale and/or ornamentation.

**306.6.4** – Dormers, when provided, shall be functional (correlating to an occupied space) and placed in a manner consistent with the prevailing architectural style of the building. Dormers may be allowed as vents or to conceal equipment provided they are proportional to the scale of the roof.

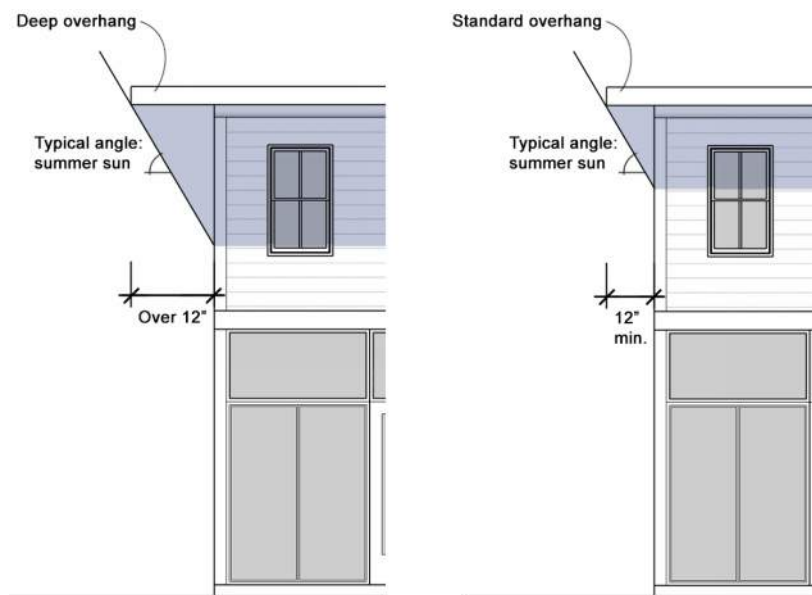


Fig. 306.6.2 – Roof Overhang Diagram

### 306.7 – Windows & Doors

**306.7.1** – The proportion, size, and location of windows and doors shall be thoughtful to the overall design of the building.

**306.7.2** – Windows shall be wood-framed, aluminum or vinyl (composite) clad units, or aluminum storefront systems.

**306.7.3** – Doors shall be aluminum, wood, or aluminum or vinyl (composite) clad units.

**306.7.4** – Shutters, if used, must be in proportion to the area of adjoining windows.

### 306.8 – Awnings

**306.8.1** – The use of awnings and/or canopies shall be encouraged, as they often serve multiple purposes, including improving the aesthetics of buildings, providing defined building entrances, providing continuity of sight



lines along a block front, offering weather protection to pedestrians and building structures, and encouraging energy efficiency by shading window and door openings. However, awnings and canopies shall provide a real function by virtue of their placement over doors and windows. No awning or canopy shall be permitted to be installed over any opaque wall surface for the sole purpose of providing visual interest where none would exist otherwise.

**306.8.2** – Awnings shall be constructed of sturdy fabric, wood, metal, or glass material.

**306.8.3** – Awnings shall be monochromatic or contain striping with no more than two colors, exclusive of black and white.

**306.8.4** – Illumination of awnings shall be permitted provided that lighting shall be arranged and shielded to prevent direct rays or objectionable illumination or glare from falling upon adjoining properties or within the right-of-way of any street or highway or pedestrian corridor.

## 307 – Building Materials & Color

### Legislative Intent

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**307.1** – Buildings shall contain a harmonious variety of materials and textures in order to provide visual interest and a unique, harmonious setting. Building materials shall be consistent with the examples shown in this guide and are intended to provide a modern, agricultural building fabric.

**307.2** – The approving agency may allow the use of materials not mentioned in section 307.4 as accent materials for exterior walls, roofs, or structures if it finds that for the particular site and building in question, it will fit as well or better with the surrounding development. The criteria for evaluation shall be the durability of the material, its visibility, and its impact on adjacent development. A modification request must be submitted as outlined in section 107 of this guide for review of any material proposed that is not listed as permitted.

**307.3** – All exterior finishes, including but not limited to siding and roofing material samples, paint colors, window & door finishes, and other exterior finishes shall be submitted on a materials board for approval in conformance with these Design Guidelines.

### Design Standard

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**307.4** – Acceptable, quality building materials shall be divided into two (2) classes where Class A shall be considered high-quality and Class B shall be considered standard quality. Materials are described as follows:

**307.4.1 – Class A Materials** (high-quality)

- Fired clay brick, full-veneer masonry wall systems
- Natural stone, full-veneer masonry wall systems
- Glass, curtain wall and/or glass cladding systems
- Copper or Zinc metal panels, or similar natural metals
- Thin-veneer brick (adhered)
- Manufactured or cast stone veneers (adhered)
- Textured architectural concrete panels
- Metal wall/roof panel systems, insulated or rain screen assemblies
- EPDM Rubber roofing (flat roof only)

- Asphalt or fiberglass shingles (roofing only)
- Other comparable or superior materials
- Fiber-cement panel or siding
- Wood Look Products, metal or fiber cement (approved per basis)

**307.4.2 – Class B Materials** (Standard quality)

- Integrally colored, specialty concrete block such as textured, burnished, ground, or split-face concrete masonry units (CMU)
- Stucco, traditionally applied
- Water-managed Exterior Insulation and Finish System (EIFS)
- Smooth or scored concrete block
- Natural Wood Products
- Other comparable materials

**307.5 – Prohibited Materials** are as follows:

- Exterior Insulated Finish Systems (without moisture drainage)
- Vinyl Siding
- Vinyl (PVC) Fencing and/or railings
- Mirrored or reflective glass
- Glass Block

**307.6 –** Multi-family buildings must incorporate at least three Class A materials together composing at least 50% of the façade area on all sides of the building. The remaining 50% of the façade shall be comprised of Class A or Class B materials.

**307.7 –** Building additions and expansions totaling less than 50% of the floor area of an existing building shall be exempt from the specific percentage requirements of this section provided identical or superior materials are used in a manner consistent with the existing architectural design.

**307.8 –** When thin-veneer brick or stone materials are used, either for full-height walls or wainscoting, the material shall return to an inside corner with an adjacent wall. In the case of outside building corners, a minimum twenty-four inch (24") return shall be provided.

**307.9 –** Fired clay brick can be used as two Class A materials provided two distinctly different colors of brick are used in the appropriate percentages. Minor blended color variations shall not be considered as a separate Class A material.

**307.10 –** Asphalt shingles, if used, must be high-quality three-tab laminate style and furnished with a 30-year warranty.

**307.11 –** Building material colors shall be coordinated in order to comport with Benjamin Moore's *Williamsburg Collection*. A variety of color palettes between structures is encouraged.

**307.12 –** The exterior cladding or finish of a building or structure shall be of a varying color palate consisted with Section 207.10. White colors shall be limited to trim, accents, and secondary building colors. Buildings or structures shall be clad with no more than 50% white finish materials.

## 308 – Building Infrastructure

### Legislative Intent

**308.1 –** Utility infrastructure such as HVAC equipment, Electrical, Gas, or Water meters and any other equipment outdoors should be concealed and hidden to the greatest extent possible.

## Design Standard

**308.2** – No utility service or equipment shall be located on the front façade or the façade containing the main entrance of any structure. Multi-frontage buildings shall provide equipment alcoves on secondary façades where equipment can be screened by vegetation or fencing from public space or street frontage. Equipment must be installed a minimum of 10 feet from any secondary entrance or exit.

**308.3** – Ground mounted utility services and equipment shall be located at the rear of the building. When visible from streets, parking lots, or plazas, mechanical equipment shall be screened by evergreen vegetation or fencing.

**308.4** – No equipment shall be installed on patios, balconies, or terraces unless it is fully concealed and integrated into the architecture of the structure.

**308.5** – Rooftop utility services and equipment shall be concealed to the greatest extent possible. Where feasible the form of the roof shall hide mechanical equipment and roof penetrations, such as plumbing stacks and vents, from view from primary streets, interior streets, and public plaza or green spaces.

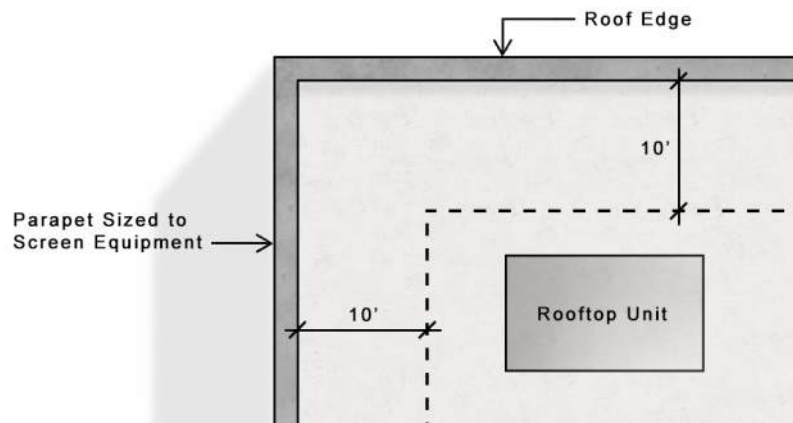


Fig. 308.4 – Typical Roof Top Equipment Diagram

**Table 308.1 Rooftop Equipment Requirements**

Minimum Setback from Edge of Roof or Parapet	
1-2 story buildings	15 feet from front façade ; 10 feet all other sides
3-4 story buildings	10 feet

## 309 – Lighting

### Legislative Intent

**309.1** – Directed lighting shall be provided to illuminate the building façade, signs, architectural elements, storefront displays, public sidewalks, and entrances to enhance interest, security, and the comfort of pedestrians at nighttime.

**309.2** – All lighting shall be in compliance with the Zoning Ordinance and the Subdivision and Land Development Ordinance.

### Design Standard

**309.3** – All exterior building lighting shall be arranged and shielded to prevent direct rays or objectionable illumination or glare from falling upon adjoining properties or within the right-of-way of any street or highway, or pedestrian area. (Excludes street lighting; See Section 506 Street Lighting)

**309.4** – Specifications on lighting fixtures and illumination levels shall be provided as part of the land development submission. Lights shall consist of traditionally styled fixtures and/or appropriately scaled contemporary fixtures. LED light sources are preferred.



Image 309.4 Light fixture examples

**309.5** – Visible fluorescent bulbs, exposed exterior neon lighting, colored bulbs (except for seasonal decoration), and internally lit awnings are prohibited.

**309.6** – Fixtures shall not have any blinking, flashing, or fluttering lights or other illuminating devices which have a changing light intensity, brightness, or color.

**309.7** – After-hours lighting that illuminates the storefront while contributing to comfortable nighttime pedestrian experience shall be encouraged.



## 310 – Building Services

### Legislative Intent

**310.1** – Dumpster pads shall be located to the rear of buildings and shall be shared by multiple users to the greatest extent possible. Concrete pad locations shall be screened by evergreen hedgerows or by masonry walls made of materials as outlined in Section 307 of this guide. Finished metal, wood, or composite wood materials shall also be permitted to screen dumpster pads. Chain link or vinyl fencing is prohibited.



Image 311.1.1



Image 11.1.2



Image 211.1.3

**310.2** – Where rear parking lots and dumpster enclosures are not possible, trash and recycling facilities shall be located within the structure and integrated into the architecture of the building. Doors or enclosures shall be provided to screen services from the street or public view.



Image 211.2.1



Image 211.2.2

**310.3** – No more than 20% of any block length facing primary streets, interior streets, or plaza and park spaces shall contain garages and or service bay openings. See also Section 305.1.

**310.4** – Protection such as curb stops, rails, or bollards shall be provided to prevent dumpsters from damaging the enclosure.

## 311 – Building Performance

### Legislative Intent

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**311.1** – Building design and construction within Union Green shall encourage the use of sustainable practices implementing energy efficiency, the reduction of air and land pollutants, and efficient water usage.

### Design Standard

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**311.2** – In order to comply with LEED for Neighborhood Development requirements, a minimum of one (1) building within the Union Green Development must be designed, constructed, and certified through a LEED rating system, or through a Green building rating system requiring review by independent, impartial, third-party certifying bodies that have been accredited by an IAF-Accredited body to ISO/IEC Guide 65 or, when available, ISO/IEC 17065. All projects constructed shall be encouraged to achieve some level of LEED Certification.

**311.3** – All non-residential, mixed-use, and multi-tenant residential buildings four (4) storeys or more constructed as part of Union Green at minimum shall comply with one of the following options. Refer to LEED v4 Neighborhood Development Addenda for specific requirements. All projects constructed are encouraged to optimize Building Energy Performance to the greatest extent feasible.

- a. Whole-Building Energy Simulation
- b. Prescriptive Compliance: ASHRAE 50% Advanced Energy Design Guide
- c. Prescriptive Compliance: Advanced Buildings Core Performance Guide

**311.4** – All non-residential, mixed-use, and multi-tenant residential buildings four (4) storeys or more constructed as part of Union Green shall reduce indoor water usage by an average of 20% from a baseline. Refer to LEED v4 Neighborhood Development Addenda for specific requirements. Projects are encouraged to reduce water use to the greatest extent possible.



## **Residential: Single Family**

401 – Overall Design & Goals

402 – Building Area

403 – Building Height

404 – Building Setbacks

405 – Building Type, Location, and Orientation

406 – Typical Architectural Details

407 – Building Materials & Colors

408 – Building Infrastructure

409 – Universal Design

410 – Building Performance



## 401 – Overall Design & Goals

### Legislative Intent

**401.1** – Single family dwellings are derived from the agricultural history of the site and as such the architecture of the homes are a modern approach to traditional farmhouse vernacular. By use of form, material, and function the homes establish the architectural language of the community leaving a remnant tie to the past and a broad reach to the future.

**401.2** – A diversity of building design, scale, and proportion shall be achieved.

**401.3** – The home examples shown in this guide shall be emulated and used as design inspiration.



Image 401.1



Image 401.2



Image 401.3



Image 401.4





Image 401.5



Image 401.6



Image 401.7



Image 401.8



Image 401.9

## 402 – Building Areas

### Legislative Intent

**402.1** – Building area standards are designed to develop similar building proportions while maintaining flexibility of individual design.

### Design Standard

**402.2** – Building area limitations are in coordination with the number of stories.

One (1) Story structures shall be a minimum of 1800 square feet.

Two (2) Story structures shall be a minimum of 2300 square feet.

**402.3** – Building footprints shall not exceed the lot coverage limitations as set forth by the Zoning Ordinance.

## 403 – Building Height

### Legislative Intent

**403.1** – A diversity of building heights are to be achieved.

**403.2** – Vary the roof lines of building though the use of dormers, gables, turrets, and the like to the maximum extent possible.

### Design Standard

**403.3** – Dwellings may be either one (1) story or two (2) story structures excluding below grade basements. Walk-out basements shall not be considered a story unless the exposures exceeds 60 percent of the aggregate area of that floor level.

**403.4** – Third story above grade living space is acceptable when the living space is integrated into the roof attic space or if the third floor living space does not exceed 25% of the aggregate floor area of the floor below.

**403.5** – The height of a building shall be measured from the mean level of the ground surrounding the building to a point midway between the highest and lowest point of the roof, but not including chimneys, spires, towers, elevator penthouses, tanks, and similar projections. (Per Zoning Ordinance 27-2104)

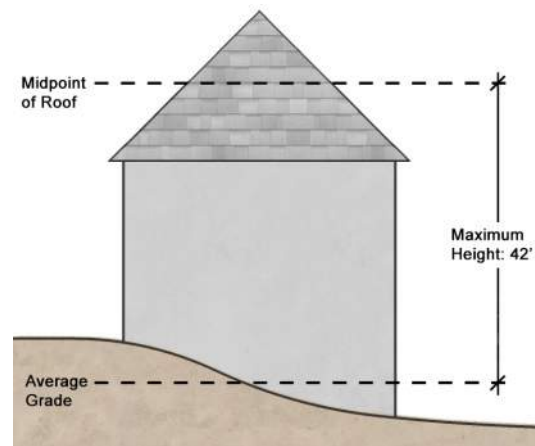


Fig. 403.6 - Building Height Diagram

**403.6** – The maximum building height is 42'-0" above grade per Zoning Ordinance.

## 404 – Building Setbacks

### Legislative Intent

**404.1** – Building setbacks are established to generate a cohesive streetscape and to define the street edge.

### Design Standard

**404.2** – Building Setbacks are measured to the closest face of the main structure of the home or the furthest extent of a patio structure. Patio, porch, or front entry stairs shall be permitted to protrude into the minimum setback 5'-0" max. See Table 404.2.1 for minimum and maximum distances.

**Table 404.2.1 Building Setbacks**

LOCATION	MINIMUM (feet)	MAXIMUM (feet)
Front Yard*	10	20
Side Yard	5	n/a
Rear Yard	5	n/a
Alley Street (w/o Driveway)	5	n/a
Alley Street (w/ Driveway)	18	n/a
*Per Zoning Ordinance		

## 405 – Building Type, Location, & Orientation

### Legislative Intent

**405.1** – All single family dwellings shall be parallel to and face the street for which they are addressed to create a defined streetscape.

**405.2** – Buildings shall be located in general alignment with other buildings on the block.

**405.3** – The location, frequency, and appearance of building types shall be regulated to provide for an appropriate amount of building diversity along the street front.

### Design Standard

**405.4** – No repetition of elevation is permitted without color, material, or building element change along any block face or opposing block face.

**405.5** – Front door entries shall face the street.

**405.6** – Garages shall be attached or detached structures and be rear loading from secondary alley streets wherever possible. Garages shall maintain the architectural language as defined for the homes.





Fig. 405.1 - Typical Single Family Dwelling Lot Diagrams

## 406 – Typical Architectural Details

### Legislative Intent

**406.1** – Typical architectural details are developed to define the minimum expectations and level of quality for all construction with the Union Green Development.

### Design Standard

#### 406.2 – Porches

**406.2.1** – Porches are the primary public facing outdoor spaces and as such all homes are required to provide porches on the street facing façade to encourage public interaction and community connectivity.

**406.2.2** – When provided, porches shall be face the street façade and should be open air structures with defined posts and railings. Railing shall be constructed with at least 60% transparency.

**406.2.3** – All porches shall be covered and shall maintain the same architectural character as the home.

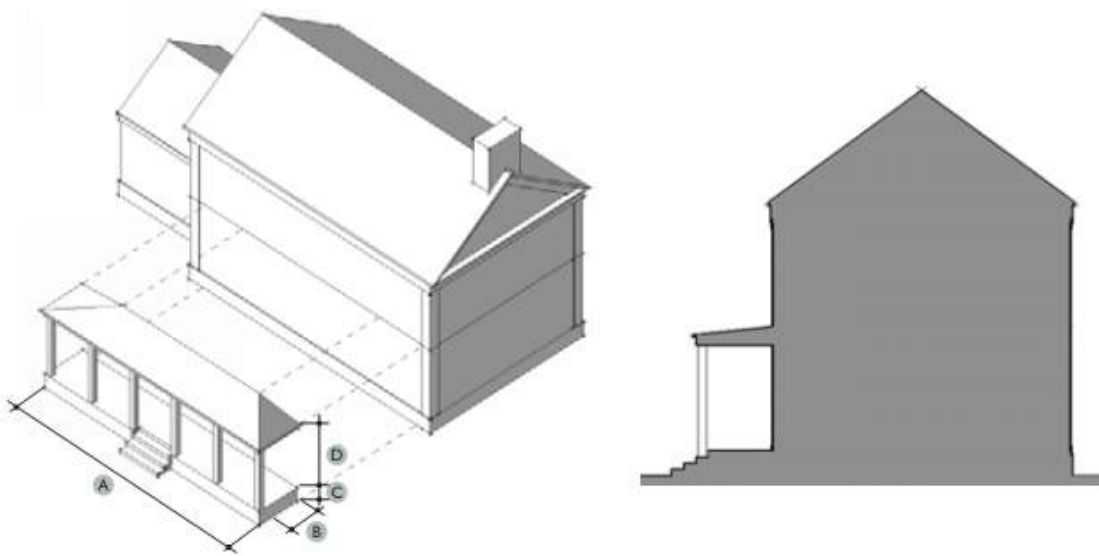


Fig. 406.2.1 Example of porch size and location

**Table 406.2.1. Porch Size & Location**

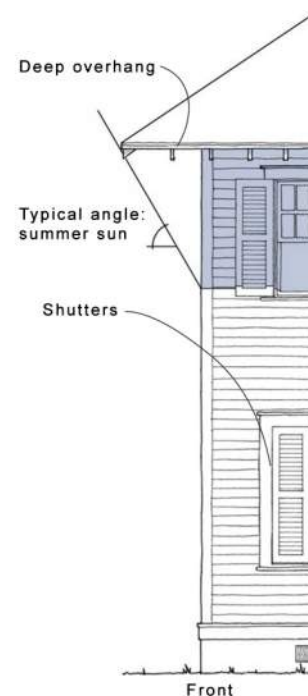
A - Minimum width; Parallel to facade	10 feet or 25% of façade, whichever is greater
B - Minimum Clear Depth; Perpendicular to facade	6 feet
C - Minimum height of finished floor of porch above grade	18 inches
D - Minimum height of porch from finished floor to ceiling	8 feet; excluding exposed structural supports

### 406.3 – Roofs

**406.3.1** – Roofs shall be constructed of sloped gable roofs. Mono-slope or shed roofs are acceptable as secondary roofs over elements such as porches, dormers, or wings that do not define the main body of the home.

**406.3.2** – Roof eave overhangs shall be clean, simple, and free of ornamentation. The overhang depth shall be minimum of 12 inches around all sides and is encouraged to exceed the minimum to provide additional shade and weather protection as well as aesthetic appeal.

**406.3.3** – The minimum roof pitch for gable roofs shall be 6:12. The minimum pitch for mono-sloped roofs shall be 3:12.



*Fig. 406.3 Roof Overhang Diagram*

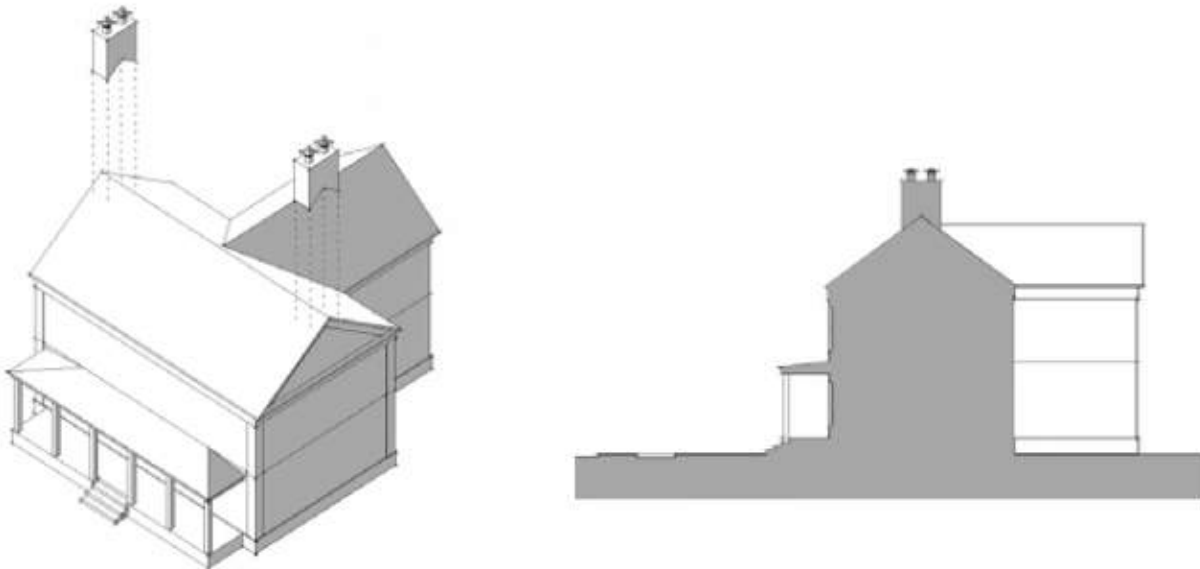
**406.3.4** – Dormers, when provided, shall be functional (correlating to an occupied space) and placed in a manner consistent with the prevailing architectural style of the house.

#### **406.4 – Chimneys**

**406.4.1** – Chimneys are an important design element to the traditional farmhouse vernacular.

**406.4.2** – Chimneys shall be constructed of or clad with natural or manufactured stone or brick.

**406.4.3** – Chimneys shall be clearly articulated in the massing of the building either by projection from the main body of the structure or within the roofline of the building.



*Fig. 406.4.1 Example of chimney size, location, and articulation.*

#### **406.5 – Windows**

**406.5.1** – Windows proportion, size, and location shall be strategically thoughtful to the overall design of the home.

**406.5.2** – Windows shall be wood framed, aluminum or vinyl (composite) clad units. Contemporary window styles are desired that provide minimized frame profiles and maximum free glass area.

**406.5.3** – In cases where shutters are used, they shall appear to be operable and sized to cover the window entirely.

## 407 – Building Material & Color

### Legislative Intent

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**407.1** – Buildings shall contain a harmonious variety of materials and textures in order to provide visual interest and a unique, harmonious setting. Building materials shall be consistent with the examples shown within this guide and are intended to provide a modern farmhouse building fabric.

**407.2** – The approving agency may allow the use of materials not mentioned in the reference permitted material list for accent details for the exterior walls, if it finds that for the particular site and building in question it will fit as well or better with the surrounding development. The criteria for evaluation shall be the durability of the material and its potential for damage based on its location of the building, its visibility and its impact on adjacent development.

**407.3** – All exterior finishes, including but not limited to siding and roofing material samples, paint colors, window & door finishes, and other exterior finishes shall be submitted on a materials board for approval of conformance with these Design Guidelines.

### Design Standard

---

**407.4** – Acceptable, quality building materials shall be divided into two (2) classes where Class A shall be considered high-quality and Class B shall be considered standard quality. Materials are described as follows:

**407.4.1 – Class A Materials** (high-quality)

- Fired clay brick, full-veneer masonry wall systems
- Natural stone, full-veneer masonry wall systems
- Glass, curtain wall and/or glass cladding systems
- Copper or Zinc metal panels, or similar natural
- Thin-veneer brick (adhered)
- Manufactured or cast stone veneers (adhered)
- Textured architectural concrete panels
- Metal wall/roof panel systems, insulated or rain screen assemblies
- EPDM Rubber roofing (flat roof only)
- Asphalt or fiberglass shingles (Roof only)
- Other comparable or superior materials

**407.4.2 – Class B Materials** (Standard quality)

- Integrally colored, specialty concrete block such as textured, burnished, ground, or split-face concrete masonry units (CMU)
- Stucco, traditionally applied
- Water-managed Exterior Insulation and Finish System (EIFS)
- Fiber-cement panel or siding
- Smooth or scored concrete block
- Wood
- Other comparable materials



**407.5** – Prohibited Materials are as follows:

- Exterior Insulated Finish Systems (all types)
- Vinyl Siding
- Vinyl (PVC) Fencing and/or railings
- Mirrored or reflective glass
- Glass Block

**407.6** – Single-family buildings shall be made up of a combination of Class A and Class B materials provided that at least 25% of each façade shall be comprised of Class A materials.

**407.7** – Building additions and expansions totaling less than 50% of the floor area of an existing building shall be exempt from the specific percentage requirements of this section provided identical or superior materials are used in a manner consistent with the existing architectural design.

**407.8** – When thin-veneer brick or stone materials are used, either for full-height walls or wainscoting, the material shall return to an inside corner with an adjacent wall. In the case of outside building corners, a minimum twenty-four inch (24") return shall be provided.

**407.9** – Asphalt shingles, if used, shall be high-quality three-tab laminate style and furnished with a 30-year warranty.

**407.10** – Building material colors shall be coordinated in order to comport with Benjamin Moore's Williamsburg Collection. A variety of color palettes between structures is encouraged.

**407.11** – Single family residential homes are permitted to have white siding and white trim provided that windows, doors, garage doors, and roof finishes be installed in a contrasting color.

## 408 – Building Infrastructure

### Legislative Intent

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**408.1** – Utility infrastructure such as HVAC equipment, Electrical, Gas, or Water meters and any other equipment outdoors shall be concealed and hidden.

### Design Standard

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**408.2** – No utility service or equipment shall be located on the front façade of any structure.

**408.3** – All utility services and equipment located on side yards shall be screened from direct street view and from neighboring properties directly adjacent. Screening methods can consist of natural vegetation or fencing. Equipment on rear of homes is not required to be screened unless directly visible from neighboring homes.

**408.4** – No equipment shall be installed on patios, balconies, or terraces, unless it is fully concealed and integrated into the architecture of the structure.

**408.5** – All required roof penetrations for utility infrastructure shall occur on rear facing slopes of gable roofs or be positioned to the rear as far from the front façade as possible.

**408.6** – Roof top equipment is prohibited.

**408.7** – Vents, grilles, and/or louvers required on building facades for mechanical system shall be architecturally integrated in to the façade of the home.

## **409 – Universal Design**

### **Legislative Intent**

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**409.1** – To encourage universal design, single family dwellings shall take into consideration accessibility and aging in place.

### **Design Standard**

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**409.2** – At minimum 20 percent of single family dwellings shall be designed in accordance with ICC A117.1, Type C Visitable Units.

**409.3** – Each Unit must also have a kitchen, living area, bedroom, and full bath on an accessible level.

## **410 – Building Performance**

### **Legislative Intent**

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**410.1** – Building design and construction within Union Green shall encourage the use of sustainable practices implementing energy efficiency, the reduction of air and land pollutants, and efficient water usage.

### **Design Standard**

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**410.2** – Single family residential buildings three (3) stories or fewer shall install plumbing fixtures and fittings that reduce water consumption by a minimum of 15% as outlined in LEED for Homes.



## Site Design

- 501 – Introduction
- 502 – Streetscape (Roadway, On-Street Parking, Sidewalks & Planting Verges)
- 503 – Pedestrian Gathering Spaces, Pedestrian Mews & Central Green
- 504 – Greens & Open Spaces
- 505 – Parking Locations & Requirements
- 506 – Site Lighting
- 507 – Site Elements
- 508 – Plantings
- 509 – Sustainability Strategies – Stormwater Catchment



## 501 – Introduction

### Legislative Intent

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**501.1** – This section illustrates and identifies the design intent for the public realm of Union Green.

**501.2** – Union Green has been conceived as a walkable, pedestrian oriented development. Union Green strives for design excellence in promoting pedestrian connectivity and walkability.

**501.3** – Site and landscape features shall establish a neighborhood fabric and create a sense of place.

**501.4** – Well-designed streets are an important part of the public realm. The streets in Union Green shall provide for ease of vehicular movements without detracting from the pedestrian orientation of the neighborhood. Street plantings, such as tree verges, shall enhance the streetscape throughout Union Green.

**501.5** – Green Spaces shall provide a variety of amenities for the community. There shall be a variety of spaces, from small Pedestrian Gathering Areas and a Central Green, to larger natural areas and additional Greens. Formal features of the Green Spaces shall include architectural edges, artful landscape elements, seating, and site furnishings.

**501.6** – The streetscape shall provide for animated pedestrian zones, such as outdoor dining, public gathering, or even just sitting on a bench along a sidewalk.

**501.7** – Landscape elements are critical to the built environment. Their patterns lend character to the architecture and ease interaction with the ground plane. Furthermore plantings can create a sense of outdoor rooms, reinforce entrances, and delineate property boundaries.

**501.8** – There shall be extensive Green Space including natural areas. Green Space is intended for both daily use, whether active or passive, as well as community events and public gatherings. Green Space also comprises broad natural areas that protect and enhance the existing environmental features of the site such as wetlands, woodlands, and meadows..

**501.9** – The pedestrian features of Union Green are highly interconnected, with walkability being a primary focus of the community framework. At the pedestrian level, any point in the public realm shall be within ¼ mile walking distance of a Green Space.

Public Realm Plan



Figure 501.1 – Approved Preliminary Land Development Public Realm Plan

## 502 – Streetscape (Roadway, On-Street Parking, Sidewalks & Planting Verges)

### Legislative Intent

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**502.1** – All public and private streets, alleys, and other vehicular pathways shall conform to the Regulating Plan and these guidelines.

**502.2** – Streets may be either public or private. Alleys shall be private.

**502.3** – Vehicular pathways, usually connective segments of parking lot travel lanes, shall provide clear and direct movement through development parcels.

### Design Standard

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**502.4** – Streets and alleys shall be designed in accordance with the profiles and dimensions of street sections illustrated herein.

**502.5** – On-street parking shall be provided on one or both sides of the street as indicated on the Regulating Plan.

**502.6** – Sidewalks shall be provided on one or both sides of the street as indicated on the Regulating Plan.

**502.7** – All streets shall have planting verges for street trees and other ground plane vegetation on a consistent and uniform pattern. Verges are not required on the side of any street abutting a Greens or Green Space. The verge shall be designed in accordance with the profiles and dimensions illustrated herein.

**502.8** – Planted verges along streets both public and private may be utilized for stormwater infiltration.

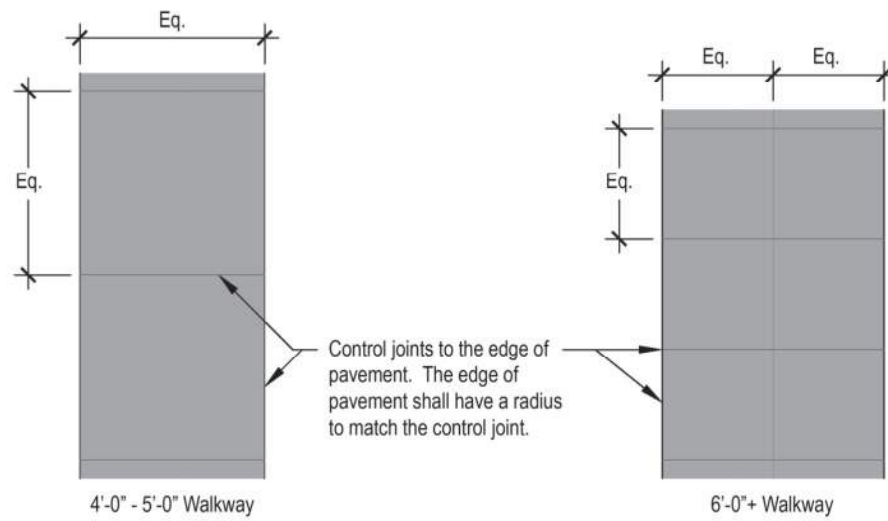
**502.9** – Streets both public and private shall be illuminated. Alleys and vehicular pathways may be illuminated by building-mounted fixtures on their appurtenant lots.

**502.10** – A bike and pedestrian path shall be provided along the perimeter of the development at Progress Avenue and Linglestown Road. The bike and pedestrian path will be a 10' wide path that will be constructed using bituminous and concrete paving.

**502.11** – Shared Lane Markings for shared bike and vehicular streets shall conform with Section 9C.07 Shared Lane Marking of the *Manual on Uniform Traffic Control Devices* (MUTCD) for all design standards.

**502.12** – Crosswalks located in driveway throats shall be at least 5'-0" in width. Crosswalks shall be at least 6'-0" in width when they cross streets. Crosswalks shall be flush with the street surface, and of one of two types: either architectural pavers, or painted in piano key template.

**502.13** – When constructed of poured in place concrete, control joints for sidewalks shall be provided at intervals that respond to the width of the sidewalk. The primary surface of concrete shall have a broom finish, parallel to the control joints.



Notes:

1. Walkway layouts vary. Control joints will adjust accordingly.
2. Control joint conditions at building entries vary. Control joints will adjust accordingly.

Figure 502.1 – Typical Concrete Control Joint Pattern Detail



## Commercial Street (Diagonal Parking)

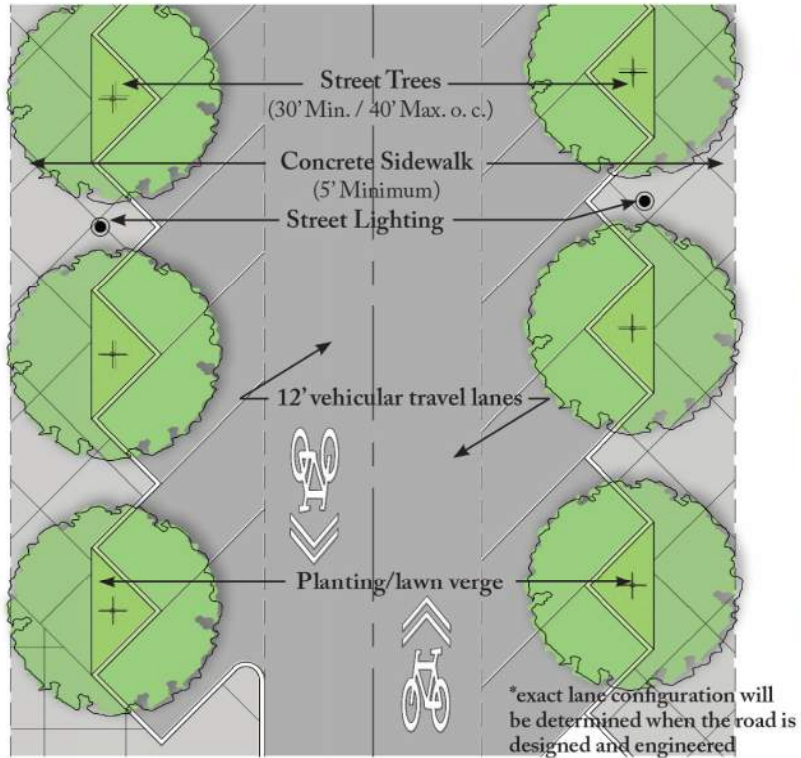


Figure 502.2- Plan



Figure 502.3 – Precedent Images

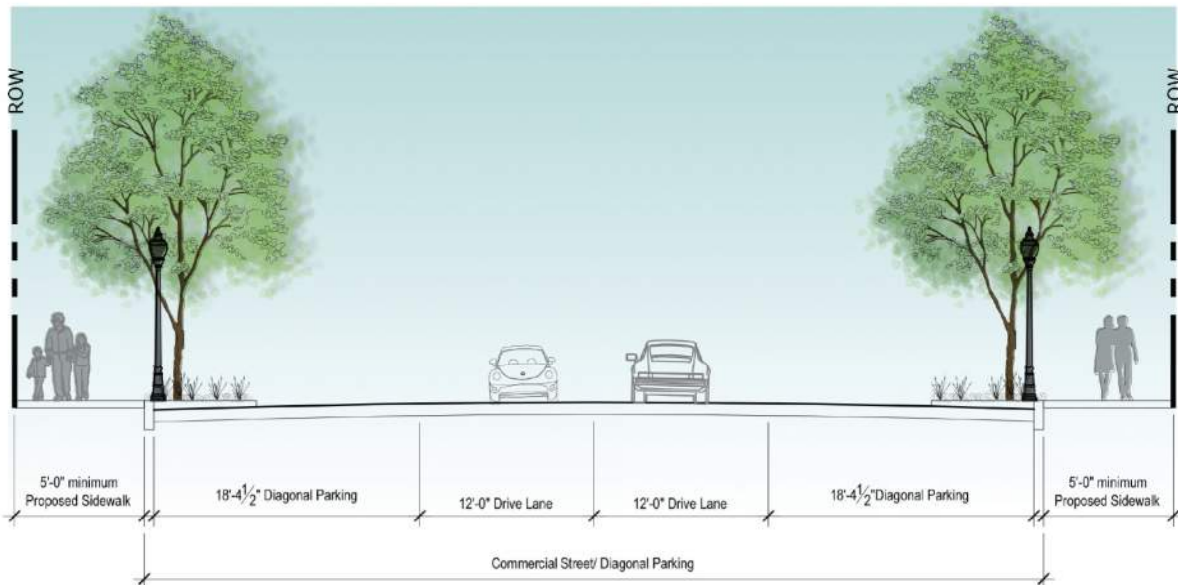


Figure 502.4 – Section

## Commercial Street (Parallel Parking)

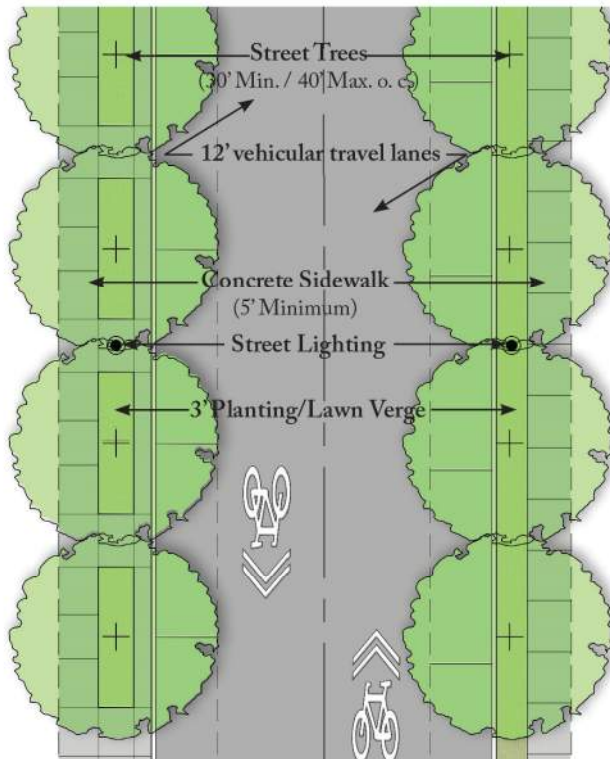


Figure 502.5 - Plan

\*exact lane configuration will be determined when the road is designed and engineered



Figure 502.6 - Precedent Images

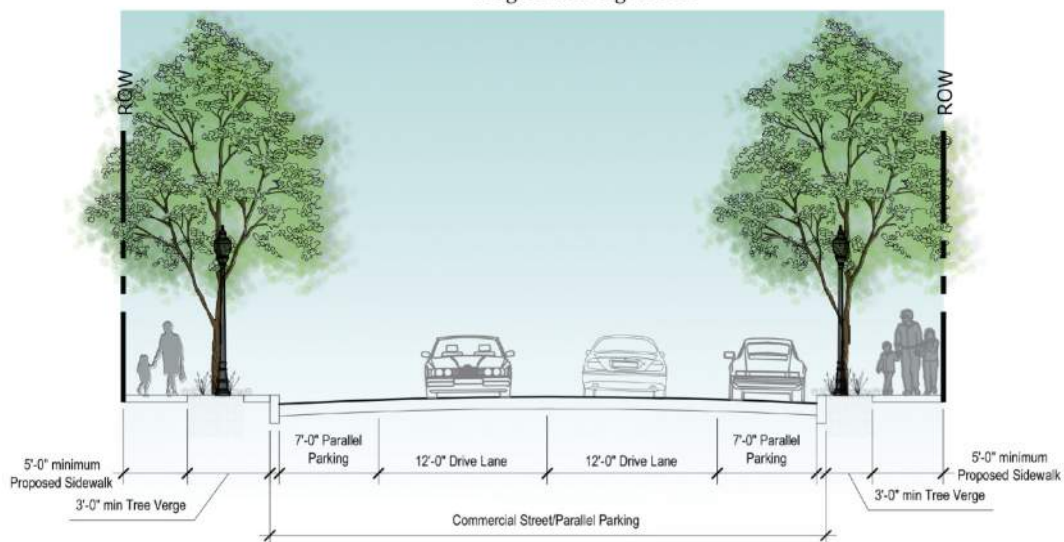


Figure 502.7 - Section



## Commercial Street (No On-Street Parking)

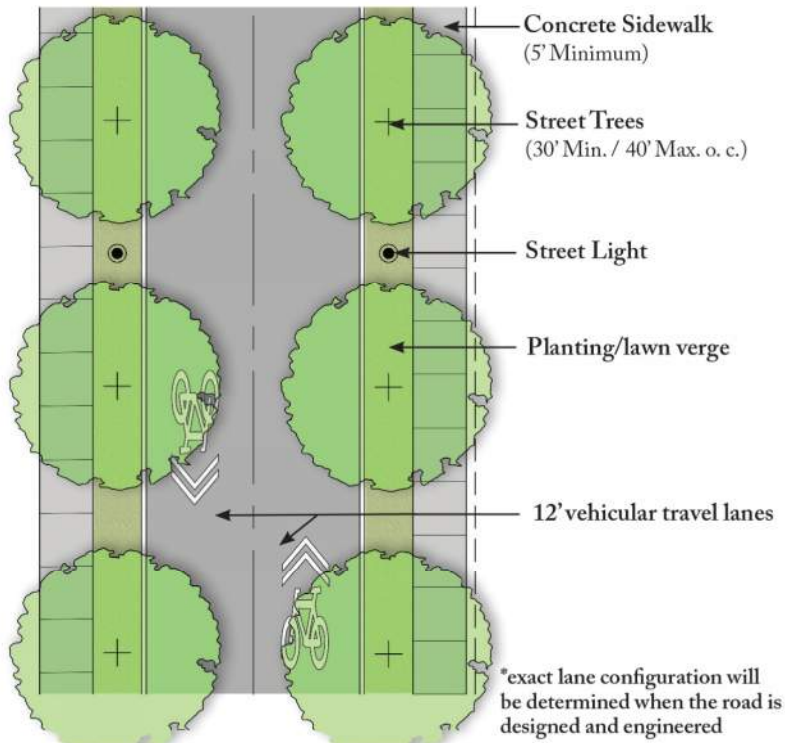


Figure 502.8 – Plan



Figure 502.9 – Precedent Images

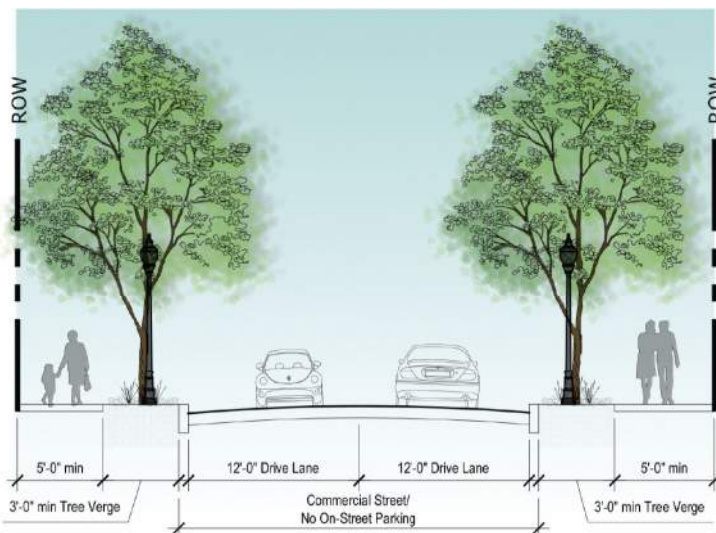


Figure 502.10 – Section

## Residential Street

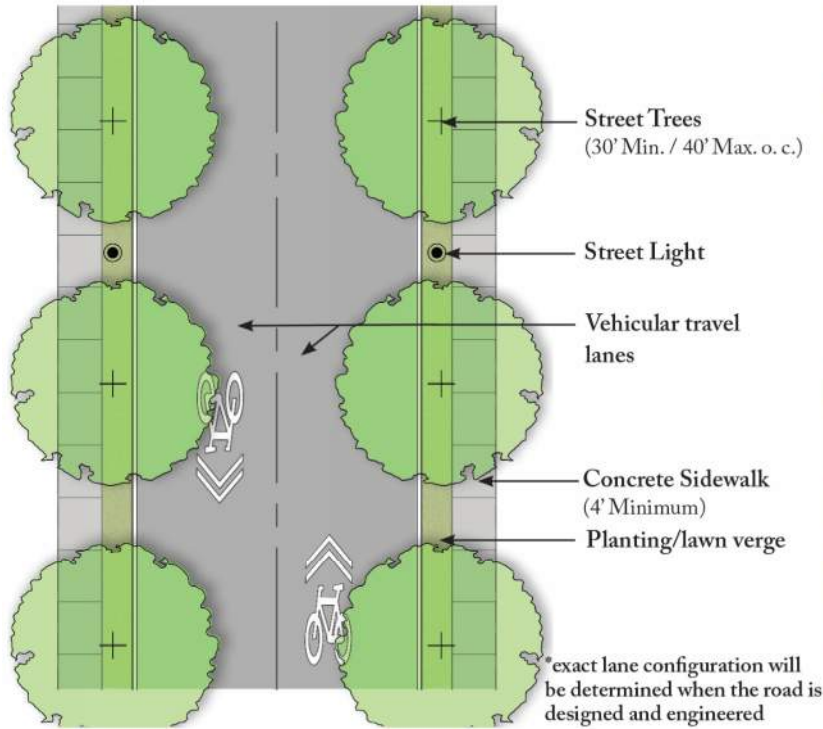


Figure 502.11 – Plan



Figure 502.12 – Precedent Images

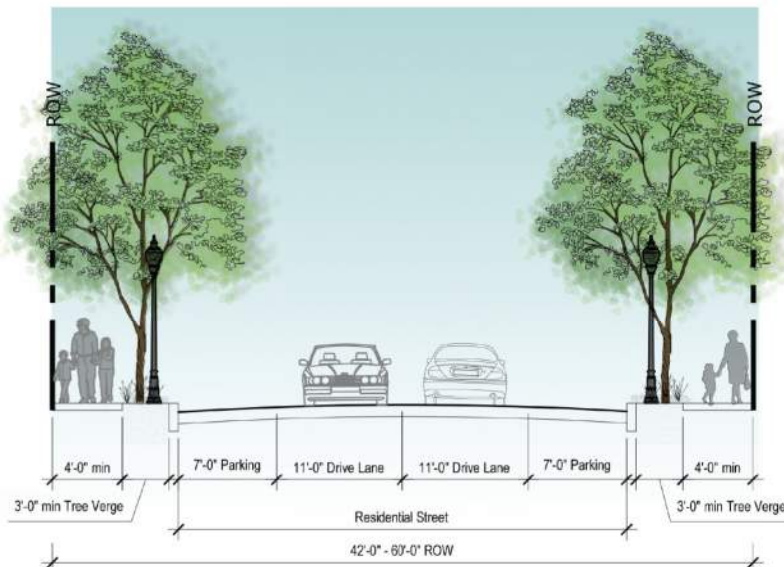


Figure 502.13 – Section

## Residential Alley

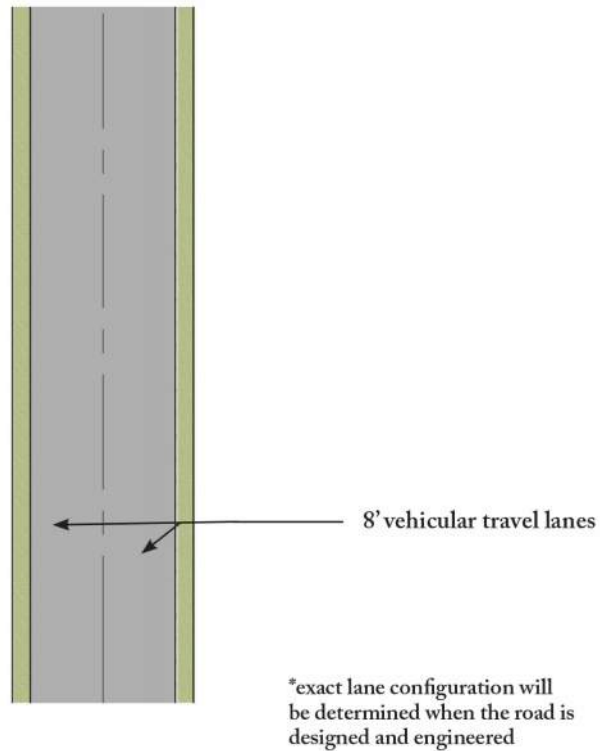


Figure 502.14 – Plan



Figure 502.15 – Precedent Images

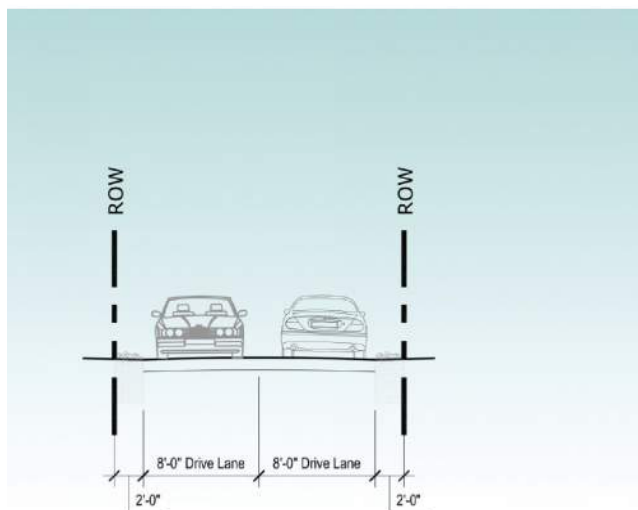


Figure 502.16 – Section



**502.14** – If public transportation is required and/or provided within the development, a pick-up/drop-off shelter shall be provided in a central and accessible location. The shelter shall be designed to complement the architectural character of the surrounding architecture or be of artistic expression.



*Figure 502.17 – Bus Shelter Precedent*

## 503 – Pedestrian Gathering Areas, Pedestrian Mews & Central Green

### Legislative Intent

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**503.1** – All Green Spaces, Pedestrian Gathering Areas, and Central Greens shall conform to the sizes and locations shown on the Regulating Plan.

**503.2** – Green Spaces are located throughout Union Green and vary in size, from small courtyards and terraces to small pocket parks, incorporating a wide range of architectural features, furnishings and landscape elements.

**503.3** – Pedestrian Gathering Areas are intended to provide a dynamic and active public realm for social engagement. They shall be pedestrian oriented and foster a community atmosphere.

**503.4** – Pedestrian Mews – Linear, pedestrian oriented internal streets connecting buildings, parking areas, and green areas. Pedestrian Mews act like linear parks with amenities such as greenery, seating, overhead canopies, art, and lighting.

**503.5** – The Central Green is centrally located and appropriately sized for public events and community gatherings. It shall incorporate park-type features such as seating, art, green areas, etc. The ground plane shall be a mixture of hardscape and green areas such as lawns.

### Design Standard

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**503.6** – Paved areas can be broom finish or exposed aggregate concrete with decorative pavers as accents. No more than 60% of any paved area can be of a concrete surface.

**503.7** – Vertical or overhead elements, such as shade canopies, trellises, or arbors, shall be designed to complement the architectural character of the surrounding architecture or be of artistic expression. Permitted materials shall conform to the appurtenant or adjacent building typologies.

**503.8** – Focal features such as art, water, moveable furnishings, and areas to stage temporary events are desired elements.



Pedestrian Gathering Areas

- Seating area
- Central feature
- Open terrace
- Landscape plantings



Pedestrian Mews

(min 20' wide, maximum 80' length)

- Outdoor dining
- Planting and seating area
- Retail/ commercial board signage



Central Green

(min 1/2 acre in size)

- Perimeter plantings
- Central green
- Movable furnishings, dining terrace

Figures 503.1 – Public Space Typologies

## Pedestrian Gathering Areas

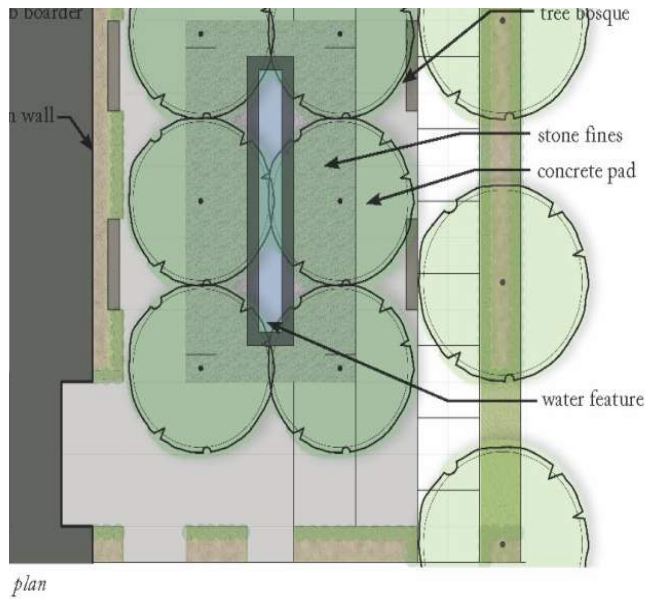


Figure 503.2 – Typical Plan



Figure 503.3 – Typical Section



Figure 503.4 – Perspective



Figure 503.5 – Precedent Images



## Pedestrian Mews

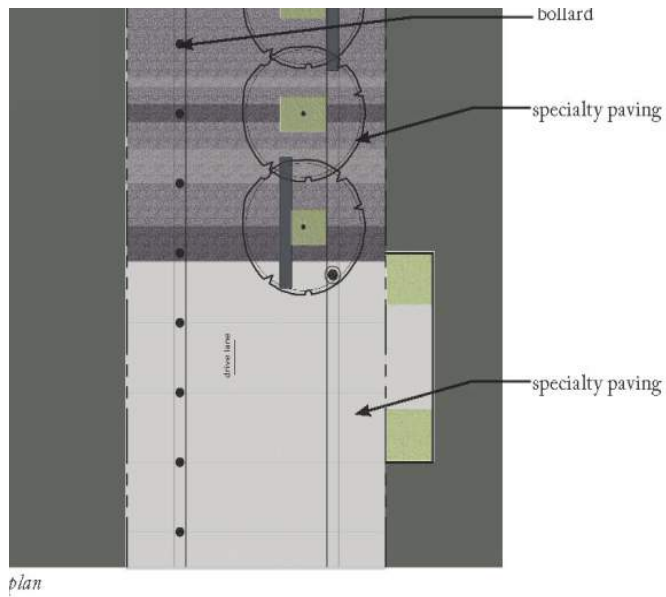


Figure 503.6 – Typical Plan

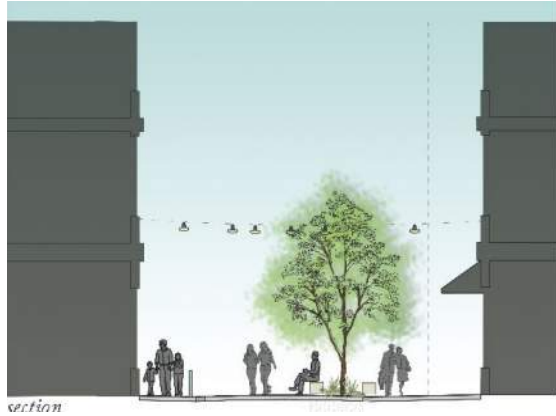


Figure 503.7 – Typical Section

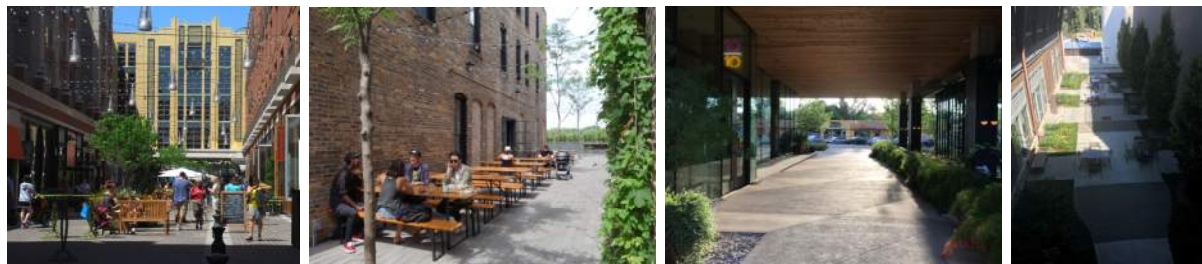


Figure 503.8 – Precedent Images



## Central Green



Figure 503.9 – Aerial Rendering

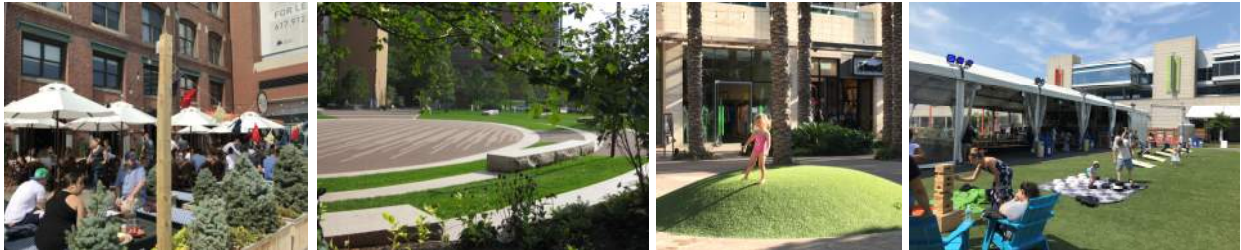


Figure 503.10 – Precedent Images

## 504 – Greens & Open Spaces

### Legislative Intent

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**504.1** – Greens and Open Spaces shall be located as indicated in the Regulating Plan. In accordance with §27-1907 of the Zoning Ordinance, a minimum of 25% of the gross tract area of Union Green shall be designed, constructed, and maintained as Green Space; and a minimum of 3% of the gross tract area of Union Green shall be maintained as Greens.

**504.2** – Greens shall provide both active and passive recreational opportunities for the community. They shall be central to the community, be focal points and provide a diverse set of uses.

**504.3** – Passive Open Spaces shall primarily be comprised of preserving the natural features of the community, such as streams, floodways, wetlands, woodlands and other natural areas. These areas shall be enhanced with adjacent areas that can integrate requirements for stormwater catchment and treatment.

### Design Standard

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**504.4** – Disturbance of natural areas shall be minimized, including jurisdictional wetlands and buffers, streams and floodways, and wooded areas of significant quality. Any disturbance for development shall be mitigated as required by local, state and federal laws.

**504.5** – Open Spaces shall have trails and other amenities.

**504.6** – Landscape enhancements to Open Spaces shall complement the existing plantings. Native plantings that support ecosystems and habitat are desired. Refer to Section 508 for planting requirements.

**504.7** – Greens in more commercial areas shall incorporate a variety of user amenities, both active and passive in nature. Amenities may include open lawns for play, pathways, walking trails, play areas, and seating areas. Special areas shall be designated for events such as markets, concerts, or other type of community celebrations or festivals.

**504.8** – Greens in more residential areas shall complement the character of the neighborhood and should be more passive in nature. Amenities such as open lawns, shade trees, community gardens, play areas, and shade structures are desired.



Greens - Commercial Areas

- Corner pavilion
- Amphitheater
- Overlook
- Event lawn
- Meadow/ wetlands



Greens - Residential Areas

- Arbor
- Landscape feature/ firepit
- Open lawn
- Play Area



Green Space

- Trailhead & Overlook
- Trail
- Meadow
- Existing wetlands

Figures 504.1 – Greens & Open Spaces Typologies



### **Greens – Commercial Areas**



Figure 504.2 – Aerial Rendering

### **Greens – Residential Areas**



Figure 504.3 – Precedent Images

### **Open Space**

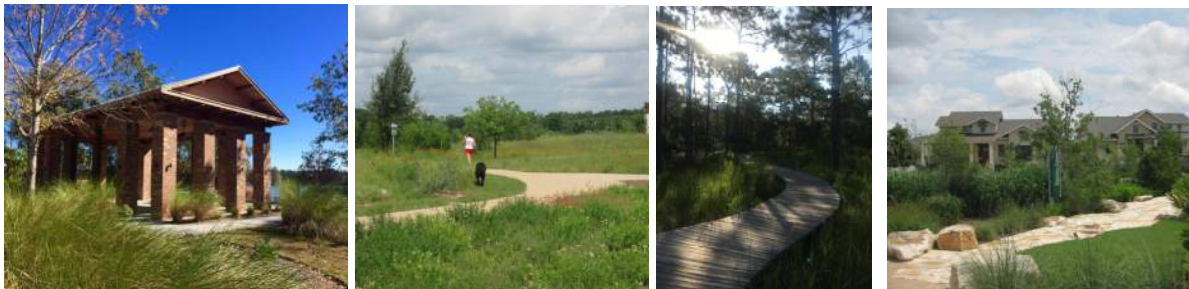


Figure 504.4 – Precedent Images



## 505 – Parking Locations & Requirements

### Legislative Intent

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**505.1** – On-street and off-street parking shall be provided in accordance with the Regulating Plan and these guidelines.

**505.2** – On-street parking is intended to provide vital guest and patron parking at convenient locations. On-street parking shall not hinder pedestrian circulation or safety.

**505.3** – On-street parking is intended to provide a function of traffic calming by lowering the travel speeds along community streets.

**505.4** – Off-street parking shall be provided in surface parking lots or decks in accordance with the Regulating Plan.

### Design Standard

---

**505.5** – On-street and off-street parking spaces shall comply with the design criteria of the Regulating Plan and these guidelines.

**505.6** – Parking spaces in both on-street and off-street parking areas shall be paved. Porous pavers may be used if integrated with stormwater management Best Management Practices.

**505.7** – Parking areas shall be screened and buffered from adjacent streets and view sheds as indicated in the Regulating Plan and these guidelines including masonry piers and planted hedges.

**505.8** – On-street and off-street parking areas shall provide landscaping as indicated in the Regulating Plan and these guidelines.



Figure 505.1 – Precedent Images

## 506 – Site Lighting

### Legislative Intent

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**506.1** – These site lighting standards are intended to create consistency and a sense of place within the fabric of the development.

**506.2** – These site lighting standards are intended to ensure adequate nighttime safety and security while minimizing the spillover of light and glare on operators of motor vehicles, pedestrians and land uses near the light source.

### Design Standard

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**506.3** – All site lighting shall conform to the Business-Office-Residential (BOR) Standards in the Township Subdivision and Land Development Ordinance unless a modification is granted.

#### 506.4 – Site Lighting for Streets

**506.4.1** – Street lighting is required for all streets using LED shielded light sources.

**506.4.2** – Street lighting shall be one of two types, tall poles (22'-30' in height) for major connecting streets and shorter, pedestrian scaled poles (14'-16' in height) for smaller streets

**506.4.3** – Typical spacing shall be between 30-60' on center for small pedestrian poles and 60' to 120' for larger poles.

**506.4.4** – Lighting intensity to meet a minimum of .5fc for safety and security and shall be of uniform lighting intensity on the ground plane. Photo-metrics must show overlapping ovals of illumination on the ground plane surface.

**506.4.5** – Lighting shall be dark sky, indirect or full cut off fixtures.

**506.4.6** – White LED fixtures are required, with a color temperature in the range of 2,700K to 3,500K. Color Rendering Index must be 80 or greater.

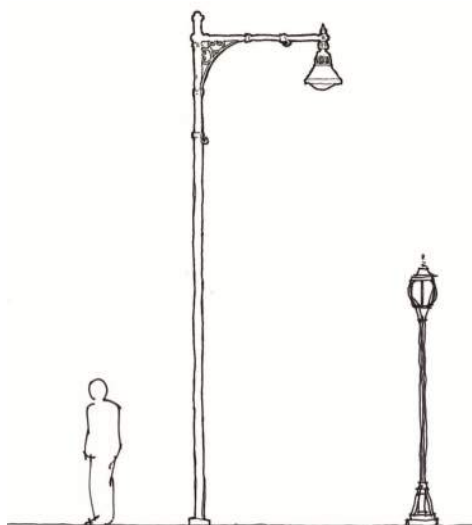


Figure 506.1 – Site lighting standards within the public R.O.W.



Figure 506.2– Antique Street Lamps for pendant lights



Figure 506.3 – Antique Street Lamps post top light

### 506.5 – Site Lighting for Greens

**506.5.1** – Lighting shall be required to meet safe standards of .5fc applied uniformly, but shall strive to be indirect, ambient and well integrated into the design of the space.

**506.5.2** – Overhead, indirect and wash lighting techniques are encouraged such as catenary and bollard lights, decorative wall, bench or pylon lights.

**506.5.3** – Lighting intensity to meet a minimum of .5fc for safety and security and shall be of uniform lighting intensity on the ground plane. Photo-metrics must show overlapping ovals of illumination on the ground plane surface.

**506.5.4** – Lighting shall be dark sky, indirect or full cut off fixtures.

**506.5.5** – White LED fixtures are required, with a color temperature in the range of 2,700K to 3,500K. Color Rendering Index must be 80 or greater.

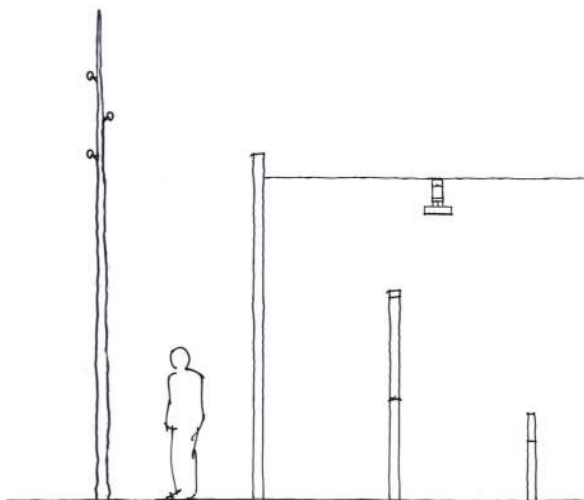


Figure 506.4 – Site Lighting Standards within private site development and parks & openspace.

**506.6 – Site Lighting for Public Parking**

**506.6.1** – All public parking shall be lit in accordance with the Susquehanna Township SALDO.

**506.6.2** – Outdoor light poles shall be located within parking islands or on curbed sidewalks adjacent to the parking areas. The outdoor light poles located within the on grade parking surfaces will not be installed directly in the parking areas. There will be no raised parking islands on the larger parking decks.

**506.6.3** – Lighting shall be arranged and shielded so the direct rays from the luminaries shall not fall off-site on adjacent properties.

**506.6.4** – Lighting intensity to meet a minimum of .5fc for safety and security and shall be of uniform lighting intensity on the ground plane. Photo-metrics must show overlapping ovals of illumination on the ground plane surface.

**506.6.5** – Lighting shall be dark sky, indirect or full cut off fixtures.

**506.6.6** – White LED fixtures are required, with a color temperature in the range of 2,700K to 3,500K. Color Rendering Index must be 80 or greater.

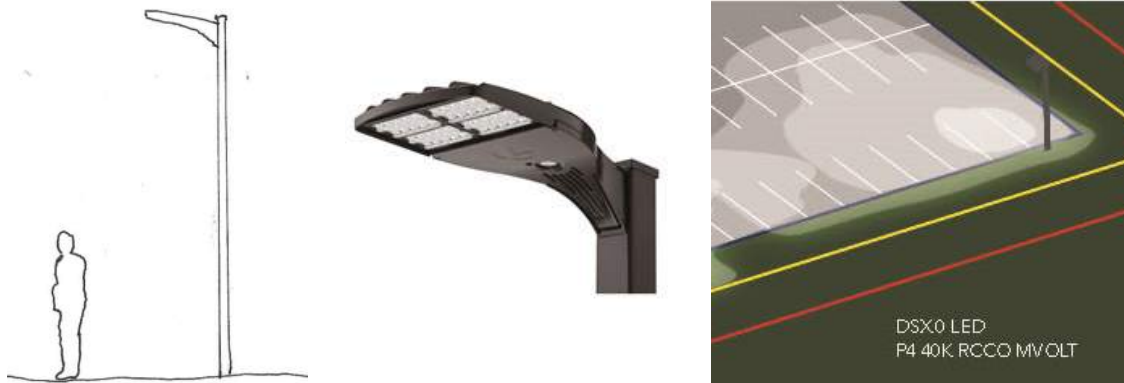


Figure 506.5 – Site Lighting Standards for Outdoor Poles



## 507 – Site Elements

### Legislative Intent

**507.1** – Piers, fences, and hedges provide an attractive streetscape feature. They shall be used to provide a Street Wall #2 condition as indicated in the Regulating Plan.

**507.2** – Site furnishings, including benches, litter receptacles, bike racks, and planters shall be of a uniform specification to unify the vocabulary of the public realm landscape elements.

**507.3** – Vehicular and pedestrian wayfinding signage shall reinforce public orientation to the community and provide a sense of place.

### Design Standard

**507.4** – Piers, fences, and hedges shall be installed and maintained in accordance with the details illustrated and described in the SALDO §22-507.4 to achieve a Street Wall #2 condition.

**507.5** – Off-street parking visible from a public street shall also be screened with Street Wall #2. Max wall length between piers shall not exceed 30'-0".

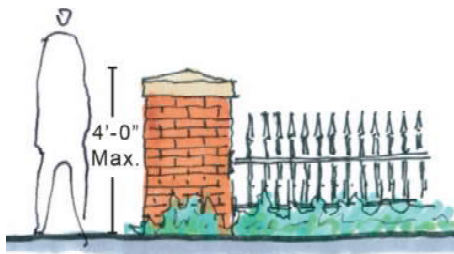


Figure 507.1 – Street Wall #2 example

**507.6** – The site furnishings referenced below are the initial minimum design standard. Site furnishings shall be consistent throughout the entire project. Site furnishings associated with the first phase of development will become the design standard.

**507.6.1** – Bench: Victor Stanley; Style: Perenne Collection 'Lily'; Color: Black; Surface Type: Wood Slats

**507.6.2** – Trash/ Recycling Receptacle: Victor Stanley; Style: Perenne Collection 'Sage': Color: Black; Surface Type: Perforated Steel Panels

**507.6.3** – Bike Rack: Victor Stanley; Style: Perenne Collection 'Freesia'; Color: Black; Material: Solid Steel Bar

**507.6.4** – Bollard: Victor Stanley; Style: Street Sentry L-89; Color: Black; Material Tubular Steel



Figure 507.2 – Site Furnishing Images: Bench, Receptacle, Bike Rack & Bollard

## 508 – Plantings

### Legislative Intent

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**508.1** – The following list consists of the “best of the best” plant materials for use in the development area, and should serve as both a guide and a starting point for plant selection. The plant list focuses exclusively on native plant material suitable to the region.

**508.2** – Indigenous plants have evolved with the local climate and the soil; therefore, they are perfectly suited to the region. There are many advantages to using local plants besides their ability to thrive. They are often low maintenance and thrive without the addition of fertilizers or pesticides, and they provide food and shelter for native wildlife.

### Design Standard

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**508.3** – Street Trees shall be a minimum of 30’ and a maximum of 40’ on center on each side of the street, except along park frontages.

**508.4** – Street trees and streetscape plantings are the hardiest materials on our urban plant list. These plants are low maintenance, salt and pollution tolerant, and offer a variety of forms, textures, and colors, providing interest for pedestrian traffic.

**508.5** – Understory trees shall be offset so that they are not directly under utility wires.

**508.6** – Size Requirements. Street Tree or Canopy Tree sizes shall be a minimum of 1-1/2 inch caliper; Ornamental or Understory Trees at 1-1/2 inch caliper or 8-10 feet height; Deciduous shrubs at 18 to 24 inch height and Evergreen shrubs at 24 to 36 inch height; groundcovers shall be minimum flats or ¼” peat pots; Groundcovers shall be installed at a minimum 12 inch spread; Perennials and grasses shall be a minimum 1 gallon containers.

**508.7** – Developers should consider an array of localized or centralized techniques, including amended soils and infiltration practices, to retain on-site and infiltrate, evapotranspire, and reuse all rainfall depths up to the 1.2-inch depth. To the extent that on-site retention is not sufficient to meet stormwater retention requirements, shared facilities for holding stormwater should be considered.



Figure 508.1 – Precedent Plant Images (left to right) Sycamore, White Oak, Evergreen Trees, Sweetbay Magnolia



Figure 508.2 – Precedent Plant Images (left to right) Oakleaf Hydrangea, Black-eyed Susan, Switch Grass



Figure 508.3 – Precedent Plant Images (left to right) Native grasses and perennials, Thriving streetscape plantings

### **Street & Canopy Trees**

<i>Acer x freemanii</i> 'Celzam'	Celebration Maple
<i>Acer rubrum</i> 'Red Sunset'	Red Sunset Red Maple
<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple
<i>Cercidiphyllum japonicum</i>	Katsura Tree
<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginko (male)
<i>Gleditsia triacanthos</i> f. <i>inermis</i> 'Imperial'	Imperial Honeylocust
<i>Nyssa sylvatica</i>	Black Gum
<i>Pinus Strobus</i>	White Pine
<i>Platanus x acerifolia</i> 'Exclamation'	Exclamation™ London Planetree
<i>Quercus palustris</i>	Pin Oak
<i>Quercus rubra</i>	Red Oak
<i>Sophora japonica</i> 'Regent'	Regent Scholartree
<i>Taxodium distichum</i>	Bald Cypress
<i>Ulmus americana</i> 'Delaware'	Delaware Elm

**Ornamental Trees**

<i>Amelanchier canadensis</i> 'Trazam'	Tradition Serviceberry
<i>Cercis Canadensis</i>	Eastern Redbud
<i>Chionanthus virginicus</i>	White Fringetree
<i>Cornus florida</i>	White Flowering Dogwood
<i>Cornus kousa chinensis</i>	Kousa Dogwood
<i>Malus</i> 'Sugar Tyme'	Sugar Tyme Crab

**Shrubs**

<i>Abelia grandiflora</i>	Glossy Abelia
<i>Azalea gable</i> 'Boudoir'	Boudoir Azalea
<i>Buxus sempervirens</i> 'Vardar Valley'	Vardar Valley Boxwood
<i>Clethra alnifolia</i>	Summersweet
<i>Cornus alba</i> 'Elegantissima'	Silverblotch Dogwood
<i>Cornus alba</i> 'Sibirica Bloodgood'	Bloodgood Siberian Dogwood
<i>Cornus sericea</i> 'Cardinal'	Red Osier Dogwood
<i>Hibiscus syriacus</i> 'Minerva'	Minerva Althea
<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea
<i>Ilex glabra</i> 'Nordic'	Nordic Holly
<i>Ilex x meserveae</i> 'China Girl or Boy'	China Girl or Boy Holly
<i>Magnolia x</i> 'Ann'	Ann Magnolia
<i>Myrica pennsylvanica</i>	Northern Bayberry
<i>Picea abies</i> 'Nidiformis'	Bird's Nest Spruce
<i>Pinus mugho</i>	Mugho Pine
<i>Rosa red meidiland</i>	Red Meidiland Rose
<i>Rosa</i> 'The Fairy'	The Fairy Rose
<i>Spiraea bumalda</i> 'Coccinea'	Improved Dwarf Red Spirea
<i>Spiraea vanhouttei</i> 'Renaissance'	Renaissance Spirea
<i>Syringa vulgaris</i> 'Fantasy'	Fantasy French Lilac
<i>Viburnum carlesii</i>	Koreanspice Viburnum
<i>Viburnum opulus</i> 'Nanum'	Dwarf European Cranberrybush
<i>Viburnum opulus</i> 'Xanthocarpum'	Golden Fruited European Viburnum
<i>Viburnum plicatum</i> 'Newzam'	Newport Viburnum
<i>Viburnum plicatum tomentosum</i> 'Mariesii'	Maries Doublefile Viburnum
<i>Viburnum rhytidophyllum</i>	Leatherleaf Viburnum

**Oramental Grasses**

<i>Panicum virgatum</i> 'Haense Herms'	Red Switch Grass
<i>Pennisetum alopecuroides</i>	Fountain Grass
<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass

**Groundcovers**

<i>Cotoneaster apiculata</i>	Cranberry Cotoneaster
<i>Cotoneaster dammeri</i>	Royal Beauty Cotoneaster
<i>Hedera helix</i>	English Ivy
<i>Juniperus conferta</i> 'Blue Pacific'	Blue Pacific Juniper
<i>Juniperus horizontalis</i>	Emerald Spreader Juniper
<i>Liriope muscari</i> 'Big Blue'	Big Blue Lily Turf
<i>Pachysandra terminalis</i>	Pachysandra
<i>Vinca myrtle</i>	Blue Myrtle



**Perennials**

<i>Astible 'Red Sentinel'</i>	Astible
<i>Chrysanthemum x superbum 'Snow Cap'</i>	Snow Cap Shasta Daisy
<i>Geranium himalayense</i>	Lilac Cranesbill
<i>Geranium sanguineum var. Lancastriense</i>	Blood-red Cranesbill
<i>Hemerocalis 'Apple Tart'</i>	Apple Tart Daylily
<i>Hemerocalis 'Stella D'Oro'</i>	Stella D'Oro Daylily
<i>Heuchera sanguinea 'Coral Cloud'</i>	Coral Cloud Heuchera
<i>Hosta sieboldiana 'Elegans'</i>	Plaintain Lily
<i>Physostegia virginiana</i>	False Dragonhead
<i>Rudbeckia fulgida speciosa 'Goldsturm'</i>	Black Eyed Susan

## 509 – Sustainability Strategies – Stormwater Catchment

### Legislative Intent

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**509.1** – The following will help to ensure that the post construction stormwater runoff utilizes best management practices to control the water's volume, rate, and quality.

**509.2** – The following will help to ensure that the stormwater infrastructure has an aesthetic quality that seeks to restore lost natural processes and then celebrate the systems as an integral component of the community's health.

### Design Standard

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**509.3** – Public streetscapes will implement sustainable street techniques. These sustainable strategies may include stormwater infiltration basins described below to treat and retain the maximum volume of stormwater feasible, porous parking strips, or conveyance to a regional stormwater facility.

**509.4** – Stormwater infiltration basins (tree box filter) described below are designed to specific site conditions when construction begins to the following criteria (which are flexible depending on the steepness and slope of the specific site conditions):

**509.4.1** – Capacity includes 7 inches of depth above topsoil depth to handle storm surges.

**509.4.2** – Soil depth at a minimum of 30 inches and be comprised of a bioretention soil medium to infiltrate water.

**509.4.3** – An overflow device would be installed to handle any overflow capacity tied into the stormwater infrastructure.

**509.4.4** – For gradients over 5%, site specific catchment techniques should be considered as a recommendation above these criteria.



Figure 509.1 – Precedent Images (left to right) Naturally planted rain garden, Stormwater catchment courtyard area, Street verge stormwater catchment



Figure 509.2 – Precedent Image



Figure 509.3 – Typical Section

**509.5 – Floodplain Restoration** activities shall be designed to restore historic floodplain function and ecology by removing anthropogenic impacts (such as legacy sediment) that may inhibit functions such as peak flows, infiltration and water quality that are the foundation of a healthy floodplain corridor.

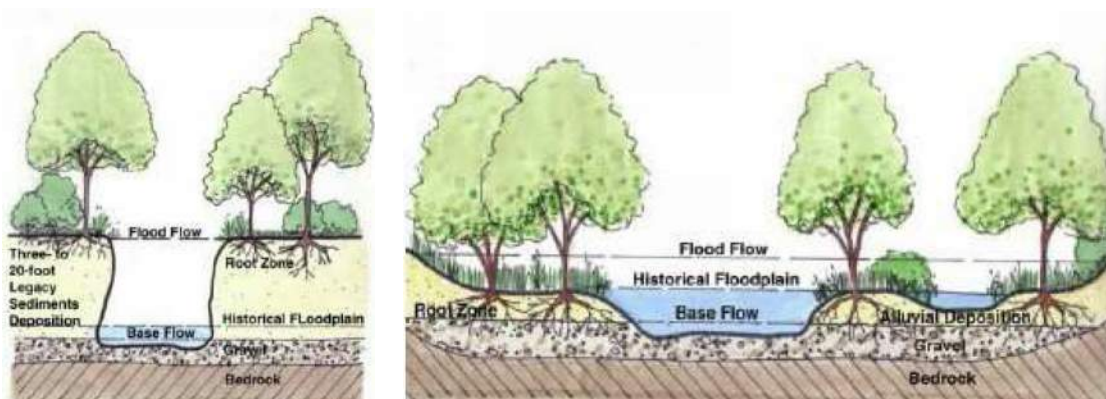


Figure 509.4 – Floodplain Sections (left to right) Existing post development floodplain, Proposed floodplain restoration (images courtesy of PA Stormwater BMP Manual)

## Resources and References

### 601 – Content

- Susquehanna Township, Zoning Ordinance, 2017
- Windsor, Connecticut, Great Pond Form-Based Code, 2011
- Thomas Comitta Associates, Inc, Lititz, PA Form-based code; General Manual of Written and Graphic Design standards; 2014
- Thomas Comitta Associates, Inc.; Subdivision & Land Development Ordinance, Susquehanna Township, Dauphin County, PA, Design Guideline for the TND-1: Traditional Neighborhood Development – 1 District; 2017
- TONO Architects, New Town Lancaster, Architectural Guidelines for New Town Lancaster Neighborhoods, 2012
- Derry Township, Dauphin County, PA; Downtown Core Design Standards, 2017
- U.S. Green Building Council, LEED v4 Neighborhood Development, 2016

### 602 – Images

- 201.1 – King of Prussia Town Center, JBGR Retail, BCT Architects
- 201.2 – King of Prussia Town Center, JBGR Retail, BCT Architects
- 201.3 – King of Prussia Town Center, JBGR Retail, BCT Architects
- 206.3 – Shopfront examples
- 206.4.1 – Lobby Entranced Examples
- 206.5 – Outdoor Dining Examples
- 206.6 – Balcony/Terrace Examples
- 206.7.1 – Roof Examples
- 206.7.2 – Large Overhang Example
- 206.7.2 – Roof Overhang Diagram
- 206.9 – Typical Awning Examples
- 209.1. – Light Fixture Examples
- 210.1 – Signage Examples
- 210.2 – Sign Lighting Examples
- 211.1 – Dumpster Enclosure – Standalone
- 211.2 – Dumpster Enclosure – Building Integrated
- 213.1 – Screening Examples
- 213.2 – Ventilation Examples
- 213.3 – Parking Lot Aesthetic Improvement Examples
- 301.1 – Hebrew Senior Life, Depham, MA, Architect: Perkins Eastham
- 301.2 – Wellbrooke of South Bend, The Center for Health and Wellness, Eppstein Chen Architects
- 301.3 – Benefield Farms Senior Living, Carlisle, MA, Architect: Dimella Shaffer
- 301.4 – Hebrew Senior Life, Depham, MA, Architect: Perkins Eastham
- 301.5 – The Healthcare Resort of Plano, Plano, TX, Mainstreet Property Group
- 301.6 – Benefield Farms Senior Living, Carlisle, MA, Architect: Dimella Shaffer
- 309.4 – Light Fixture Examples
- 310.1.1 – Typical Dumpster Enclosure
- 310.1.2 – Typical Dumpster Enclosure
- 310.1.3 – Typical Dumpster Enclosure
- 310.2.1 – Typical Integrated Dumpster Enclosure
- 310.2.2 – Typical Integrated Dumpster Enclosure
- 401.1 – Modern Farmhouse, Sea Nest Plan. Archiscap, llc.
- 401.2 – Black Apple Micro-Community, GreenSpur Design Build



- 401.3 – Modern Farmhouse, Magnolia Reality
- 401.4 – Restored 1800 Farmhouse, Homeowner Sara Holway
- 401.5 – Modern Farmhouse, Unknown
- 401.6 – Modern Farmhouse, Jean Alsopp/Plant, Styling by Carmen Johnson
- 401.7 – Sothern Living Idea House, Rosney Co. Architects, 2015
- 401.8 – Clermont House, Willow Homes, Homewood, AL
- 401.9 – Modern Farmhouse, 3 Pillars Homes

## 603 – Figures

- 101 – Union Green Concept Images; LaQuatra Bonci Associates
- 102.1 – Susquehanna Township Warrantee Map, Susquehanna Township
- 105.1 – Union Green Regulating Plan, LaQuatra Bonci Associates
- 203.5 – Building Height Diagram, TONO Architects
- 205.1 – Dual Front Building Diagram, TONO Architects
- 205.2 – Typical Building Alignment Diagram, TONO Architects
- 206.7.1 – Roof Overhang Diagram, TONO Architects
- 208.1 – Typical Rooftop Equipment Diagram, TONO Architects
- 210.1 – Signage Measurement Diagram, TONO Architects
- 303.5 – Typical Building Height Diagram, TONO Architects
- 305.1 – Dual Front Building Diagram, TONO Architects
- 305.2 – Typical Building Alignment Diagram, TONO Architects
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# Regulating Plan

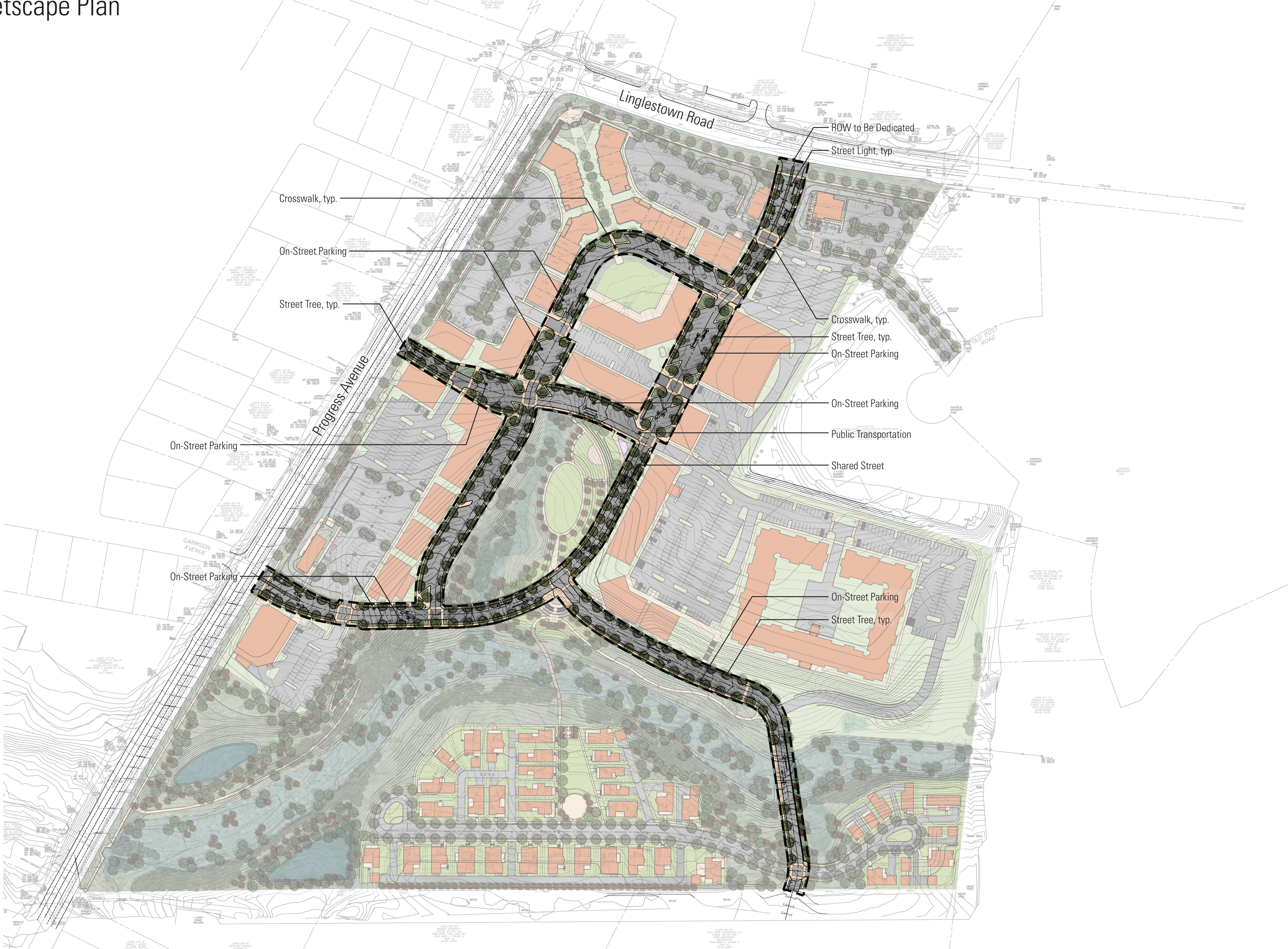








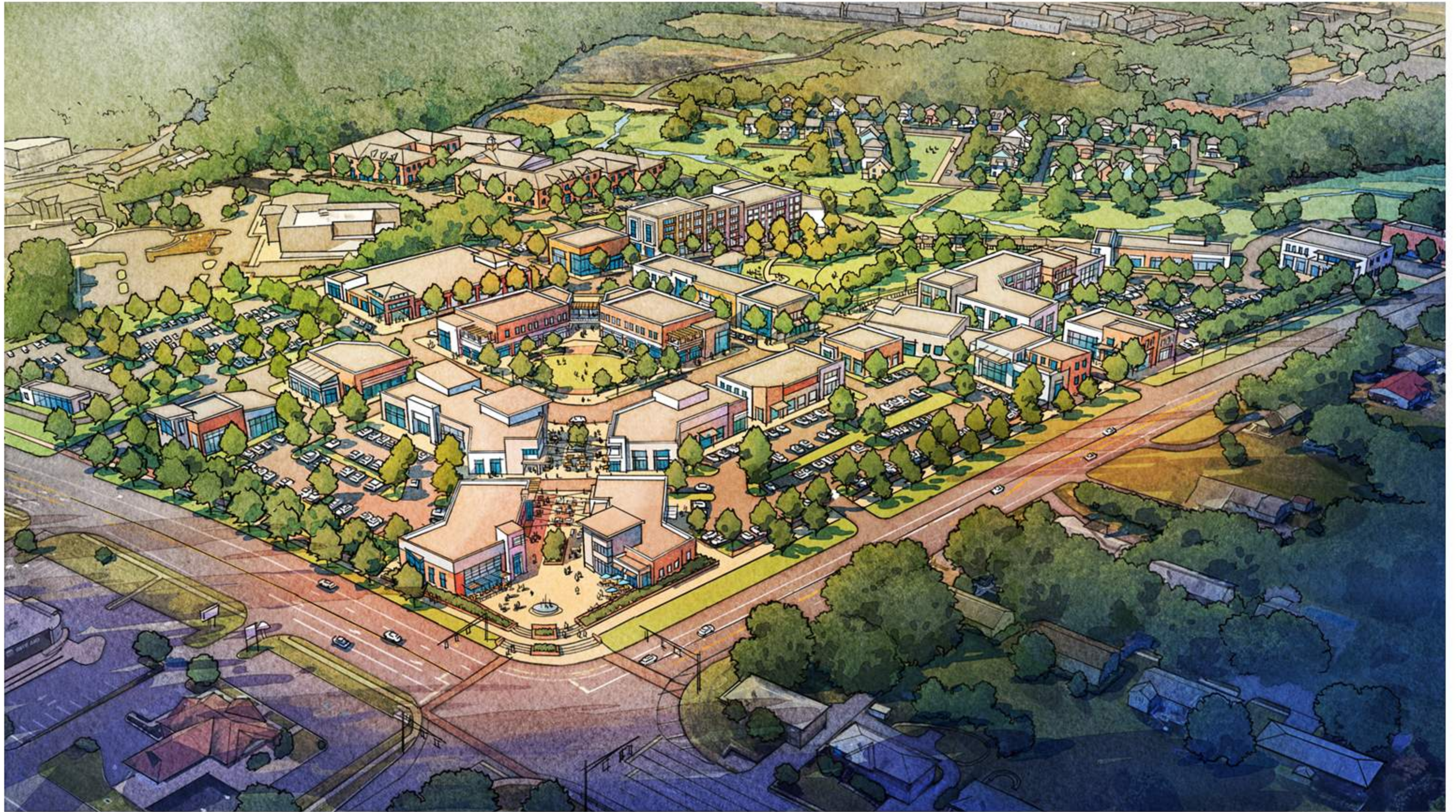
# Streetscape Plan











SUSQUEHANNA UNION GREEN  
CONCEPT SKETCH - AERIAL VIEW









SUSQUEHANNA UNION GREEN

CONCEPT SKETCH - PROGRESS & LINGLESTOWN ROAD INTERSECTION









SUSQUEHANNA UNION GREEN

CONCEPT SKETCH - MAIN GREEN TOWARD LINGLESTOWN ROAD









SUSQUEHANNA UNION GREEN

CONCEPT SKETCH - INTERIOR STREET VIEW









SUSQUEHANNA UNION GREEN  
CONCEPT SKETCH - COMMUNITY GREEN