

ORDINANCE 17-05

AN ORDINANCE OF THE TOWNSHIP OF SUSQUEHANNA, DAUPHIN COUNTY, PENNSYLVANIA, AMENDING §22-201 OF THE SUSQUEHANNA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (THE “SALDO”) TO INCLUDE REFERENCES TO THE TND-1 - TRADITIONAL NEIGHBORHOOD DEVELOPMENT - 1 DISTRICT, AMENDING §22-301 OF THE SALDO TO ADD CERTAIN DEFINITIONS, ADD §§22-507, 22-508 AND 22-509 TO THE SALDO TO CREATE AND PROVIDE DESIGN GUIDELINES FOR THE DEVELOPMENT OF TRADITIONAL NEIGHBORHOOD DEVELOPMENTS IN THE TND-1 DISTRICT.

WHEREAS, the Board of Commissioners of Susquehanna Township has determined that the public health, welfare and safety and the development of the community would be served by amending the SALDO.

BE IT ENACTED AND ORDAINED by the Board of Commissioners of Susquehanna Township, Dauphin County, Pennsylvania, and it is hereby enacted and ordained by authority of the same.

Section 1. Section 22-201 of the SALDO is hereby amended by adding the following subsection 15:

15. Providing Design Guidelines for the TND-Traditional Neighborhood Development-1 District.

Section 2. Section 22-301 of the SALDO is hereby amended by adding the following definitions:

ACTIVE OPEN SPACE - An area of land used for leisure time activities of a cardiovascular nature, with facilities such as playgrounds, playfields, play courts (basketball, tennis), and trails (bicycling, jogging).

ALLEY - Land serving as a secondary means of access to two (2) or more lots to the rear and/or side of a building, over which there is a right-of-way, municipally or privately owned.

BUILD-TO LINE - The line which defines the placement of the building from the street on which the building fronts. The Built-To line of the building forms the Street Wall line. On a corner lot, the Build-To Line is located on each side of a lot abutting a street. A Build-To Line may have a recess or projection up to two (2) feet in order to promote variation of building placement on a block, and/or may have a recess of up to 12 feet in order to promote outdoor dining for a café or restaurant.

COURTYARD - An enclosed area, often with building walls on at least two sides, typically paved and open to the sky, through which pedestrians walk to enter or exit a building.

DESIGN REVIEW COMMITTEE (DRC) - A committee of four (4) persons appointed by the Board of Commissioners to oversee the detailed design and implementation process of a TND. The DRC shall consist of: one (1) member of the Planning Commission; one (1) member of the Board of Commissioners; the Township's Zoning Officer; and one (1) Town Planner/Township Planning Consultant.

GREEN - A plaza, courtyard, green court, pedestrian gathering area, pocket park, tot lot, playground, walkway, promenade, lawn area, or other like type facility in which features such as pavers, benches, gazebos, pergolas, arbors, trellises, planters, plantings, lighting, and sculpture are installed and maintained, and in which activities such as public seating and outdoor dining take place.

GREEN SPACE - The totality of the land that comprises the area of a TND, exclusive of buildings, streets, alleys, service lanes, parking lots, and paved surfaces such as those used for dumpsters or approved/fenced outdoor storage. Green Space includes Active Open Space and Passive Open Space, including such features as recreational areas, Greens, parks, squares, plazas, courtyards, pedestrian gathering areas, pocket parks, green courts, playgrounds, tot lots, dog parks, playfields, natural open space designated to conserve wetlands and floodplains, and other areas for natural resource conservation, and stormwater detention basins unless designed and constructed as a wet basin or a naturalized stormwater management basin.

KEY DESIGN ELEMENTS - The design elements and attributes of a TND that create the character of the place as a compact, mixed-use, walkable, and interconnected place, as described and depicted in Exhibit 'A' to Part 19. of the Zoning Ordinance.

MANUAL OF WRITTEN AND GRAPHIC DESIGN GUIDELINES - A document that provides written and graphic design guidelines for a TND, consistent with the Design Guidelines in Section 22-507.

NATURALIZED STORMWATER MANAGEMENT BASIN - A facility for the temporary storage of stormwater runoff that is landscaped with grasses and other native plants and is designed, constructed, and maintained in accordance with recognized Best Management Practice techniques as recommended by the Pennsylvania Department of Environmental Protection.

PASSAGEWAY - A thoroughfare between buildings that functions like a pedestrian alley.

PASSIVE OPEN SPACE - An area of land used for informal leisure time activities, such as picnicking, nature study, bird watching, and nature photography.

PLAZA - A pedestrian gathering area that is typically paved and includes benches, shade trees, and other pedestrian amenities.

PIER - A masonry column that is typically 48 inches in height, that serves as a type of gateway monument, or the structure to which fencing is attached like in the case of Street Wall #2.

POCKET PARK - A small Green Space within a Green, typically in the range of 50 to 500 square feet, often enclosed by buildings on two (2) sides, and always used as a pedestrian gathering area.

REGULATING PLAN - A Concept Plan that is utilized to promulgate the form of a TND, such as the one shown in Exhibit 'C' to Part 19 of the Zoning Ordinance, and to illustrate the interconnected network of streets, alleys, sidewalks and crosswalks, as well as the proposed mixed uses, mixed housing types, streetscapes, public realm, building locations, and on-street and off-street parking locations.

SERVICE LANE - A thoroughfare type, similar to a common driveway or alley, that provides vehicular access for non-residential development, typically for deliveries, loading and unloading, and parking.

SHARED PARKING - Off-street parking that two (2) or more landowners or tenants share in accordance with the regulations derived from the ULI-Urban Land Institute publication titled "Shared Parking Second Edition", 2005.

STREETSCAPE - The space formed between buildings adjoining the street, which is embellished with sidewalks, street trees, street lights, curbs, on-street parking, and cartways. The Streetscape is framed by buildings, which create the "outdoor room" character of the street, as shown in the Design Guidelines in Section 22-5007

STREET WALL - The wall of a building adjoining a sidewalk at the edge of the street right-of-way, as in the case of a non-residential use, or adjoining a porch, stoop, or front yard landscaped area as in the case of a residential use; or approved architectural or landscaping elements at least 30 inches but not more than 48 inches in height such as piers, fences, and hedges, in lieu of a building wall. A Street Wall shall extend the entire length of the edge of the street right-of-way, except where curb cuts, driveways and pedestrian access is provided.

STREET WALL #1 - The wall of a building adjoining a sidewalk at the edge of the street right-of-way, as shown in the Design Guidelines of Section 22-507.

STREET WALL #2 - Approved architectural and landscaping elements with piers, fences and hedges, in lieu of a building wall, as shown in the Design Guidelines in Section 22-507, consisting of fencing 30 to 42 inches in height, piers 48 inches in height and hedges 18 to 24 inches in height.

Section 3. The SALDO is hereby amended by adding §§22-507, 22-508 and 22-509 to read as follows:

§22-507. Design Guidelines for the TND-1: Traditional Neighborhood Development -1 District.

For a preliminary or final land development plan in the TND-1 District to be approved under this Part, the developer, in addition to all other applicable requirements set forth in this Part and the Zoning Ordinance, shall prepare a Manual of Written and Graphic Design Guidelines in accordance with §27-1912.3 of the Zoning Ordinance that demonstrates compliance with the following design guidelines:

1. Legislative Intent of the Design Guidelines
2. Building Design & Proportion
3. Building Location
4. Piers, Fences & Hedges
5. Greens
6. Pedestrian Gathering Areas
7. Pedestrian Orientation
8. Parking Location & Requirements
9. Sidewalks/Crosswalks/Walkways
10. Streets & Street Sections
11. Streetscape & Street Walls
12. Drive-Thru Facilities
13. The Appendix of Graphic Design Guidelines for §22-507 attached hereto is incorporated herein by reference.

§22-508. Modifications for the TND-1 District Design Guidelines.

1. Refer to Part 15. Modifications of Requirements, and §22-1501.
2. The Design Guidelines applicable to the TND-1 Traditional Neighborhood Development-1 District may be different than otherwise required of subdivisions or land developments authorized under the other sections of this Part, based upon the Design Guidelines of §22-507, in terms of such features as the Design of Streets, Street Geometry, Grading, Sidewalks, Crosswalks, Curbing, Curb Radii, Street Trees, Street Lights, Parking Lots, and Recreational Areas.
3. The Design Review Committee, during its review of the applicable plans, may provide recommendations for Modifications or Waivers.

§22-509. Procedures for Approval of a Development in the TND-1 District. In addition to the procedures for the approvals of preliminary and final land development plans set forth in this part, for all proposed developments in the TND-1 District, §27-1911 of the Zoning Ordinance are herein incorporated by reference.

Section 4. All Ordinances or parts of Ordinances inconsistent with this Ordinance are hereby repealed insofar as they are inconsistent herewith.

Section 5. In the event any provision, section, sentence, clause or part of this Ordinance shall be held to be invalid, illegal or unconstitutional by a court of competent jurisdiction, such invalidity, illegality or unconstitutionality shall not effect or impair the

remaining provisions, sections, sentences, clauses or parts of this Ordinance, it being the intent of the Board of Commissioners that the remainder of the ordinance shall be and shall remain in full force and effect.

Section 6. This Ordinance shall become effective upon enactment.

ORDAINED AND ENACTED as an Ordinance this ____ day of _____, 2017.

ATTEST:

BOARD OF COMMISSIONERS OF
SUSQUEHANNA TOWNSHIP

FRANK LYNCH, President

APPENDIX - GRAPHIC DESIGN GUIDELINES

Part 5. Design Guidelines for the TND-1: Traditional Neighborhood Development - 1 District



Prepared by:



First Draft: July 25, 2016
Second Draft: September 26, 2016
Third Draft: December 14, 2016
Fourth Draft: January 10, 2017

Part 5. Design Guidelines for the TND-1: Traditional Neighborhood Development - 1 District

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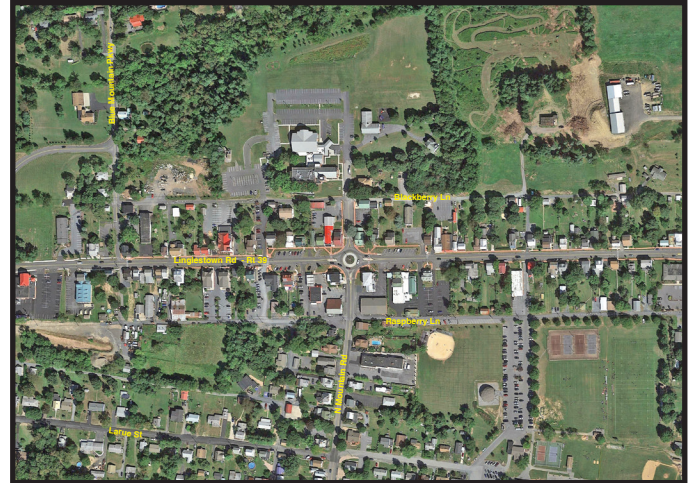
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Legislative Intent of the Design Guidelines

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Vartan TND Layout Precedent



Streetscape Precedent in Linglestown

Legislative Intent:

22-507.1.1. These Design Guidelines are intended to comply with Section 708-A of the Pennsylvania Municipalities Planning Code titled: Manual of Written and Graphic Design Guidelines.

22-507.1.2. Placemaking, as described and shown herein, is intended to create a more functional and attractive outcome for the quality of life in the TND-1 District.

22-507.1.3. These Design Guidelines shall be utilized to plan, design, construct and maintain buildings, structures, streetscapes, landscapes, and hardscapes.

22-507.1.4. All land development plan submissions shall be accompanied by Architectural Plans and Building Elevations that are consistent with these Design Guidelines and Exhibit 'C': Regulating Plan.



Streetscape Precedent



Green Space Precedent

Building Design & Proportion

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Facade and Roof Line Articulation



Articulated Facade with Vertical Bays, and Articulated Roof

Legislative Intent:

22-507.2.1. The use of traditional materials, such as brick, stone, stucco over stone, hardiplank, and wood siding, is intended to provide a traditional building fabric.

22-507.2.2. Facade articulation, variation in roof lines, and vertical expression of buildings, is intended to promote consistency with the scale and proportion of traditional streetscapes.

Design Guidelines:

22-507.2.3. Utilize brick, stone, stucco over stone, hardiplank, or wood siding to the maximum extent possible.

22-507.2.4. Create a primarily vertical expression to buildings through the use of windows, doors, pilasters, piers, columns, arches, terraces, porches, porticos, stoops, balconies, colonnades, arcades, and the like.

22-507.2.5. Provide Recesses or projections to buildings, from one to two feet, whenever the building exceeds 20 feet in width.



Two-Story Building with Vertical Bays



Two-Story Vertical Mixed-Use Building

Building Design & Proportion

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Commercial Buildings Detailed with Vertical Bays



Commercial Streetscape with articulated facade and roof lines

Legislative Intent:

22-507.2.6. Extend pilasters to the sidewalk as a full vertical unit.

22-507.2.7. Vary the roof lines of buildings through the use of dormers, gables, turrets, and the like, to the maximum extent possible.

22-507.2.8. Roof shapes shall be gable, gambrel, or flat. Where the roof shape is gable, the gable shall be oriented to the street. Where the roof shape is pitched, the orientation and steepness of the pitch shall be with a range of plus or minus 10% of the orientation and steepness of other buildings on the same block.

Design Guidelines:

22-507.2.9. Stagger the facade wall heights of flat-roofed buildings to create visual interest. The heights of such buildings shall vary by at least 42 inches through the use of parapet walls.

22-507.2.10. Articulated facades and articulated roof lines, shall be provided along the primary facade of a building. On corner lots, all buildings shall have two primary facades, one for each street frontage.



Effective Vertical Pilasters



Brick used for bank.

Building Design & Proportion

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA

22-507.2.11. Windows, door openings, and other fenestration shall be primarily vertical in proportion, except for first floor retail space which may have horizontally oriented “picture windows”, for the display of merchandise for sale.

22-507.2.12. Building design and materials shall emulate the character of buildings shown in the photographs of pages 2.1. and 2.2.

22-507.2.13. Architectural Plans and Building Elevations shall be submitted with land development plan submissions.

Building Location

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Commercial Buildings in Alignment



Building Adjoining Sidewalk

Legislative Intent:

22-507.3.1. Buildings are intended to be located in general alignment with other buildings on a block.

Design Guidelines:

22-507.3.2. Buildings shall be placed at a Build-To Line, as shown in the Regulating Plan.

22-507.3.3. At least 60% of the building facade shall be along the Build-To Line. Therefore, up to 40% of the building facade may have a recess or projection to add variety and diversity to the building.

22-507.3.4. New Buildings shall adjoin sidewalks at street corners, (and parking shall be located behind buildings), unless a Green or Plaza is provided at street corners.



Residential Buildings in Alignment



Residential Buildings in Alignment

Piers, Fences & Hedges

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Piers, Fences & Hedges providing effective parking lot screen



Pier Fence & Hedge providing attractive street edge

Legislative Intent:

22-507.4.1. Piers, Fences & Hedges are intended to provide a Street Wall #2 Condition.

22-507.4.2. Piers, Fences & Hedges are intended to provide an attractive Streetscape feature.

Design Guidelines:

22-507.4.3. Piers, Fences & Hedges shall be installed and maintained in accordance with the details illustrated and describe on pages 4.1., 4.2., 4.3., and 4.4.



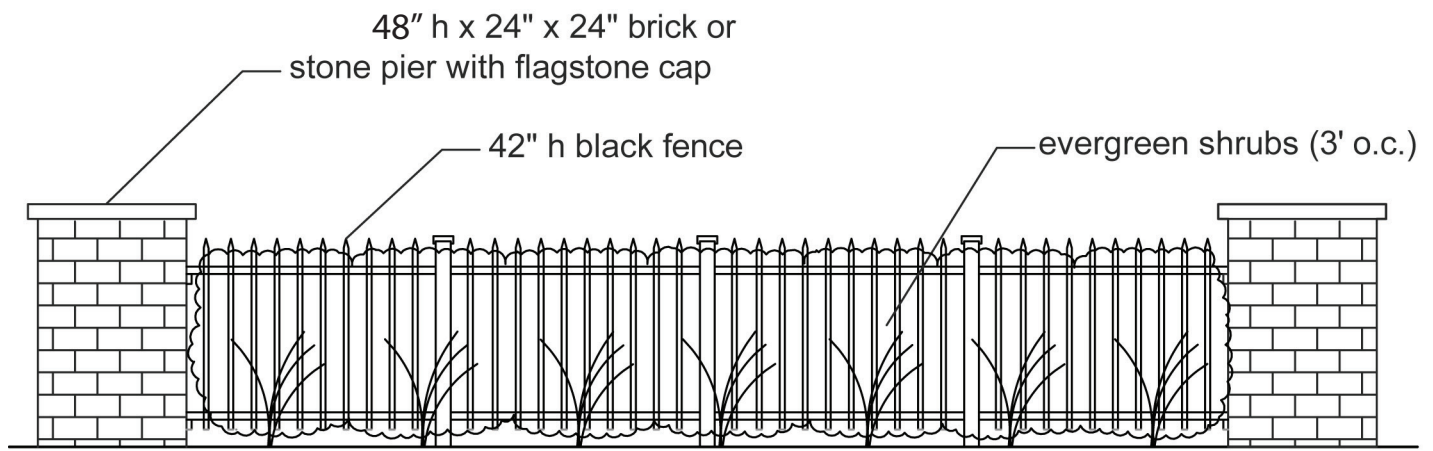
Piers, Fence & Hedge providing Street Wall #2



Piers, Fence & Hedge providing Street Wall #2

Piers, Fences & Hedges

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



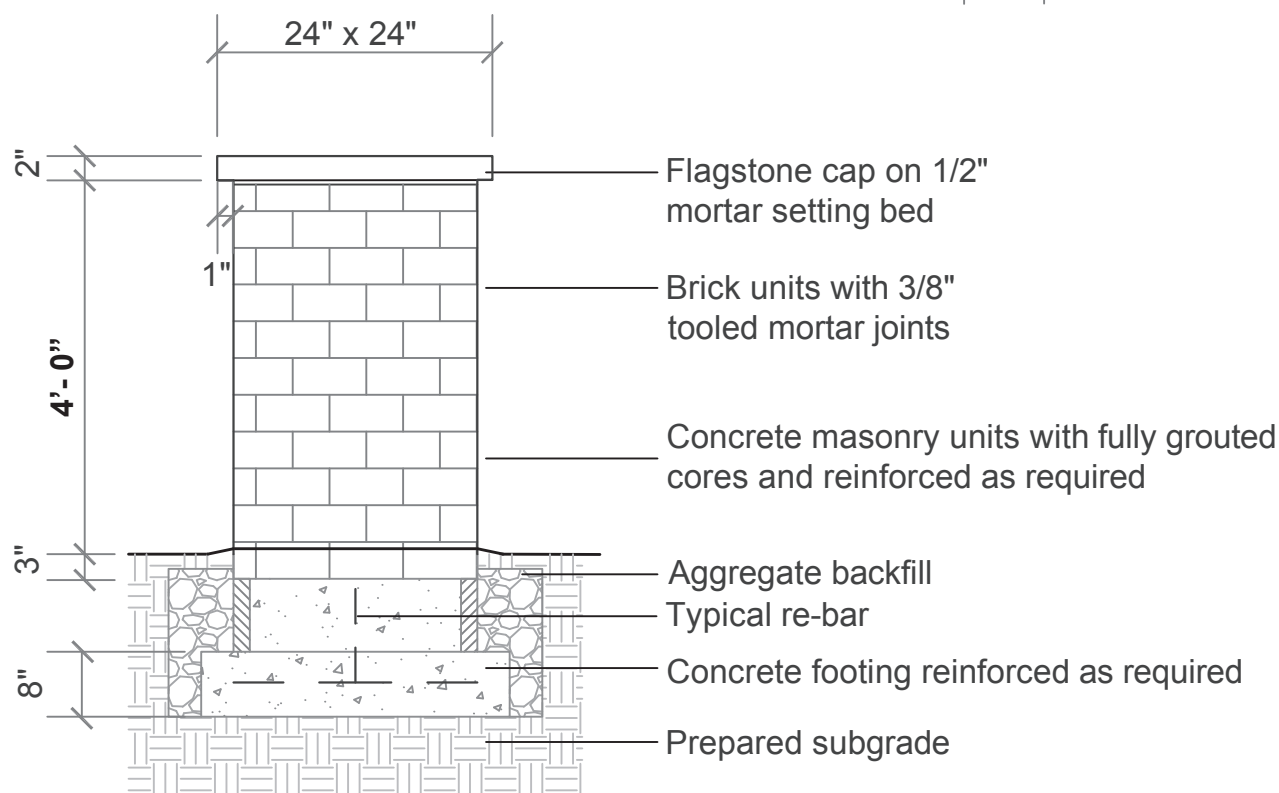
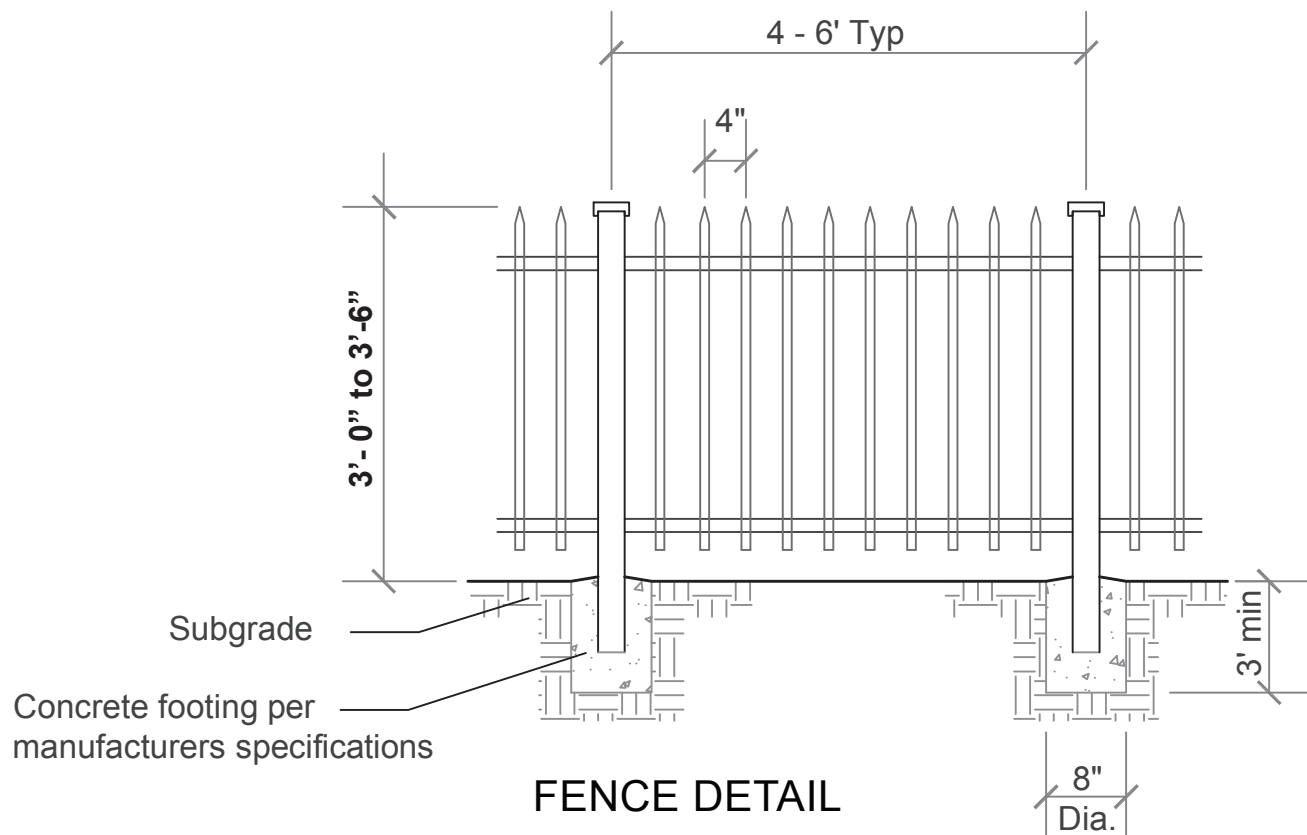
TYPICAL SECTION OF PIER, FENCE,
AND HEDGE



BRICK PIER, FENCE, AND HEDGE AS STREET WALL
AND PARKING LOT SCREEN

Piers, Fences & Hedges

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Greens

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Center Green in Neighborhood



Green in Commercial Area

Legislative Intent:

22-507.5.1. Greens are intended to provide vital Public Space around which buildings are grouped.

Design Guidelines:

22-507.5.2. One (1) Central Green, at least one-half (1/2) acre in size shall be located within the Commercial Area, and shall be fronted by buildings, whether directly or across a street, on at least two (2) sides of the Green.

22-507.5.3. Other Greens shall be at least one (1) acre in size, except for Pedestrian Gathering Areas that are Pocket Parks, Courtyards, and Dog Parks.

22-507.5.4. Greens shall be dispersed throughout the TND, and shall be shown in the Regulating Plan.



Green in Residential Neighborhood



Green Court

Pedestrian Gathering Areas

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Small Pedestrian Gathering Area



Plaza as Pedestrian Gathering Area

Legislative Intent:

22-507.6.1. Pedestrian Gathering Areas are intended to promote a pedestrian-friendly environment.

22-507.6.2. Pedestrian Gathering Areas are intended to provide viable opportunities to celebrate the public realm, and to provide pedestrian orientation.

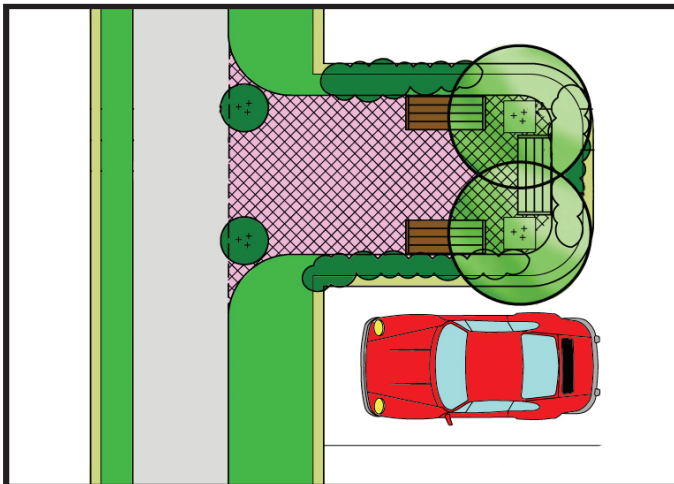
Design Guidelines:

22-507.6.3. Benches, shade trees, plantings, and lighting shall be installed and maintained in Pedestrian Gathering Areas to enhance attractiveness and safety.

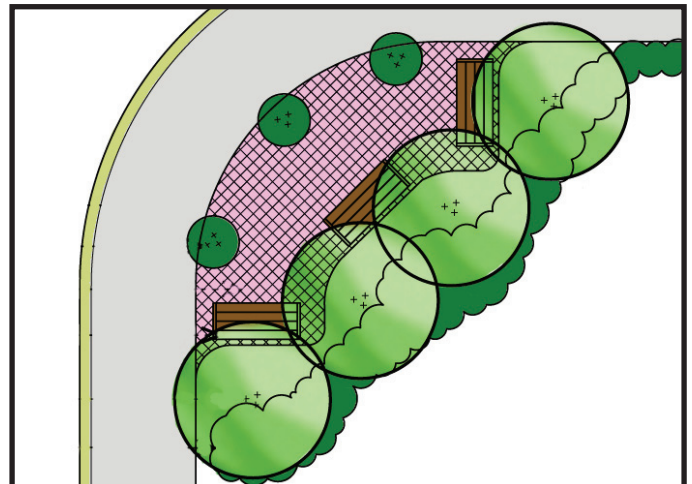
22-507.6.4. Pocket Parks as Pedestrian Gathering Areas shall be in the range of 50 to 500 square feet in area.

22-507.6.5. Courtyards as Pedestrian Gathering Areas shall be at least 30,000 square feet in area.

22-507.6.6. Dog Parks shall be at least 10,000 square feet in area.



Pedestrian Gathering Area as an extension of the sidewalk



Pedestrian Gathering Area at a street corner

Pedestrian Orientation

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Pedestrian Passageway



Pedestrian Plaza

Legislative Intent:

22-507.7.1. Traditional Neighborhood Developments (TNDs) are intended to promote and foster pedestrian connectivity and to encourage walking to the maximum extent possible.

22-507.7.2. The TND-1 District is intended to promote Pedestrian Orientation.

Design Guidelines:

22-507.7.3. Sidewalks, walkways, and crosswalks shall be installed and maintained throughout the TND District.

22-507.7.4. Buildings, lots, and neighborhoods shall be linked through pedestrian thoroughfares.



Pedestrian Crosswalk



Crosswalk as Pedestrian Feature

Parking Location & Requirements

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



On-Street Parking in Commercial Neighborhood



Off-Street Parking in Commercial Neighborhood

Legislative Intent:

22-507.8.1. On-Street Parking is intended to provide vital guest and patron parking.

22-507.8.2. On-Street Parking is intended to provide a useful form of traffic calming.

22-507.8.3. Off-Street Parking lots are intended to be located to the rear of buildings.

Design Guidelines:

22-507.8.4. On-Street Parking bays shall be 7 feet wide by 22 feet long when curbside parallel parking is provided.

22-507.8.5. Off-Street Parking lots shall be located to the rear of buildings or in parking courts.

22-507.8.6. Off-Street parking visible from a street shall be screened with piers, fences, and hedges.

22-507.8.7. The amount of all on-street and off-street Parking shall be in accordance with the Regulating Plan.



Off-Street Parking in Residential Neighborhood



On-Street Parking in Residential Neighborhood

Sidewalks/Crosswalks/Walkways

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Sidewalk in Residential Neighborhood



Sidewalk in Commercial Area

Legislative Intent:

22-507.9.1. Sidewalks and Crosswalks are intended to provide opportunities for continuous pedestrian circulation.

22-507.9.2. Sidewalks and Crosswalks are intended to add a pedestrian-friendly feature to the streetscape.

Design Guidelines:

22-507.9.3. Sidewalks shall be maintained along both sides of all streets.

22-507.9.4. All new Sidewalks shall be at least 4'-6" in width.

22-507.9.5. Crosswalks located in driveway throats shall be at least 5'-0" in width.



Crosswalk Connecting Sidewalks



Crosswalk in Driveway Throat

Sidewalks/Crosswalks/Walkways

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



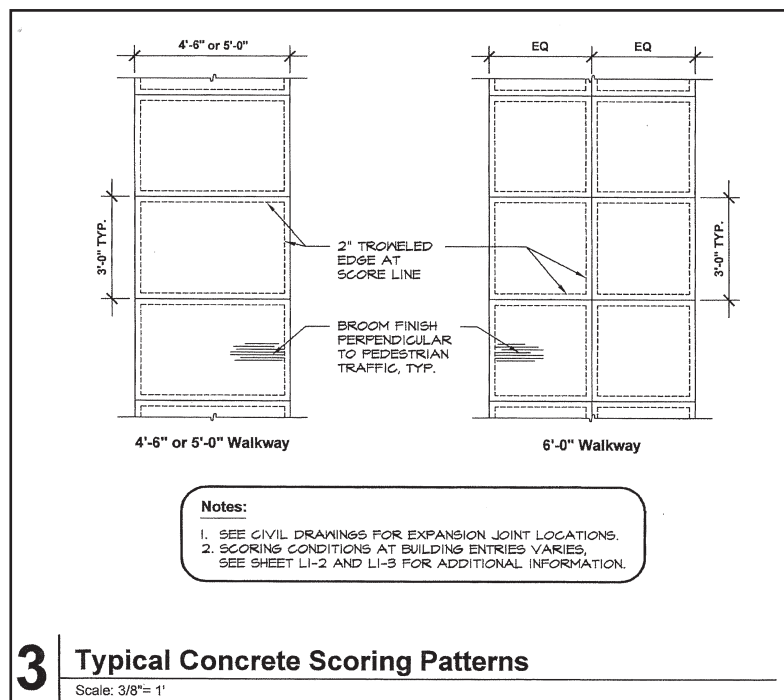
Well Defined Crosswalks at Street Intersection.



Well Defined Crosswalk

22-507.9.6. Crosswalks shall be at least 6'-0" in width when they cross streets.

22-507.9.7. When constructed of poured in place concrete, control joints for Sidewalks shall be provided at intervals no greater than thirty-six (36) inches. All concrete sidewalk surfaces shall be divided across their width into at least two (2) sections formed by control joints. The primary surface of concrete shall have a broom finish and an area two (2) inches in width, parallel to the control joints, shall have a smooth-troweled finish.



Streets & Street Sections

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA

Legislative Intent:

22-507.10.1. Streets are intended to vary in width, depending on their locations relative to Exhibit 'C' - Regulating Plan.

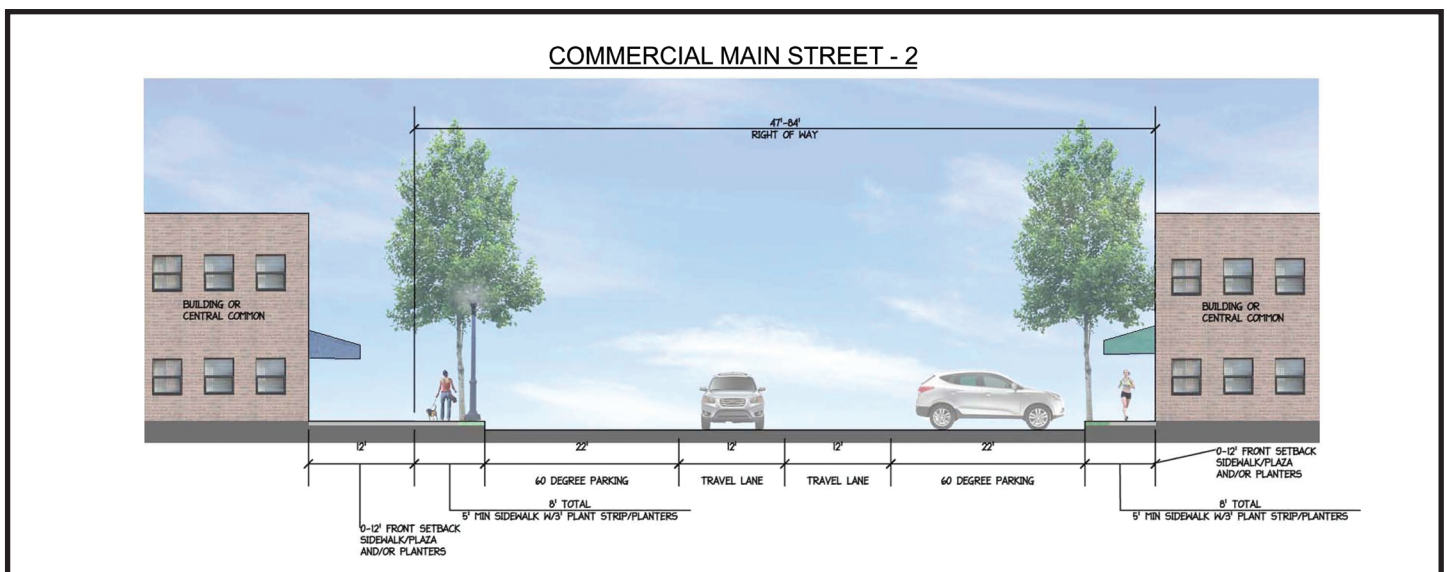
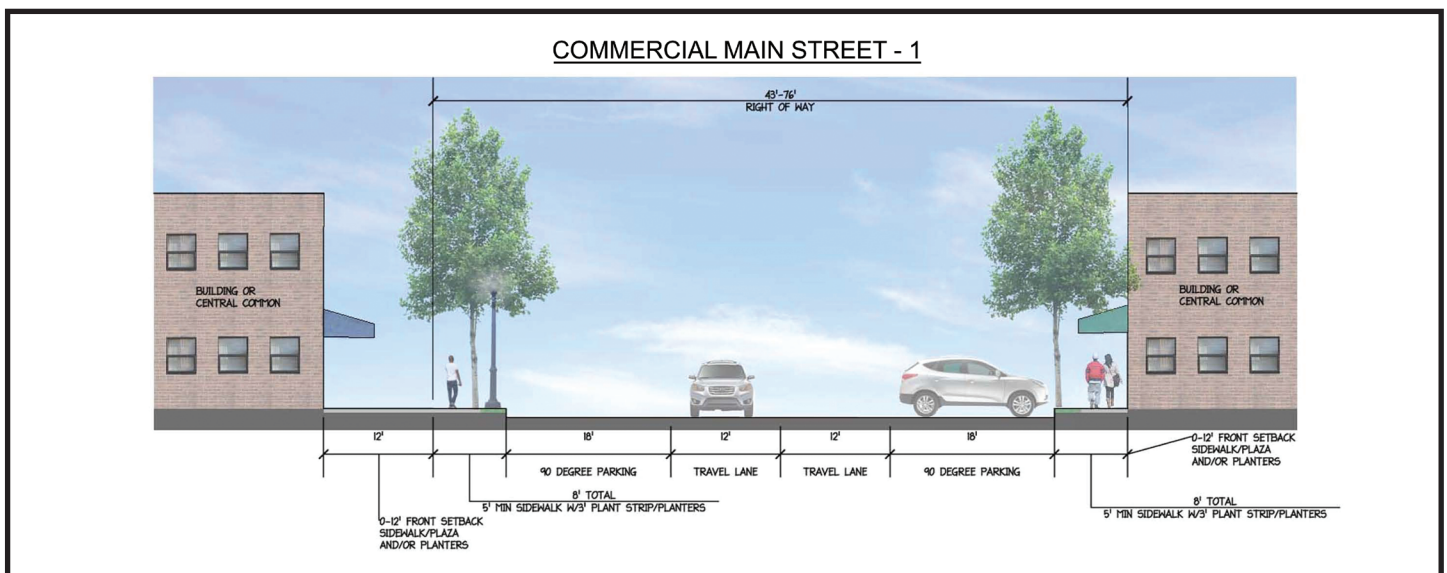
22-507.10.2. Streets are intended to be "Main Streets" in more commercial parts of the TND, and "Residential Streets" in residential neighborhoods.

22-507.10.3. Streets are intended to be illuminated with LED lighting.

Design Guidelines:

22-507.10.4. Streets shall be designed in accordance with the Street Sections below.

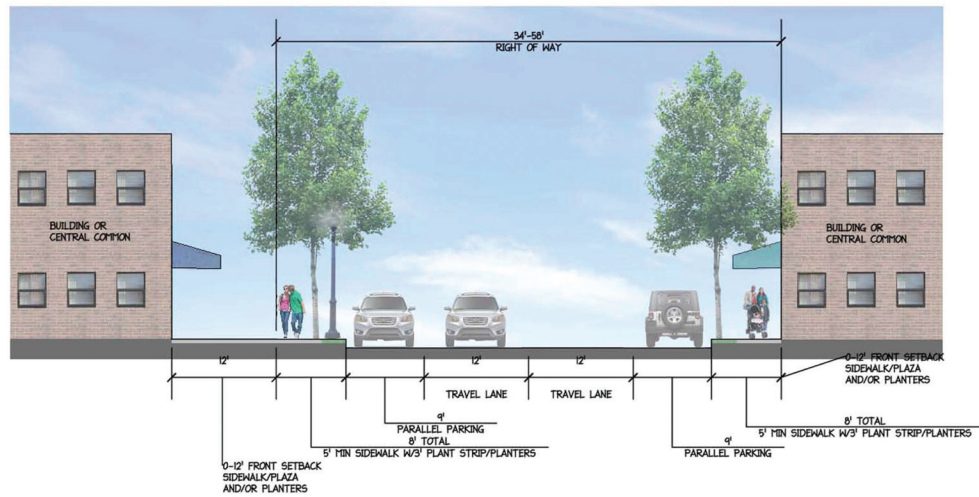
22-507.10.5. All Street Lights and other outdoor lighting shall be LED.



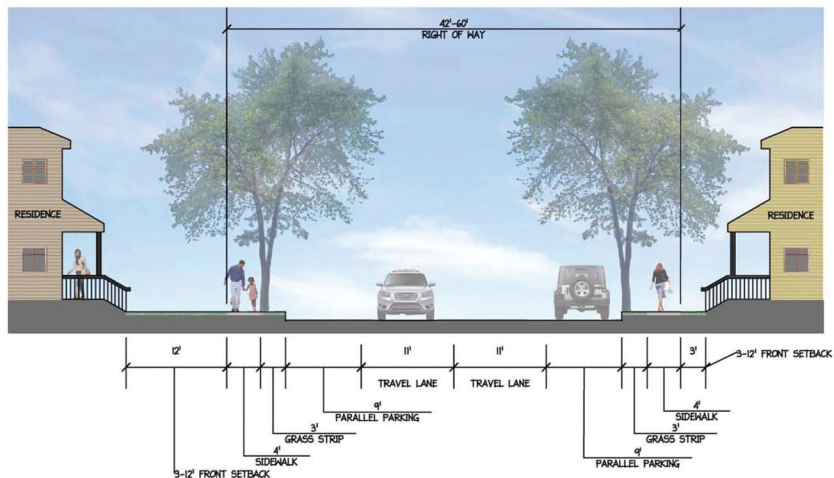
Streets & Street Sections

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA

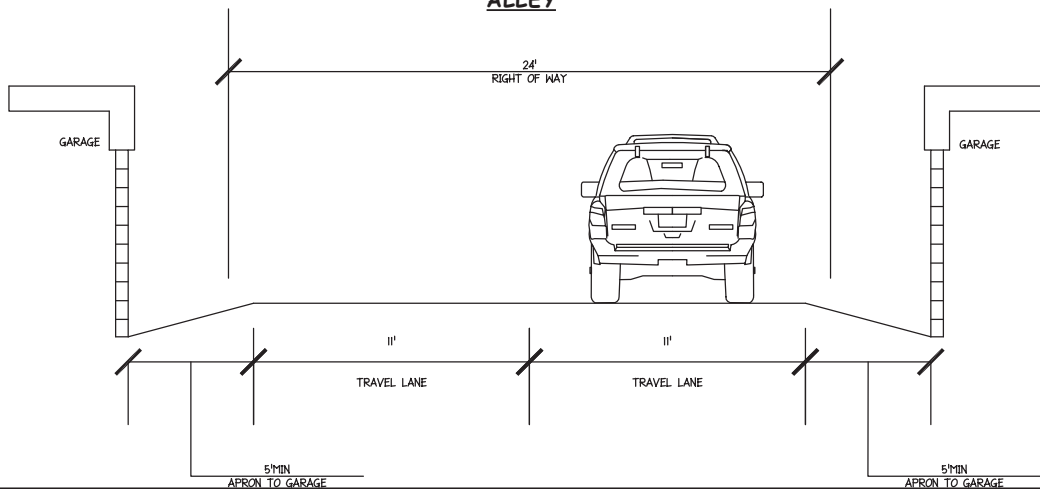
COMMERCIAL MAIN STREET - 3



RESIDENTIAL STREET



ALLEY



Streetscape & Street Walls

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Streetscape Formed by Street Wall #1



Streetscape with Street Wall #2

Legislative Intent:

22-507.11.1. The Streetscape is intended to be formed by buildings located close to sidewalks.

22-507.11.2. The Streetscape is intended to be enhanced with such features as sidewalks, street trees, street lights, and on-street parking.

Design Guidelines:

22-507.11.3. A Streetscape with buildings located close to sidewalks shall be created.

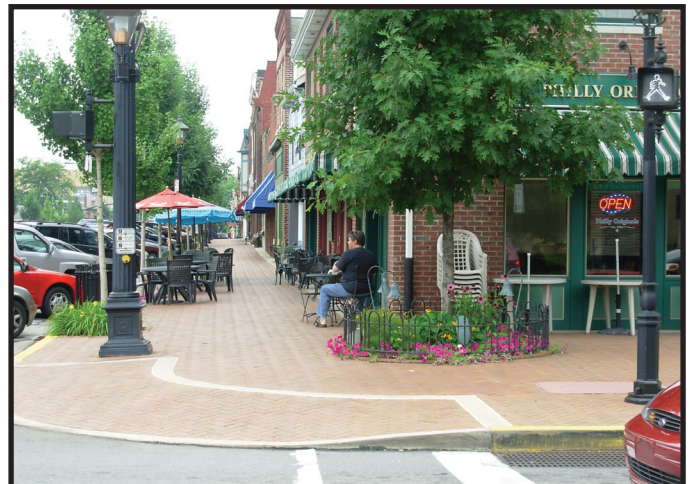
22-507.11.4. The Streetscape shall be embellished with sidewalks, crosswalks, street trees, street lights, and on-street parking.

22-507.11.5. Street Walls, with buildings in alignment, shall be provided, unless buildings cannot form the Street Wall, then a solution similar to those shown on pages 4.1. to 4.4. shall be utilized.

22-507.11.6. All Street Trees, Street Lights, Parking Lot Landscaping, Parking Lot Lights, and other Landscaping Shall be in accordance with the Subdivision and Land Development Ordinance.



Street Wall #2



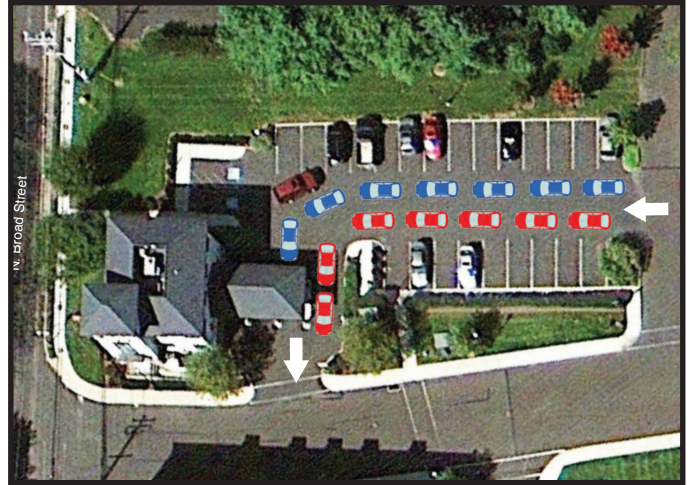
Street Wall #1

Drive-Thru Facilities

Design Guidelines for the TND-1 District
Susquehanna Township, Dauphin County, PA



Bank with Drive-Thru Facility located in the rear



Traffic Stacking at Drive-Thru Facility located in the rear

Legislative Intent:

22-507.12.1. Drive-Thru Facilities, such as those at Banks, Pharmacies, Coffee Shops, and Fast Food Restaurants, are intended to have the Drive-Thru component in the back or side of the facility, not along a primary street frontage.

Design Guidelines:

22-507.12.2. Drive-Thru Facilities shall not be located along a primary street frontage.

22-507.12.3. When A Drive-Thru Facility is located on the side of a building, it shall be setback at least 25 feet from the street right-of-way.

22-507.12.4. Drive-Thru Facilities shall have building materials, colors, and form, complementary to the principal building.



Coffee Shop with Drive-Thru Facility located in the rear



Fast Food with Drive-Thru Facility located on the side